

CC&Rs

Whitnall Edge Condominium Homeowners Assn. Inc.

**NEW COVER SHEET LANGUAGE
REQUIRED AS OF NOVEMBER 1, 2004
(Attach this to Disclosure Papers)**

- 1. THESE ARE THE LEGAL DOCUMENTS COVERING YOUR RIGHTS AND RESPONSIBILITIES AS A CONDOMINIUM OWNER. IF YOU DO NOT UNDERSTAND ANY PROVISIONS CONTAINED IN THEM, YOU SHOULD OBTAIN PROFESSIONAL ADVICE.**

- 2. THESE DISCLOSURE MATERIALS GIVEN TO YOU AS REQUIRED BY LAW MAY, WITH THE EXCEPTION OF THE EXECUTIVE SUMMARY, BE RELIED UPON AS CORRECT AND BINDING. FOR A COMPLETE UNDERSTANDING OF THE EXECUTIVE SUMMARY, CONSULT THE DISCLOSURE DOCUMENTS TO WHICH A PARTICULAR EXECUTIVE SUMMARY PERTAINS. ORAL STATEMENTS MAY NOT BE LEGALLY BINDING.**

- 3. YOU MAY AT ANY TIME WITHIN 5 BUSINESS DAYS FOLLOWING RECEIPT OF THESE DOCUMENTS, OR FOLLOWING NOTICE OF ANY MATERIAL CHANGES IN THESE DOCUMENTS, CANCEL IN WRITING THE CONTRACT OF SALE AND RECEIVE A FULL REFUND OF ANY DEPOSITS MADE. IF THE SELLER DELIVERS LESS THAN ALL OF THE DOCUMENTS REQUIRED, YOU MAY, WITHIN 5 BUSINESS DAYS FOLLOWING RECEIPT OF THE DOCUMENTS, DELIVER A REQUEST FOR ANY MISSING DOCUMENTS. IF YOU TIMELY DELIVER A REQUEST FOR MISSING DOCUMENTS, YOU MAY, AT ANY TIME WITHIN 5 BUSINESS DAYS FOLLOWING THE EARLIER OF EITHER THE RECEIPT OF THE REQUESTED DOCUMENTS OR THE SELLER'S DEADLINE TO DELIVER THE REQUESTED DOCUMENTS, CANCEL IN WRITING THE CONTRACT OF SALE AND RECEIVE A FULL REFUND OF ANY DEPOSITS MADE.**

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DECLARATION OF CONDITIONS, COVENANTS,
RESTRICTIONS AND EASEMENTS
REGARDING
WHITNALL EDGE CONDOMINIUM

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DECLARATION OF CONDITIONS, COVENANTS,
RESTRICTIONS AND EASEMENTS

REGARDING

WHITNALL EDGE CONDOMINIUM HOMEOWNERS ASSOCIATION, INC.

Recorded _____, 1979, at
_____.M., Vol. _____ of Records, at
page _____ as Document No. _____,
in the office of the Register of
Deeds for Milwaukee County, Wisconsin.

THIS DECLARATION is made pursuant to the Unit Ownership Act of the State of Wisconsin, Sections 703.10 through 703.28, of the Wisconsin Statutes, this 14th day of February, 1980, by ROBERT H. KREUTER and ROBERT YUNKER (hereinafter called "the Developer").

WITNESSETH:

WHEREAS, the Developer is the sole owner of certain real property described in Exhibit A attached hereto.

NOW THEREFORE, the Developer hereby declares that all of the property described in Exhibit A shall be held, sold and conveyed subject to the following easements, restrictions, covenants and conditions, which are for the purpose of protecting the value and desirability of, and which are for the purpose of running the real property and shall be binding on all parties having any right, title or interest in the described properties or any part thereof, their heirs, successors and assigns and shall inure to the benefit of each owner thereof.

ARTICLE I

DEFINITIONS

- Section 1. "Association" shall mean and refer to WHITNALL EDGE CONDOMINIUM HOMEOWNERS ASSOCIATION, INC., a corporation organized pursuant to Chapter 181 of the Wisconsin Statutes, its successors and assigns.
- Section 2. "Owner" shall mean and refer to the record owner, whether one or more persons or entities, of a fee simple title to any Unit which is a part of the properties including land contract purchasers, but excluding those having such interest merely as security for the performance of an obligation.

Section 3. "Properties" shall mean and refer to that certain real property described in Exhibit A appended hereto and such additions thereto as may hereafter be annexed by amendment to this Declaration.

Section 4. "Common Area" shall mean and refer to all real property and facilities described in Exhibit C. Each Owner shall have an undivided interest in the Common Area and facilities in the proportion as set forth in Article III.

Section 5. "Limited Common Areas" are:

- (a) The patio as designated on the plat of survey attached hereto immediately adjacent and abutting to each unit and reserved for its exclusive use.
- (b) The outside parking, garage and storage compartments in the basement assigned to any unit as designated on the plat of survey attached hereto, and specifically including the basements of each Building, subject further to the definition of Limited Common Areas as set forth herein.

Section 6. "Unit" shall mean a part of the property being subjected to these Declarations intended for any type of independent use, including one or more cubicles of air at one or more levels of space or one or more rooms or enclosed spaces located on one or more floors (or parts thereof) in a Building, and with a direct exit to a public street or highway or to a Common Area or Limited Common Area leading to such street or highway, with improvements hereon, as shown upon the plat of survey of the property set forth in Exhibit A, designated by numerical sequence, and which shall be recorded pursuant to Section 703.13 Wis. Stats.

Section 7. "Developer" shall mean and refer to ROBERT H. KREUTER and ROBERT YUNKER, their successors and assigns.

Section 8. "Mortgage" shall mean any Mortgage or other security instrument by which a Unit or any part thereof is encumbered.

Section 9. "Mortgagee" shall mean any person named as the Mortgagee under any Mortgage under which the interest of any Owner is encumbered, or any successor to the interest of such person under such Mortgage.

ARTICLE II

DESCRIPTION AND IDENTIFICATION OF THE BUILDINGS

- Section 1. CODE IDENTIFICATION. The buildings shall be specifically designated as WHITNALL EDGE CONDOMINIUMS, and each Unit will be designated in a numerical sequential order, as set forth in Exhibit B, attached hereto, and a part of this Declaration.
- Section 2. DESCRIPTION OF RESIDENTIAL BUILDINGS. A residential building on the real estate described herein in this Declaration, contains the number of units as shown for the respective buildings on Exhibit B. Said buildings shall contain two levels, plus a basement, and is constructed principally of brick and frame. Additional construction details are set forth in the building plans and working drawings available for inspection at the office of the Developer. The Units will consist of one and two bedroom Units, and will also contain one or two bathrooms, living room, den and kitchen. Attached hereto are the floor plans for respective variations of Units and exterior elevations.
- Section 3. IDENTIFICATION OF UNITS. A Unit shall mean a part of the property subject to this Declaration intended for residential independent use, including one or more cubicles of air at one or more levels of space, or one or more rooms of enclosed spaces located on one or more floors (or parts thereof) in the Building, and with a direct exit to a public street or highway or to a Common Area or Limited Common Area leading to such street or highway.
- Section 4. HORIZONTAL BOUNDARIES. The upper and lower boundaries of each condominium unit shall be:
- (a) Upper Boundary: The plane of the under surfaces of the chords of the roof trusses, or the floor joists which serve as ceiling joists.
 - (b) Lower Boundary: The plane of the under surfaces of the floor.
- Section 5. VERTICAL BOUNDARIES.
- (a) Exterior Building Walls: The interior plane of the exterior of the outside walls of the building or unit, and where there is attached to the building a balcony, terrace, porch or other portions of the building serving only the condominium unit being bounded, such boundaries shall be deemed to include any such appurtenances.

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- (b) Interior Building Walls: The plane of the center line of walls bounding a unit.

In interpreting the boundaries of the units created under this Condominium, the provisions of Section 703.13 of the Wisconsin Statutes shall apply.

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ARTICLE III

PROPERTY RIGHTS AND OBLIGATIONS OF OWNERS

- Section 1. PERCENTAGE OF OWNERSHIP. Each Owner shall own an undivided interest in the Common Area and facilities with all other Owners. The percentage of ownership shall be 1/232th.
- Section 2. OWNER'S EASEMENTS OF ENJOYMENT. Every Owner shall have a right and easement of enjoyment in and to the Common Area which shall be appurtenant to and shall pass with the title to every Unit.
- Section 3. OWNER'S RIGHT TO INGRESS AND EGRESS AND SUPPORT. Each Owner shall have the right to ingress and egress over, upon and across the Common Area necessary for access to his Unit, and shall have the right to lateral support for his Unit and such rights shall be appurtenant to and pass with the title to each Unit.
- Section 4. USE OF UNITS. Each Unit shall be used for residential purposes only, and no trade or business of any kind may be carried on therein. Lease or rental of a Unit for residential purposes shall not be considered to be a violation of this covenant.
- Section 5. USE OF COMMON AREA. There shall be no obstruction of the Common Area, nor shall anything be kept or stored on any part of the Common Area without prior written consent of the Association except as specifically provided herein. Nothing shall be altered on, constructed in, or removed from the Common Area except upon the prior written consent of the Association.
- Section 6. PROHIBITION OF DAMAGE AND CERTAIN ACTIVITIES. Nothing shall be done or kept in any Unit or in the Common Area or any part thereof to increase the rate of insurance on the Properties or any part thereof over what the Association, but for such activity, would pay, without the prior written consent of the Association. Nothing shall be done or kept in any Unit or in the Common Area, or any part thereof, which would be in violation of any Statute, rule, ordinance, regulation, permit or other validly imposed requirement of any governmental body. No damage to, or waste of, the Common Area or any part thereof or of the exterior of the Properties and buildings shall be committed by any Owner or any invitee of any Owner and each Owner shall indemnify and hold the Association and the other Owners

harmless against all loss resulting from any such damage or waste caused by him or his invitees, to the Association or other Owners. No noxious, destructive or offensive activity shall be carried on in any Unit or in the Common Area or any part thereof. Nor shall anything be done therein which may be or may become an annoyance or nuisance to any other Owner or to any other person at any time lawfully residing in the Properties.

Section 7. ANIMALS. The Association shall and does herein, by rules and regulations, prohibit the raising, breeding or keeping of animals in any Unit or on the Common Area or any part thereof. It is the intent of the Developer that all animals shall be prohibited, unless decreed by the Association.

Section 8. RULES AND REGULATIONS. No Owners shall violate the rules and regulations for the use of the Units and of the Common Area as adopted from time to time by the Association.

Section 9. DELEGATION OF USE. Any Owner may delegate, in accordance with the By-Laws, or this Declaration, his right of enjoyment to the Common Area and facilities to the members of his family, to guests or contract purchasers of his Unit who reside on the property and only to said individuals, unless otherwise authorized by the Association.

Section 10. PARKING RIGHTS. Each Unit Owner of any variety of one or two bedroom units contained in the residential buildings to be constructed in this condominium shall acquire, as part of their original acquisition price, for exclusive right and use of Limited Common Areas situated on the outside of the buildings in which said condominium Unit shall be situated, of a designated garage space and one outside stall in the parking lot for utilization of the parking of a total of two motor vehicles. Each Unit Owner of any variety of a one bedroom Unit, contained in the residential buildings to be constructed in this condominium shall receive, as part of their acquisition price, the exclusive right and use of Limited Common Areas situated on the outside of the buildings in which said condominium Unit shall be situated, of one designated garage space and one outside parking lot stall for the parking of a total of two motor vehicles. The exclusive use of said Limited Common Areas afore described consisting of parking lot stall and garage space for motor vehicles shall be included as a right running with the title and the lands of the respective condominium Units. Real Estate tax

liability resulting from increased assessed valuation as a result of the acquisition by Unit Owners of exclusive right and use of the afore described garage space and parking lot stall in the Limited Common Areas on the outside as afore described, shall accrue to the particular Unit Owner who shall be the exclusive owner of the space thereof. Unit Owners shall also have the right to rent additional spaces from the Developer or the Association. At the discretion of the Board of Directors of the Association, Unit Owners may be permitted to have the right to utilize garage parking stalls located on the outside of the buildings, for the purposes of parking and storing items other than motor vehicles, such as boats, trailers and campers. However, all requests for such permission must be submitted in writing prior to consideration and action thereon by the Board of Directors, which written request shall contain complete particulars as to the size, character and dimensions of the particular items involved.

Section 11. SIGNS. No Owner shall be permitted to erect any signs of any sort for any purposes whatsoever upon the premises or upon his Unit. No flags or other type of devices to promote open houses, inspections for the sale of said Units, shall be permitted to be erected upon any Common Area. The foregoing restrictions concerning the erection of signs and other types of advertising material concerning the sale of Units shall not be applicable to the Developer, or his real estate agent employed for the purpose of selling newly constructed Units as part of the initial development hereof.

ARTICLE IV

ASSOCIATION MEMBERSHIP, VOTING RIGHTS AND RIGHT

OF FIRST REFUSAL ON CONVEYANCE

Section 1. MEMBERSHIP. The Association referred to in Article I, Section 1, herein, shall consist of, as members, every Unit Owner herein, and in addition thereto, every Unit Owner in additional condominiums that shall be declared pursuant to the Unit Ownership Act of the State of Wisconsin (Chapter 703, Wisconsin Statutes) in remaining lands immediately adjacent hereto, out of the parcel of land described in Exhibit A. Every Owner shall be entitled and required to be a member of the Association. If title to a Unit is held by more than one person, each of such persons shall be members. An Owner of more than one Unit shall be entitled to one membership for each Unit owned by him. Each such membership shall be appurtenant to the Unit upon which it is based and shall be transferred automatically by conveyance of that Unit. No person or entity other than an Owner or Developer may be a member of the Association, and a membership in the Association may not be transferred except in connection with the transfer of title to a Unit; provided, however, that the rights of voting may be assigned to a Mortgagee as further security for a loan secured by a lien on a Unit.

Section 2. VOTING. The Association shall have two classes of voting memberships:

- (a) Class A. Class A members shall be all Unit Owners in this condominium, with the exception of the Developer. There shall be one (1) vote per Unit owned.
- (b) Class B. Class B members shall be the Developer and shall be entitled to three (3) votes for each Unit owned or which may be built upon the lands described in Exhibit A, as well as all the remainder of the lands included in Exhibit A, as set forth in Article X. The Class B membership shall cease and be converted to Class A membership on the happening of either of the following events, whichever occurs earlier:
 - 1) when the total votes outstanding in the Class A membership equal the total votes outstanding in the Class B membership, or;

11) on such date upon which 51% of the 232 Units shall have been sold and marketed, whichever event occurs earlier.

Section 3. AMPLIFICATION. The provisions of this Article are to be amplified by the Articles of Incorporation of the Association and by the By-Laws of the Association, provided, however, that no such amplification shall substantially alter or amend any of the rights or obligations of the Owners set forth herein.

Section 4. CONVEYANCE. Except for a resale back to the Declarant, no unit owner or lessee shall at any time sell, convey, contract to sell, lease or devise his unit, whether by operation of law or otherwise, without first complying with the provisions hereinafter contained in this paragraph. No such sale, conveyance, contract of sale, devise, gift, lease, sublease, or alienation of any other kind shall be made unless the Association is given no less than twenty-five (25) days prior written notice of the terms thereof, together with the name and address of the proposed purchaser, vendee, donee, devisee, lessee, or alienee.

The Association shall at all times have the first right and option to purchase or lease such unit upon the same terms as those upon which it is offered, which option shall be exercisable for a period of twenty-five (25) days following the date of receipt of notice. If the option is not exercised by the Association within said time the owner or lessee, may, at the expiration of said twenty-five (25) days and at the time within thirty (30) days after the expiration of said period, sell, or lease such unit to the proposed purchaser or lessee named in such notice upon the terms specified therein.

In the event that the unit owner shall desire to dispose of his unit by gift or devise to other than his lawful spouse or his heirs at law under the laws of the State of Wisconsin, said unit owner or his personal representative shall give the Association written notice thereof no less than thirty (30) days prior to the time of proposed transfer, which shall include the name and address of the proposed donee or devisee. The Association shall have the right and option to purchase such unit at the fair market value at the time of transfer, to be determined by a panel of three (3) qualified appraisers, one of which shall be selected by the unit owner or his legal representative, one by the Association, and the third by the two so selected, provided that the Association shall notify the unit owner or his personal representative of its intent to

exercise such right and option within thirty (30) days after the receipt of notice from the unit owner or his personal representative as provided herein.

The Association may bid upon and purchase any Unit which becomes the subject of a foreclosure action or tax sale, or is involved in an action in bankruptcy, or which becomes available for purchase for any reason whatsoever, whether by operation of law or otherwise. The Association shall not exercise any of the options herein set forth to purchase or lease any unit without the prior consent of unit owners holding at least seventy-five (75%) of the votes present at any meeting duly called to consider such action.

Unit ownership or interests therein acquired pursuant to the terms of this paragraph shall be held of record in the name of the Association, or such nominee as it shall designate, for the benefit of all of the owners. All proceeds of such sale or leasing after repayment of borrowed funds and special assessments levied for such purposes shall be deposited in such funds as the Association may establish and may thereafter be disbursed at such time and in such manner as the Association shall determine.

The Association shall be entitled to a payment from the transferor of One Hundred Fifty Dollars and no/100 (\$150.00) in the event of sale, conveyance, contract or sale, devise, gift, lease, sublease or alienation of any kind by all unit owners subsequent to Developer.

ARTICLE V

RIGHTS AND OBLIGATIONS OF THE ASSOCIATION

Section 1. THE COMMON AREA. The Association, subject to the rights of the Owners set forth in this Declaration, shall be responsible for the exclusive management and control of the Common Area and all improvements thereon (including furnishings and equipment related thereto), and shall keep the same in good, clean, attractive and sanitary condition, order and repair. The Association shall be responsible for the maintenance and repair of exterior surfaces of all buildings on the Properties, including without limitation, the painting of the same as often as necessary, the replacement of trim and caulking, the maintenance and repair of roofs, the maintenance and repair of all Common Areas, including utility lines and all other improvements or material located within or used in connection with the Common Area. The specification of duties of the Association with respect to particular Common Areas shall not be construed to limit its duties with respect to other Common Areas, as set forth in the first sentence in this Section. The Association shall have no liability or responsibility for furnishing maintenance and repair to exterior surfaces of any buildings which shall be erected on any portion of lands described in Exhibit A which shall not have been made subject to the Unit Ownership Act of Wisconsin (Chapter 703, Wisconsin Statutes) and which shall not have been designated for condominium use but rather for rental purposes or single family residential dwelling purposes. The Association shall be limited in its expenditure of funds for the management and control of Common Areas contained in this condominium declared herein, and for the maintenance and repair of exterior surfaces of all buildings situated within the confines of this condominium as declared herein only to the extent that such funds as shall have been contributed by way of payment of assessments and Homeowners Association dues by the Unit Owners in this condominium as declared herein, and the Association in this condominium shall be required to maintain separate books of record and account concerning all income received from this condominium, and common expenses incurred by the Association attributable to Common Areas situated in more than one condominium shall be prorated accordingly.

Section 2. SERVICES. The Association may obtain and pay for the services of any person or entity to manage its affairs,

or any part thereof, to the extent it deems advisable, as well as such other personnel as the Association shall determine to be necessary or desirable for the proper operation of the Properties, whether such personnel are furnished or employed directly by the Association or by any person or entity with whom or which it contracts. The Association may obtain and pay for legal and accounting services necessary or desirable in connection with the operation of the Properties or the enforcement of this Declaration. The Association may arrange with others to furnish water, trash collection, sewer service and other common services to each Unit.

- Section 3. PERSONAL PROPERTY FOR COMMON USE. The Association may acquire and hold for the use and benefit of all of the Owners tangible and intangible personal property and may dispose of the same by sale or otherwise, and the beneficial interest in any such property shall be deemed to be owned by the Owners in the same proportion as their respective interests in the Common Areas. Such interest shall not be transferable except with the transfer of a Unit. A transfer of a Unit shall transfer to the transferee ownership of the transferor's beneficial interest in such property without any reference thereto. Each Owner may use such property in accordance with the purpose for which it is intended without hindering or encroaching upon the lawful rights of other Owners. The transfer of title to a Unit under foreclosure shall entitle the purchaser to the interest in such personal property associated with the foreclosed Unit.
- Section 4. RULES AND REGULATIONS. The Association may make reasonable rules and regulations governing the use of the Units and Common Areas, which rules and regulations shall be consistent with the rights and duties established in this Declaration.
- Section 5. IMPLIED RIGHTS. The Association may exercise any other right or privilege given to it expressly by this Declaration or by law, and every other right or privilege reasonable to be implied from the existence of any right or privilege given to it herein or reasonably necessary to effectuate any such right or privilege.
- Section 6. EASEMENTS FOR DEVELOPER. The Developer, for himself, his heirs, assigns, successors and representatives, shall retain easements rights for the purpose of ingress and egress to the lands described in Exhibit A, during periods of construction, as well as operation periods subsequent to completion of construction, over the lands included in the declarations and exhibits of WHITNALL EDGE CONDOMINIUM HOMEOWNERS ASSOCIATION, INC.

Section 7. CLUBHOUSE, TENNIS COURTS AND SWIMMING POOL. In connection with the operation, maintenance and repair of the Clubhouse, tennis courts (2 double courts) and swimming pool to be built and become a part of the Common Area of the condominium as declared herein, all expenses incurred through maintenance, repair, management and control of these facilities shall be prorated equally between all the Unit Owners and the owners of any rental property or Units to be built. In case of owners of the fee of rental Units that may be constructed, such owners shall be required to pay a prorata share of the expenses based upon the number of rental units within a particular building.

As soon as two hundred (200) units are sold and closed, the Developer shall execute a warranty deed conveying good and sufficient title to the Clubhouse, tennis courts (2 double courts) and the swimming pool. Said title shall go to Association and shall be free and clear of all liens and encumbrances, excepting the conditions hereof, municipal laws and ordinances, easements of record and the By-Laws and Articles of Incorporation of this Association.

ARTICLE VI

COVENANT FOR ASSESSMENTS

- Section 1. AGREEMENT TO PAY ASSESSMENT. Developer for each Unit owned by it within the Properties, and for and as the Owner of the Properties and every part thereof, hereby covenants, and each Owner of any Unit by the acceptance of a deed, shall be deemed to covenant and agree with each other and with the Association, whether or not it be so expressed in the deed, to pay to the Association for the purposes provided in this Declaration, for special assessments, or capital improvements, and for any other matters as provided in this Declaration.
- Section 2. PURPOSE OF ASSESSMENTS. The assessments levied by the Association shall be used exclusively to promote the recreation, health, safety and welfare of the residents in the Properties and for the improvement and maintenance of the Common Areas, and of the exterior of the buildings situated upon the Properties, and such emergency repairs as the Association may deem necessary, including repairs and maintenance of sewer and water lines to individual Units.
- Section 3. MAXIMUM ANNUAL ASSESSMENT. Until the first of the year immediately following the conveyance of the first Unit by Developer to an Owner, the annual assessment shall be \$600.00 per Unit, payable in monthly installments of \$50.00 per month, which payments shall commence, on a prorata basis, as of the date of closing of the sale of the particular Unit, payable in advance each and every month, with the sole exception of the Developer as noted in Section 5 (25%) of this Article. The Board of Directors shall annually fix the amount of the assessment and shall set the same to commence as of the first of each year, based upon the budget adopted by the Board of Directors for each fiscal year commencing January 1, 1981.
- Section 4. SPECIAL ASSESSMENTS AND CHARGE FOR SALE BY UNIT OWNERS. In addition to the annual assessments authorized above, the Board of Directors may levy, in any assessment year, a special assessment applicable to that year only for the purpose of defraying, in whole or in part, the cost of any construction, reconstruction, repair or replacement of a capital improvement upon the Common Areas, including fixtures and personal property related thereto, or the Properties. Special assessments may also be imposed by the Board of Directors for the purpose of balancing operational deficits existing in the annual budgets. There shall be a charge of \$150.00 payable by the seller of said Unit to the Association upon subsequent sales of any Unit by original and subsequent owners.

Section 5. RATE OF ASSESSMENT. Both annual and special assessments as affects Units which shall have been sold and closed in WHITNALL EDGE CONDOMINIUMS, shall be fixed at a uniform rate for all sold and occupied Units and shall be collected on a monthly basis. The Developer, as the Owner of unsold Units within WHITNALL EDGE CONDOMINIUMS shall be required to pay to the Association, as the annual and/or special assessments as may affect such Units, an amount equivalent to 25% of the rate applicable to all Units as described above, until January 1, 1982, at which time Developer shall pay his full share on any unsold Units.

Section 6. DATE OF COMMENCEMENT OF ANNUAL ASSESSMENTS. The annual assessments for the Units within each individual building as provided herein shall commence as to all Units within each individual building on the first day of the month following conveyance of the first Unit within each building by the Developer. The first annual assessment shall be adjusted according to the number of months then remaining in that calendar year. The Board of Directors shall fix the amount of the annual assessment against each Unit at least thirty (30) days in advance of each annual assessment period. Written notice of the annual assessment shall be sent to every Owner subject thereto. The date when due shall be established by the Board of Directors. The Association shall, upon demand, and for a reasonable charge, furnish a certificate signed by an officer of the Association setting forth whether the assessments on a specified Unit have been paid.

Section 7. LIEN FOR ASSESSMENTS. All sums assessed to any Unit pursuant to this Article, together with interest thereon as provided herein, shall be secured by a lien on such Unit in favor of the Association. Such lien shall be superior to all other liens and encumbrances on such Unit, except only for:

- a) Liens of general and special taxes; and
- b) a lien for all sums unpaid on a first Mortgage, or on any Mortgage to Developer duly recorded in the office of the Clerk of Courts of Milwaukee County, Wisconsin, prior to the making of such assessment, including all unpaid obligatory advances to be made pursuant to such Mortgage and all amounts advanced pursuant to such Mortgage and secured by the lien, thereof in accordance with the terms of such instrument.
- c) Construction liens filed prior to the making of such assessments.

All other lienors acquiring liens on any Unit after this Declaration, which liens shall have been recorded in said records shall be deemed to consent that such

liens shall be inferior to future liens for assessments as provided herein, whether or not such consent be specifically set forth in the instruments creating such liens.

To evidence a lien for sums assessed pursuant to this Article, the Association may prepare a written notice of lien setting forth the amount of the assessment, the date due, the amount remaining unpaid, the name of the Owner of the Unit and a description of the Unit. Such a notice shall be signed by the Association and may be recorded in the office of the Clerk of Courts of Milwaukee County, Wisconsin. No notice of lien shall be recorded until there is a delinquency in payment of the assessment. Such lien may be endorsed by judicial foreclosure by the Association in the same manner in which mortgages on real estate property may be foreclosed in Wisconsin. In any such foreclosure, the Owner shall also be required to pay the costs and expenses of filing the notice of lien and all reasonable attorney's fees. All such costs and expenses shall be secured by the lien being foreclosed. The Owner shall also be required to pay to the Association any assessments against the Unit which shall become due during the period of foreclosure. The Association shall have the right and power to bid at the foreclosure sale, or other legal sale and to acquire, hold, convey, lease, rent, encumber, use and otherwise deal with the Unit as the Owner thereof.

A release of notice of lien shall be executed by the Association and recorded in the office of the Clerk of Courts of Milwaukee County, Wisconsin, upon payment of all sums secured by a lien which has been made the subject of a recorded notice of lien.

Any encumbrancer holding a lien on a Unit may pay, but shall not be required to pay, any amounts secured by the lien created by this Section, and upon such payment such encumbrancer shall be subrogated to all rights of the Association with respect to such lien, including priority.

The Association shall, upon written request, report to any encumbrancer of a Unit any unpaid assessments remaining unpaid for longer than ninety (90) days after the same encumbrancer has furnished to the Association written notice of such encumbrance having become due.

Section 8. EFFECT OF NONPAYMENT OF ASSESSMENTS; REMEDIES OF THE ASSOCIATION. Any assessment not paid within thirty (30) days after the due date shall bear interest from the due date at a rate equivalent to the then prevailing highest rate of interest permitted and authorized by statutes of the State of Wisconsin. The Association may bring an action at law against the Owner personally obligated to pay the same, or foreclose the lien against the property. No Owner may waive or otherwise escape liability for the assessments provided for herein by non-use of the Common Areas or abandonment of his Unit. A suit to recover a money judgment for unpaid expenses hereunder shall be maintainable without foreclosing or waiving the lien securing the same.

Section 9. SUBORDINATION OF THE LIEN TO MORTGAGES. The lien of the assessments provided for herein shall be subordinate to the lien of any first mortgage which was recorded prior to the making of such assessment. Sale or transfer of any Unit shall not affect the assessment lien. However, the sale or transfer of any Unit pursuant to mortgage foreclosure shall extinguish the lien of such assessments as to payments which became due prior to such sale or transfer and such unpaid assessments shall be deemed to be common expenses collectible from all of the Owners excluding the acquirer, his successors and assigns. No sale or transfer shall relieve such Unit from liability for any assessments thereafter becoming due or from the lien thereof.

ARTICLE VII

ARCHITECTURAL CONTROL

Section 1. ARCHITECTURAL CONTROL COMMITTEE AUTHORITY. No exterior additions or alterations to any building on the Properties, additional fences, or changes in the existing fences, hedges, walls, walkways and other structures shall be commenced, erected or maintained except such as are installed or approved by the Developer in connection with the initial construction of the buildings on the Properties, until the plans and specifications showing the nature, kind, shape, height, materials, locations and approximate cost of same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding buildings on the Properties in the subdivision by an Architectural Committee composed of the Board of Directors of the Association, or by a representative or representatives designated by the Board of Directors. In the event said committee, or its designated representatives, fails to approve or disapprove such design and location within thirty (30) days after said plans and specifications have been submitted to it, and if no suit to enjoin the making of such additions, alterations or changes has been commenced within sixty (60) days of application, such approval will be deemed to have been given. If no application has been made to the Architectural Committee or their representatives, suit to enjoin or remove such additions, alterations or changes may be instituted at any time. Neither the members of the Architectural Committee nor its designated representatives shall be entitled to compensation to themselves for services performed pursuant to this paragraph, but compensation may be allowed to independent professional advisors retained by the Architectural Committee. Exterior antennae shall not be placed on any building without the approval of the Architectural Committee or its representatives. During the time which the Association has Class B members, the Architectural Committee must have written approval of the Developer. A meeting may be called for this purpose or the members may give written approval when practical. Fireplaces are specifically allowed as an exception provided they contain a metal firebox, do not use real stone, and the chimneys do not intrude upon neighboring, or adjoining units, limited common areas and the stacks shall be sufficiently vented as to not release smoke and ash into neighboring or adjoining units, limited common areas or common areas. All fireplace construction must comply with City and State codes, and be approved in writing by the Developer before construction. It is further declared by the Developer that any such exterior additions or alterations, etc., as provided hereinabove, shall comply in all respects to municipal zoning ordinances and approval obtained of all administrative agencies of the City of Franklin.

ARTICLE VIII

PARTY WALLS

- Section 1. GENERAL RULES OF LAW TO APPLY. Each wall which is built as a part of the original construction of the buildings upon the Properties and placed on the dividing line between the Units shall constitute a party wall, and, to the extent not inconsistent with the provisions of this Article, the general rules of law regarding party walls and liability for property damage due to negligent or willful acts or omissions shall apply thereto.
- Section 2. SHARING OF REPAIR AND MAINTENANCE. The cost of reasonable repair and maintenance of a party wall shall be shared by the Owners who make use of the wall in proportion to such use.
- Section 3. DESTRUCTION BY FIRE OR OTHER CASUALTY. If a party wall is destroyed or damaged by fire or other casualty and it is not covered by insurance, any Owner who has used the wall may restore it, and shall contribute to the cost of restoration thereof in proportion to their use without prejudice, however, to the right of any such Owners to call for a larger contribution from the others under any rule or law regarding liability for negligent or willful acts or emissions.
- Section 4. RIGHT TO CONTRIBUTION RUNS WITH LAND. The right of any Owner to contribution from any other Owner under this Article shall be appurtenant to the land and shall pass to such Owner's successors in title.
- Section 5. ENCROACHMENTS. Some of the Units in each building may be aesthetically and functionally designed with drains, air conditioning equipment and other structures that encroach or overhang adjoining Units. The Owner of each Unit hereby takes title subject to a perpetual easement for any such overhang or encroachment and each encroaching or overhanging Unit or other structure, drain, or air conditioning equipment may be repaired, rebuilt or replaced in such a fashion as to permit these overhangs and encroachments to be reestablished but not enlarged without consent of the servient Owner and the Association. Such easements as provided herein shall be limited to improvements as originally constructed.

ARTICLE IX

INSURANCE

- Section 1. OBLIGATION OF OWNERS. It shall be the obligation of each Owner to keep the premises insured against loss by fire and extended coverage by means of a fire and extended coverage insurance policy in the amount of the full insurance value of said Unit, which is the replacement value thereof. By reason of the fact that the lowest premium rates that can be obtained for fire and extended coverage insurance upon the individual Units, and Buildings in which the same are situated, can only be accomplished by means of the placement of all insurance coverage for fire and extended coverage on the Units and Buildings, exclusive of the contents thereof, with one company, which company shall issue a master policy for the entire project, and individual policies of insurance as described through such company that shall be issuing the master policy of insurance and such certificates. The Association shall obtain and purchase the insurance coverage referred to above, and shall bill the Unit Owner on an annual basis, in advance each year, for the prorata share of the premium cost thereof, and the cost of such insurance shall be paid in this manner and shall not be included in the budget to be established annually by the Association and shall not be part of the annual assessments.
- Section 2. PARTIAL OR TOTAL DESTRUCTION. In the event of partial or total destruction of any Unit by fire, casualty or otherwise, the Association shall utilize the proceeds to be paid as a result of the existence of the as described master policy of insurance, and shall expeditiously and as rapidly as possible proceed to undertake such repair or reconstruction. In the event the cost of such repair or reconstruction shall exceed the sum of money available as a result of such insurance coverage, the deficit shall be imposed as an assessment against the Unit or Units affected by such fire, casualty or other type of loss.
- Section 3. ADDITIONAL INSURANCE PROVISIONS. The Board of Directors shall provide public liability insurance covering the Common Area and facilities in such amounts as may be determined at the discretion of the Board of Directors from time to time. The Board of Directors may also provide workmen's compensation insurance and fidelity bonds on such officers and employees and in such amounts as is determined by the Board of Directors to

be necessary from time to time. Unit Owners may, at their option, proceed to obtain individual insurance policies providing coverage to them upon their individual contents, as well as improvements rendered within their individual Units, and the cost thereof shall be paid for by the individual Unit Owner.

Section 4. DESTRUCTION AND RECONSTRUCTION. In the event of a partial or total destruction of a building or buildings, they shall be rebuilt and repaired as soon as practicable, and substantially to the same design, plan and specifications as originally built, unless within thirty (30) days of the date of the damage or destruction all Owners agree not to rebuild or repair. On reconstruction, the design, plan and specifications of any building or Unit may vary from that of the original upon approval of the Association, provided, however, that the number of square feet of any Unit may not vary by more than 5% from the number of square feet for such Unit as originally constructed, and the locations of the buildings shall be substantially the same as prior to the damage or destruction. Any such reconstruction, repair or rebuilding as specified herein shall further be subject to the issuance of approval thereof by the City of Franklin Planning Commission and any other municipal agencies having jurisdiction thereover.

In the event a decision shall be made by the Unit Owners not to reconstruct or rebuild as provided for hereinabove, and the building or buildings involved shall be razed, Unit Owners shall be required to raze said building or buildings, leveling them to the ground and shall be required to restore the premises to their original grade, disconnect and remove all utility connections to said building or buildings, and landscape and seed the area involved.

ARTICLE X

Section 1A. PLAN OF DEVELOPMENT. As shown on Exhibit A attached, WHITNALL EDGE CONDOMINIUMS shall consist of a total of Twenty-Nine (29) buildings containing Units as well as outside parking facilities as described hereinafter:

<u>Building No.</u>	<u>Number of Units</u>	<u>Garage Parking</u>
29	232	Two/Unit Total - 1/Unit Garage - 1/Unit Parking Lot

1B. Declarant herein reserves the right to expand WHITNALL EDGE CONDOMINIUMS according to the following plan of development, to-wit:

1. Phase I - 13 Buildings containing 104 Units (Exhibits A1 and A2)
2. Phase II - 16 Buildings containing 128 Units (Exhibits A3 and A4)

Under the following terms and conditions, to-wit:

1. Each Unit Owner in Phase I and II is entitled to one vote as per Section 2 of Article IV upon purchase of the individual Unit.
2. Each Unit Owner shall share a 1/232 interest in the common elements and common expenses and common surpluses.
3. This expansion, designated as Phase II, shall be completed seven (7) years from this date or terminate entirely.

Section 2. PARKING FACILITIES. With respect to WHITNALL EDGE CONDOMINIUMS, there shall be surface parking stalls which will be provided for the purposes of visitors and residents of WHITNALL EDGE CONDOMINIUMS, and the maintenance thereof shall be the responsibility of the Association. The said surface parking areas shall be deemed part of the Common Areas of WHITNALL EDGE CONDOMINIUMS.

Section 3. RENTAL CONTINGENCY. Developer shall be entitled to rent vacant Units until such time as a sale is consummated. Purchasers of individual Units shall be entitled to rent their Units.

ARTICLE XI

GENERAL PROVISIONS

- Section 1. ENFORCEMENT. The Association, or any Owner, shall have the right to enforce, by any proceedings at law or in equity, all restrictions, conditions, covenants, reservations, liens and charges now or hereafter imposed by the provisions of this Declaration. Failure by the Association or by any Owner to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter. If these restrictions are enforced by appropriate proceedings by any such Owner or Owners, such Owner or Owners may be reimbursed by the Association for all or part of the cost incurred in the discretion of the Board of Directors of the Association.
- Section 2. SEVERABILITY. Invalidation of any one of these covenants or restrictions by judgment or court order shall remain in full force and effect.
- Section 3. AMENDMENT. The covenants and restrictions of this Declaration shall run with the land, and shall inure to the benefit of and be enforceable by the Association, or the Owner of any Unit subject to this Declaration, their respective legal representatives, heirs, successors and assigns, for a term of thirty (30) years from the date this Declaration is recorded, after which time said covenants shall be automatically extended for successive periods of ten (10) years. The covenants and restrictions of the Declaration may be amended during the first five (5) year period after original recording hereof by an instrument of amendment signed solely by the Developer. Said amendment to the Declaration shall be recorded in the office of the Clerk of Courts of Milwaukee County, Wisconsin. Therefore, for the remaining twenty-five (25) year period, the same may be amended by an instrument signed by not less than seventy-five (75%) percent of the Unit Owners except as provided in Article X, Section 2. Any amendment altering such percentage formula must have the consent of all Owners expressed in an amended Declaration duly recorded. All Unit Owners, by the acceptance of a deed of conveyance from the Developer, do agree thereby that the Developer has been granted by these Declarations, a power of attorney, binding themselves, their heirs and assigns, to execute any and all documents required to effectuate such amendments as necessary.

- Section 4. REGISTERED AGENT FOR SERVICE OF PROCESS. The initial registered agent for services of process shall be ROBERT YUNKER, 6900 West Lincoln Avenue, West Allis, Wisconsin. Change of agent for service of process may be accomplished by resolution of the Board of Directors of the Association and upon proper filing of said name with the Clerk of Courts of Milwaukee County, Wisconsin.
- Section 5. PUBLIC UTILITY EASEMENTS. The Developer does herewith place on record this section of the Declarations, for the purpose of reserving to itself the right to execute and deliver easements for public utility purposes, if necessary, from time to time, for such items as electricity, telephone, gas, water, sewer and any other public utility, which easements may, by necessity, traverse along, across, under or through any portion of the Common Areas, involved herein, and does declare that the Developer, ROBERT YUNKER and ROBERT H. KREUTER, is duly authorized and permitted to execute any and all easements for public utility purposes, including, but not exclusively limited thereto, such items as electricity, telephone, gas, water and sewer for use in the subject premises, which traverse across, over, under or through all or any portion of the Common Areas described herein, and as may be added hereto by annexation pursuant to the provisions hereof. Developer has specifically entered into an agreement to provide water service wherein the Developer is to be compensated for said investment in the water system pursuant to Exhibit D.
- Section 6. RECIPROCAL EASEMENTS. Developer reserves for himself, his heirs, assigns, successors and representatives that may be subject to the Unit Ownership Act of Wisconsin (Chapter 703, Wis. Stats.), the right of ingress and egress in, to, upon, and through and over Common Areas contained in WHITNALL EDGE CONDOMINIUMS, and each of the Unit Owners of WHITNALL EDGE CONDOMINIUMS, shall have a reciprocal easement for ingress and egress in, over, upon and through all additional lands to be designated as Common Areas, particularly all private roads as may be laid out and constructed through the entire parcel of property described in Exhibit A.
- Section 7. NON-HOMESTEAD OF DEVELOPER. None of the lands described in Exhibit A and B attached hereto constitute the homestead of the Developer. However, Developer shall be individual Owners with accompanying rights, privileges and responsibilities of Units in WHITNALL EDGE CONDOMINIUMS.

REEL 1280 1636

IN WITNESS WHEREOF, the said ROBERT YUNKER and ROBERT
H. KREUTER have caused this document to be signed this 14th day
of February, 1980.

Robert Yunker
ROBERT YUNKER

Robert H. Kreuter
ROBERT H. KREUTER

Executed in the Presence of:

STATE OF WISCONSIN)
(SS.
MILWAUKEE COUNTY)

Personally came before me this 14th day of February,
1980, the above named ROBERT YUNKER and ROBERT H. KREUTER, to me
known to be the persons who executed the foregoing instrument and
acknowledged the same.

James F. Blask
JAMES F. BLASK
Notary Public, Milwaukee County
My commission is permanent.

This Instrument Was Drafted By:

JAMES F. BLASK
ATTORNEY AT LAW
2045 SO. 104th ST.
WEST ALLIS, WI 53227
PHONE 414-327-0810

AMENDMENT TO DECLARATION
Recorded February 29, 1980,
as Reel 1280, Image 1607 to
1673 included, in the Office
of the Register Of Deeds for
Milwaukee County, Wisconsin.

A M E N D M E N T

BE IT RESOLVED, that the Declarant herein, of WHITNALL
EDGE CONDOMINIUMS, hereby amends and corrects said Declaration as
follows, to-wit:

Article X - Shall be deleted and shall be amended to
read as follows:

Section 1. PLAN OF DEVELOPMENT. It is the intent of Declarant to
expand WHITNALL EDGE CONDOMINIUMS within the next
seven (7) years. As shown on Exhibits A1 through A4,
attached, WHITNALL EDGE CONDOMINIUMS and the plan shall
consist of a Phase I and a Phase II comprising the
Declarant's Plan of Development under the right to
expand WHITNALL EDGE CONDOMINIUMS which Declarant
expressly reserves herein, to-wit:

- A. Phase I - 13 Buildings containing 104 Units (Ex-
hibits A1 and A2).
- B. Phase II - 16 Buildings containing 128 Units (Ex-
hibits A3 and A4).

It is intended to expand the land as described in
Exhibit A1 through A4, thereby expanding common area
ownership and diminishing individual unit ownership
to not less than 1/232nd. The terms and conditions
and percentage ownerships are the following, to-wit:

- A. Phase I - There shall be a 1/104th interest in
the common areas, common elements, common expenses
and common surpluses by each purchaser of a unit in
Phase I comprising the 13 Buildings in Exhibit A1
and A2.
- B. Phase II - Upon the recording, with the Register
Of Deeds, of the Phase II Condominium Plat of the
128 Units in Phase II comprising the 16 Buildings
in Exhibit A3 and A4 the interest of each unit
owner in Phase I shall convert to a 1/232 interest

in the common areas, common elements, common expenses and common surpluses.

C. The voting rights of all Unit Owners are as follows, to-wit:

- 1) Each Phase I Unit Owner is entitled to one vote per section 2 of Article IV upon purchase of the individual unit. It shall be a 1/104th percentage vote until the recording with the Register Of Deeds of the Phase II Condominium Plat for WHITNALL EDGE CONDOMINIUMS, at which time all Phase I interests shall convert to a 1/232 percentage.
- 2) Each Phase II Unit Owner is entitled to one vote per section 2 of Article IV upon purchase of the individual unit. It shall be a 1/232 percentage interest.

Section 2. PARKING FACILITIES. With respect to WHITNALL EDGE CONDOMINIUMS, there shall be surface parking stalls which will be provided for the purposes of visitors and residents of WHITNALL EDGE CONDOMINIUMS, and the maintenance thereof shall be the responsibility of the Association. The said surface parking areas shall be deemed part of the common areas of WHITNALL EDGE CONDOMINIUMS. At the completion of Phase I and Phase II the following facilities shall be contained in the percentage owner of

	<u>Building No.</u>	<u>Number of Units</u>	<u>Gargae Parking</u>
Phase I	13	104	Two/Unit Total - 1/Unit Garage - 1/Unit Parking Lot
Phase II	16	128	Two/Unit Total - 1/Unit Garage - 1/Unit Parking Lot

Section 3. RENTAL CONTINGENCY. Developer shall be entitled to rent vacant Units until such time as a sale is consumated. Purchasers of individual Units shall be entitled to rent their Units.

Article III - Shall be amended to read as follows:

Section 1. The second sentence shall be deleted and the following submitted:

"The percentage of ownership shall be as outlined and described in Article X and either a 1/104th interest for Phase I purchasers or a 1/232nd interest for Phase II owners and purchasers after the recording of the Phase II Condominium Plat with the Register Of Deeds.

Article IV - Shall be amended to read as follows:

Section 2b. All reference to Exhibit A shall be corrected to read "A1 through A4".

Article XI - Shall be amended to read as follows:

Section 6. All reference to Exhibit A shall be corrected to read "A1 through A4".

Section 7. All reference to Exhibit A shall be corrected to read "A1 through A4".

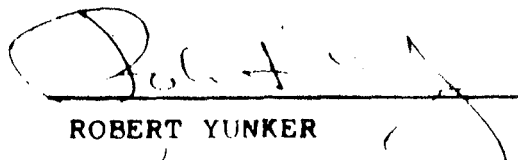
Exhibit A2

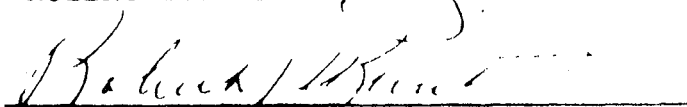
Shall be herewith rerecorded, as attached, to correct an error improperly showing a parkway strip and outlot as common areas.

Correction

All reference to "Developer" shall be amended to read "Declarant".

IN WITNESS WHEREOF, the said ROBERT YUNKER and ROBERT H. KREUTER have caused this document to be signed this 14th day of March, 1980.

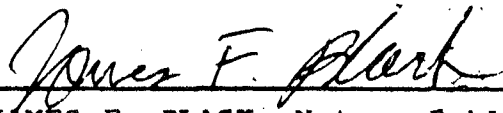


ROBERT YUNKER


ROBERT H. KREUTER

STATE OF WISCONSIN)
 (SS.
MILWAUKEE COUNTY)

Personally came before me this 14th day of March, 1980,
the above named ROBERT YUNKER and ROBERT H. KREUTER, to me known
to be the persons who executed the foregoing instrument and
acknowledged the same.



JAMES F. BLASK, Notary Public
Milwaukee County, Wisconsin
My commission is permanent.

This instrument was drafted by:

JAMES F. BLASK
Attorney at Law
2045 S. 104th St.
West Allis, WI 53227

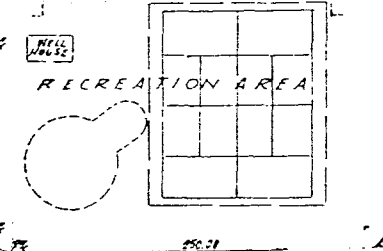
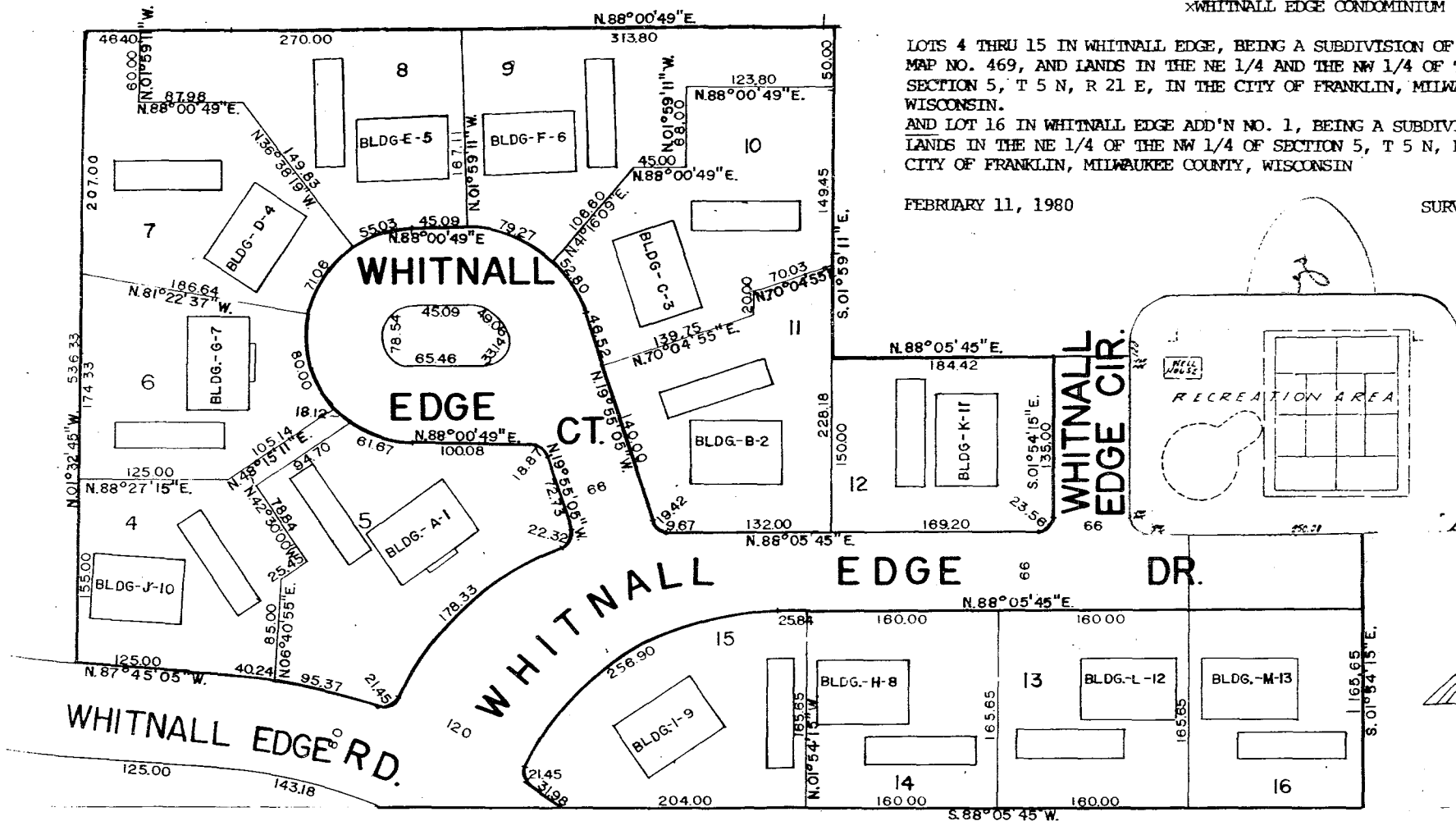
PHONE: 414-327-0810

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

LOTS 4 THRU 15 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY WISCONSIN.
AND LOT 16 IN WHITNALL EDGE ADD'N NO. 1, BEING A SUBDIVISION OF LANDS IN THE NE 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 140159-M



WHITNALL EDGE CONDOMINIUM PHASE I
CONDOMINIUM UNIT "A"

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM, AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT

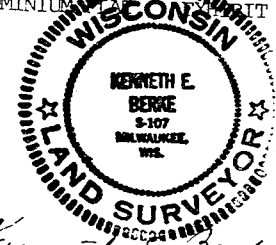


EXHIBIT A

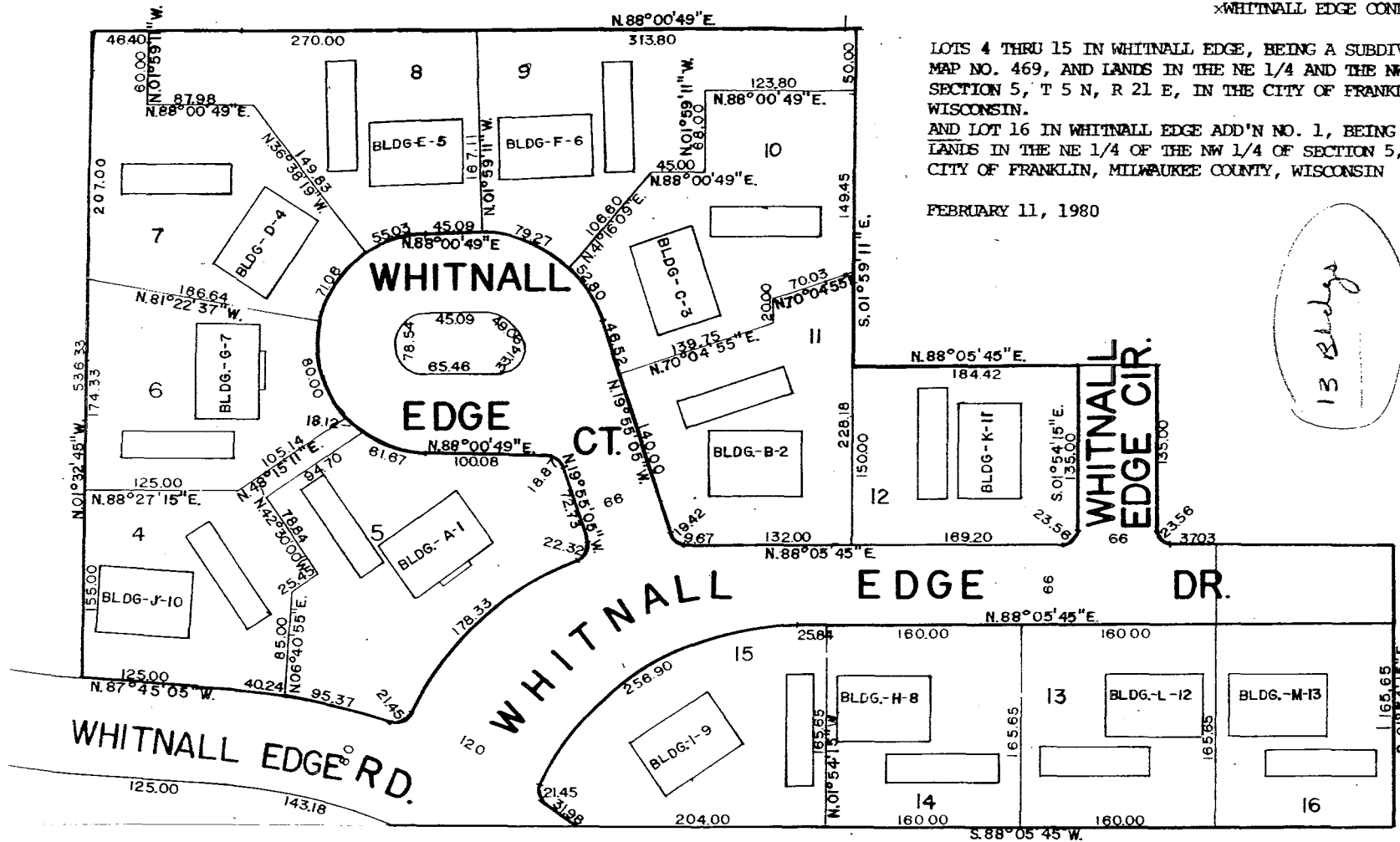
PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

LOTS 4 THRU 15 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY WISCONSIN.

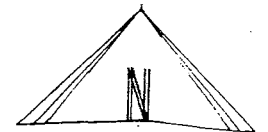
AND LOT 16 IN WHITNALL EDGE ADD'N NO. 1, BEING A SUBDIVISION OF LANDS IN THE NE 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 140159-M



13 Bldgs



WHITNALL EDGE CONDOMINIUM PHASE I
CONDOMINIUM UNIT "A"

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM, AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT



Kenneth E. Berke

EXHIBIT A

[illegible]

WHITMALL EDGE CONDOMINIUMS
PROPOSED PHASE II
EXHIBIT-A

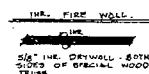
STANDARD NO. 2455-M

THE NEW YORK PUBLIC LIBRARY
ASTOR LENOX TILDEN FOUNDATION
500 5TH AVENUE
NEW YORK 17, N.Y.

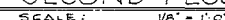
1. STRENGTH OF STATE. IS WEAKENED TRYING TO GET I AM NOT SURE ABOUT IT. CANNOT BE PROVED AND NOT WORTH TRYING TO PROVE.

1

JOE NO.	M-1
DATE	3/17/78
DISCARD BY	02 82

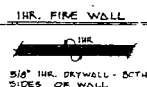


SCALE: $1/8" = 1'-0"$



	2A 94172
FIRST FLOOR	4
SECOND FLOOR	4

NOTE:
ENTIRE BASEMENT AREA,
BUILDING ENTRY'S, STAIRS,
STAIRWAYS, AND CORRIDORS,
TO BE SPRINKLED - SPRINKLER
HEADS @ CORRIDORS AND
STAIRWAYS AND ENTRY'S TO
BE WALL MOUNTED.



SCALE: 1/8" = 1'-0"



BUILDING

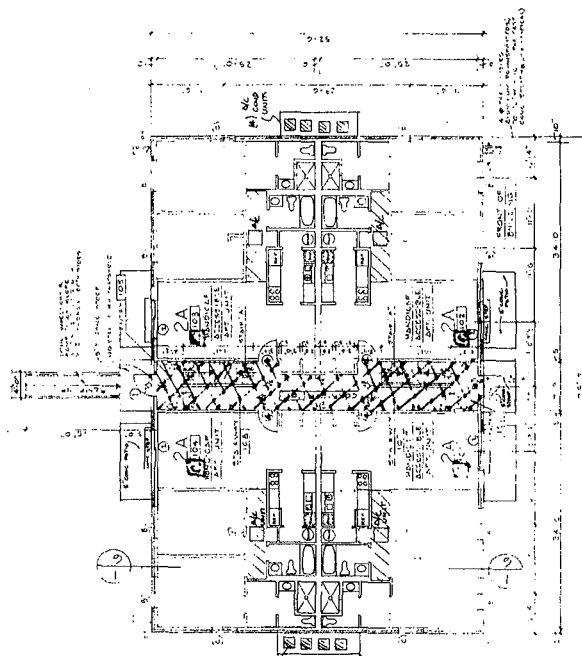
ELLEN H. SCHOLZ architect, inc. AIA
100 NORTH FIRST AUBURN PARK • MILWAUKEE, WISC. • 414-224-4111

EXHIBIT C
BUILDING

Hand-drawn floor plan of a building, likely a school or office building, showing multiple rooms, corridors, and a central staircase. The plan includes dimensions, room numbers (e.g., 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I, 2J, 2K, 2L, 2M, 2N, 2O, 2P, 2Q, 2R, 2S, 2T, 2U, 2V, 2W, 2X, 2Y, 2Z), and various annotations. A note on the left side reads: "All rooms are to be used as offices. No other use is permitted. All rooms are to be used as offices. No other use is permitted." The plan also shows a central staircase and several rooms with desks and chairs.

COMMON AREA

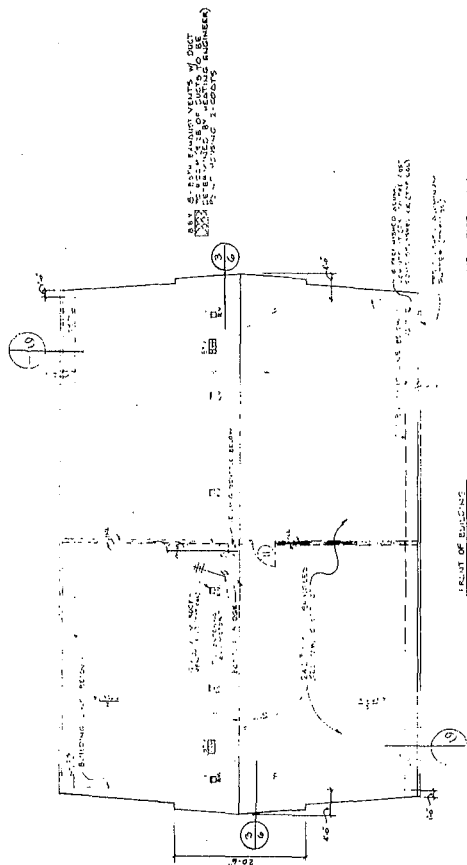
SECOND FLOOR PLAN
1/8" = 1'-0"



PLANNING

EXHIBIT C
BUILDING

SCALE: 1/8" = 1'-0"

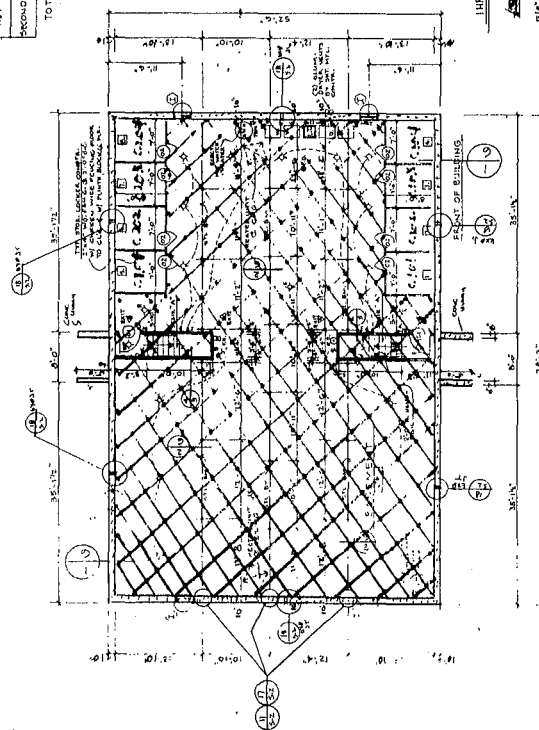


UNIT COUNT SCHEDULE

2A units	4	4
FIRST FLOOR		
SECOND FLOOR		

Two Bud Rams

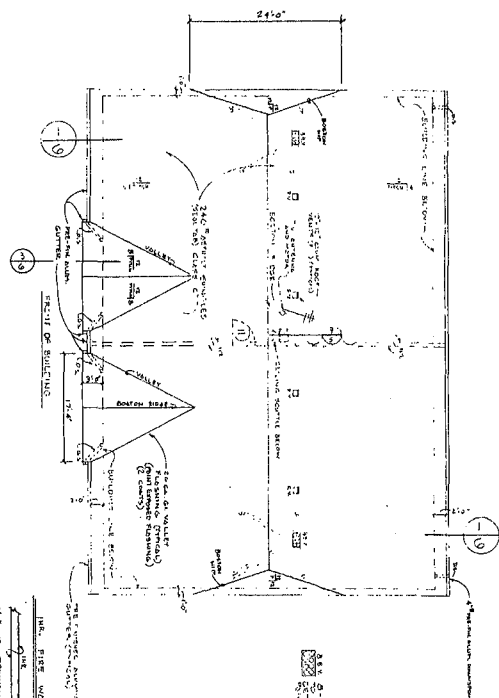
NOTE:
ENTIRE BASEMENT AREA;
BUILDING ENTRY, STAIRS,
STAIRWAYS AND CORRIDORS
TO BE SPRINKLED. EXPOSED
HEADS & CORR LOCS AND
STAIRWAYS AND ENTRY TO
BE WALL MOUNTED.



BASMENT FLOOR PLAN

1HR. FIRE WALL

BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

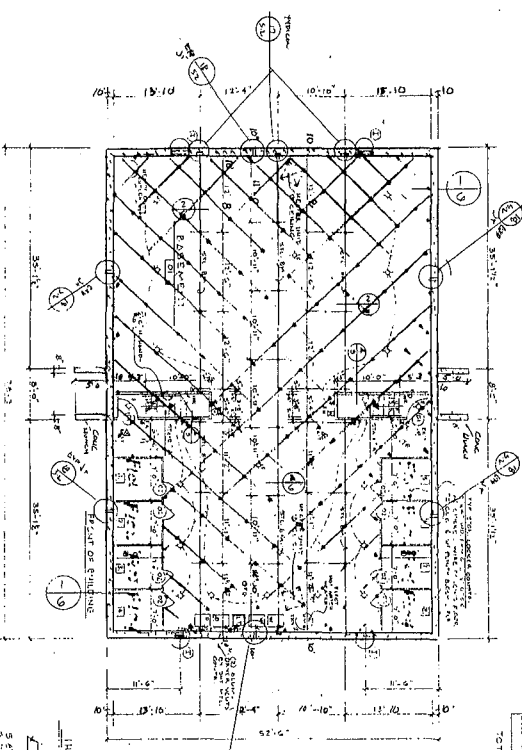


ROOF PLAN
SCALE: 1/8" = 1'-0"

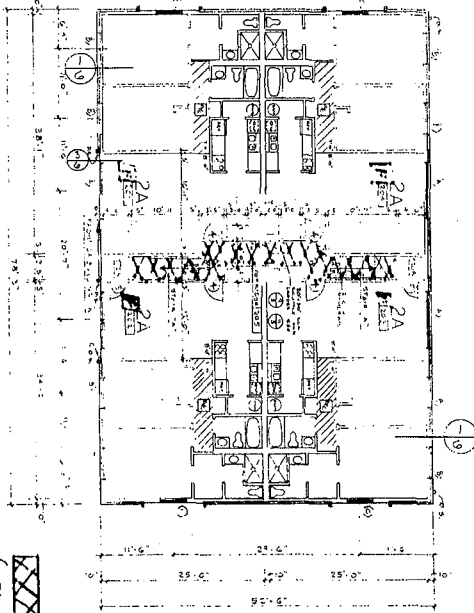
UNIT COUNT SCHEDULE

UNIT TYPE	2A
GROUND FLOOR	1
TOTAL	1

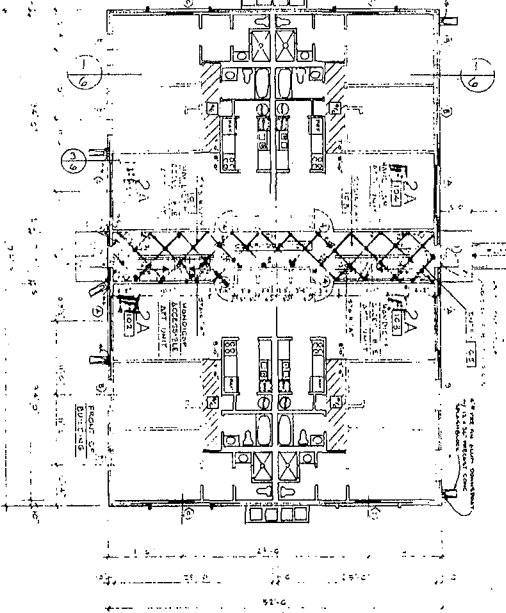
NOTE:
SEE BASIN
FOR DETAILS
OF ROOFING
AND DRAINAGE
SYSTEMS TO
BE WITH MOUNTED.



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

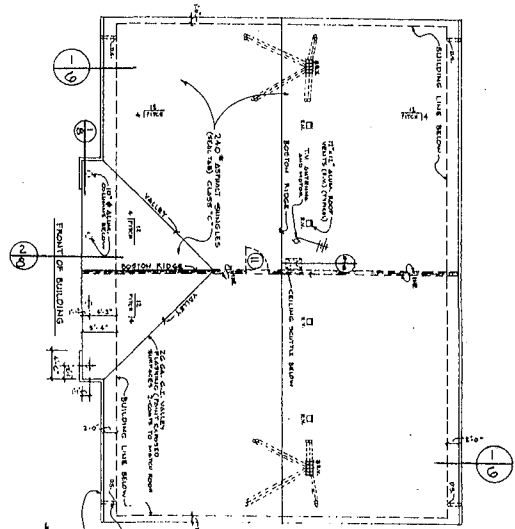


FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS
DATE
BY
REVISIONS
DATE
BY

PROJECT: CONDO COMPLEX
ARCHITECT: SCHOLZ ARCHITECT, INC.
MILWAUKEE, WISCONSIN

OWNER: [Name]
ADDRESS: [Address]
CITY: [City], STATE: [State]

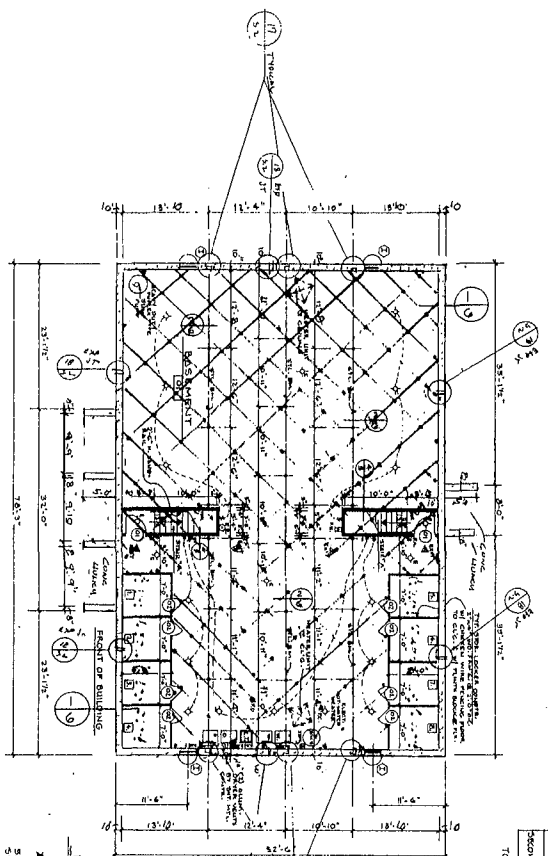


ROOF PLAN
SCALE: 1/8" = 1'-0"

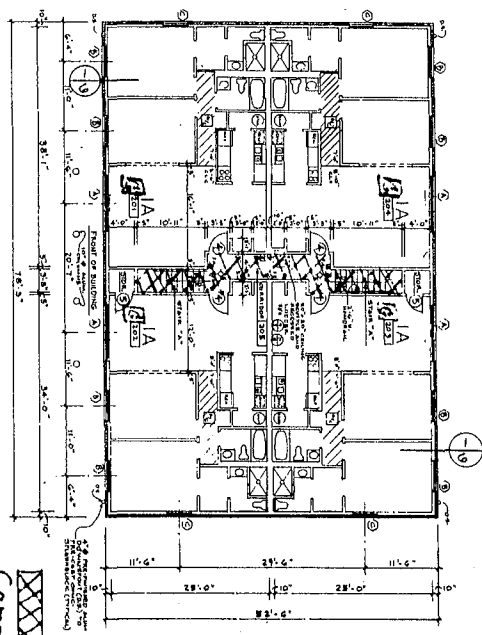
UNIT COUNT SCHEDULE

UNIT	FIRST FLOOR	SECOND FLOOR	TOTAL
1A	4	4	8

NOTE:
ENTIRE BASEMENT AREA,
BUILDING EXITS AND STAIRWAYS
TO BE OF LINKED-SPRINKLER
SYSTEMS AND ENTRIES TO
BE WALL MOUNTED.

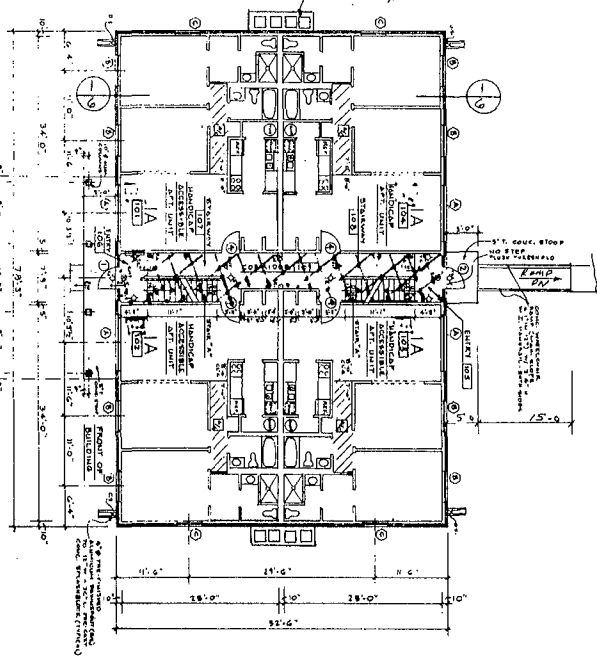


BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

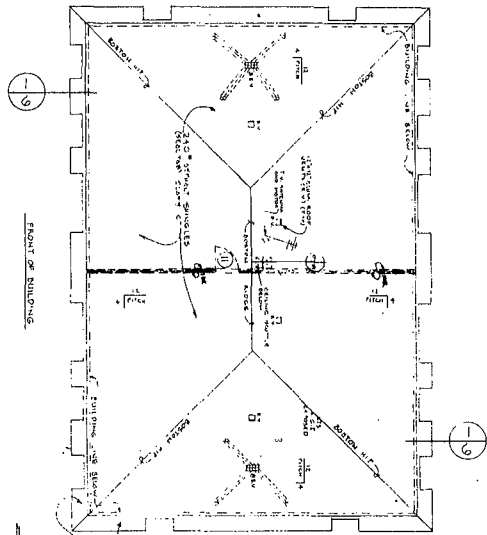
Common
Area



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXHIBIT C (7) #7

NOTES:
- VISITOR AND STAFF ROOM AVAILABLE
- CHANGING ROOMS
- BUILDING SHALL BE MAINTAINED AS A SINGLE UNIT
- NO PART OF THE BUILDING SHALL BE USED FOR ANY OTHER PURPOSE
- NO PART OF THE BUILDING SHALL BE USED FOR ANY OTHER PURPOSE
- NO PART OF THE BUILDING SHALL BE USED FOR ANY OTHER PURPOSE



ROOF PLAN

SCALE: 1/8" = 1'-0"

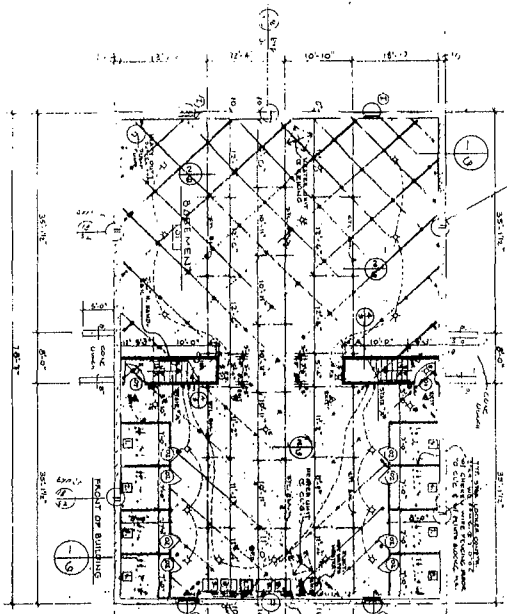
1/8" FIRE WALL
3/4" 1st. GENERAL, 80%
3/4" 2nd. GENERAL, 80%
3/4" 3rd. GENERAL, 80%
3/4" 4th. GENERAL, 80%

UNIT COUNT SCHEDULE

UNIT	FLOOR	AREA
1A	FIRST FLOOR	4
1B	SECOND FLOOR	4

NOTE:

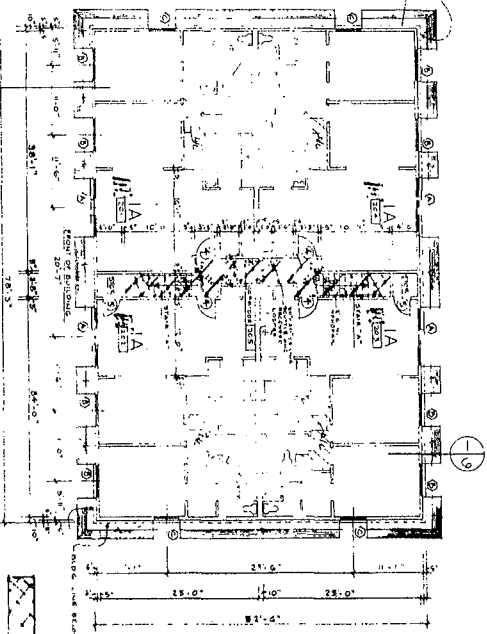
ENTIRE BASEMENT AREA,
BUILDING ELEVATOR, STAIRS,
STORAGE, AND CORRIDORS
HEADS OF CORRIDORS AND
STAIRWAYS AND ELEVATOR
TO BE WALL MOUNTED.



BASEMENT FLOOR PLAN

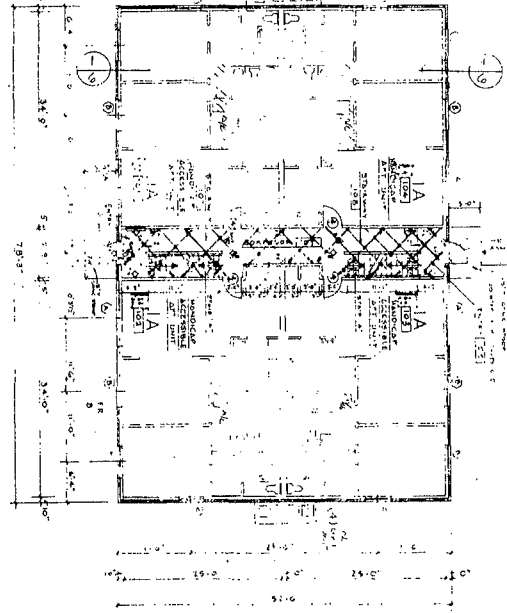
SCALE: 1/8" = 1'-0"

1/8" FIRE WALL
3/4" 1st. GENERAL, 80%
3/4" 2nd. GENERAL, 80%
3/4" 3rd. GENERAL, 80%
3/4" 4th. GENERAL, 80%



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

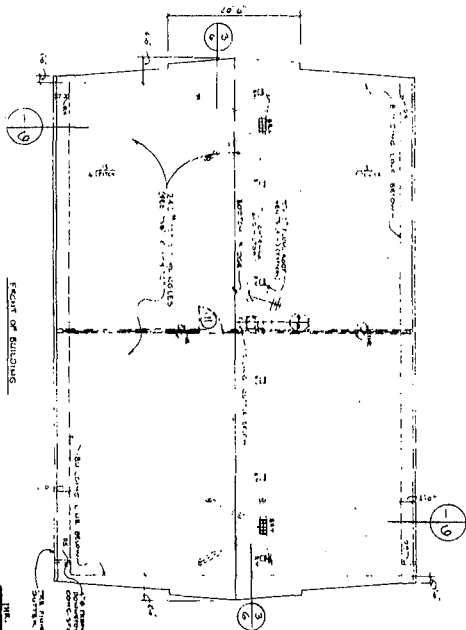


FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

EXHIBIT C
BUILDING

NOTES:
1. SEE ARCHITECT'S SPECIFICATIONS FOR MATERIALS AND FINISHES.
2. SEE ARCHITECT'S SPECIFICATIONS FOR MECHANICAL AND ELECTRICAL SYSTEMS.
3. SEE ARCHITECT'S SPECIFICATIONS FOR STRUCTURAL SYSTEMS.
4. SEE ARCHITECT'S SPECIFICATIONS FOR INTERIORS.
5. SEE ARCHITECT'S SPECIFICATIONS FOR EXTERIORS.
6. SEE ARCHITECT'S SPECIFICATIONS FOR SPECIALTIES.
7. SEE ARCHITECT'S SPECIFICATIONS FOR EQUIPMENT.
8. SEE ARCHITECT'S SPECIFICATIONS FOR FURNITURE.
9. SEE ARCHITECT'S SPECIFICATIONS FOR FIXTURES.
10. SEE ARCHITECT'S SPECIFICATIONS FOR ACCESSORIES.



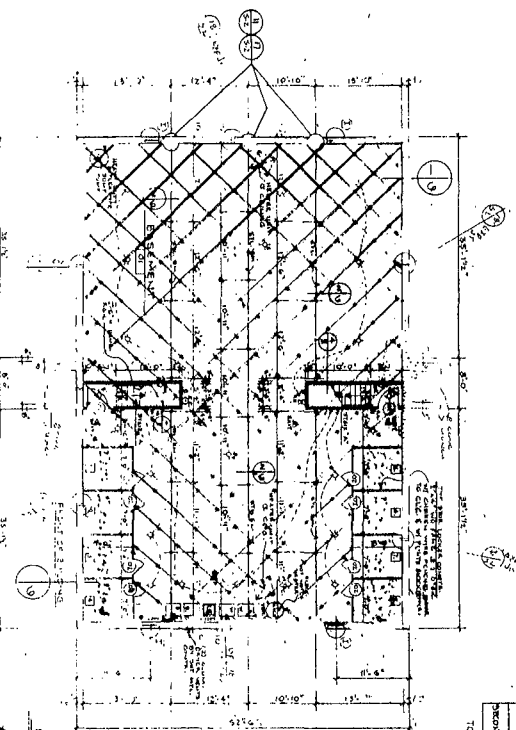
ROOF PLAN

SCALE: 1/8" = 1'-0"

UNIT COUNT SCHEDULE

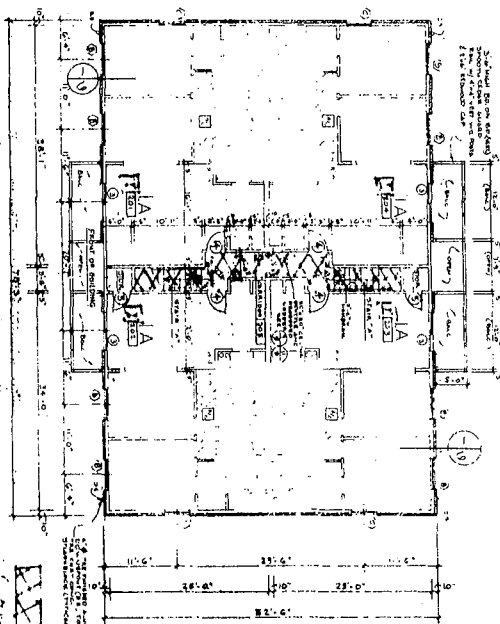
UNIT	QUANTITY	UNIT	QUANTITY
1ST FLOOR	4	2ND FLOOR	4
TOTAL	8		

NOTE:
ENTER BASEMENT AREA,
BUILDING ENTRY, STAIRS,
STAIRWAYS AND CORRIDORS,
HEADS OF CORRIDORS AND
STAIRWAYS AND ENTRIES TO
BE WALL MOUNTED.



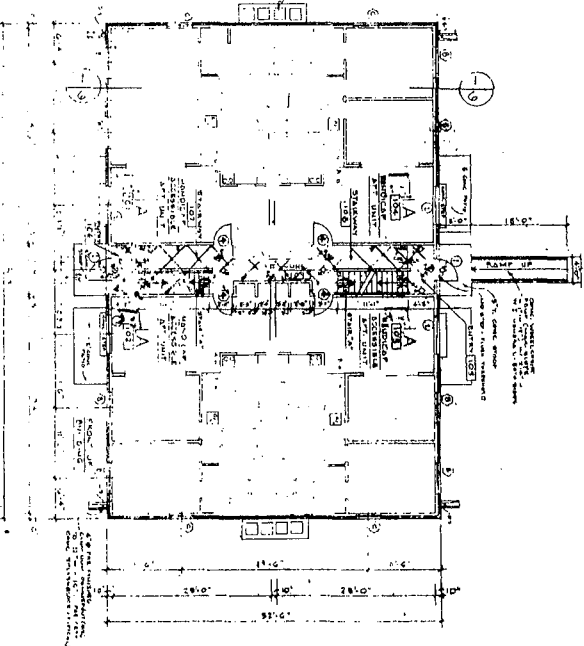
BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

EXHIBIT C
BUILDING

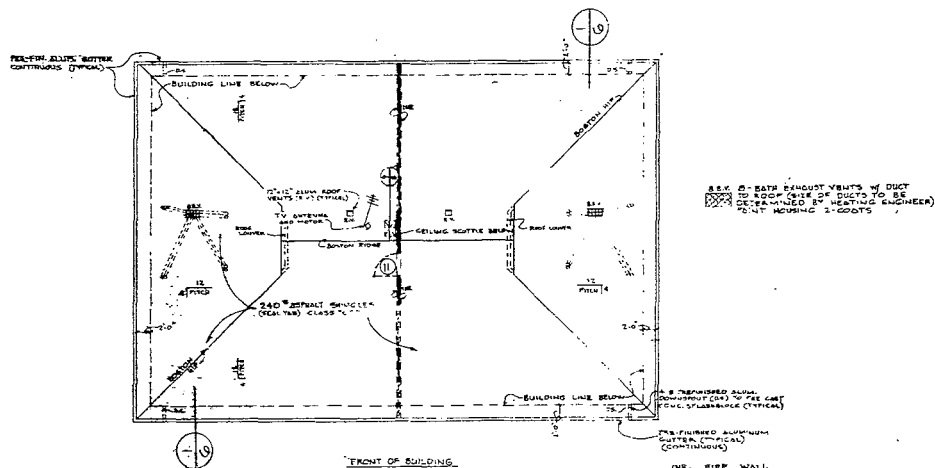
9

REVISIONS
DATE 11/16/70
BY M.H. 42

Alan H. Scholz architect, INC. AIA
GENERAL CONTRACTOR
1000 WEST LINCOLN AVENUE
MILWAUKEE, WISCONSIN 53233

PROJECT
WHITNALL EDDY
FRANKLIN WISCONSIN

SPONSOR
KREUTER-YUNKER
6900 WEST LINCOLN AVENUE
MILWAUKEE, WISCONSIN



ROOF PLAN

SCALE: 1/8" = 1'-0"

SEE B-BATH EXHAUST VENTS W/ DUCT TO ROOF (SIZE OF DUCTS TO BE DETERMINED BY HEATING ENGINEER) 2" MIN. INSUL. 2'-0" DIA.

1/2" DIA. OPTIMALL - BOTH SIDES OF DOUBLE WOOD TRUSSES.

1/2" DIA. OPTIMALL - BOTH SIDES OF DOUBLE WOOD TRUSSES.

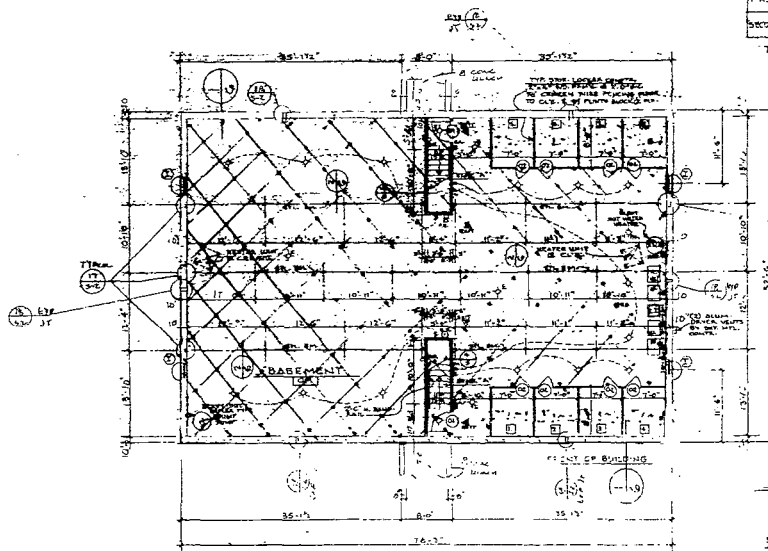
UNIT COUNT SCHEDULE

FIRST FLOOR	4
SECOND FLOOR	4
TOTAL	8

NOTE:
ENTIRE BASEMENT AREA, BUILDING ENTRIES, STAIRS, STAIRWAYS, AND CORRIDORS TO BE SPRINKLED - SPRINKLER HEADS & CORRIDORS AND STAIRWAYS AND ENTRIES TO BE WALL MOUNTED.

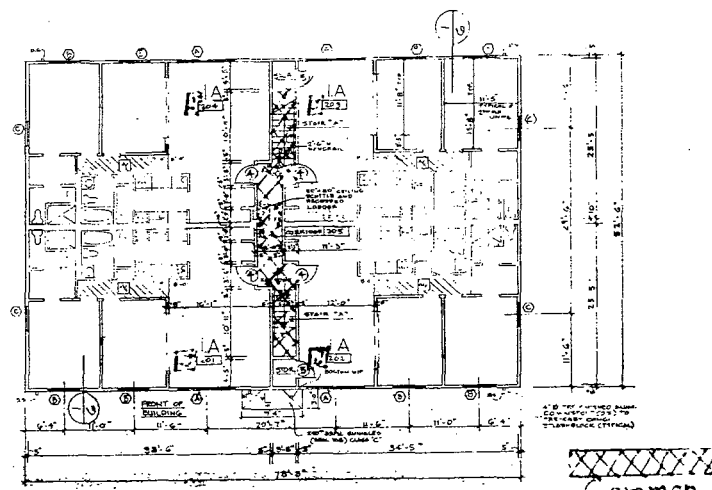
1/2" DIA. OPTIMALL - BOTH SIDES OF DOUBLE WOOD TRUSSES.

1/2" DIA. OPTIMALL - BOTH SIDES OF DOUBLE WOOD TRUSSES.



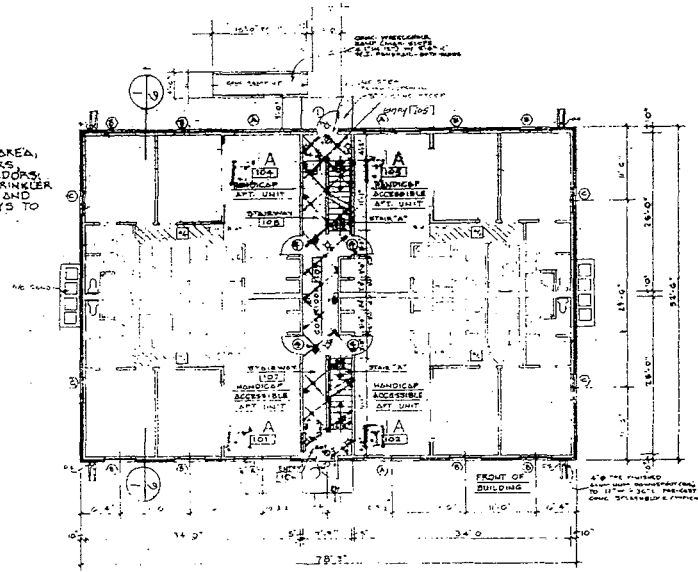
BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

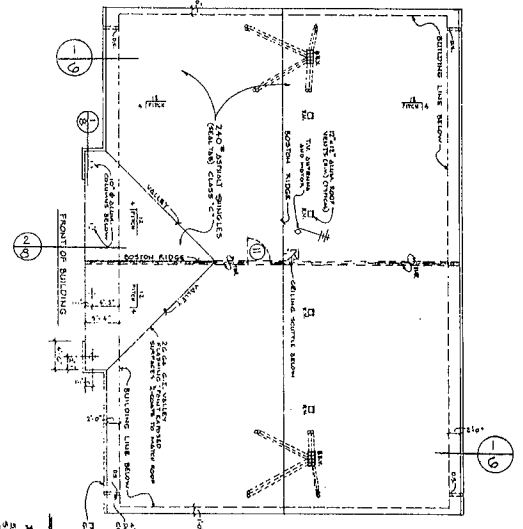
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

EXHIBIT C
BUILDING



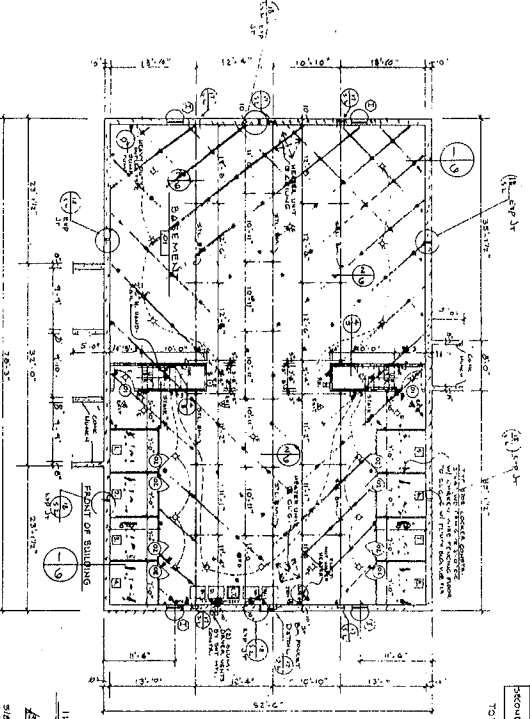
ROOF PLAN
SCALE: 1/8" = 1'-0"

UNIT COUNT SCHEDULE

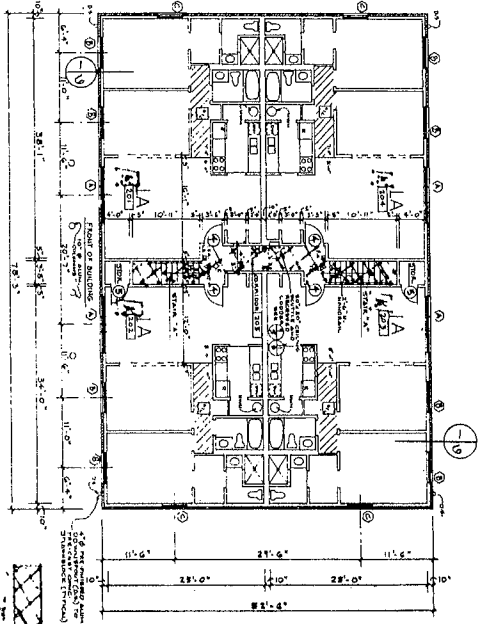
UNIT	QUANTITY
1A	4
2A	4
TOTAL	8

ONE B.S.N.
W. DEN

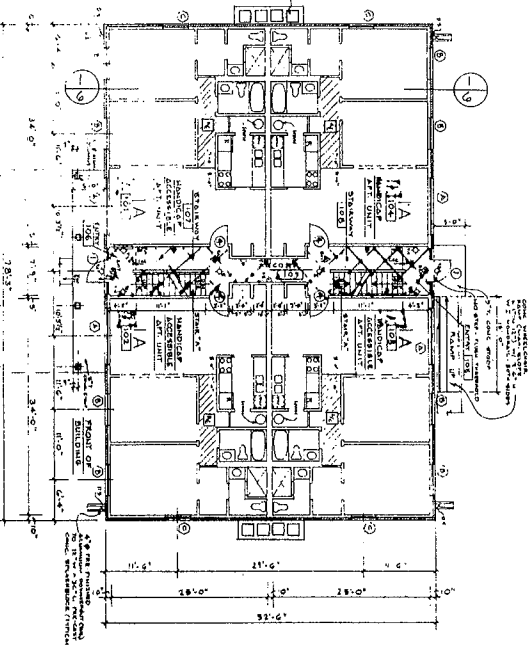
NOTE:
ENTIRE BASEMENT AREA,
BUILDING EXTERIOR, ROOFS
TO BE SPRINKLED. SPRINKLER
HEADS & CONDUITS AND
TO BE WALL MOUNTED.



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES:
- REVISIONS AND FIELD NOTES AVAILABLE
- CLARIFICATIONS
- REVISIONS TO BE MADE BY ARCHITECT
- REVISIONS TO BE MADE BY ARCHITECT
- REVISIONS TO BE MADE BY ARCHITECT
- REVISIONS TO BE MADE BY ARCHITECT

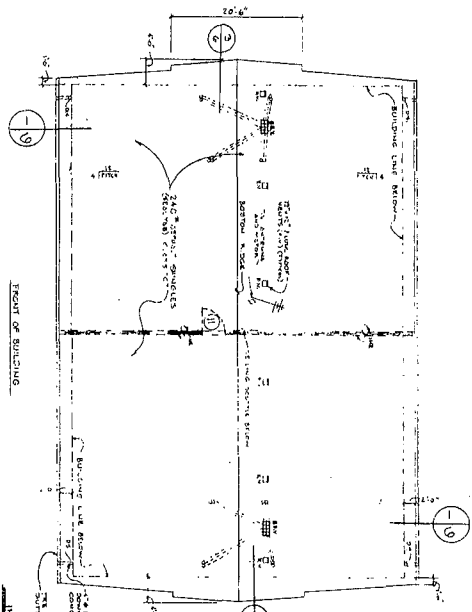
EXHIBIT 8
BUILDING 11

LEN H. SCHOLZ ARCHITECT, INC. AIA
6410 NORTH MAY WASHINGTON ROAD • MILWAUKEE, WIS. • AREA CODE 414
270 CORP. BLDG. PHONE 331-1500

PROJECT
CONDO COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR
KREUTER - YUNKER
6900 WEST LINCOLN AVENUE
MILWAUKEE, WISCONSIN

REVISIONS
7-6-79
JOB NO. M-1
DATE 6/18/79
DRAWN BY DV
BY

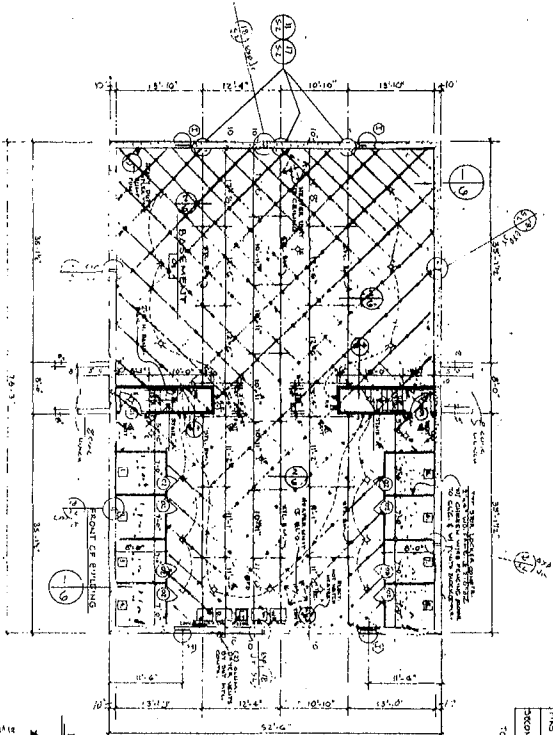


ROOF PLAN
SCALE: 1/8" = 1'-0"

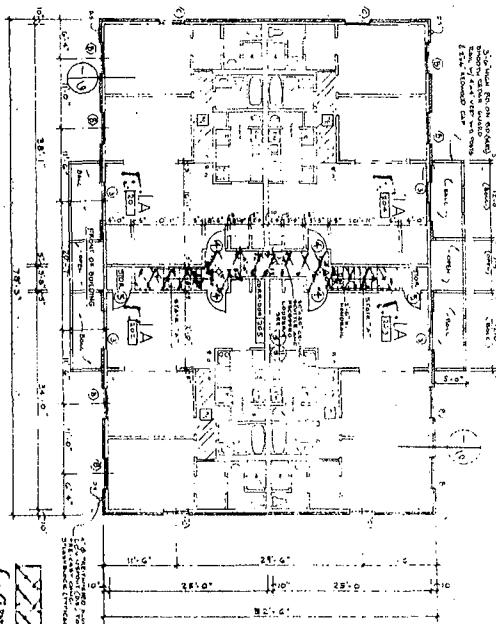
UNIT COUNT SCHEDULE

UNIT	WALLS	FLOOR	ROOF	TOTAL
1ST FLOOR	4	4	4	12
2ND FLOOR	4	4	4	12
TOTAL	8	8	8	24

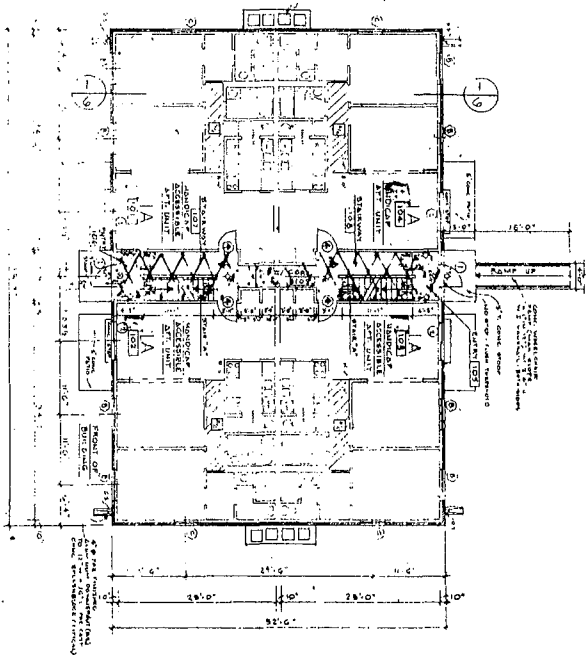
NOTE:
ENTIRE BASEMENT AREA
BUILDING BEING CONSTRUCTED
TO BE SPUNKED-SPUNKER
HEADS OF CONCRETE AND
BE WALL MOUNTED.



BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXHIBIT C
BUILDING L

REVISIONS
DATE
BY

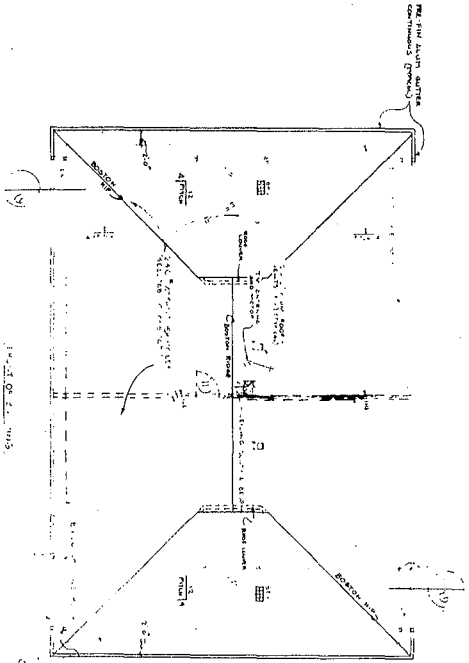
Len H. Scholz architect, INC. AIA
1670 NORTH PLYMOUTH ROAD • MILWAUKEE, WIS. 53217
TELEPHONE 221-1200

PROJECT
CONC'S COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

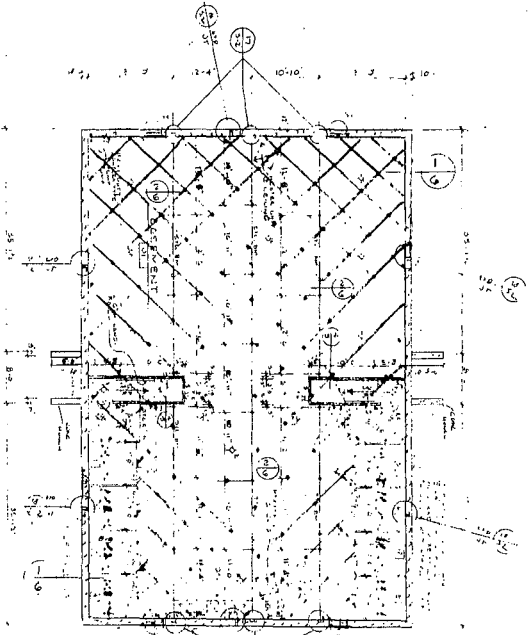
SPONSOR
KREUTER - YUNKER
6900 WEST LINCOLN AVENUE
MILWAUKEE, WISCONSIN

REVISIONS
DATE
BY

- VISION AND PHOTO ROOM APERTURES
 - CARRIER CONNECTIONS
 - VISION APERTURES TO INSURE ADEQUATE VISION SERVICE AND PHOTO
 ROOMS OF CARRIER'S ROOM. CARRIER CONNECTIONS TO
 PHOTO ROOM FOR CARRIER CONNECTION OF ALL VISION AND
 PHOTO ROOMS



ROOF PLAN

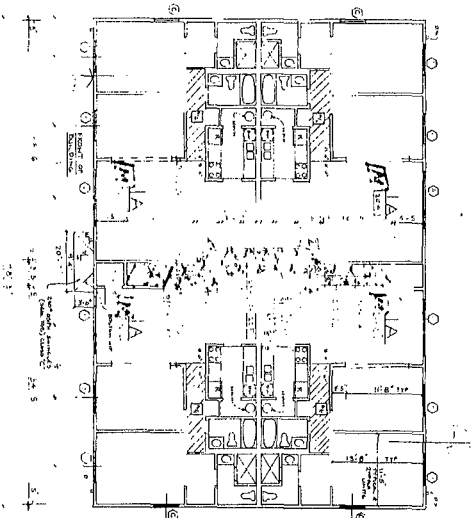


BASMENT FLOOR PLAN

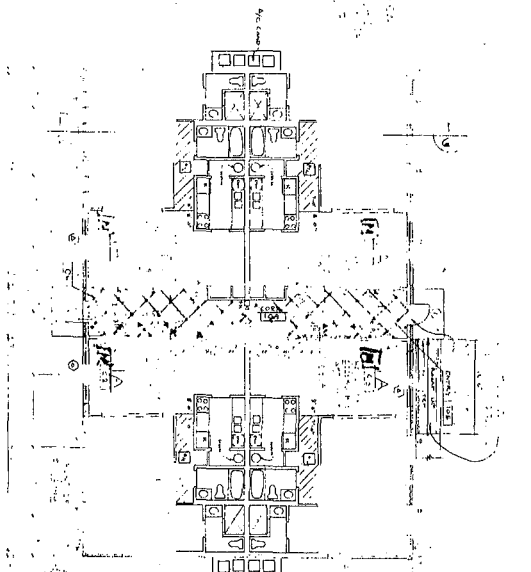
ROOF PLAN

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

Roof Plan



FIRST FLOOR PLAN



SECOND FLOOR PLAN

EXHIBIT C
 BUILDING M-43

The architectural drawings show the interior of the 'Maison de la Femme' in Paris. The top drawing is a plan of a large hall (Salle) with dimensions 10.00m x 10.00m. It features a central staircase (Escalier) and a large window (Fenêtre). The middle drawing is a plan of a bedroom (Chambre) with dimensions 10.00m x 10.00m, showing a bed (Lit), a wardrobe (Armoire), and a window (Fenêtre). The bottom drawing is a plan of a bathroom (Salle de bain) with dimensions 10.00m x 10.00m, showing a bathtub (Baignoire), a toilet (Toilette), and a window (Fenêtre). The drawings are labeled with dimensions and names of fixtures and furniture.

[illegible][illegible][illegible][illegible]

Architectural floor plan of the 3rd floor of the Bagram Airfield. The plan shows a large central area labeled 'BAGM' with various rooms and corridors. Dimensions are provided for various sections. A note at the bottom left states: 'NOTE: BAGM IS THE BUILDING, STAIRS, CORRIDORS, AND CORRIDORS TO THE HEADS OF CORRIDORS & STAIRWAYS & ENTRIES TO MOUNTAIN.' The plan is dated 'Rev. 3-12-74' and 'Rev. 3-12-74'.

NOTE: BAGM IS THE BUILDING, STAIRS, CORRIDORS, AND CORRIDORS TO THE HEADS OF CORRIDORS & STAIRWAYS & ENTRIES TO MOUNTAIN.

Rev. 3-12-74

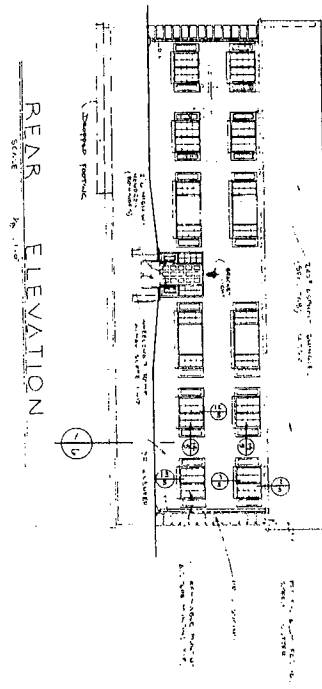
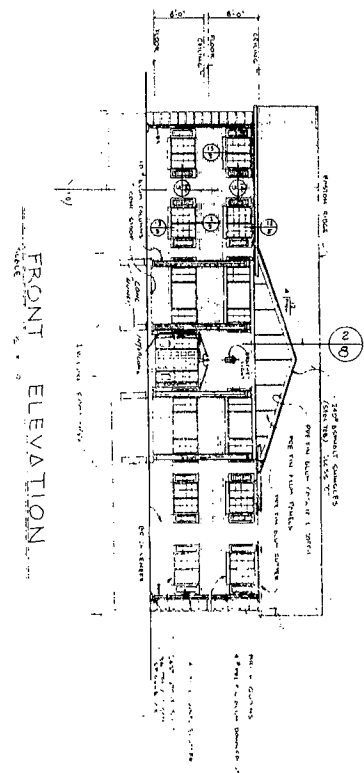
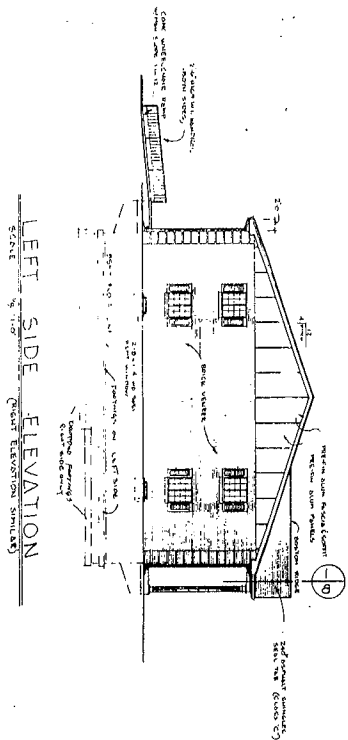
Rev. 3-12-74

6170 NORTH 40TH AVENUE, SUITE 100, MILWAUKEE, WIS. AREA CODE 414
 BY CODE: W3217 PHONE: 961-7800

PROJECT CONDO, COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR
KREUTER-YUNKER
56900 WEST LINCOLN AVENUE
MILWAUKEE, WISCONSIN

REVISIONS	JOB NO.	M-1
3/10/79	DATE	3/6/78
6/7/79	DRAWN BY	DU #5
11/1/79		



BUILDING

1

1

EXHIBIT D

1

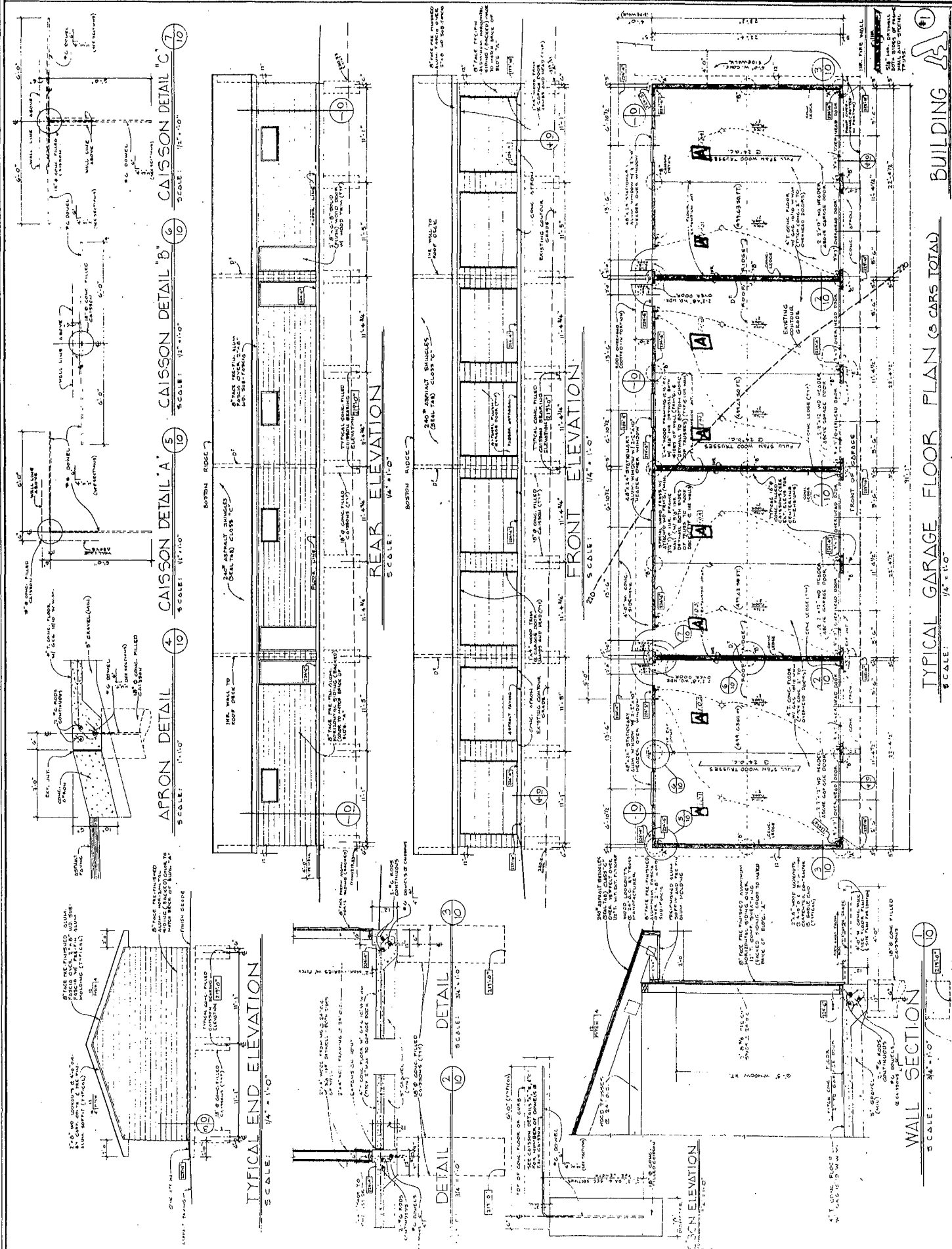
1

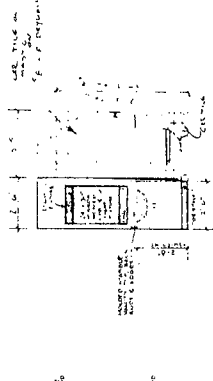
Glen H. Scholz architect, INC. AIA
6713 - 1st Avenue, Suite 200, Milwaukee, WI 53221
Tel: 414-381-1100 Fax: 414-381-1101

PROJECT: EDWARDS COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

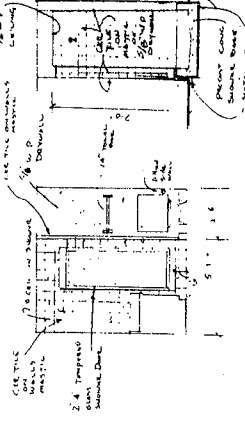
SPONSOR: KREUTER-YUNKER CONST CO
4900 W LINCOLN AVE
MILWAUKEE, WISCONSIN

REVISIONS	FOR	DATE	BY
1-1	M-1	5/17/78	1



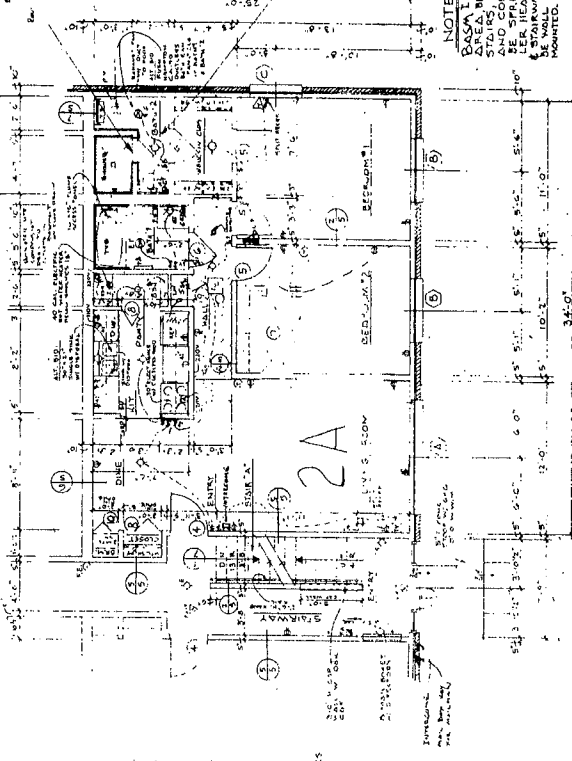


TYPICAL BATHZ ELEVATION



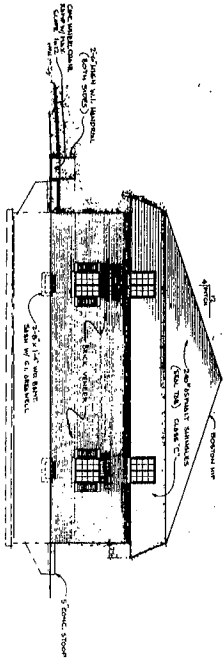
Baru'2 EVALUATION

REV 3-12-79 - NOTE SUMME & ADDED - ALL UNITS
BY 6-7-79

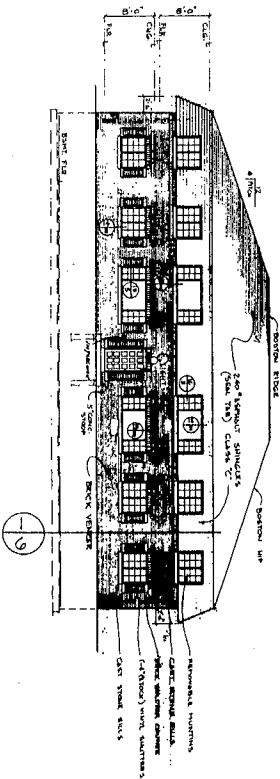


TYPICAL APARTMENT UNIT

- [illegible]



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

BLDG. 132

EXHIBIT D

133

Olson H. Scholz architect, INC. AIA
1470 N. FIRST WISCONSIN ST. MILWAUKEE, WIS. 53233
TEL: 224-1111 FAX: 224-1111

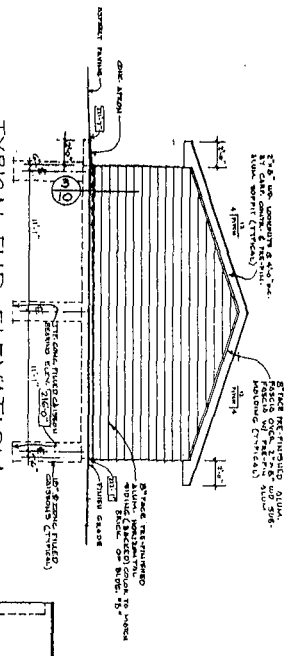
PROJECT CONDO. COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR KREUTER-YUNKER
6900 WEST LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	JOB NO.	M-1
11-14-78	DATE	3/12/78
7-6-79	DRAWN BY	CH 9

TYPICAL END ELEVATION

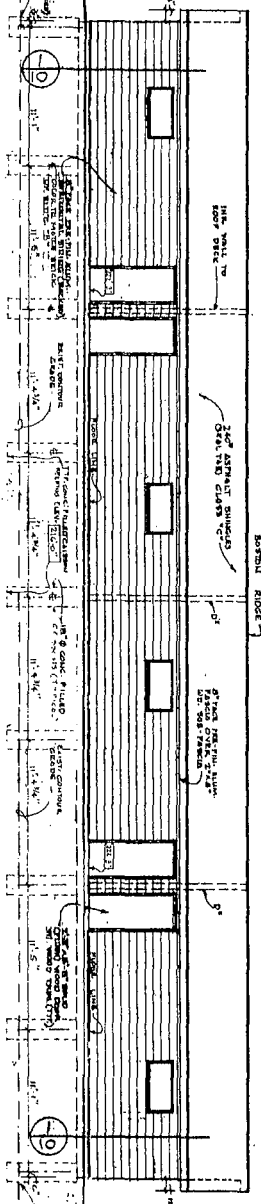
SCALE: 1/4" = 1'-0"



NOTE:
SEE CONC. APRON DETAIL (A) AND
CAISSON DETAILS (B), (C), AND (D)
ON BUILDING (A) SHEET #A-10.

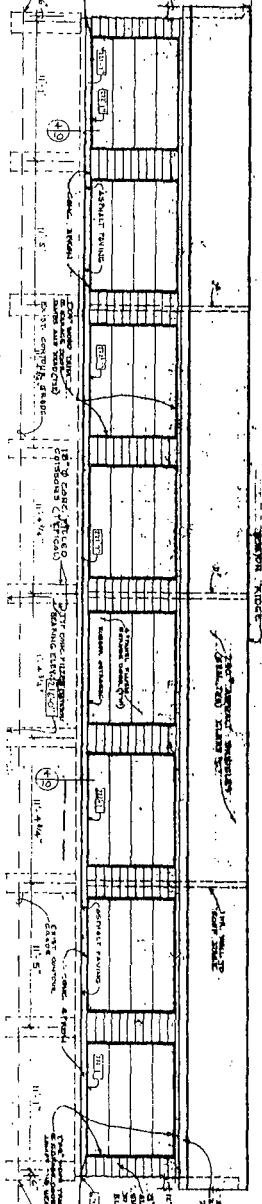
REAR ELEVATION

SCALE: 1/4" = 1'-0"



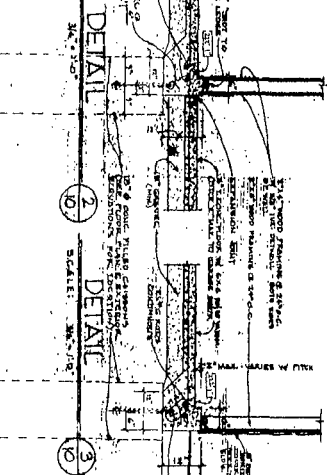
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



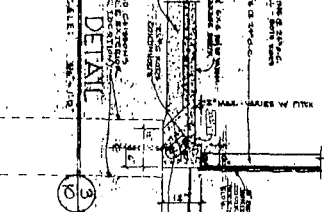
DETAIL

SCALE: 3/4" = 1'-0"



DETAIL

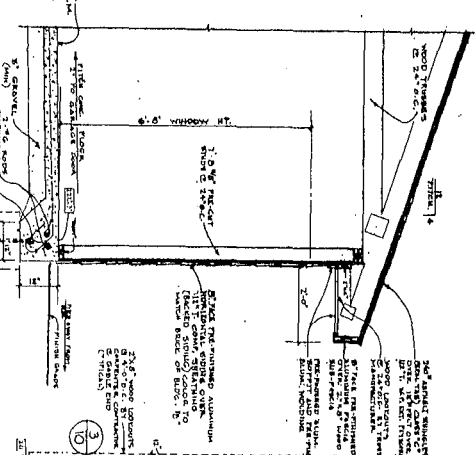
SCALE: 3/4" = 1'-0"



NOTE:
SEE CAISSON
ELEVATION ON
SHEET #A-10

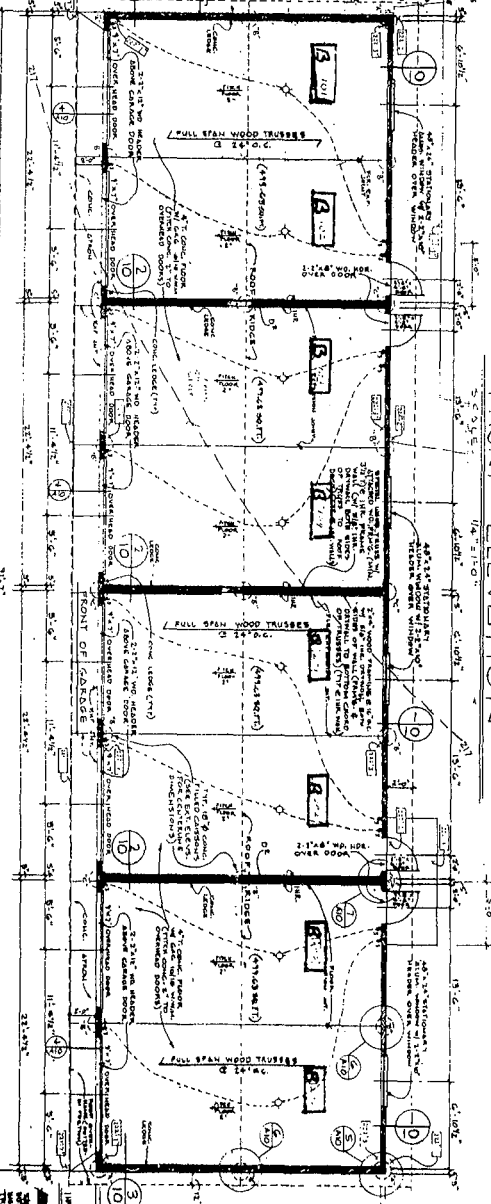
WALL SECTION

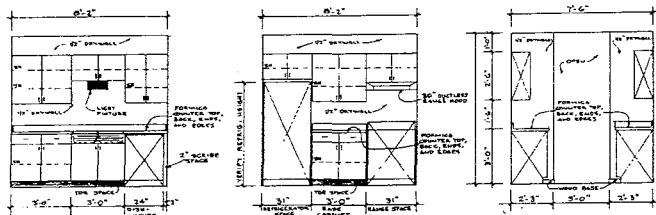
SCALE: 3/4" = 1'-0"



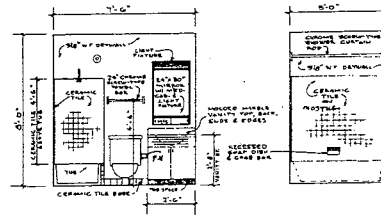
TYPICAL GARAGE FLOOR PLAN (6 CARS TOTAL)

SCALE: 1/4" = 1'-0"

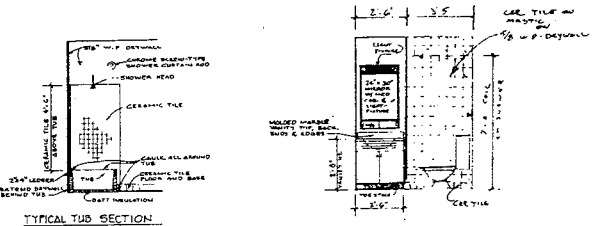




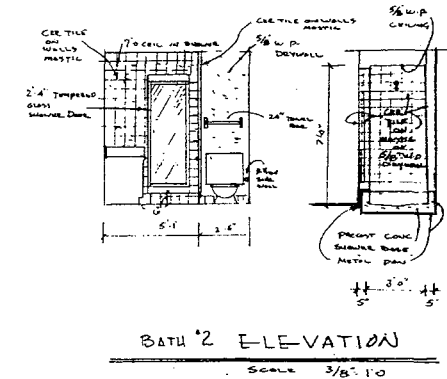
TYPICAL KITCHEN ELEVATIONS
SCALE: 3/8" = 1'-0"



TYPICAL BATH ELEVATIONS
SCALE: 3/8" = 1'-0"

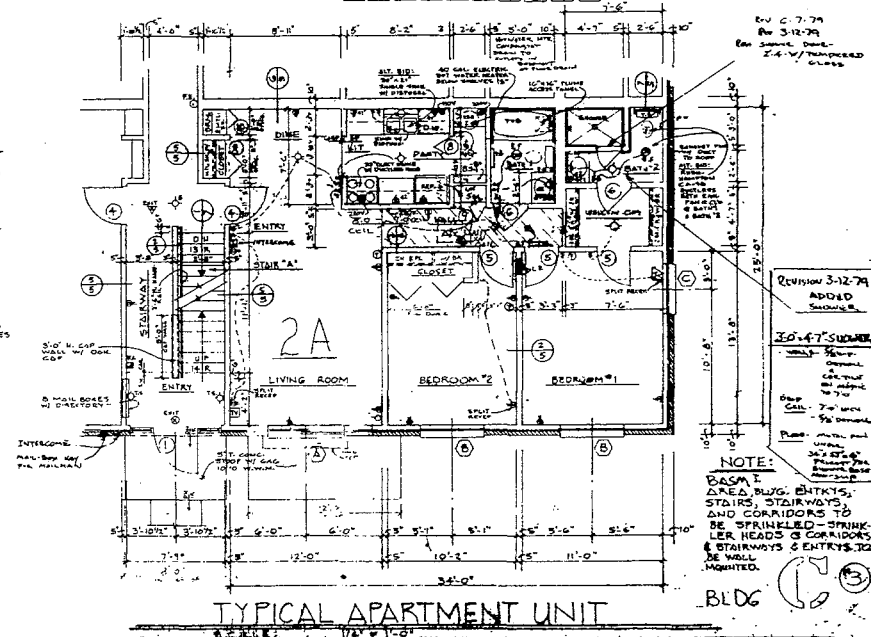


TYPICAL BATH 2 ELEVATION
SCALE: 3/8" = 1'-0"



BATH 2 ELEVATION
SCALE: 3/8" = 1'-0"

REV 3-12-79 - NOTE SHOWER IS ADDED TO ALL UNITS
BY 6-7-79
IN TWO BDRMS / ONE BDRM / DEN IN ALL
BLDGS: 1 2 3 4 5 6 7 8 9 10



TYPICAL APARTMENT UNIT
SCALE: 1/8" = 1'-0"

- MINIMUM UNIT REQUIREMENTS**
- 1. FLOORING: 1/2" PLYWOOD
 - 2. WALLS: 1/2" PLYWOOD
 - 3. CEILING: 1/2" PLYWOOD
 - 4. DOORS: 1 3/4" SOLID CORE
 - 5. WINDOWS: 1 3/4" DOUBLE GLASS
 - 6. KITCHEN: 30" x 48" SINK, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 7. BATH: 30" x 60" TUB, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 8. BEDROOM: 10' x 12' BED, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 9. LIVING ROOM: 10' x 12' SOFA, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 10. STAIRS: 10' x 12' STAIRS, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 11. HALLS: 10' x 12' HALLS, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 12. CLOSETS: 10' x 12' CLOSETS, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 13. ENTRY: 10' x 12' ENTRY, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 14. BATHROOM: 10' x 12' BATHROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 15. KITCHEN: 10' x 12' KITCHEN, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 16. BEDROOM: 10' x 12' BEDROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 17. LIVING ROOM: 10' x 12' LIVING ROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 18. STAIRS: 10' x 12' STAIRS, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 19. HALLS: 10' x 12' HALLS, 12" DEEP, 1/2" PLYWOOD CABINETS
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 - 21. ENTRY: 10' x 12' ENTRY, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 22. BATHROOM: 10' x 12' BATHROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 23. KITCHEN: 10' x 12' KITCHEN, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 24. BEDROOM: 10' x 12' BEDROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 25. LIVING ROOM: 10' x 12' LIVING ROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 26. STAIRS: 10' x 12' STAIRS, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 27. HALLS: 10' x 12' HALLS, 12" DEEP, 1/2" PLYWOOD CABINETS
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 - 30. BATHROOM: 10' x 12' BATHROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 31. KITCHEN: 10' x 12' KITCHEN, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 32. BEDROOM: 10' x 12' BEDROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 33. LIVING ROOM: 10' x 12' LIVING ROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 34. STAIRS: 10' x 12' STAIRS, 12" DEEP, 1/2" PLYWOOD CABINETS
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 - 40. BEDROOM: 10' x 12' BEDROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 41. LIVING ROOM: 10' x 12' LIVING ROOM, 12" DEEP, 1/2" PLYWOOD CABINETS
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 - 50. STAIRS: 10' x 12' STAIRS, 12" DEEP, 1/2" PLYWOOD CABINETS
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 - 98. STAIRS: 10' x 12' STAIRS, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 99. HALLS: 10' x 12' HALLS, 12" DEEP, 1/2" PLYWOOD CABINETS
 - 100. CLOSETS: 10' x 12' CLOSETS, 12" DEEP, 1/2" PLYWOOD CABINETS

ALTERNATE SIDS:

PROVIDE AND INSTALL
30" x 48" SINK, 12" DEEP, 1/2" PLYWOOD CABINETS
IN LIEU OF DUCTED
BATH EXHAUST FANS IN
DUE TO ROOF AS SHOWN.

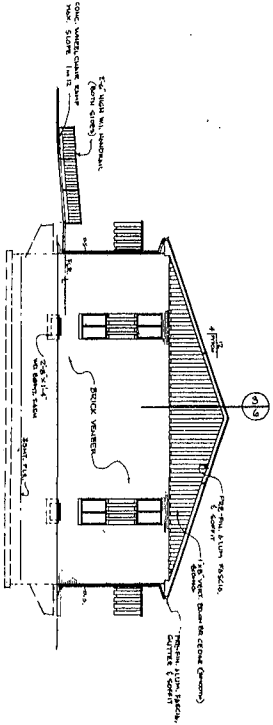
PROVIDE AND INSTALL
30" x 48" SINK, 12" DEEP, 1/2" PLYWOOD CABINETS
IN LIEU OF DUCTED
BATH EXHAUST FANS IN
DUE TO ROOF AS SHOWN.

PROVIDE AND INSTALL
METAL CLOSET SHELVES
IN LIEU OF WOOD SHELVES

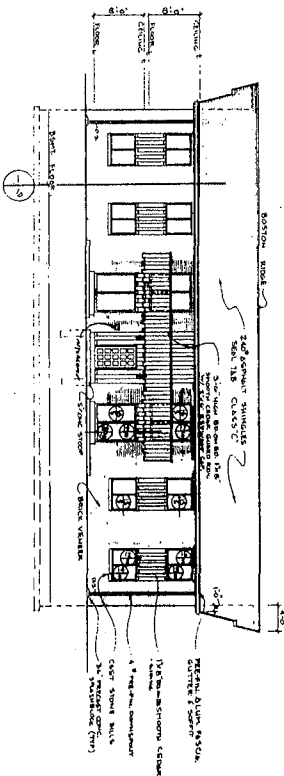
NOTE:
BASE E
AREA SUG: BATHS,
STAIRS, STAIRWAYS
AND CORRIDORS TO
BE SPRINKLED SPRINK
LER HEADS & CORRIDORS
& STAIRWAYS & ENTRIES TO
BE WALL MOUNTED.

BLDG 10

LEFT SIDE ELEVATION
SCALE: 3/8" = 1'-0"
(RIGHT SIDE ELEVATION SIMILAR)



FRONT ELEVATION
SCALE: 3/8" = 1'-0"
(RIGHT SIDE ELEVATION SIMILAR)



BLDG.

(13)

EXHIBIT D

33

33

Glen H. Scholz architect, INC. AIA
2770 N. FORT WASHINGTON RD. • MILWAUKEE, WISC. • AREA CODE 414
SF. COM. 222.7 PHONE: 942-7540

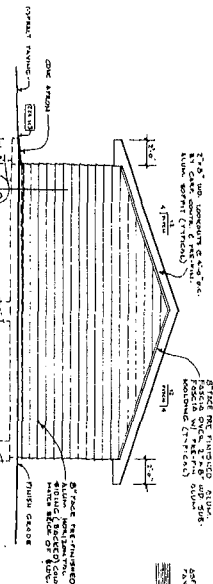
PROJECT CONDO COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR
KREUTER-YUNKER
6900 W. LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	JOB NO.	M-I
4-16-78	DATE	3/17/78
7/6/79	DRAWN BY	AK 4

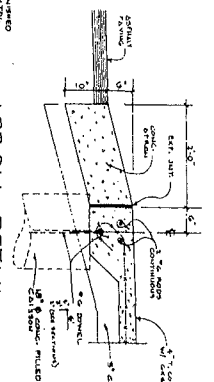
TYPICAL END ELEVATION

SCALE: 1/4" = 1'-0"



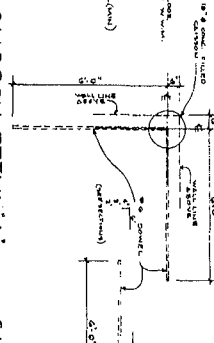
APRON DETAIL

SCALE: 1/2" = 1'-0"



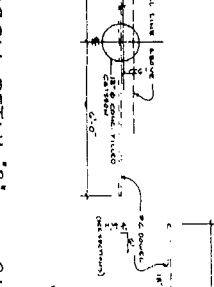
CAISSON DETAIL 'A'

SCALE: 1/2" = 1'-0"



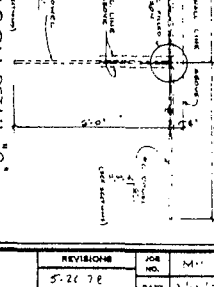
CAISSON DETAIL 'B'

SCALE: 1/2" = 1'-0"



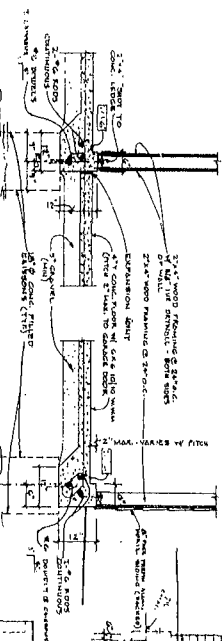
CAISSON DETAIL 'C'

SCALE: 1/2" = 1'-0"



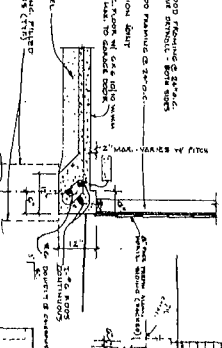
DETAIL

SCALE: 3/4" = 1'-0"



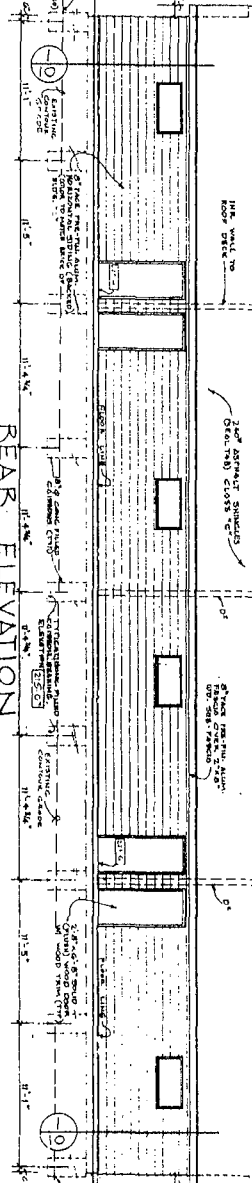
DETAIL

SCALE: 3/4" = 1'-0"



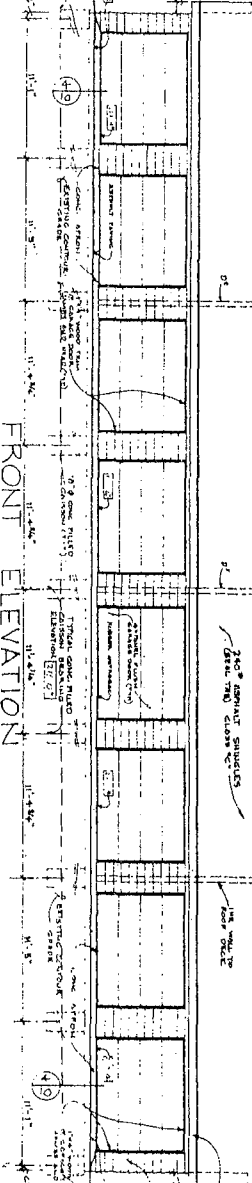
REAR ELEVATION

SCALE: 1/4" = 1'-0"



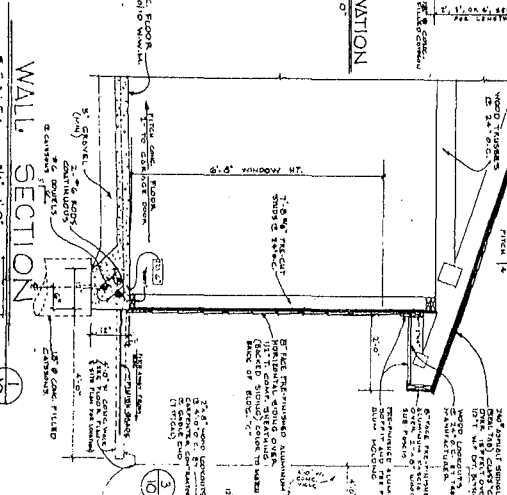
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



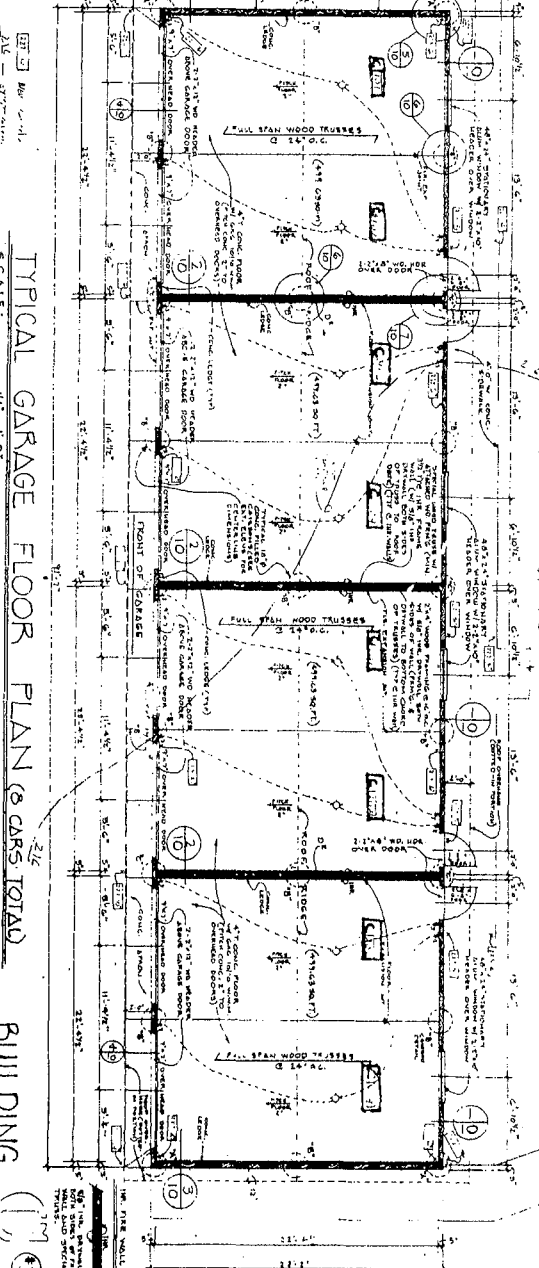
WALL SECTION

SCALE: 3/4" = 1'-0"



TYPICAL GARAGE FLOOR PLAN (8 CARS TOTAL)

SCALE: 1/4" = 1'-0"



BUILDING

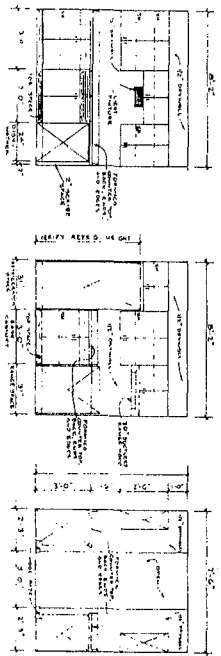
10

John H. Scholz ARCHITECT, INC. AIA

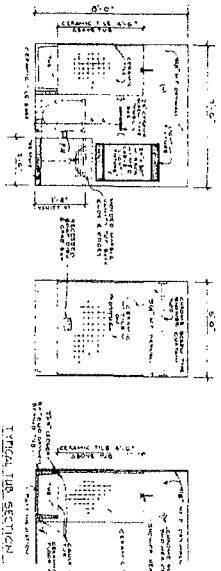
PROJECT: WHITNALL EDGE COMPLEX
FRANKLIN, WISCONSIN

SPONSOR: KREUTER-YUNKER
6900 WEST LINCOLN AVE.
MILWAUKEE, WISCONSIN

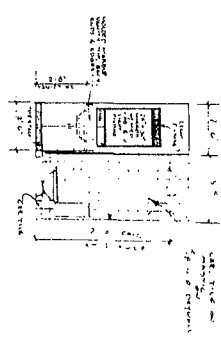
REVISIONS	DATE	BY	NO.
5-22-78	3/11/78	DR	01



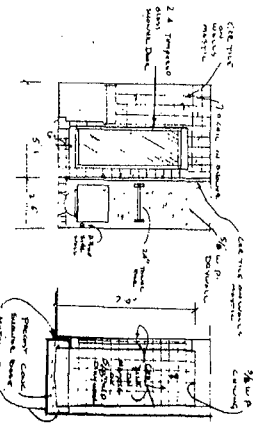
TYPICAL KITCHEN ELEVATIONS
SCALE: 3/8" = 1'-0"



TYPICAL BATH #1 ELEVATIONS
SCALE: 3/8" = 1'-0"



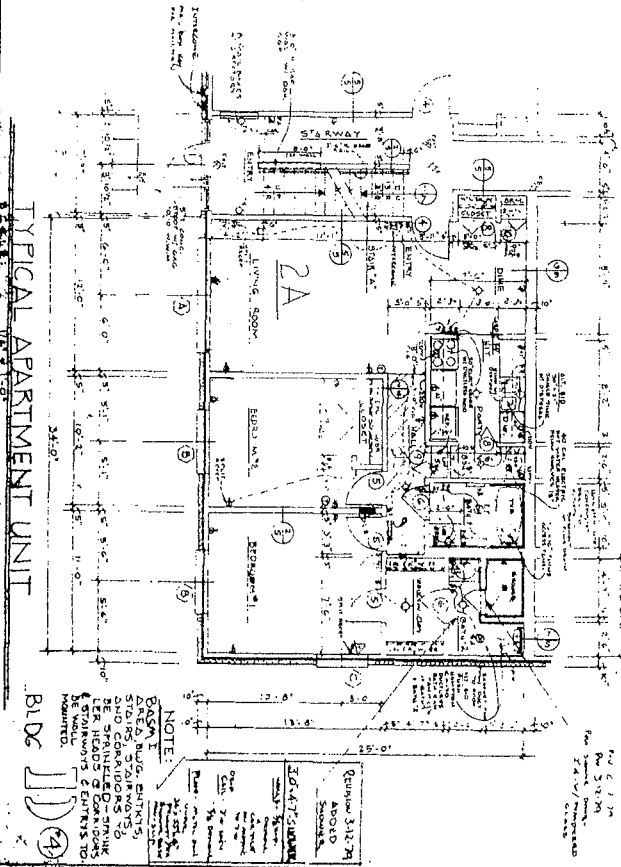
TYPICAL BATH #2 ELEVATION
SCALE: 3/8" = 1'-0"



BATH #2 ELEVATION
Scale: 3/8" = 1'-0"

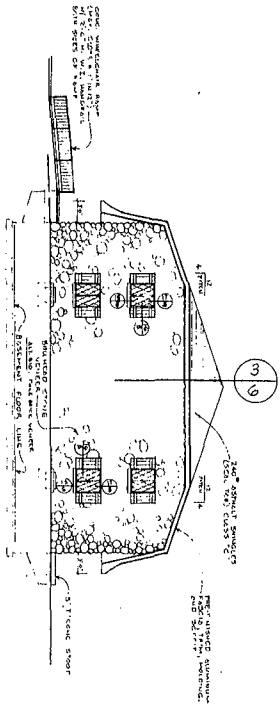
REV 3-12-79 - NOTE SHOWED 5, ADDED TO ALL UNITS
BY 6-7-79 1-1 TWO BATHS / ONE BATH / BATH #1, ALL
BATHS / BATH #2 / BATH #1 / BATH #2

ATTENTION: 5-25-81
THAT THE UNIT IS NOT
TO BE USED FOR
STORAGE OF
FURNITURE OR
OTHER ITEMS
AND THAT THE
UNIT IS TO BE
USED FOR
RESIDENTIAL
PURPOSES ONLY.
THESE CONDITIONS
ARE PART OF THE
LEASE AGREEMENT
AND ARE TO BE
READ AND UNDERSTOOD
BY ALL RESIDENTS.
THESE CONDITIONS
ARE NOT TO BE
VIOLATED.
THESE CONDITIONS
ARE NOT TO BE
VIOLATED.

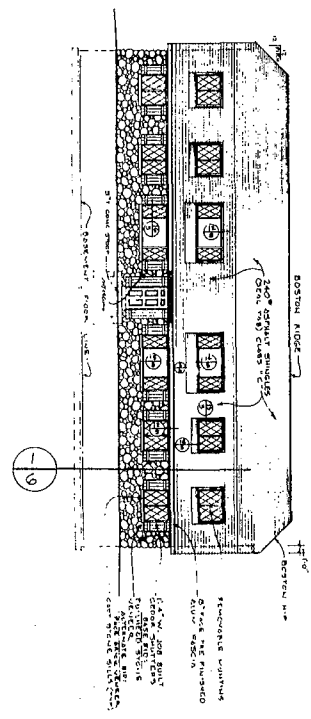


TYPICAL APARTMENT UNIT

NOTE:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
3. ALL FLOORS ARE 4" THICK CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
4. ALL CEILINGS ARE 8" THICK CONCRETE UNLESS NOTED OTHERWISE.
5. ALL ROOFS ARE 6" THICK CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
6. ALL EXTERIOR WALLS ARE 16" THICK CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
7. ALL EXTERIOR FLOORS ARE 4" THICK CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
8. ALL EXTERIOR ROOFS ARE 6" THICK CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
9. ALL EXTERIOR WALLS ARE 16" THICK CONCRETE ON GRADE UNLESS NOTED OTHERWISE.
10. ALL EXTERIOR FLOORS ARE 4" THICK CONCRETE ON GRADE UNLESS NOTED OTHERWISE.



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0" (SEE SIDE ELEVATION FOR ORIENTATION)



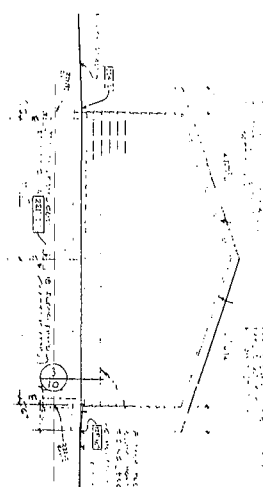
FRONT ELEVATION
SCALE: 1/8" = 1'-0" (SEE SIDE ELEVATION FOR ORIENTATION)

Bldg. 1104

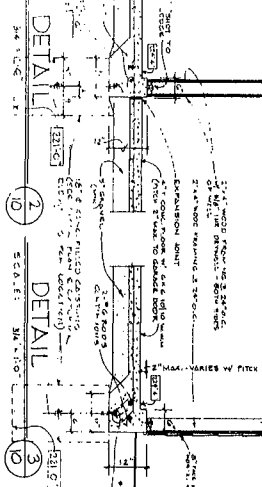
EXHIBIT D

	SHEET	Glen H. Scholz architect, inc. AIA 9170 N. HOPE AVE. - SUITE 4000 • MILWAUKEE, WISC. • AREA CODE 414 TELEPHONE 761-1800	PROJECT CONDO. COMPLEX WHITNALL EDGE FRANKLIN, WISCONSIN	SPONSOR KREUTER-YUNKER 6900 WEST LINCOLN AVE. MILWAUKEE, WISCONSIN	REVISIONS	JOB NO.	14-1
					11-14-78 7/6/77	DATE	3/10/78
					DRAWN BY	GL	GL

NOTE:
 SEE ELEVATION 101 FOR
 CONSTRUCTION DETAILS
 ON ELEVATION 101

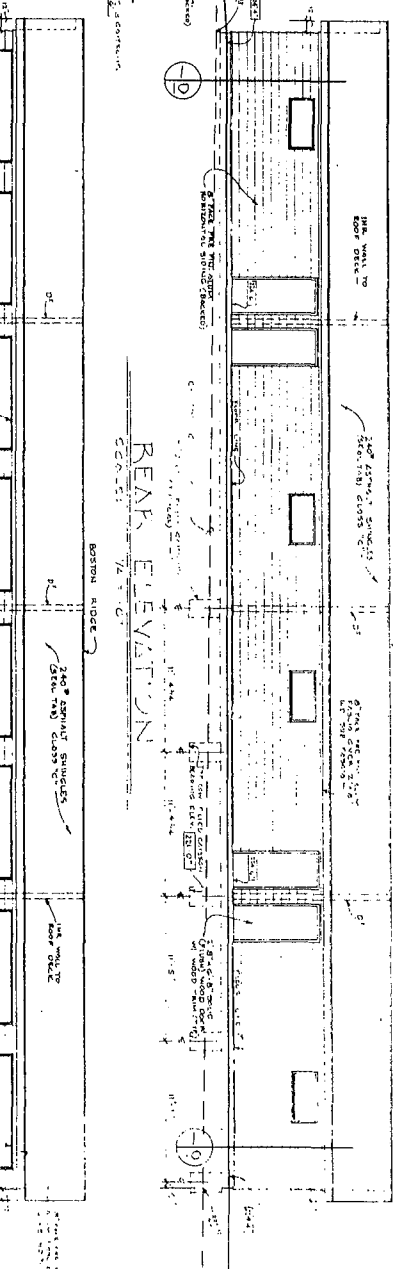


LEFT END ELEVATION



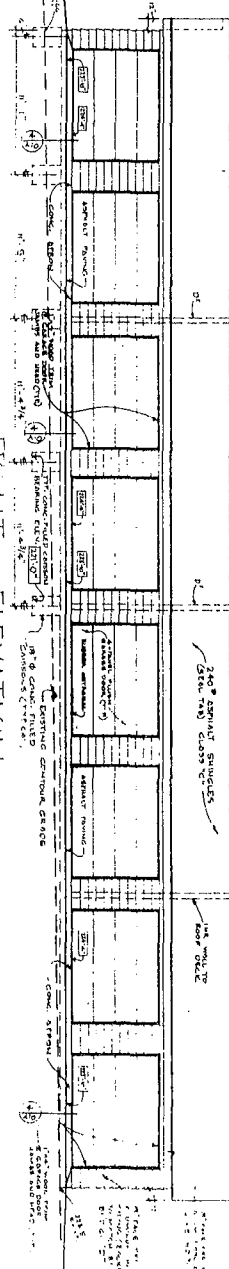
DETAIL

SCALE: 3/4" = 1'-0"



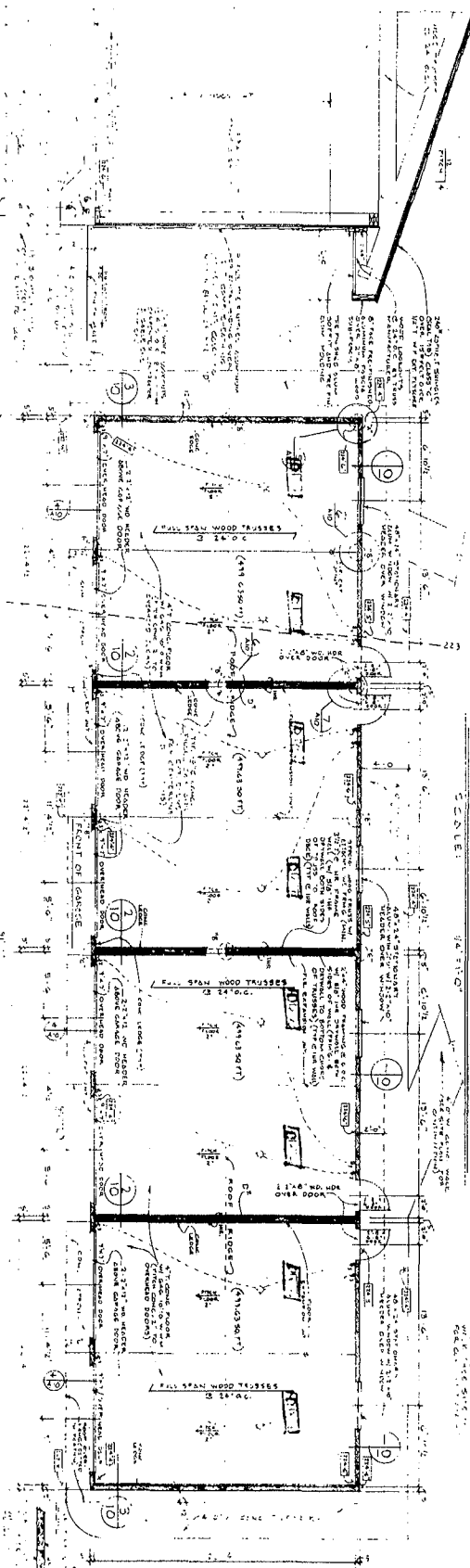
REAR ELEVATION

SCALE: 3/4" = 1'-0"



FRONT ELEVATION

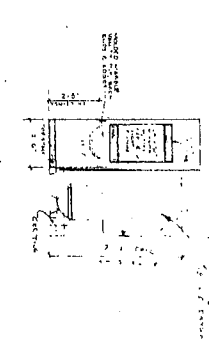
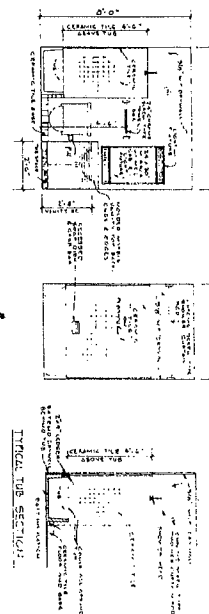
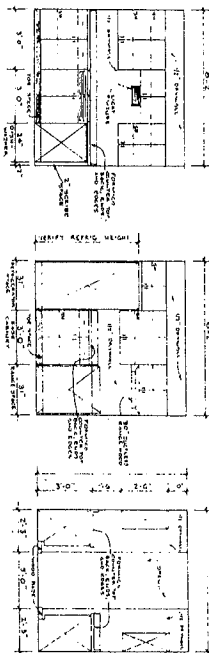
SCALE: 3/4" = 1'-0"



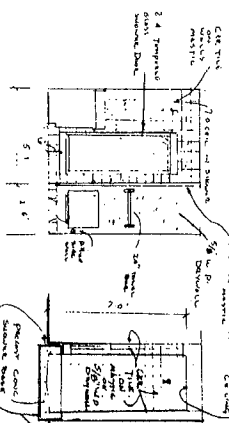
FLOOR PLAN

SCALE: 3/4" = 1'-0"

01 - 2/2



Score	3/8 - 10
-------	----------

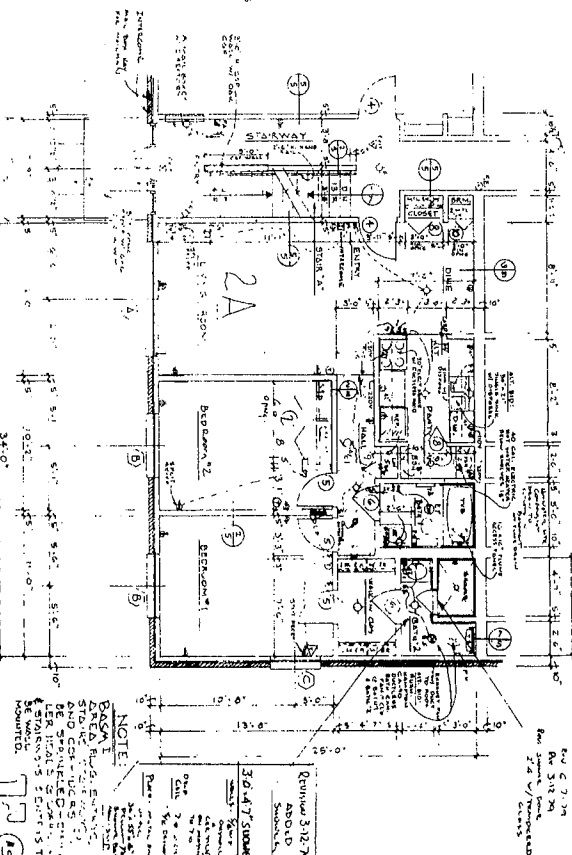


REV 3-12-79 - NOTE SOURCE "O ALL UNITS"
 AND 6-7-79 "TWO BIRDS" ONE BEANS/DEN "ALL"

31065:

A	B	C	D	E	F	G	H	I
1	2	3	4	5	6	7	8	9

REV C 7.29
REV 3.12 29
SUMM. CONC.
2'4 V/TEMPERATURE

$$\frac{35 \Delta L}{E} = \frac{1}{4} \cdot 1 - 0$$


ALTERNATE BIDS:

PROVIDE AND INSTALL
AASH-HOMOTON[®] CANO
DUAL-2500 RAY EXHIBIT
FACED CEILING OF #2
DOLTA[®] 2" R-1300
BLINDS FOR EACH
BLINDS HANGERS AND W
DUCT TO ROOM, AS SHOWN.

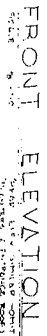
PROVIDE AND INSTALL
36" SINGLE KITCHEN
SINK W/ DISPOSAL IN
LIEU OF 31" DOUBLE
DISIN KITCHEN SINK W/
DISPOSAL AS SHOWN.

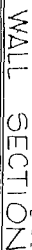
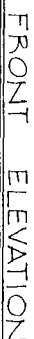
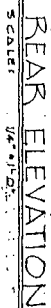
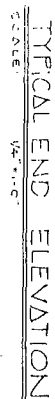
REMOVE AND INSTALL
METAL FLOOR SHEETES
IN LIEU OF WOOD SHEETES

Substrate

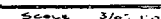
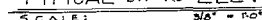
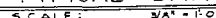
[illegible]

NOTE: Page: 1



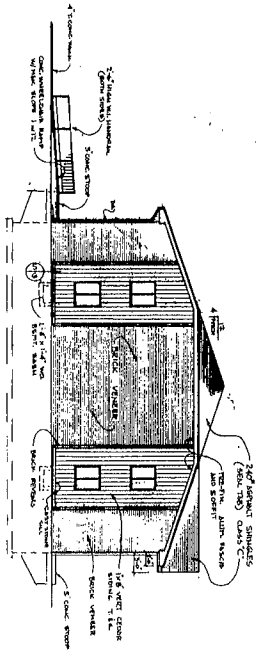


NOTE:
SEE CONC APRON DETAIL (A-5), AND
CAISSON DETAILS "A" (5/10), "B" (6/10), AND "C" (7/10)
ON BUILDING (A) (1) SHEET # A-10.

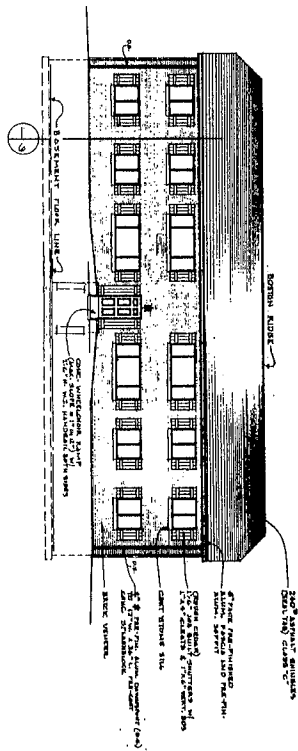


THE UNIVERSITY OF CHICAGO

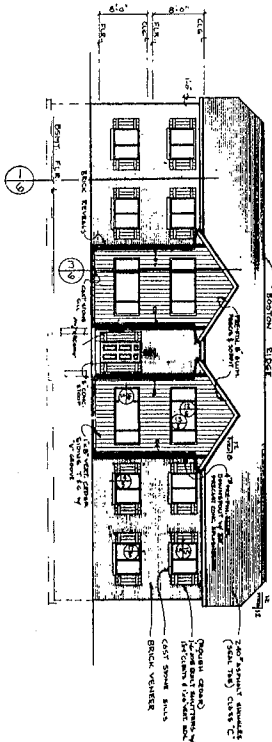
EXHIBIT D



LEFT SIDE ELEVATION
SCALE: 3/8" = 1'-0"
(RIGHT SIDE ELEV. SHOWN
BUT OPOSITE)



REAR ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 3/8" = 1'-0"

BLDG. 17

EXHIBIT D

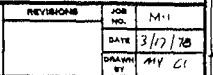
17

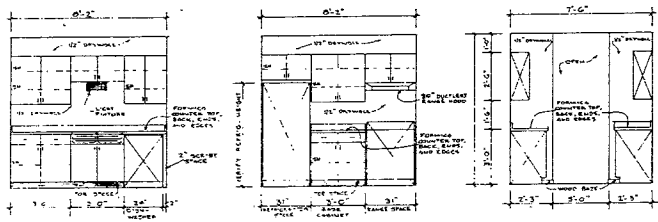
Glen H. Scholz architect, INC. AIA
670 N. WEST WASHINGTON RD. • MILWAUKEE, WISC. • AREA CODE 414
TELEPHONE: 261-7200

PROJECT
CONDO COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR
KREUTER-YUNKER
6900 W. LINCOLN AVE.
MILWAUKEE, WISCONSIN

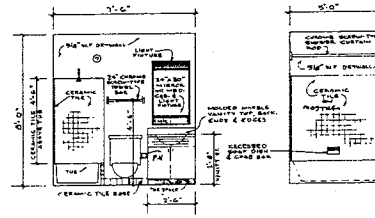
REVISIONS	JOB NO.	M-1
NO. 10-10-18	DATE	3/10/79
7/6/79	DRAWN BY	AKG G





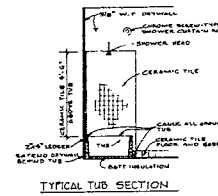
TYPICAL KITCHEN ELEVATIONS

SCALE: 3/8" = 1'-0"

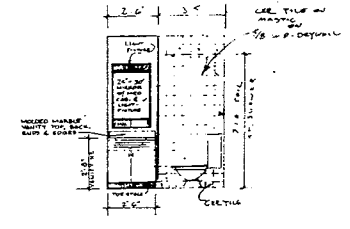


TYPICAL BATH #1 ELEVATIONS

SCALE: 3/8" = 1'-0"

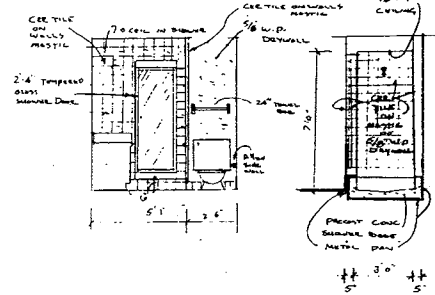


TYPICAL TUB SECTION



TYPICAL BATH #2 ELEVATION

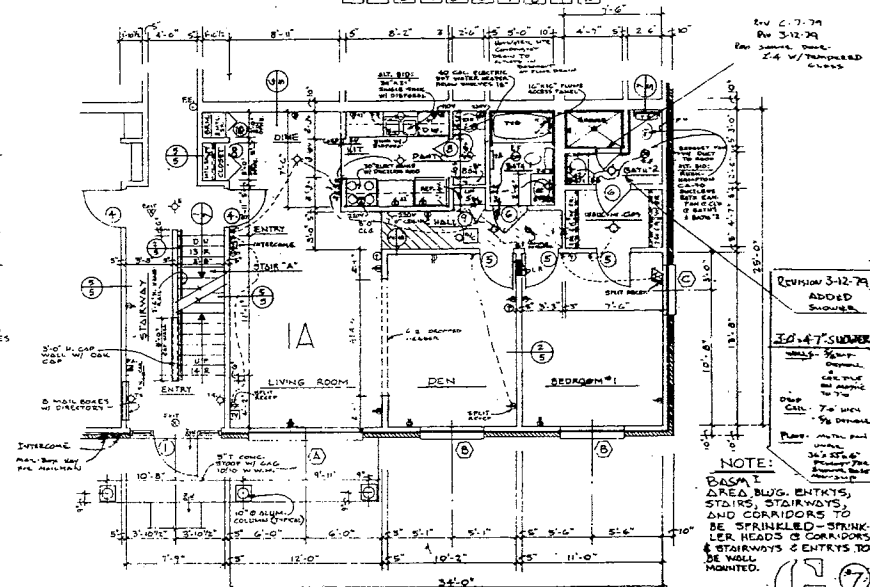
SCALE: 3/8" = 1'-0"



BATH #2 ELEVATION

Scale 3/8" = 1'-0"

REV 3-12-79 - NOTE SHOWER 1/2" ADDED TO ALL UNITS
REV 6-7-79
IN TWO BATHS, ONE BATH W/ DEN IN ALL
BLDG'S: A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z



TYPICAL APARTMENT UNIT

SCALE: 1/8" = 1'-0"

ELECTRICAL OUTLET SCHEDULE

- 1. CEILING OUTLET
- 2. CEILING OUTLET W/ WALL CHASE
- 3. WALL OUTLET
- 4. WALL OUTLET
- 5. WALL OUTLET
- 6. WALL OUTLET
- 7. WALL OUTLET
- 8. WALL OUTLET
- 9. WALL OUTLET
- 10. WALL OUTLET
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- 95. WALL OUTLET
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- 97. WALL OUTLET
- 98. WALL OUTLET
- 99. WALL OUTLET
- 100. WALL OUTLET

ALTERNATE BIDS:

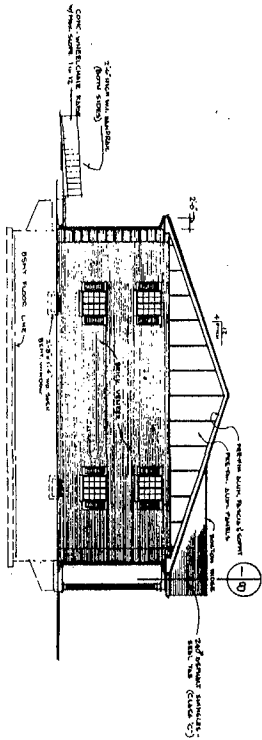
PROVIDE AND INSTALL
"RUSH-HAMPTON" 1/2" NO
DUCTLESS BATH EXHAUST
FANS IN CEILING OF
BATH #1 & BATH #2
IN LIEU OF DUCTED
BATH EXHAUST FANS W/
DUCT TO ROOF, AS SHOWN.

PROVIDE AND INSTALL
30" x 18" SINGLE KITCHEN
SINK W/ DISPOSAL IN
LIEU OF 30" x 18" DOUBLE
KITCHEN SINK W/
DISPOSAL AS SHOWN.

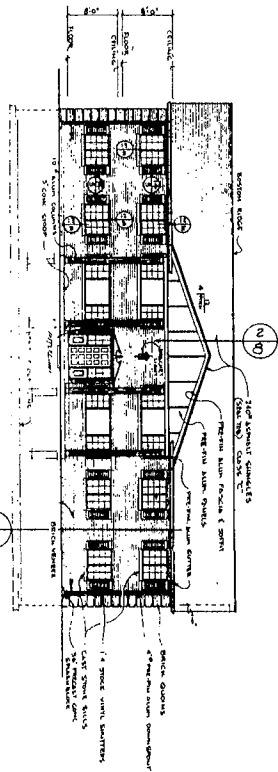
PROVIDE AND INSTALL
METAL CLOSET SHELVES
IN LIEU OF WOOD SHELVES

NOTE:
BATH #1
AREA B/W ENTRYS,
STAIRS, STAIRWAYS,
AND CORRIDORS TO
BE SPRINKLED - SPRINK-
LER HEADS & CORRIDORS
& STAIRWAYS & ENTRYS TO
BE WALL
MOUNTED.

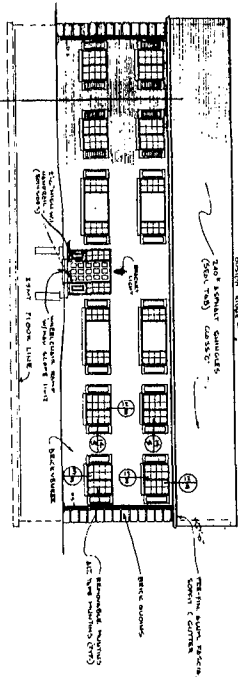
BLDG (17) 7



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING 17 7

EXHIBIT D

33

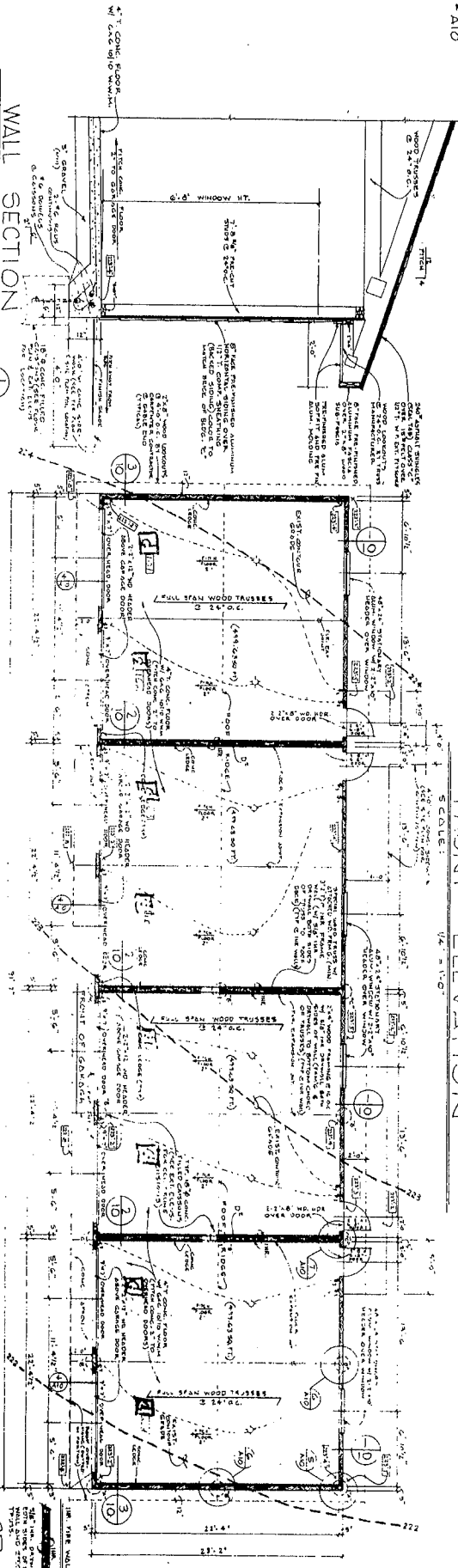
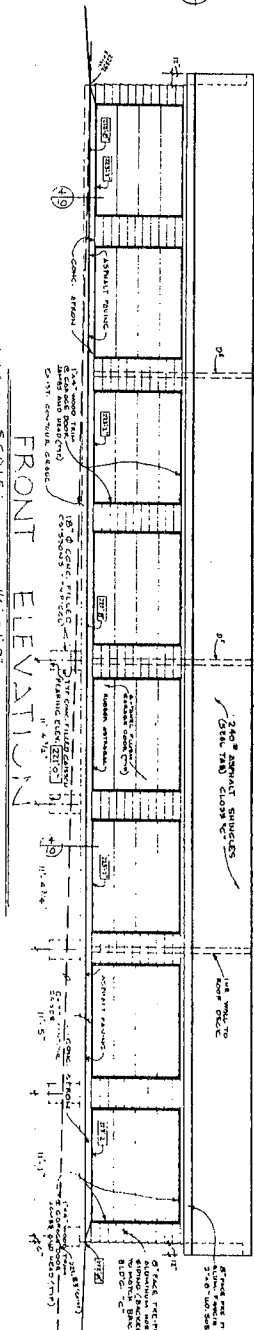
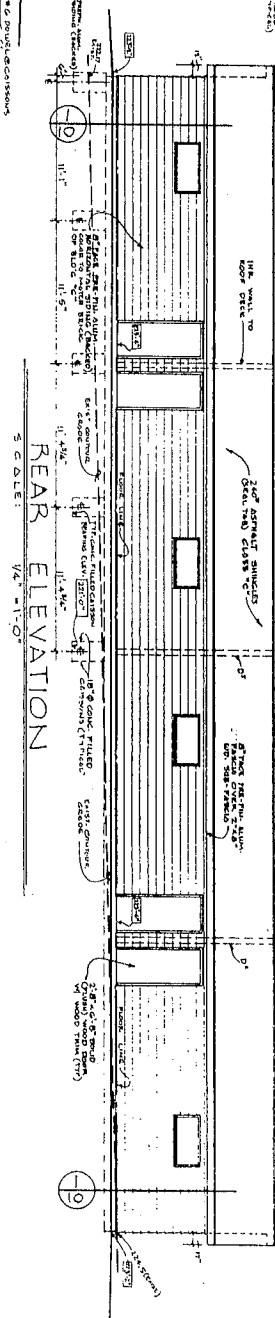
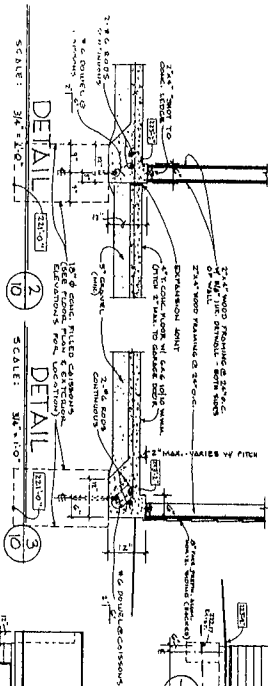
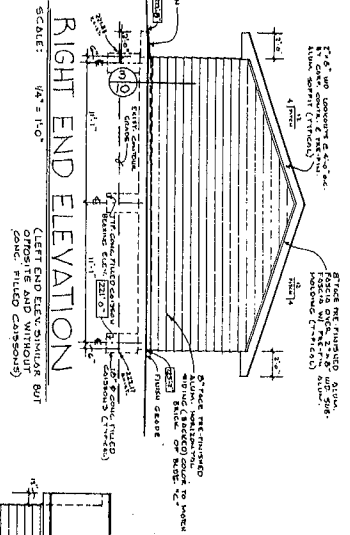
Olson H. Scholz architect, inc. AIA
6110 N. PORT WASHINGTON RD. • MILWAUKEE, WISC. • AREA CODE 414
2ND FLOOR, 4TH FL. • PHONE: 941-7504

PROJECT 337-55 COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR KREUTER-YUNKER CONST. CO.
6100 W. LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	JOB NO.	M-1
5/11/78	DATE	5/17/78
11/14/78	DATE	11/14/78
7-6-78	DATE	7-6-78
	DRAWN BY	SW

NOTE:
SEE CONC. APRON DETAIL (A) AND
CAISSON DETAILS (A), (B), (C) AND (D)
ON BUILDING (A) SHEET 7A-10.



NOTE:
SEE CAISSON
ELEVATION ON
SHEET 7A-10

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

TYPICAL GARAGE FLOOR PLAN (6 CARS TOTAL)

BUILDING (A)

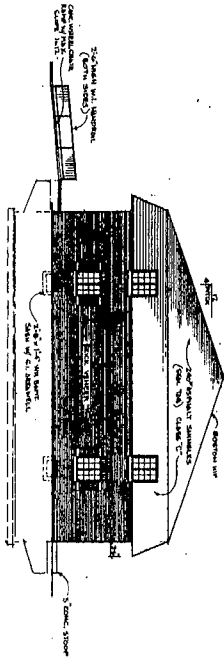
EXHIBIT D

Olson H. Scholz architect, Ltd. AIA
615 N. WISCONSIN AVE. MILWAUKEE, WIS. AREA CODE 414
TELEPHONE 531-1100

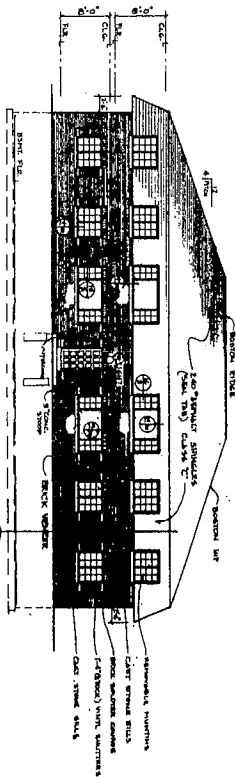
PROJECT
COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR
KREUTER-YUNKER
6900 WEST LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	FOR NO.	DATE	BY



LEFT SIDE ELEVATION
SCALE: 3/8" = 1'-0"



FRONT ELEVATION
SCALE: 3/8" = 1'-0"

BPG. III ③

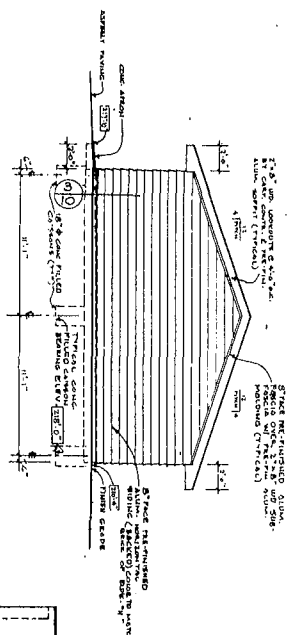
EXHIBIT D

Olson H. Scholz architect, INC. AIA
6570 N. FIRST TERRACE, SUITE 100 • MILWAUKEE, WISC. • AREA CODE 414
271-0001 • 271-0077 FAX: 271-0000

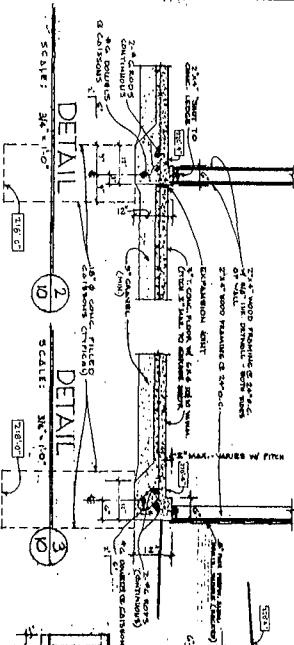
PROJECT CONDO. COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR
KREUTER-YUNKER
6900 WEST LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	JOB NO.	M-1
4/16/78	DATE	3/12/78
7/16/78	DRAWN BY	CH 4

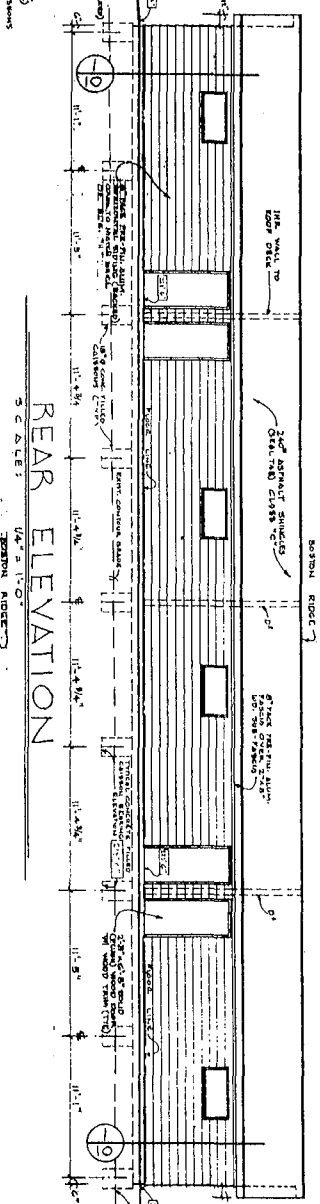


TYPICAL END ELEVATION
SCALE: 1/4" = 1'-0"

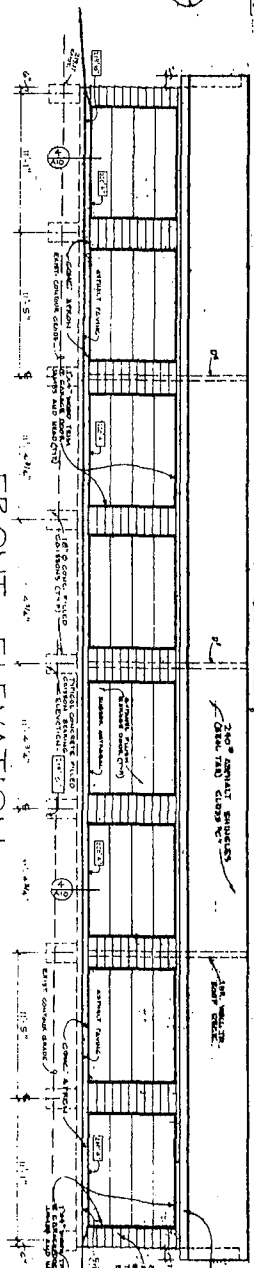


NOTE:
SEE CARSON
ELEVATION ON
SHEET A-10

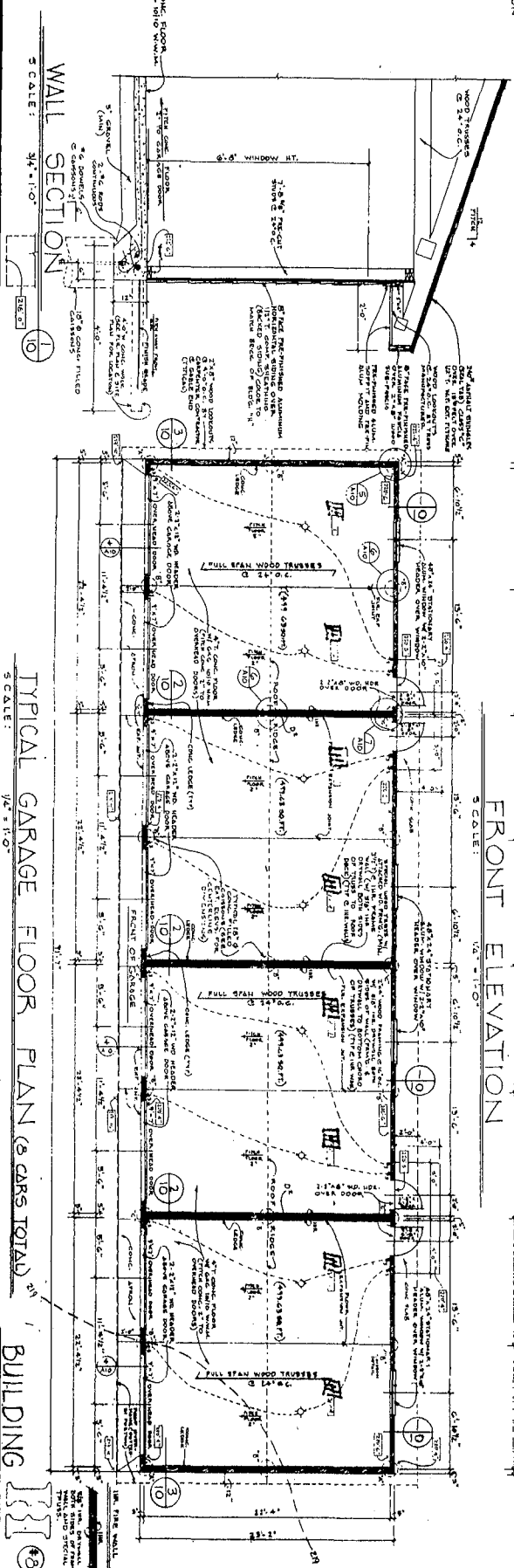
NOTE:
SEE CONC. AFFCH DETAIL (A) AND
CARSON DETAILS A-10, A-11, AND C-10,
ON BUILDING A-11 SHEET A-10.



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL GARAGE FLOOR PLAN (CARS TOTAL)
SCALE: 1/4" = 1'-0"

WALL SECTION
SCALE: 3/4" = 1'-0"

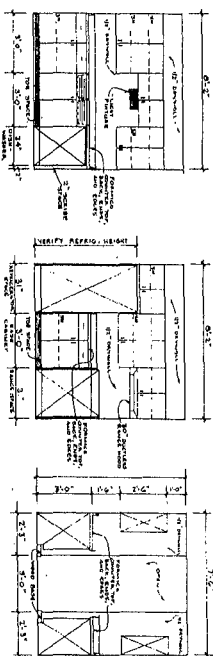
BUILDING
SCALE: 1/4" = 1'-0"

Olén H. Scholz architect, INC. AIA
6710 NORTH HART WASHINGTON ROAD • MILWAUKEE, WISC. • AREA CODE 414
SP CODE 5317 PHONE 761-7000

PROJECT: WHITMAN COMPLEX
6900 WEST LINCOLN AVE.
MILWAUKEE, WISCONSIN

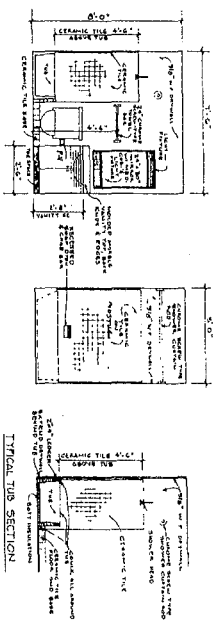
SPONSOR: KREUTER-YUNKER
6900 WEST LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	DATE	BY	CHK
1	10/1/78		
2			
3			



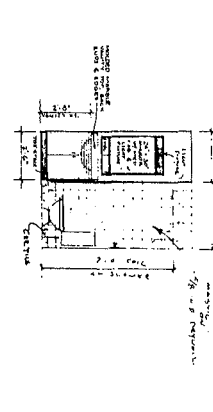
TYPICAL KITCHEN ELEVATIONS

SCALE: 3/8" = 1'-0"



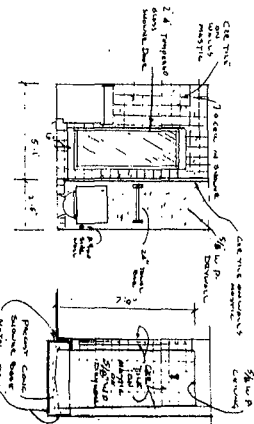
TYPICAL BATH #1 ELEVATIONS

SCALE: 3/8" = 1'-0"



TYPICAL BATH #2 ELEVATION

SCALE: 3/8" = 1'-0"



BATH #2 ELEVATION

SCALE: 3/8" = 1'-0"

REV 3-12-79 - NOTE SHOULD BE ADDED TO ALL UNITS
 4W 6-7-79 IN TWO BATHS ONE BATH/DEN IN ALL
 BLDGS 1-13 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

ALTERNATE BIDS:

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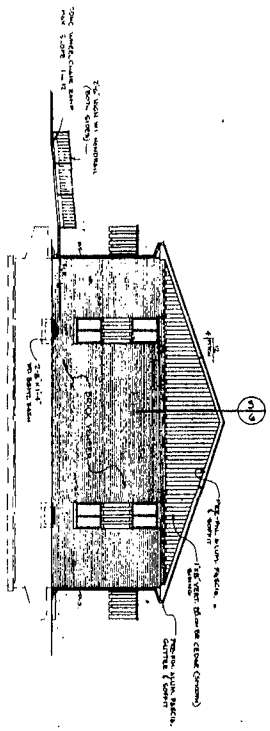
TYPICAL APARTMENT UNIT

SCALE: 3/8" = 1'-0"

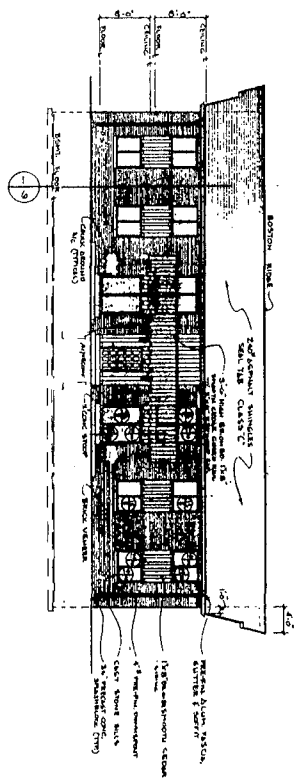
NOTE:

1. BATH #1 SHOULD BE ADDED TO ALL UNITS
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BLDG I



LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"
(REFER TO SEE ELEV. SIMILAR)



FRONT ELEVATION
SCALE: 1/8" = 1'-0"
(REFER TO SEE ELEV. SIMILAR)

BLDG. I 19

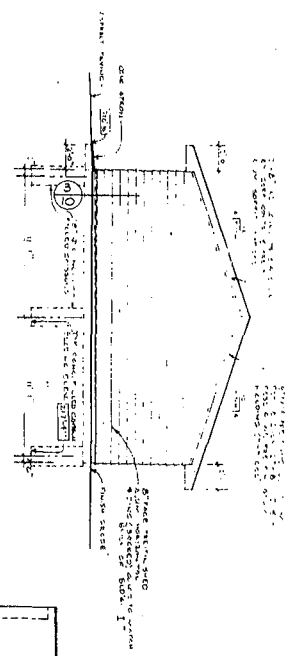
33 I

Olaf H. Scholz architect, inc. AIA
2710 N. PULASKI AVENUE, CHICAGO, ILL. 60647
TELEPHONE (312) 341-1111 FAX (312) 341-1112

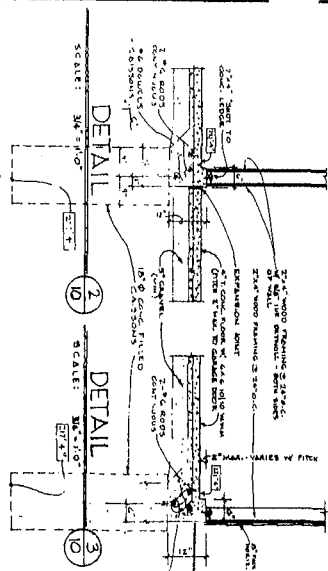
PROJECT CONDO COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR KREUTER-YUNKER
6900 W. LINCOLN AVE.
MILWAUKEE, WISCONSIN

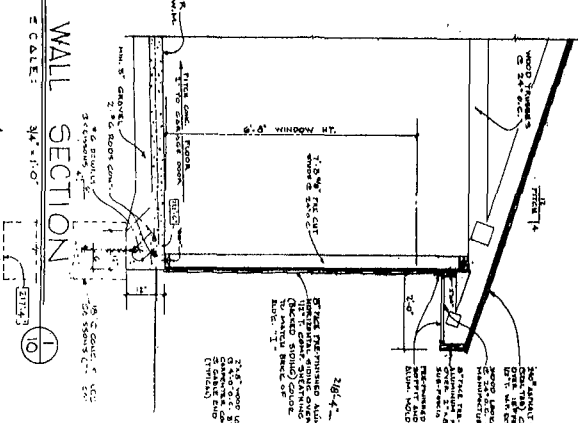
REVISIONS	JOB NO.	M.C.
11/16/78	DATE	8/17/78
7-4-78	BY	CS



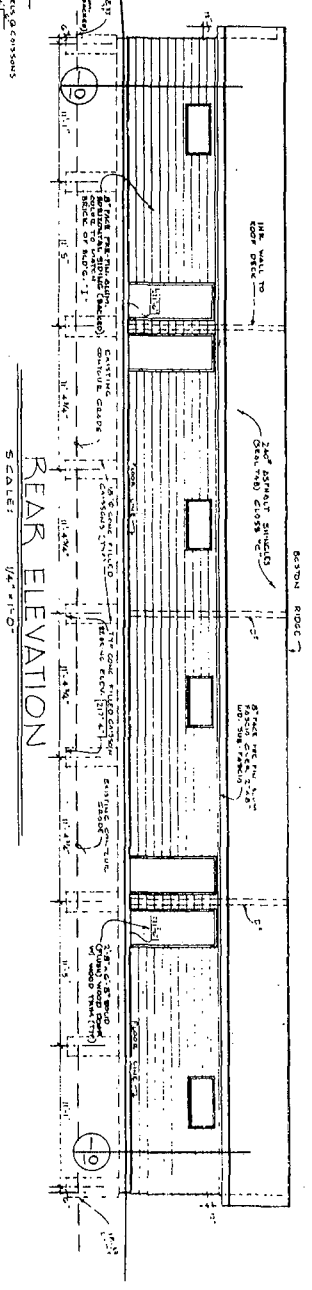
TYPICAL END ELEVATION
SCALE: 1/4" = 1'-0"



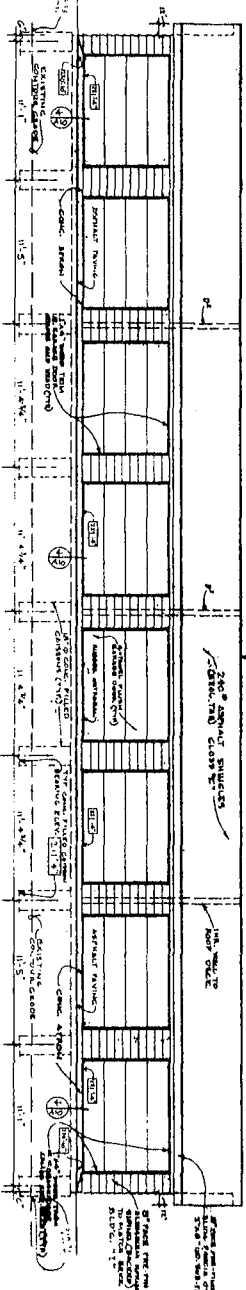
NOTE:
SEE GAVISON
ELEVATION ON
SHEET A10



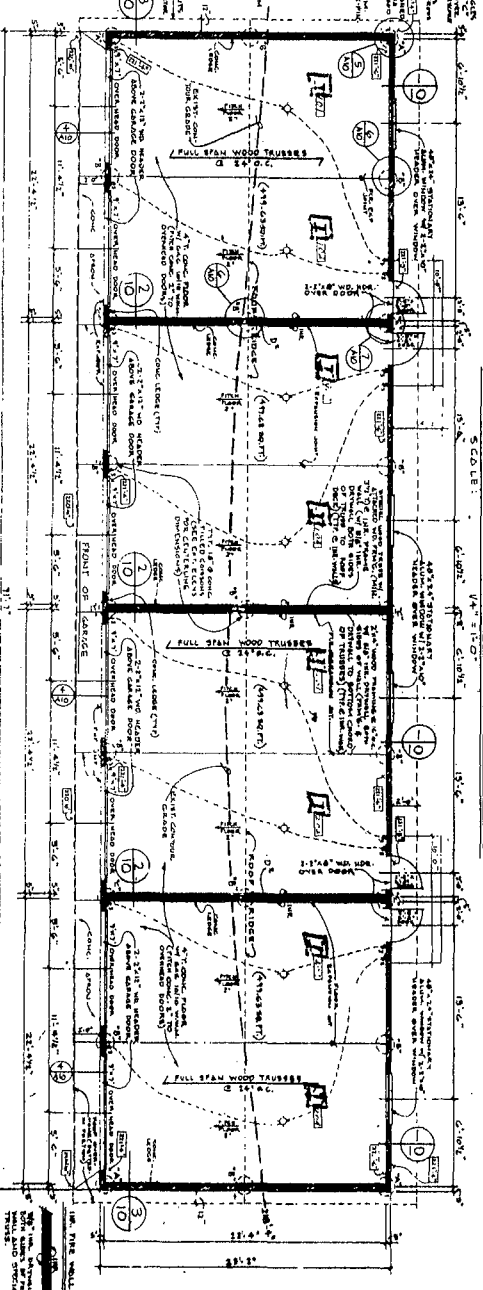
WALL SECTION
SCALE: 3/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



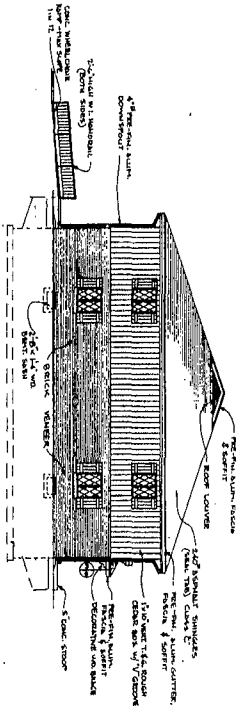
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



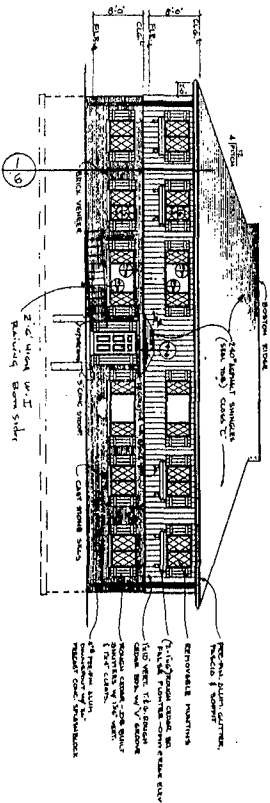
TYPICAL GARAGE FLOOR PLAN (6 CARS TOTAL)
SCALE: 1/4" = 1'-0"

NOTE:
SEE GAVISON ELEVATION ON SHEET A10
FOR DETAILS OF ROOF, WALLS, AND FOUNDATION.

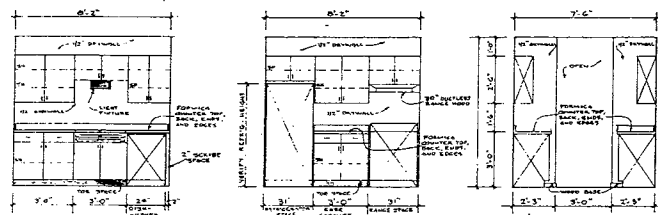
(RIGHT SIDE ELEV. SIMILAR)



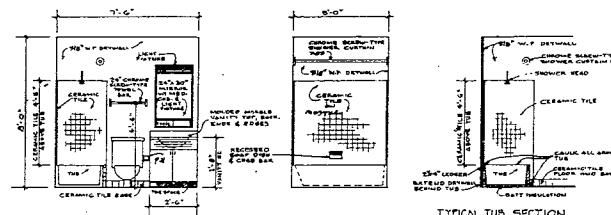
(REF. ELEV SIMILAR-OMN
"ANTHUS E. ENTANCE. MOON



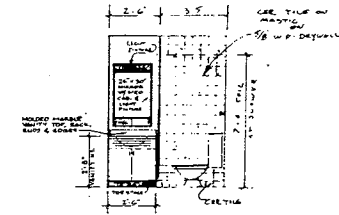
⑩ JJ. BLDG



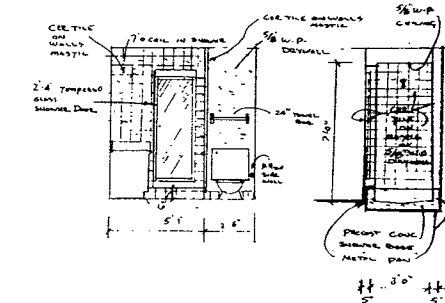
TYPICAL KITCHEN ELEVATIONS
SCALE: 3/8" = 1'-0"



TYPICAL BATH ELEVATIONS
SCALE: 3/8" = 1'-0"

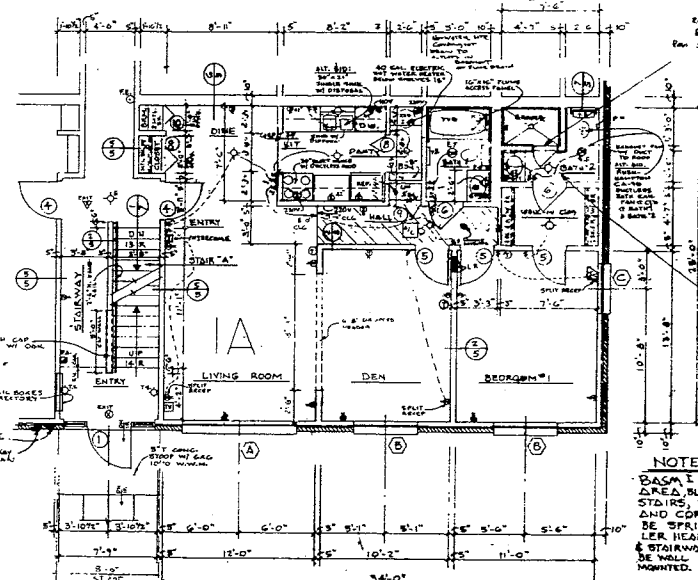


TYPICAL BATH 2 ELEVATION
SCALE: 3/8" = 1'-0"



BATH 2 ELEVATION
SCALE: 3/8" = 1'-0"

REV 3-12-79 - NOTE SHOWER IS ADDED TO ALL UNITS
BY 6-7-79
IN TWO B.R.s / ONE B.R.s W/ DEN IN ALL
BLOCKS, 1 2 3 4 5 6 7 8 9 10 11 12



TYPICAL APARTMENT UNIT
SCALE: 3/8" = 1'-0"

- ELECTRICAL OUTLET SCHEDULE**
- 1. KITCHEN OUTLET
 - 2. BATH OUTLET
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ALTERNATE BIDS:

PROVIDE AND INSTALL
"RUSH-HAMPTON" 30" x 24" SINGLE KITCHEN
SINK W/ DISPOSAL IN
LIEU OF 30" x 24" DOUBLE
DOWN KITCHEN SINK W/
DISPOSAL AS SHOWN.

PROVIDE AND INSTALL
METAL CLOSET SHELVES
IN LIEU OF WOOD SHELVES

REVISION 3-12-79
ADDED
SHOWER

30-47-SHOWER

NOTE:
BATH, BUG, ENTRIES,
STAIRS, STAIRWAYS,
AND CORRIDORS TO
BE SPRINKLER-SPRINK-
LER HEADS & CORRIDORS
& STAIRWAYS & ENTRIES TO
BE WELLS
MOUNTED.

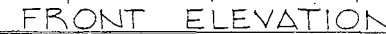
BLOCK J

REVISIONS	JOB NO.	M-1
	DATE	3/17/75
	TIME	2:10



WALL SECTION

SCALE: $\frac{3}{4}" = 1'-0"$

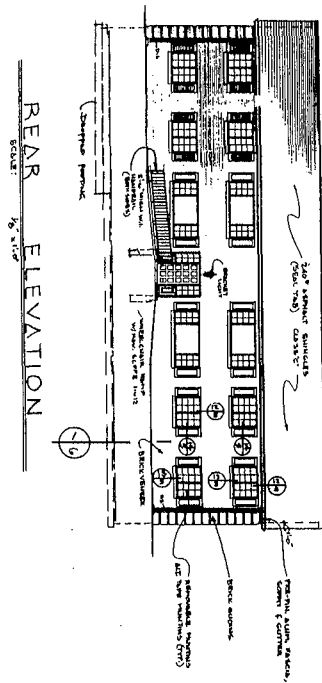
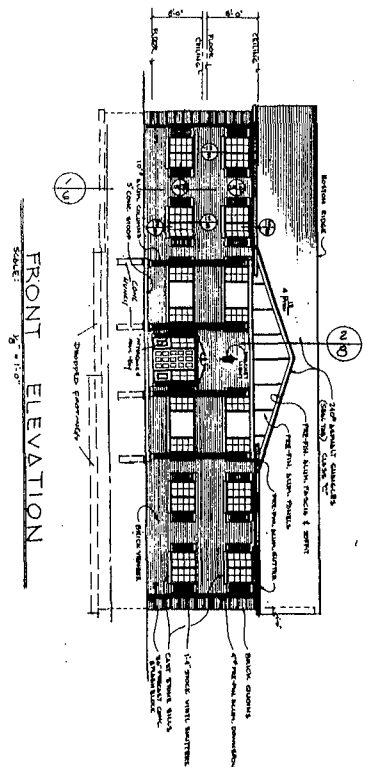
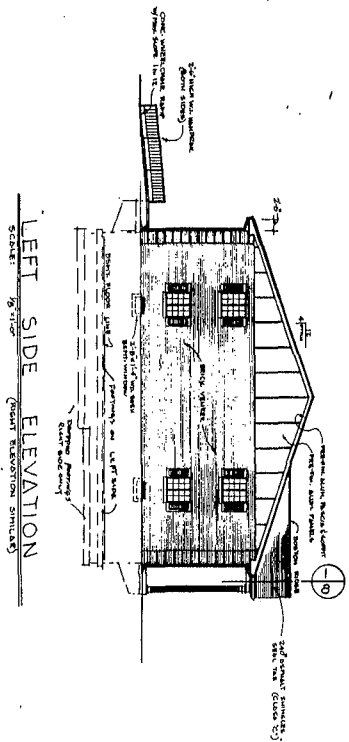


BUILDING RJ (16)

CONDO COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

Olson H. Scholz architect, inc. AIA.
150 WEST WASHINGTON ROAD • MILWAUKEE, WISC. • AREA CODE 414
IN CODE, 5317 PHONE, 46-1500

EXHIBIT D



BUILDING

EXHIBIT D

650 N. PORTSMOUTH AVE • MILWAUKEE, WISC • AREA CODE 414
 EX CODE: 8817 PHONE: 94-7540

PROJECT CONDO COMPLEX
WHITNOLL EDGE
FRANKLIN, WISCONSIN

SPONSOR KREUTER -YUNKER CONST. CO.
6900 W. LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	JOB NO.	M-1
7/6/79	DATE	6/14/79
	DRAWN BY	DL CS

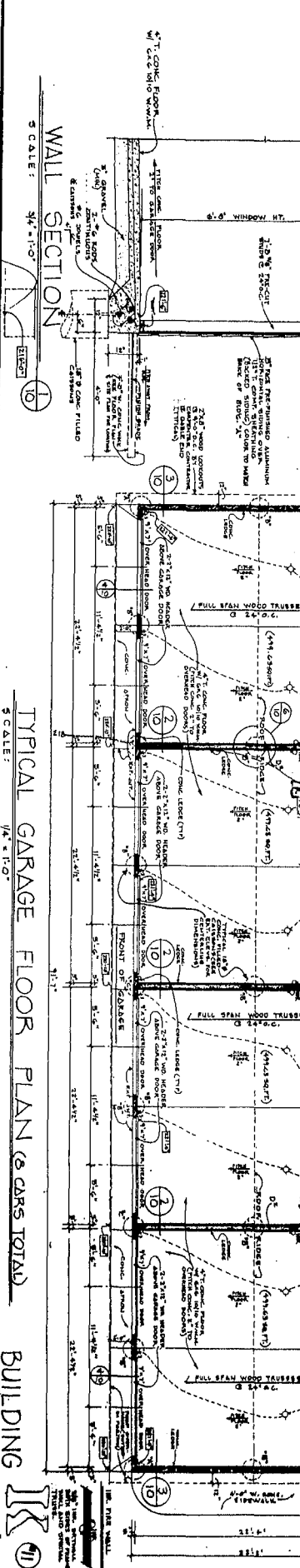
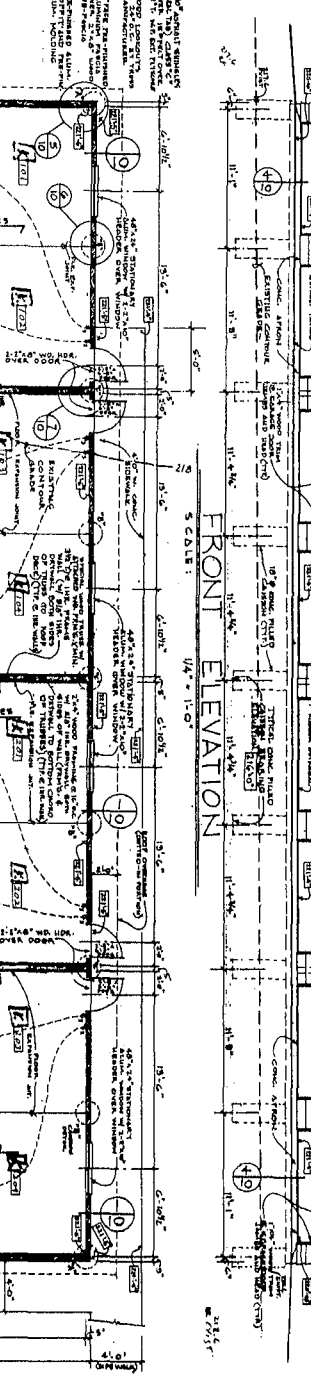
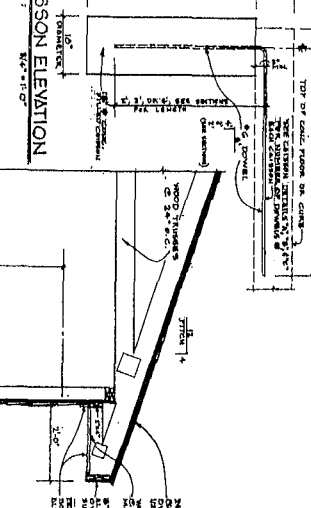
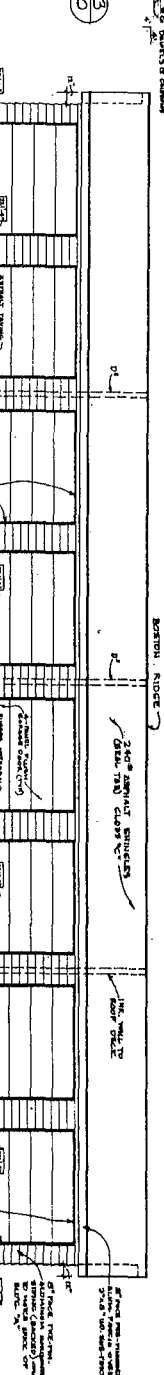
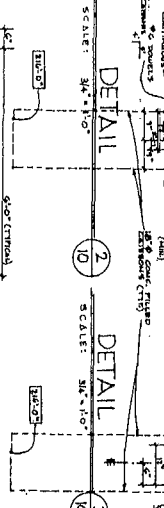
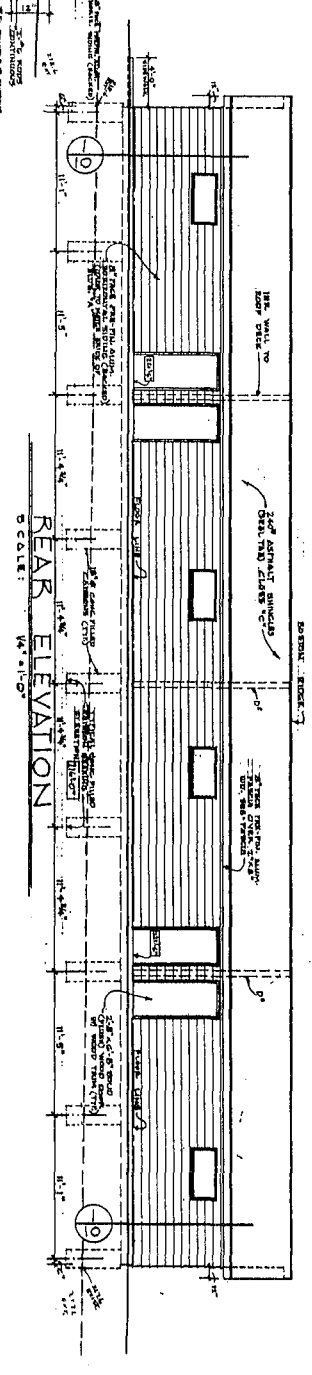
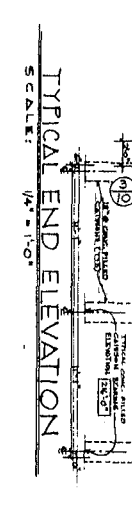
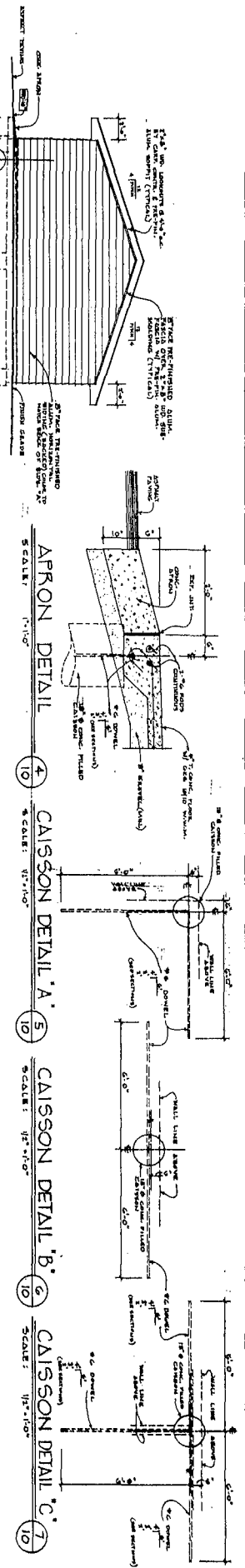


EXHIBIT D

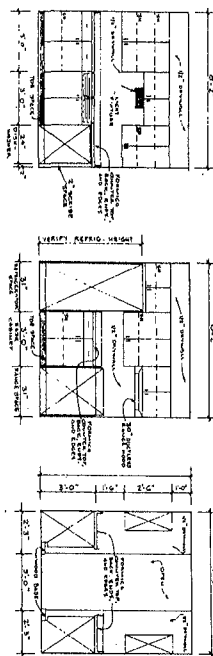
11

Oliver H. Scholz architect, inc. AIA
 6750 NORTH FORT WASHINGTON ROAD • MILWAUKEE, WIS. • AREA CODE 414
 TEL 666-2211 FAX 666-1600

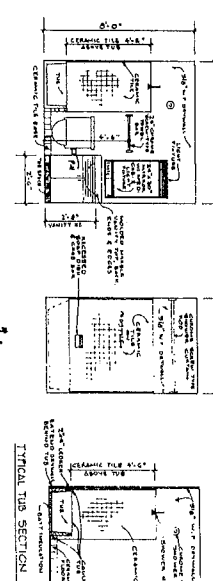
PROJECT CONDO COMPLEX
 WHITNALL EDGE
 FRANKLIN, WISCONSIN

SPONSOR
 KREUTER-YUNKER
 6900 WEST LINCOLN AVE.
 MILWAUKEE, WISCONSIN

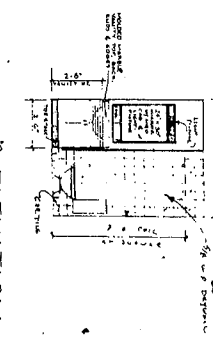
REVISIONS	DATE	BY	CHK	APP
1	6/18/74	OS		



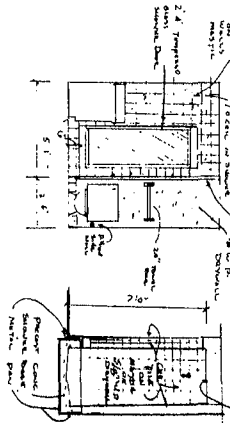
TYPICAL KITCHEN ELEVATIONS
SCALE: 3/8" = 1'-0"



TYPICAL BATH ELEVATIONS
SCALE: 3/8" = 1'-0"



TYPICAL BATH ELEVATION
SCALE: 3/8" = 1'-0"



BATH #2 ELEVATION
Scale 3/8" = 1'-0"

REV 3-12-79 - NOTE SHOULD BE ADDED TO ALL UNITS
AV 6-7-78
BLOC 5-1-1-2-3-4-5-6-7-8-9-10-11-12

- EXHAUST, COOKING, DISHWASH**
- 1. EXHAUST FAN - 1/2 HP
 - 2. EXHAUST DUCT - 6" DIA
 - 3. EXHAUST PIPE - 6" DIA
 - 4. EXHAUST CAP - 6" DIA
 - 5. EXHAUST FAN - 1/2 HP
 - 6. EXHAUST DUCT - 6" DIA
 - 7. EXHAUST PIPE - 6" DIA
 - 8. EXHAUST CAP - 6" DIA
 - 9. EXHAUST FAN - 1/2 HP
 - 10. EXHAUST DUCT - 6" DIA
 - 11. EXHAUST PIPE - 6" DIA
 - 12. EXHAUST CAP - 6" DIA

ALTERNATE BIDS:

1. EXHAUST FAN - 1/2 HP

2. EXHAUST DUCT - 6" DIA

3. EXHAUST PIPE - 6" DIA

4. EXHAUST CAP - 6" DIA

5. EXHAUST FAN - 1/2 HP

6. EXHAUST DUCT - 6" DIA

7. EXHAUST PIPE - 6" DIA

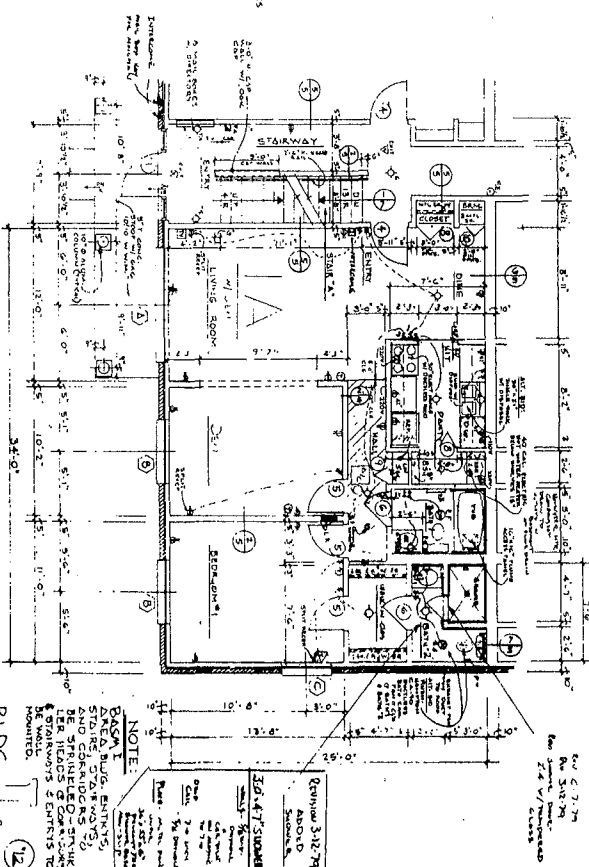
8. EXHAUST CAP - 6" DIA

9. EXHAUST FAN - 1/2 HP

10. EXHAUST DUCT - 6" DIA

11. EXHAUST PIPE - 6" DIA

12. EXHAUST CAP - 6" DIA



TYPICAL APARTMENT UNIT
SCALE: 1/8" = 1'-0"

NOTE:

1. EXHAUST FAN - 1/2 HP

2. EXHAUST DUCT - 6" DIA

3. EXHAUST PIPE - 6" DIA

4. EXHAUST CAP - 6" DIA

5. EXHAUST FAN - 1/2 HP

6. EXHAUST DUCT - 6" DIA

7. EXHAUST PIPE - 6" DIA

8. EXHAUST CAP - 6" DIA

9. EXHAUST FAN - 1/2 HP

10. EXHAUST DUCT - 6" DIA

11. EXHAUST PIPE - 6" DIA

12. EXHAUST CAP - 6" DIA



BLD'G. I (2)

[illegible][illegible]

DETAIL

SCALE: 1/2" = 1'-0"

Welded

[illegible]

FRONT ELEVATION

WALL SECTION

SCALE: 3/4" = 1'-0"

10

2'-3"

TYPICAL GARAGE FLOOR PLAN (8 CARS TOTAL)

SCALE: 1:4000

BUILDING

2

Glen H. Scholz architect, Inc. AIA.
 7 NORTH PORT WASHINGTON ROAD • MILWAUKEE, WISC. • AREA CODE 414
 ZIP CODE: 53211 PHONE: 961-7999

PROJECT CONDO COMPLEX
WHITNALL EDGE
FRANKLIN, WISCONSIN

SPONSOR KREUTER - YUNKER
6900 WEST LINCOLN AVE.
MILWAUKEE, WISCONSIN

REVISIONS	JOB NO.	241
	DATE	6 12 79
	DRAWN BY	A. J.

SCALE: 3/8" = 1'-0"



SCALE: 3/8" = 1'-0"



5
3
2
1



Score 3/8: 10



SCALE: 1/4" = 1'-0"



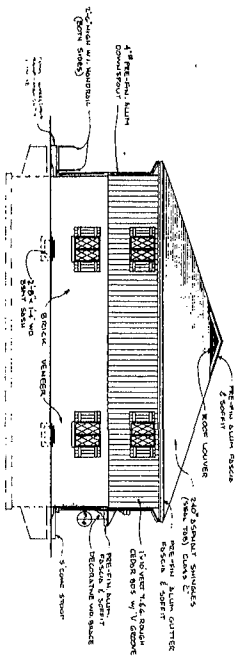
ALTERNATE BIDS:

PROVIDE AND INSTALL
RUSH - 14M1011 - 1/2" O.D.
DUSTLESS ROOF EXHAUST
FAN - 1/2" O.D. - 1/2" O.D.
IN LIEU OF DUCTED
ROOF EXHAUST FAN
DUCT TO ROOF, AS SHOWN.

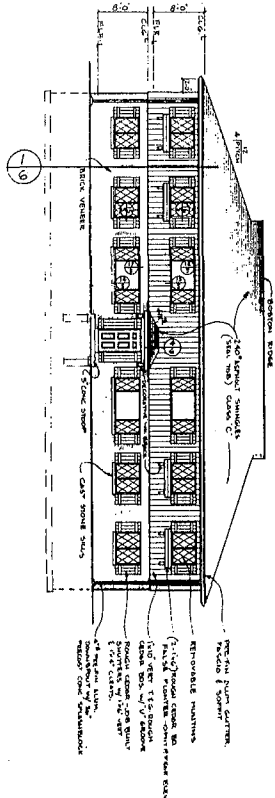
PROVIDE AND INSTALL
30" x 21" SINGLE KITCHEN
SINK w/ DISPOSAL IN
LIEU OF 36" x 21" DOUBLE
SINK KITCHEN SINK w/
DISPOSAL AS SHOWN.

PROVIDE AND INSTALL
METAL CLOSET SHELVES
IN LIEU OF WOOD SHELVES

- 1 ☐ INTERNATIONAL COUNTRY SERVICES
- 2 ☐ CALLING COUNTRY
- 3 ☐ CALLING COUNTRY / P.W. CALL
- 4 ☐ WALL BRACKET OUTLAY
- 5 ☐ TIME SERVICE
- 6 ☐ STREET LIGHT (SIGNAL) - PUBLIC
- 7 ☐ OVERHEAD WIRE
- 8 ☐ STREET LIGHT 4' OR TALLER TO
- 9 ☐ STREET LIGHT 10' OR TALLER TO
- 10 ☐ STREET LIGHT (SIGNAL) STREET LIGHT
- 11 ☐ 21' W. STREET OR ROAD OUTLAY
- 12 ☐ 21' W. STREET OR ROAD OUTLAY
- 13 ☐ 21' W. STREET SERVICE CONNECTION
- 14 ☐ 11' W. STREET SERVICE CONNECTION
- 15 ☐ WALL P.W.
- 16 ☐ CALLING P.W.
- 17 ☐ SPECIAL WIRE SERVICE
- 18 ☐ TRANSFORMER SERVICE
- 19 ☐ POWER
- 20 ☐ KITTY CLOSET
- 21 ☐ 7' W. ALUM. SERVICE
- 22 ☐ 7' W. ALUM. SERVICE
- 23 ☐ 7' W. ALUM. SERVICE
- 24 ☐ 7' W. ALUM. SERVICE
- 25 ☐ 7' W. ALUM. SERVICE
- 26 ☐ 7' W. ALUM. SERVICE
- 27 ☐ 7' W. ALUM. SERVICE
- 28 ☐ 7' W. ALUM. SERVICE
- 29 ☐ 7' W. ALUM. SERVICE
- 30 ☐ 7' W. ALUM. SERVICE
- 31 ☐ 7' W. ALUM. SERVICE
- 32 ☐ 7' W. ALUM. SERVICE
- 33 ☐ 7' W. ALUM. SERVICE
- 34 ☐ 7' W. ALUM. SERVICE
- 35 ☐ 7' W. ALUM. SERVICE
- 36 ☐ 7' W. ALUM. SERVICE
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- 77 ☐ 7' W. ALUM. SERVICE
- 78 ☐ 7' W. ALUM. SERVICE
- 79 ☐ 7' W. ALUM. SERVICE
- 80 ☐ 7' W. ALUM. SERVICE
- 81 ☐ 7' W. ALUM. SERVICE
- 82 ☐ 7' W. ALUM. SERVICE
- 83 ☐ 7' W. ALUM. SERVICE
- 84 ☐ 7' W. ALUM. SERVICE
- 85 ☐ 7' W. ALUM. SERVICE
- 86 ☐ 7' W. ALUM. SERVICE
- 87 ☐ 7' W. ALUM. SERVICE
- 88 ☐ 7' W. ALUM. SERVICE
- 89 ☐ 7' W. ALUM. SERVICE
- 90 ☐ 7' W. ALUM. SERVICE
- 91 ☐ 7' W. ALUM. SERVICE
- 92 ☐ 7' W. ALUM. SERVICE
- 93 ☐ 7' W. ALUM. SERVICE
- 94 ☐ 7' W. ALUM. SERVICE
- 95 ☐ 7' W. ALUM. SERVICE
- 96 ☐ 7' W. ALUM. SERVICE
- 97 ☐ 7' W. ALUM. SERVICE
- 98 ☐ 7' W. ALUM. SERVICE
- 99 ☐ 7' W. ALUM. SERVICE
- 100 ☐ 7' W. ALUM. SERVICE



LEFT SIDE ELEVATION
SCALE: 3/8" = 1'-0"

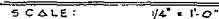
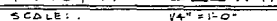
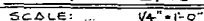


FRONT ELEVATION
SCALE: 3/8" = 1'-0"

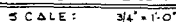
Bldg M 13

EXHIBIT D

	Glen H. Scholz ARCHITECTS, INC. AIA. 6410 N. PORT WASHINGTON RD. • MILWAUKEE, WISC. • AREA CODE 414 217 CODE 3317 PHONE: 961-7284	PROJECT CONDO COMPLEX WHITNALL EDGE FRANKLIN, WISCONSIN	SPONSOR KREUTER-YUNKER 6900 WEST LINCOLN AVE. MILWAUKEE, WISCONSIN	REVISIONS 7/16/79	JOB NO. 14-1 DATE 5/18/79 DRAWN BY 144 G



SEE CAISSON
ELEVATION ON
SHEET # A10



SEE CONC APRON DETAIL $\left(\frac{4}{10}\right)$, AND,
CAISSON DETAILS "A" $\left(\frac{5}{10}\right)$, "B" $\left(\frac{6}{10}\right)$, AND "C" $\left(\frac{7}{10}\right)$,
ON BUILDING $(A)(1)$ SHEET #A-10.

SECRET

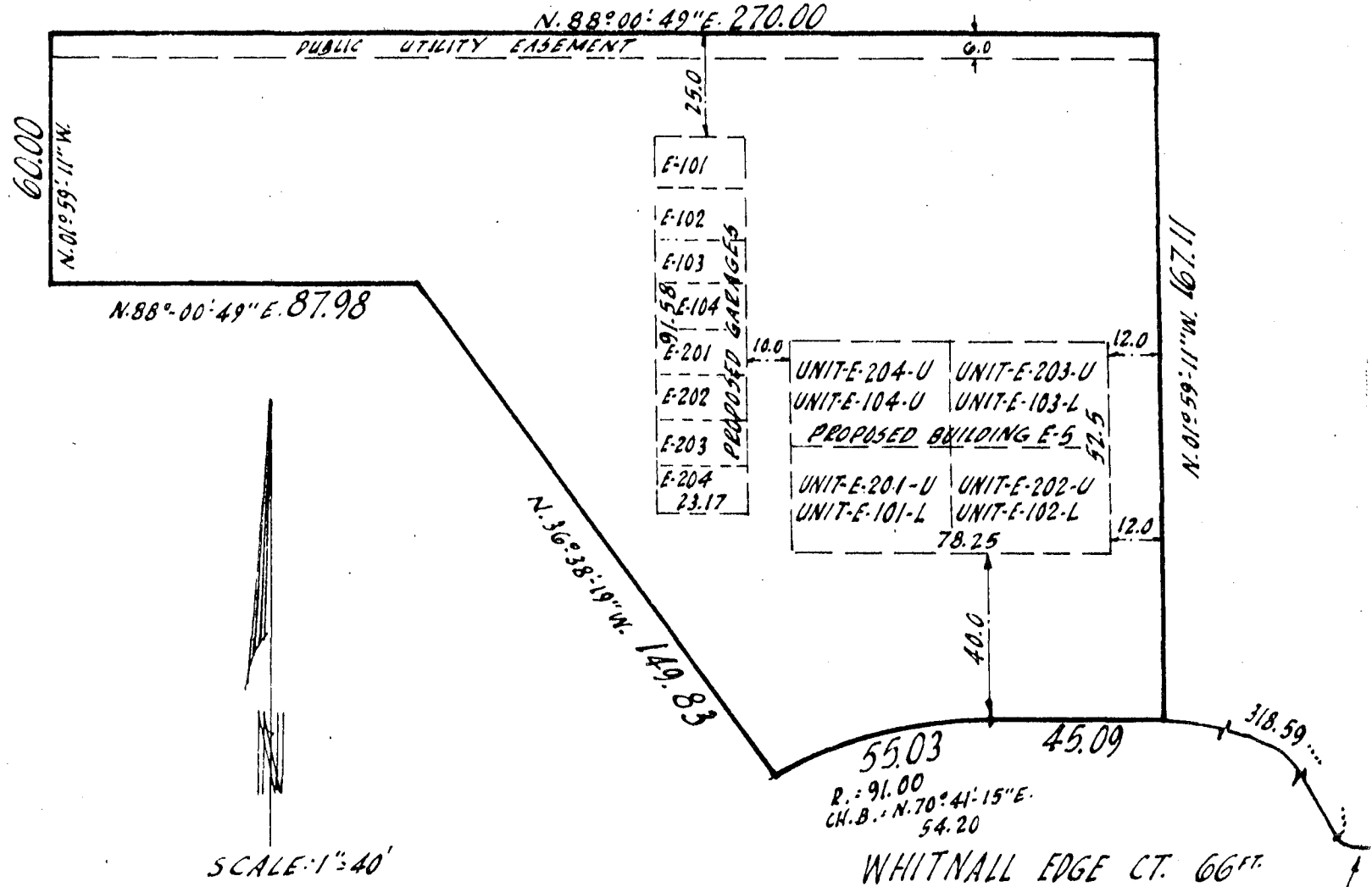
EXHIBIT D

WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10376 WHITNALL EDGE COURT, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 8 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469 AND LANDS IN THE
NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN.

FEBRUARY 11, 1980

SURVEY NO. 142826-S



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-8"

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.



KENNETH E. BERKE, REGISTERED WISCONSIN
LAND SURVEYOR S 107

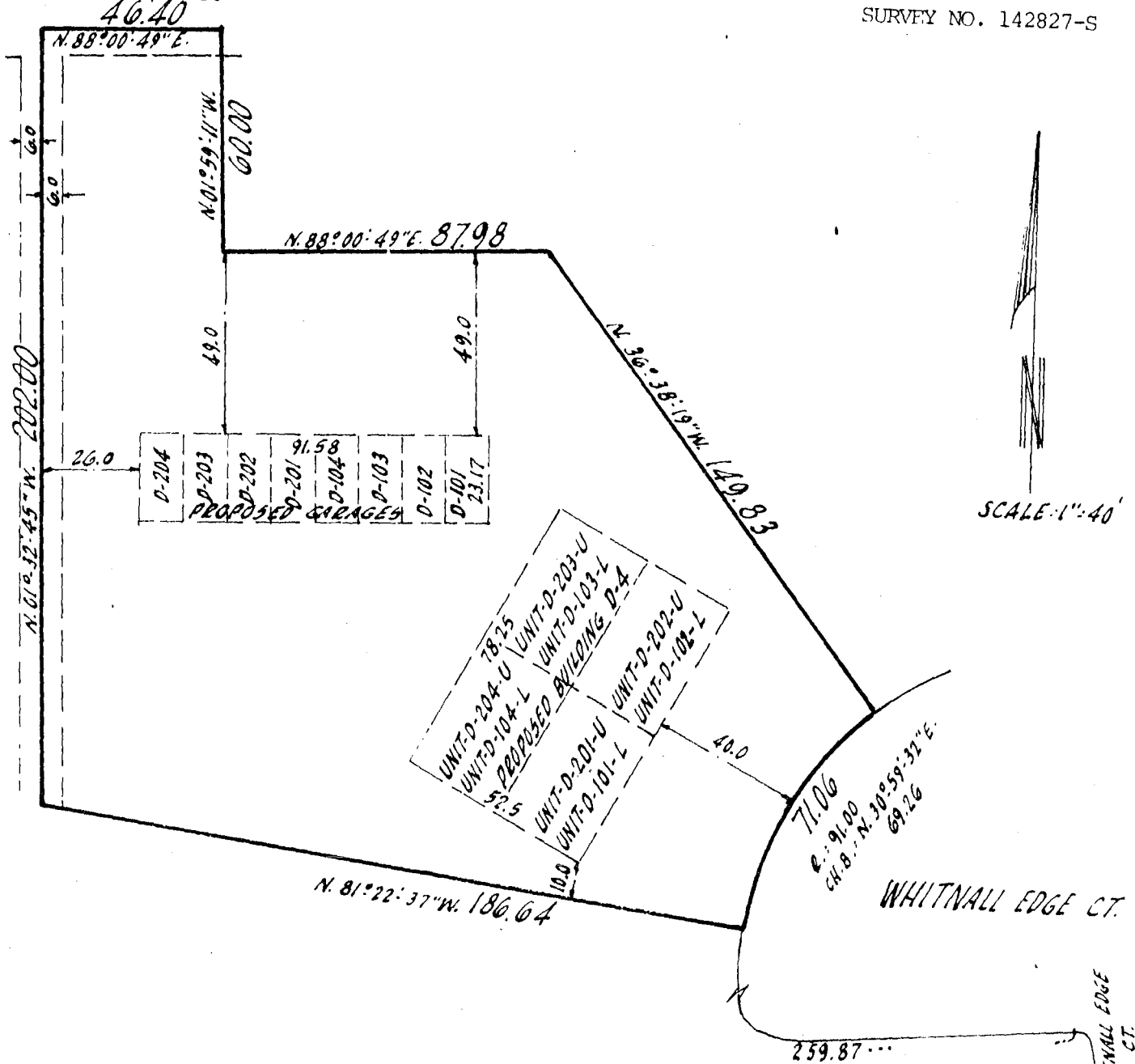
EXHIBIT A

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10400 WHITNALL EDGE COURT, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 7 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469 AND LANDS IN THE
NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN.

FEBRUARY 11, 1980

SURVEY NO. 142827-S



I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEY- EXHIBIT "A-7"
ED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE RE-
PRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF
THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED
UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION
OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND
THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON
ELEMENTS CAN BE DETERMINED FROM THE PLAT.

WHITNALL, EDGE CONDOMINIUM PHASE I

RE-

WISCONSIN

KENNETH E. BERKE
S-107
MILWAUKEE,
WIS.

PLANNED BY

WHITNALL, EDGE CONDENSER PHASE I



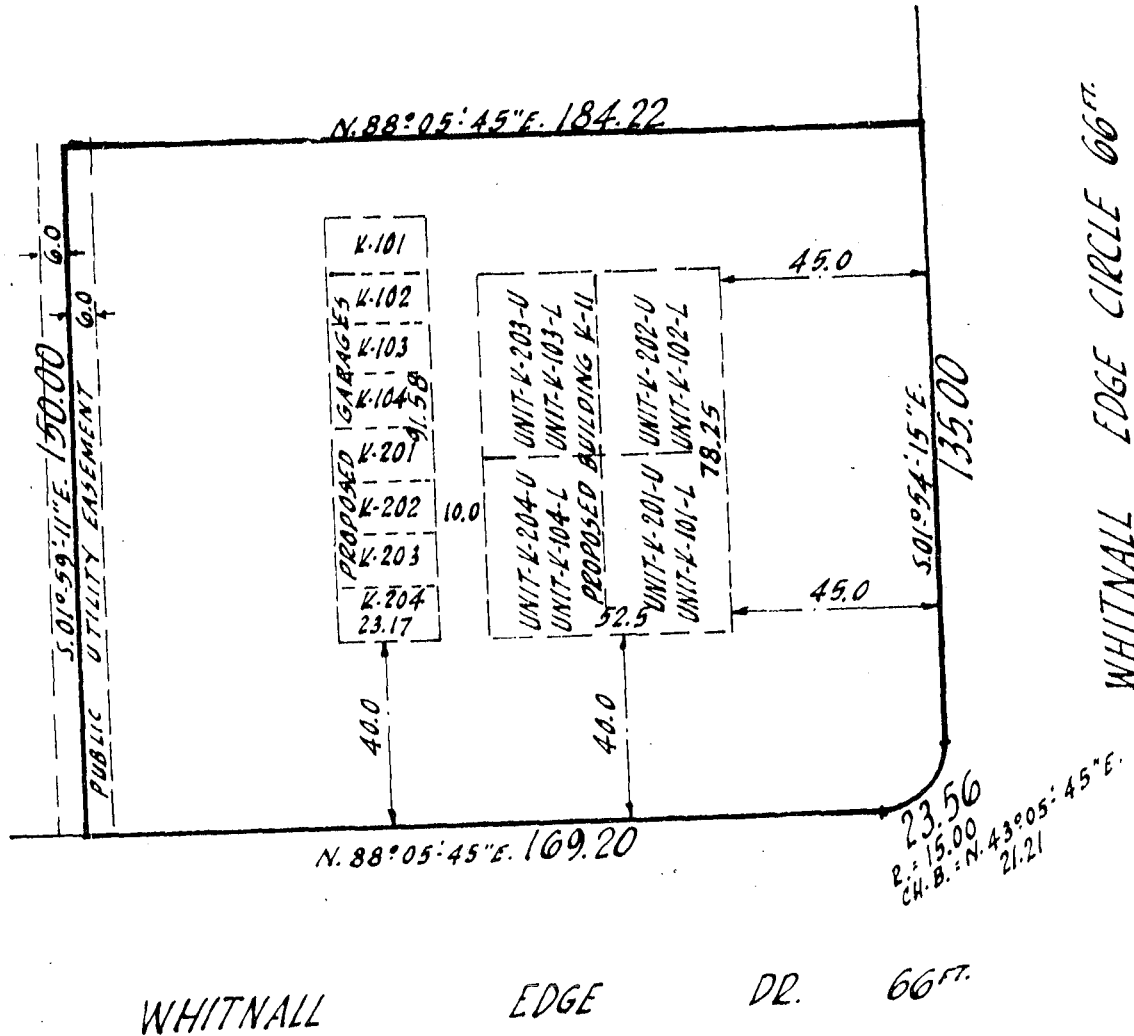
KENNETH F. BERKE, REGISTERED
WISCONSIN LAND SURVEYOR S 107
EXHIBIT B

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10278 WHITNALL EDGE CIRCLE, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 12 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN
THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 F, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 142823-M



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-12"

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE
ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE RE-
PRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF
THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED
UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION
OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND
THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON
ELEMENTS CAN BE DETERMINED FROM THE PLAT.



KENNETH E. BERKE,
LAND SURVEYOR S 107

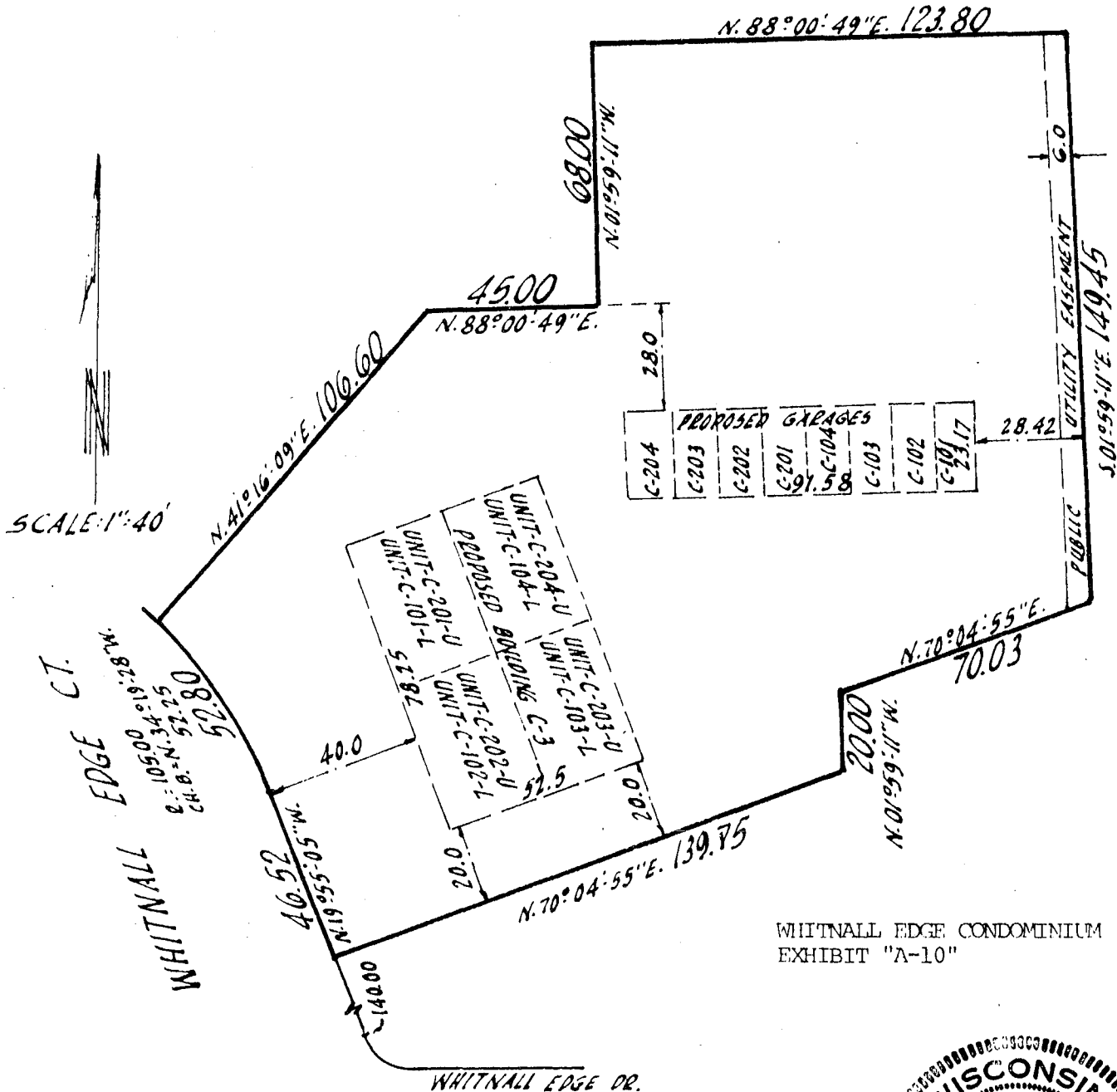
EXHIBIT B

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10352 WHITNALL EDGE COURT, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 10 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN
THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 143108-S



I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.



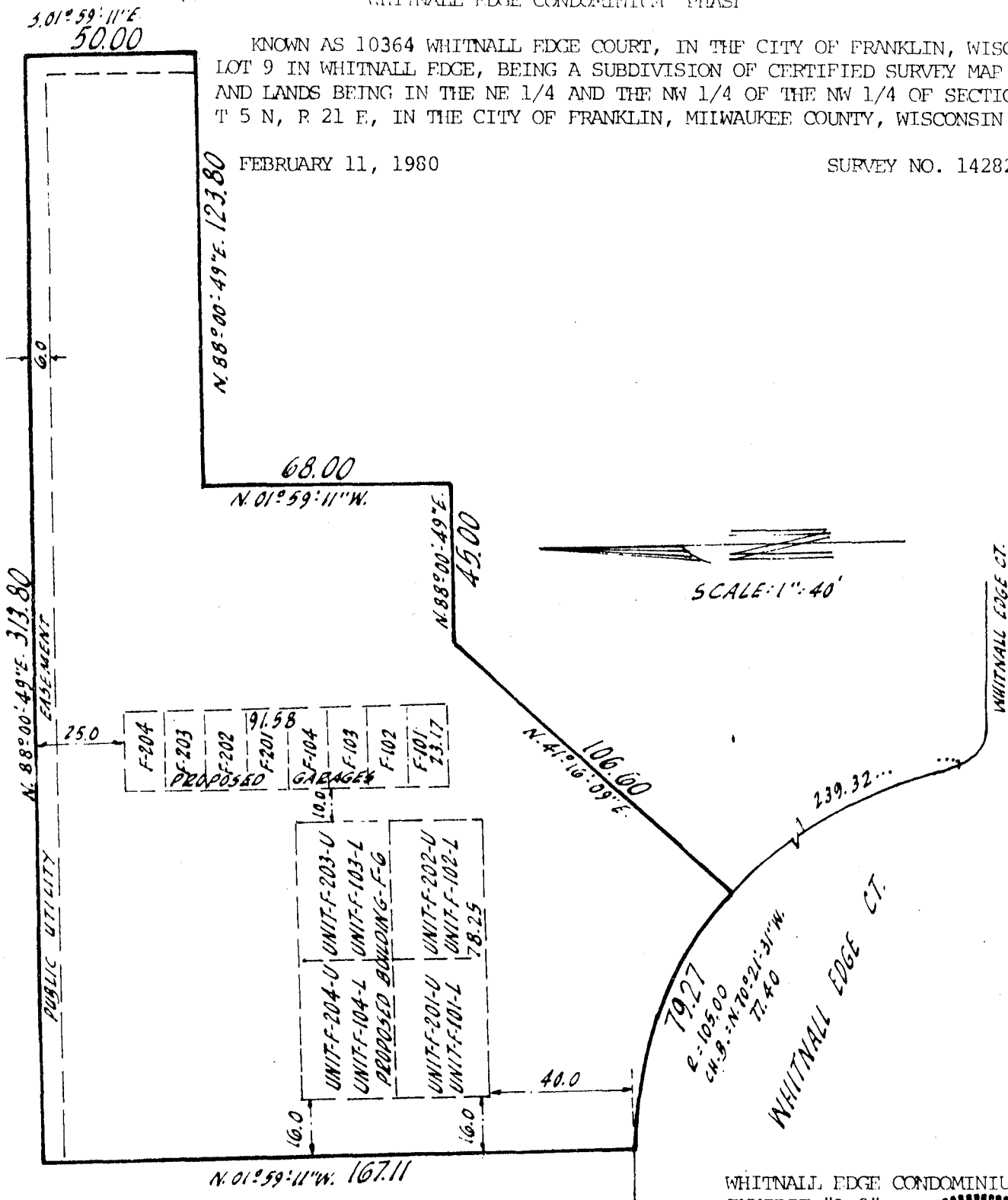
Kenneth E. Berke
KENNETH E. BERKE, REGISTERED WISCONSIN
LAND SURVEYOR S 107 EXHIBIT B

WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10364 WHITNALL EDGE COURT, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 9 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469
AND LANDS BEING IN THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5,
T 5 N, R 21 E, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

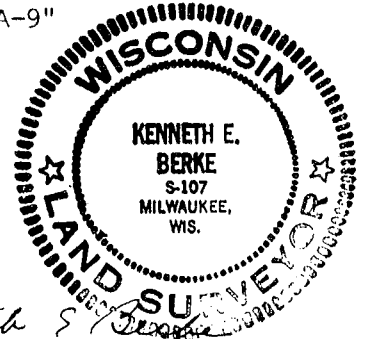
FEBRUARY 11, 1980

SURVEY NO. 142825-S



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-9"

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.



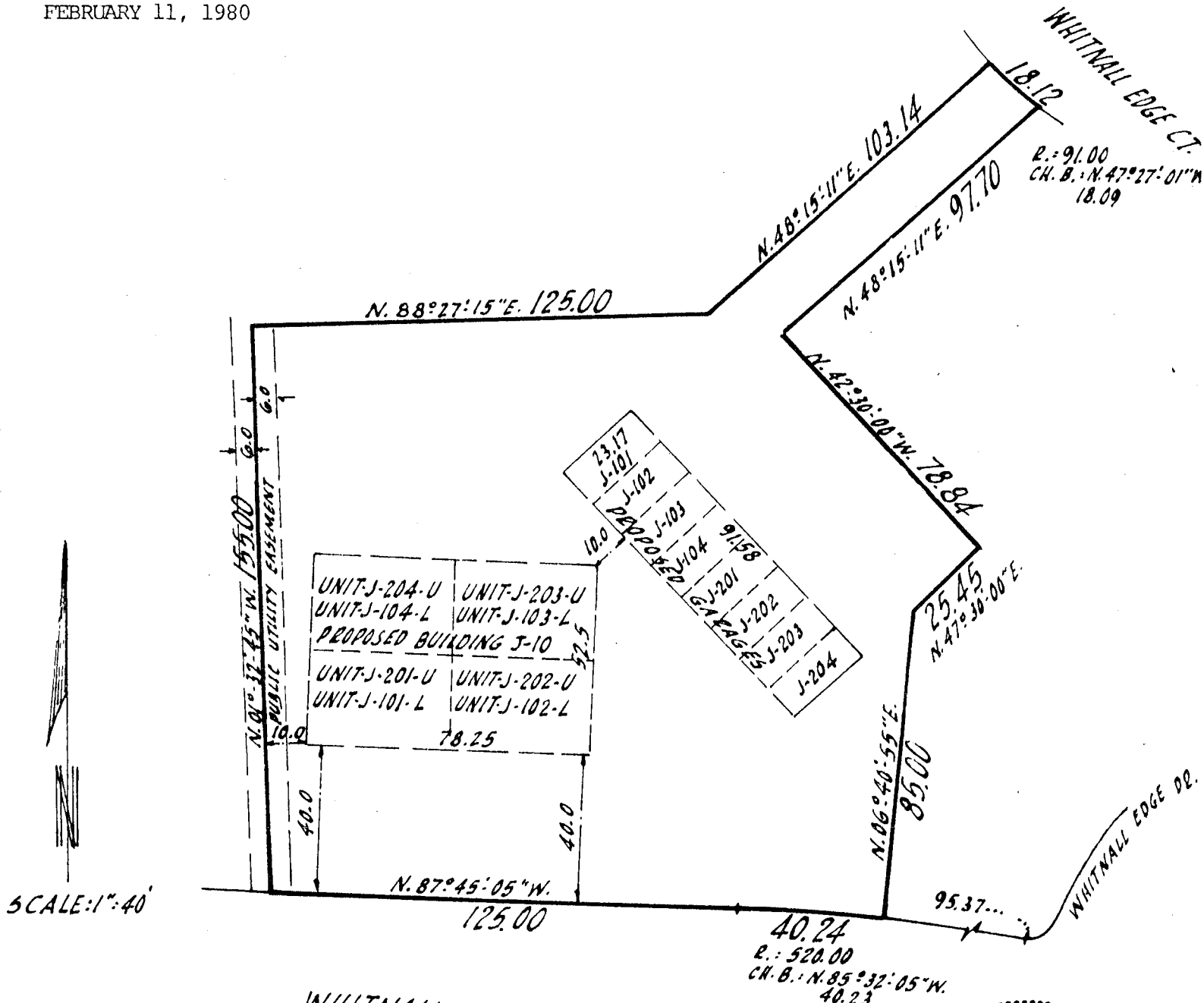
Kenneth E. Berke
KENNETH E. BERKE, REGISTERED WISCONSIN
LAND SURVEYOR S 107 EXHIBIT B

PLAT OF
HITNALL EDGE CONDOMINIUM PHASE

KNOWN AS 6464 WHITNALL EDGE ROAD, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 4 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469 AND LANDS IN THE
NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN.

SURVEY NO. 142829-S

FEBRUARY 11, 1980



SCALE: 1" = 40'

I, KENNETH E BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE
ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE RE-
PRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF
THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED
UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION
OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND
THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON
ELEMENTS CAN BE DETERMINED FROM THE PLAT.

WISCONSIN
KENNETH E. BERKE
S-107
MILWAUKEE, WIS.
LAND SURVEYOR
KENNETH E. BERKE, REGISTERED
WISCONSIN LAND SURVEYOR S 107

EXHIBIT B

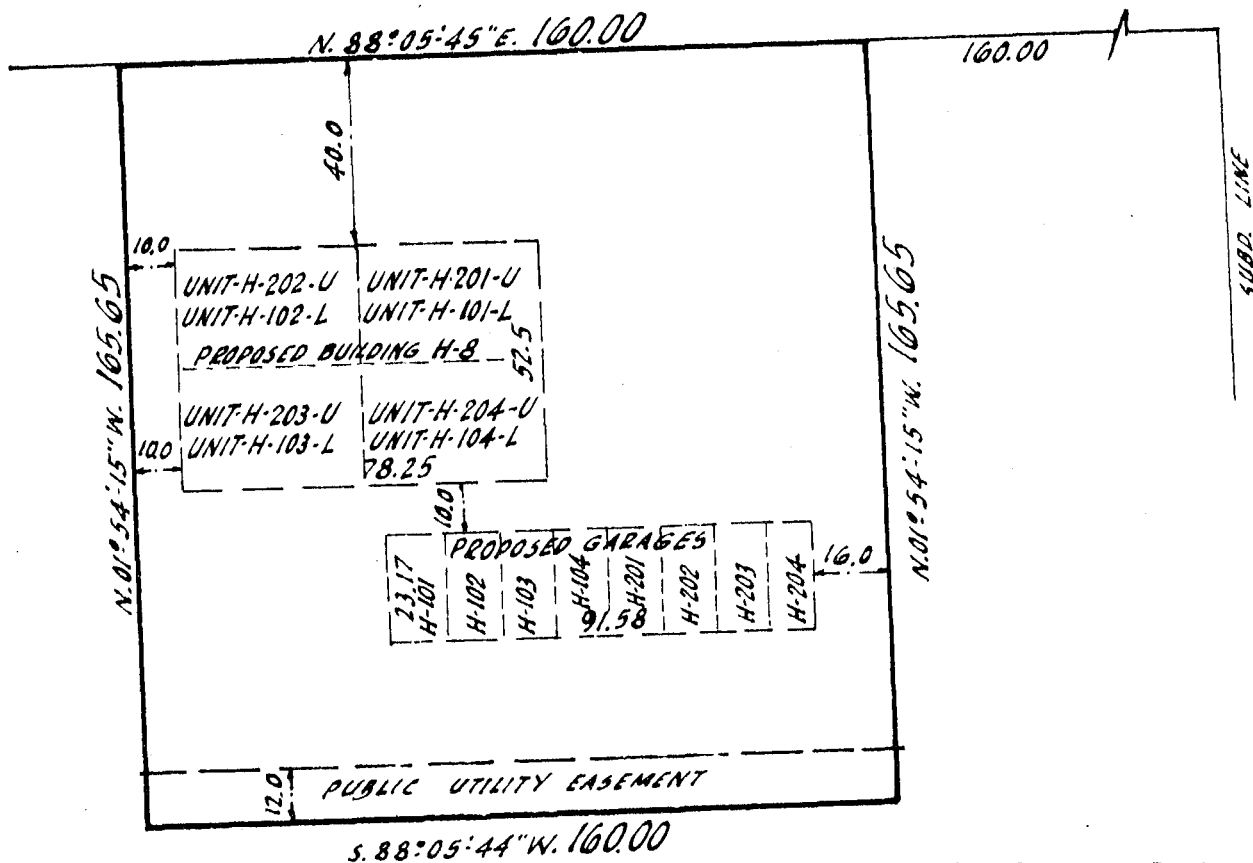
PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10323 WHITNALL EDGE DRIVE, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 14 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN
THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 142822-S

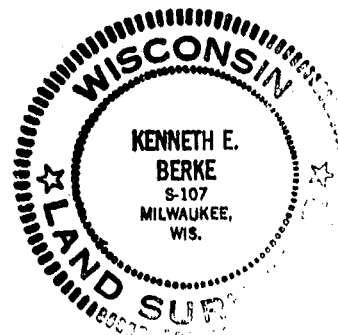
WHITNALL EDGE DR. 66^{FT.}



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-14"

SCALE: 1" = 40'

I, KENNETH E BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE
ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE RE-
PRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF
THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED
UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION
OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND
THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON
ELEMENTS CAN BE DETERMINED FROM THE PLAT.



Kenneth E Berke
KENNETH E BERKE, REGISTERED WISCONSIN
LAND SURVEYOR S 107
EXHIBIT B

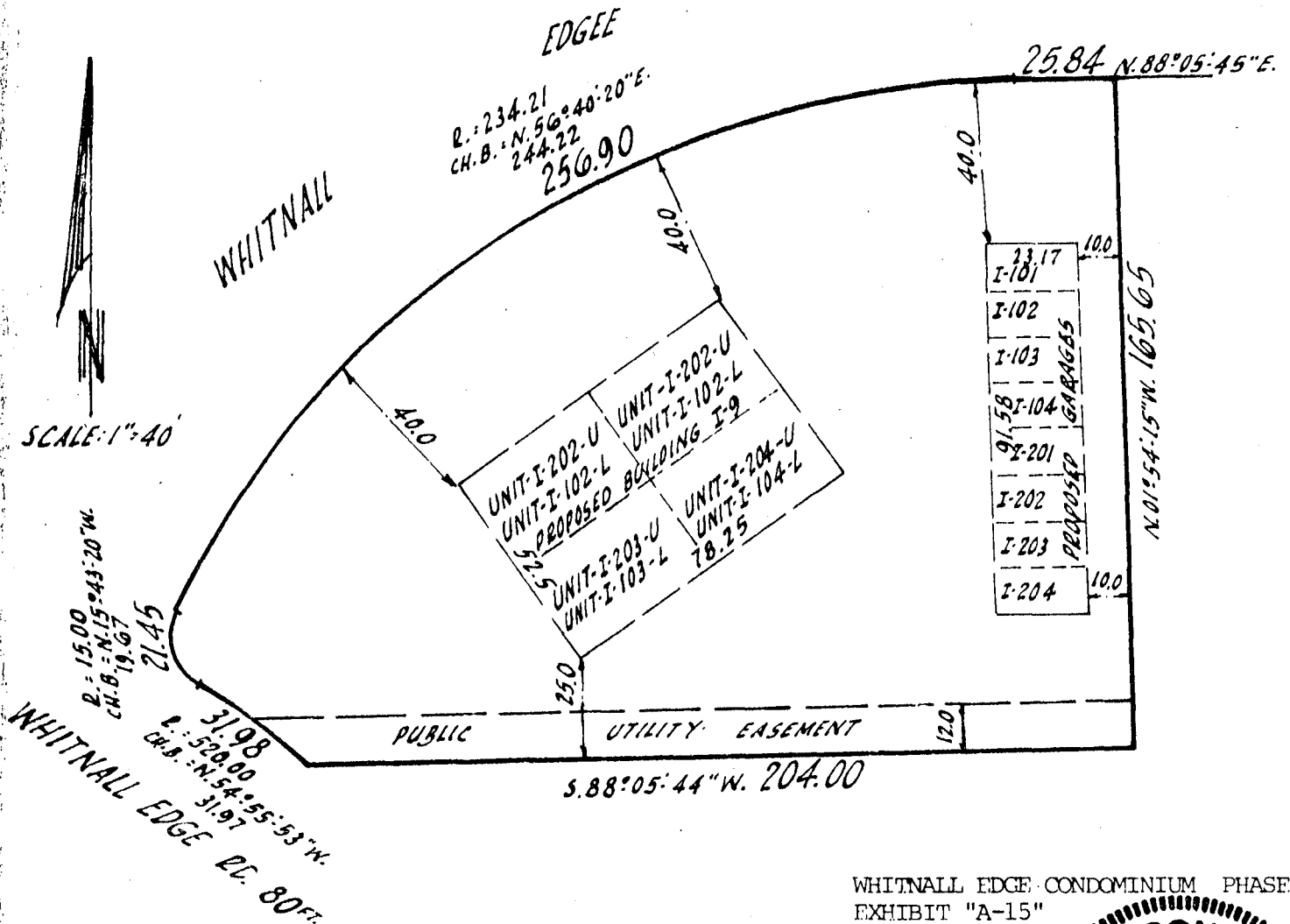
PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10345 WHITNALL EDGE DRIVE, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 15 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN
THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 142821-S

DR. 120 FT.



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-15"

I, KENNETH E BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE
ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE RE-
PRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF
THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED
UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION
OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND
THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON
ELEMENTS CAN BE DETERMINED FROM THE PLAT.



Kenneth E Berke
KENNETH E BERKE, REGISTERED WISCONSIN
LAND SURVEYOR S 107

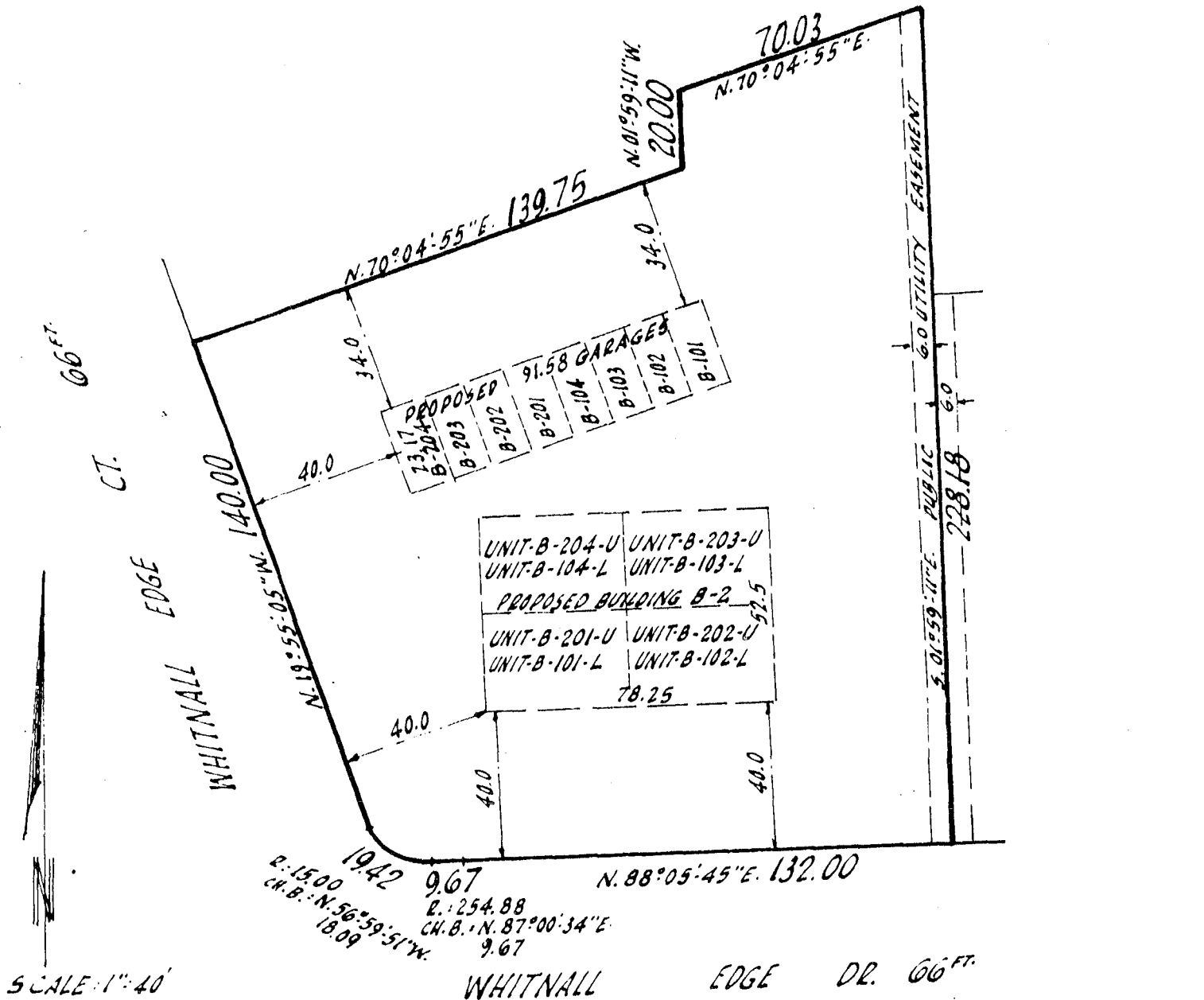
EXHIBIT B

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10340 WHITNALL EDGE DRIVE, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 11 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN
THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 142824-S



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-11"

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.



KENNETH E. BERKE, REGISTERED WISCONSIN
LAND SURVEYOR S 107

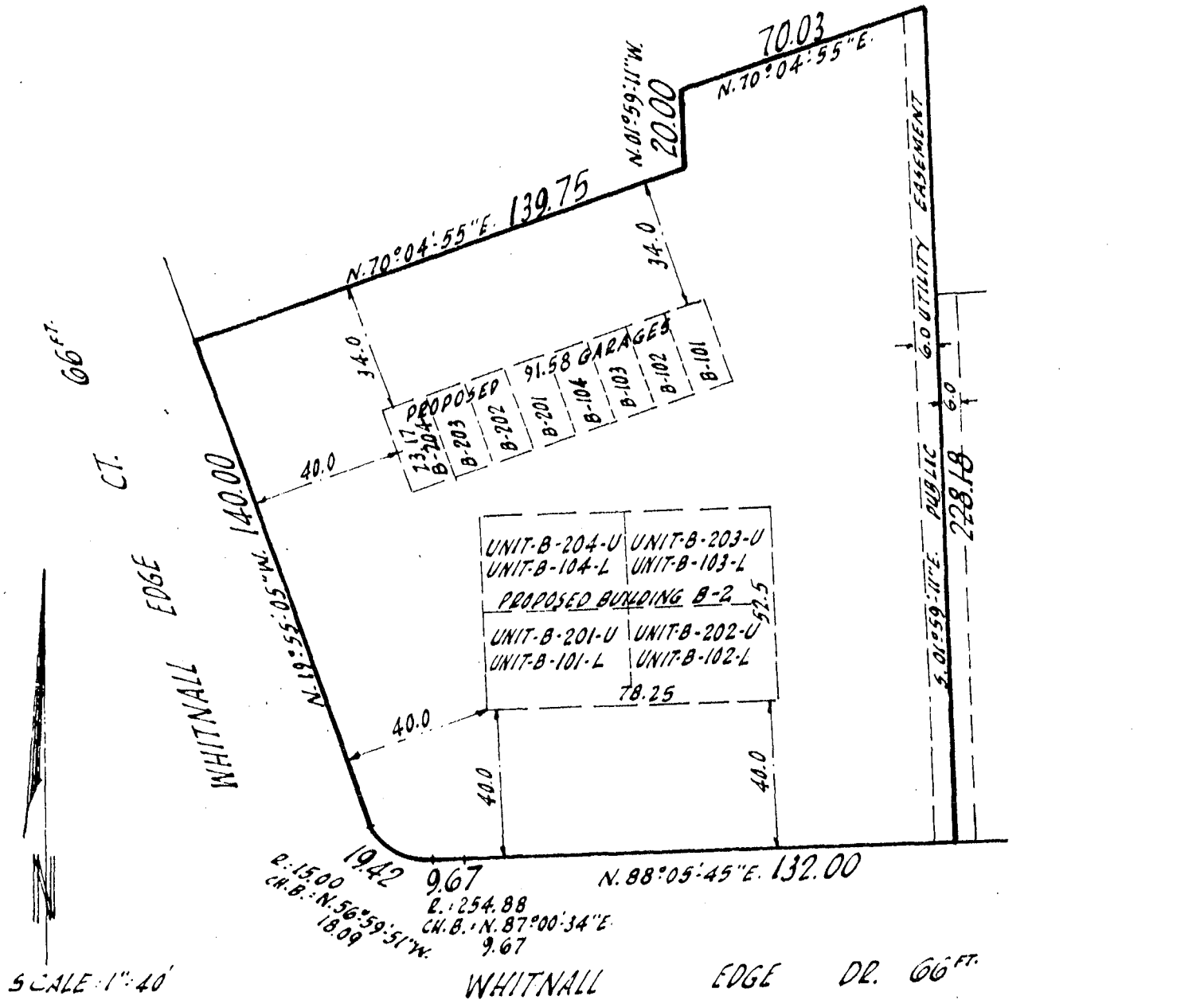
EXHIBIT B

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10340 WHITNALL EDGE DRIVE, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 11 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469, AND LANDS IN
THE NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11, 1980

SURVEY NO. 142824-S



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-11"

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.



Kenneth E. Berke, Registered Wisconsin
Land Surveyor S 107

EXHIBIT B

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

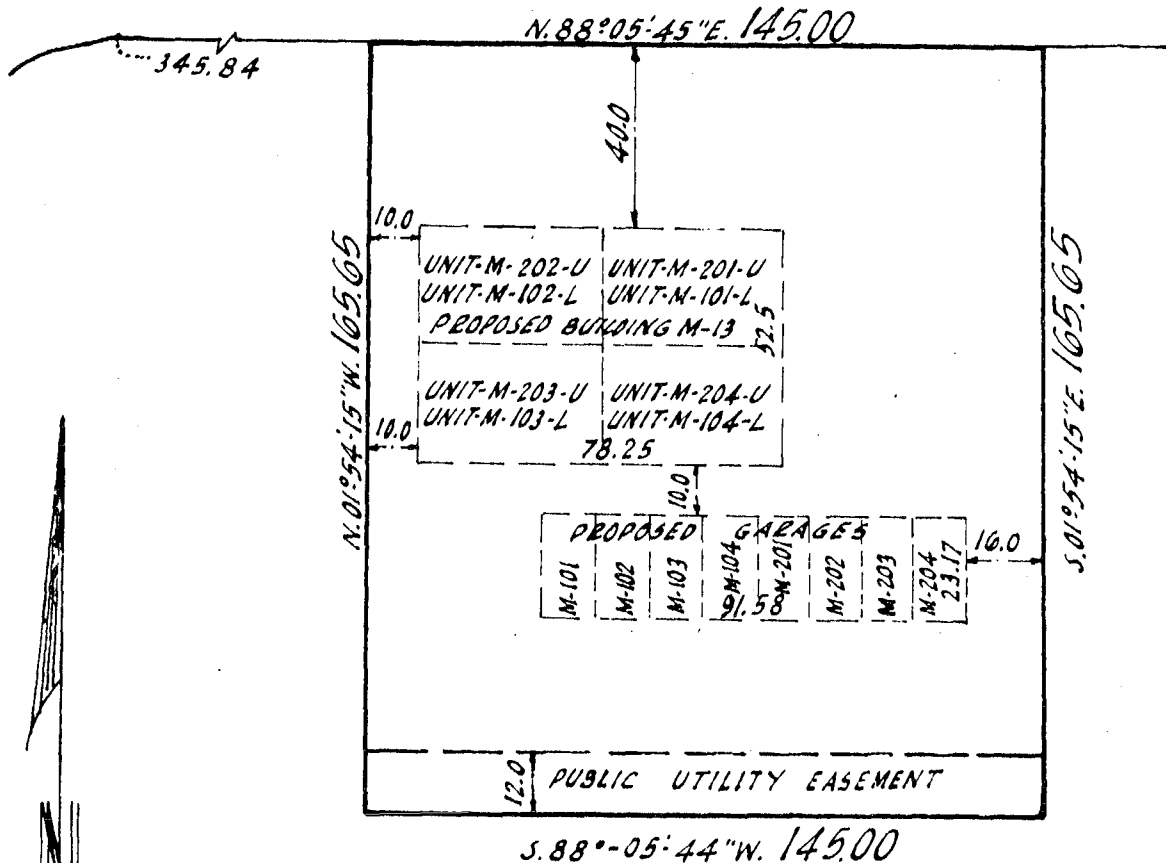
KNOWN AS 10237 WHITNALL EDGE DRIVE IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 16 IN WHITNALL EDGE ADD'N NO. 1, BEING A SUBDIVISION OF LANDS IN THE NW 1/4 OF THE
NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN, MILWAUKEE COUNTY, WISCONSIN

FEBRUARY 11 1980

(CORRECTED SUBDIVISION NAME TO ADD'N NO. 1)

SURVY NO. 144713-S
REVISION NO. 1

WHITNALL EDGE DR. 66'



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT "A-16"

SCALE: 1" = 40'

I, KENNETH E BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.



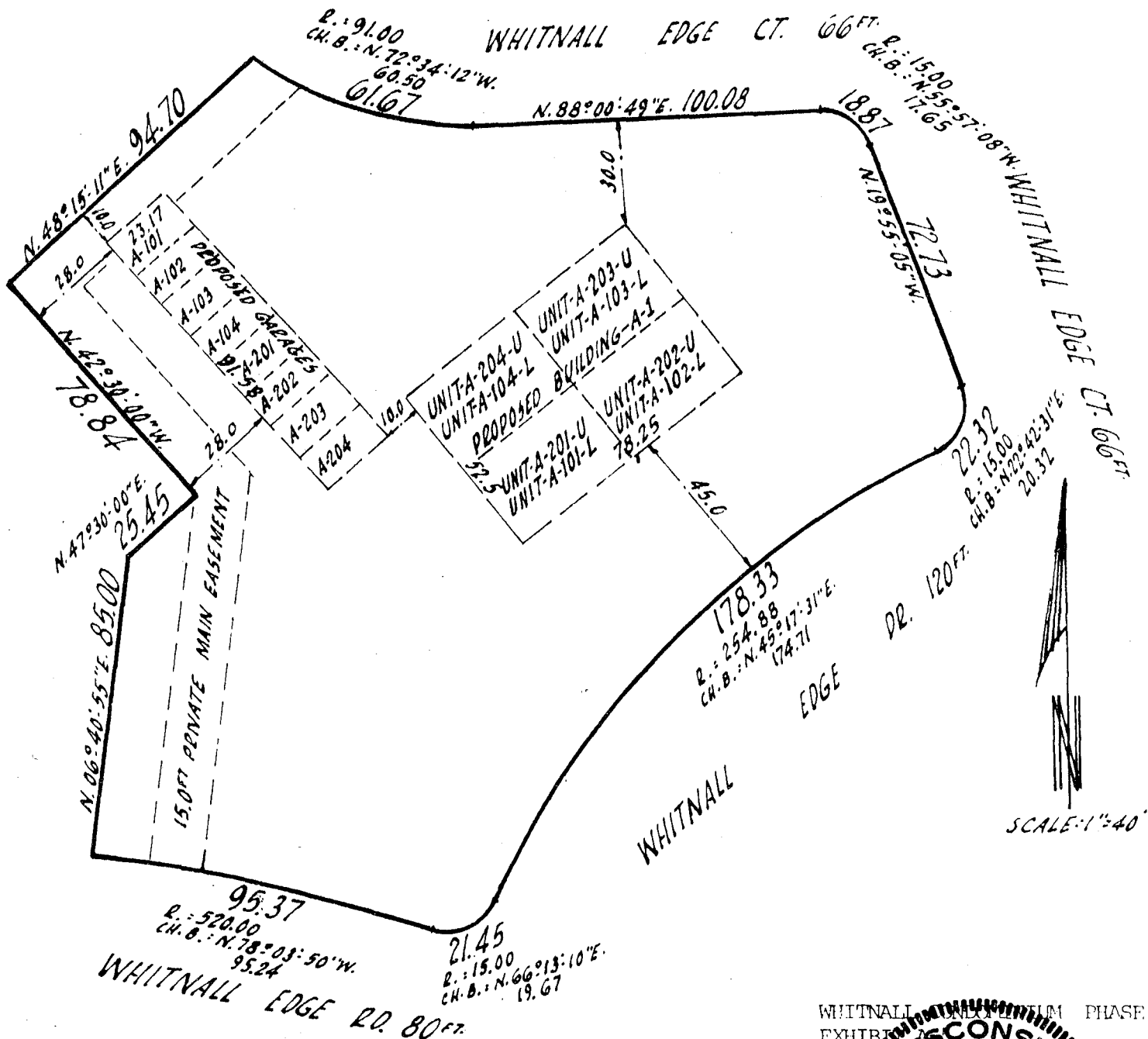
Kenneth E Berke
KENNETH E BERKE, REGISTERED WISCONSIN
LAND SURVEYOR S 107

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10464 WHITNALL EDGE DRIVE, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 5 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469 AND LANDS IN THE
NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN.

FEBRUARY 11, 1980

SURVEY NO. 142830-S



I, KENNETH E BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.

WHITNALL EDGE CONDOMINIUM PHASE I

EXHIBIT



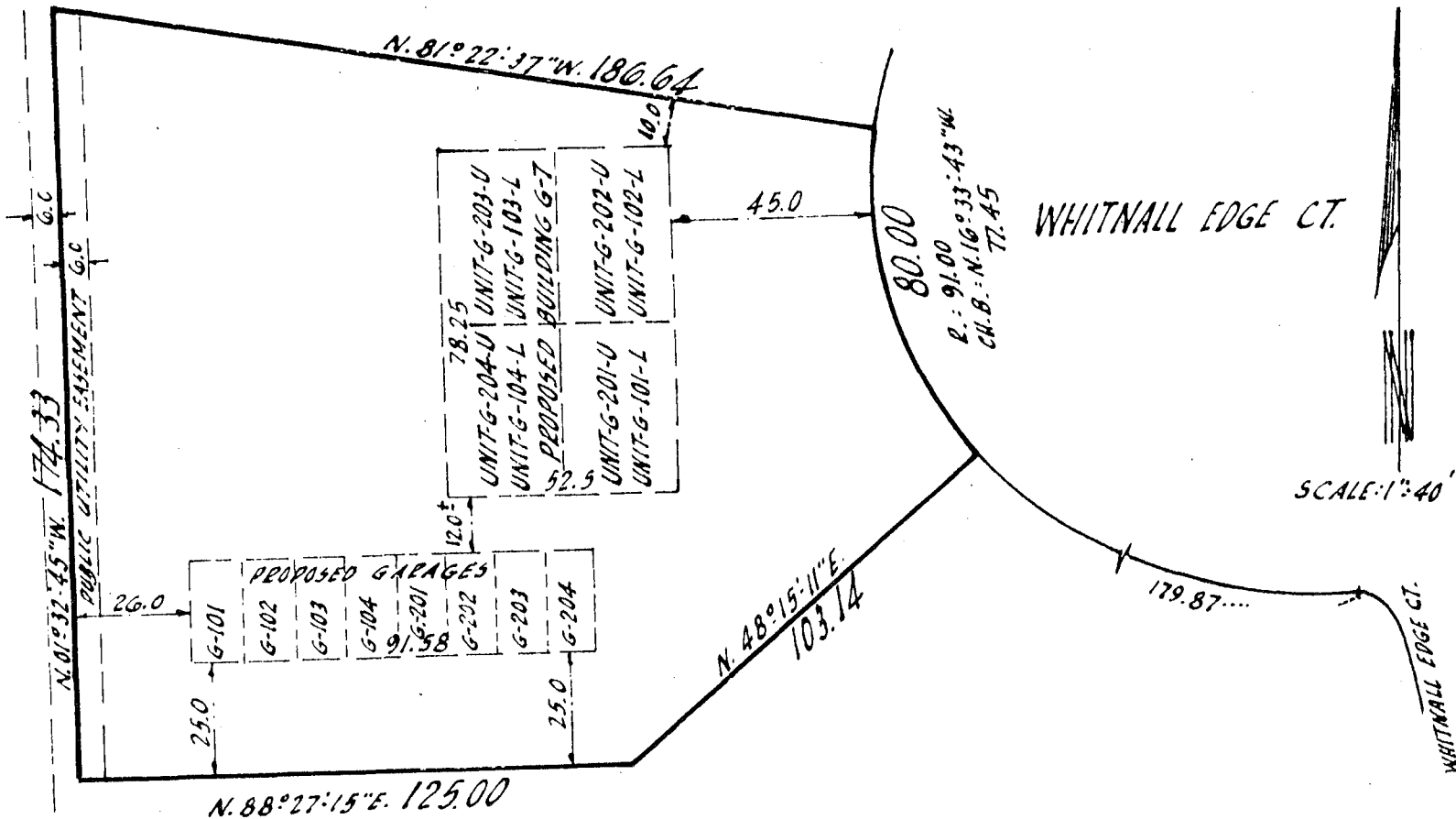
KENNETH E BERKE, REGISTERED
WISCONSIN LAND SURVEYOR S 107

PLAT OF
WHITNALL EDGE CONDOMINIUM PHASE I

KNOWN AS 10416 WHITNALL EDGE COURT, IN THE CITY OF FRANKLIN, WISCONSIN.
LOT 6 IN WHITNALL EDGE, BEING A SUBDIVISION OF CERTIFIED SURVEY MAP NO. 469 AND LANDS IN THE
NE 1/4 AND THE NW 1/4 OF THE NW 1/4 OF SECTION 5, T 5 N, R 21 E, IN THE CITY OF FRANKLIN,
MILWAUKEE COUNTY, WISCONSIN.

FEBRUARY 11, 1980

SURVEY NO. 142823-S



WHITNALL EDGE CONDOMINIUM PHASE I
EXHIBIT A-6

I, KENNETH E. BERKE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THIS PLAT IS AN ACCURATE REPRESENTATION OF THE EXTERIOR BOUNDARY LINES AND THE LOCATION OF THE BUILDINGS AND IMPROVEMENTS CONSTRUCTED OR TO BE CONSTRUCTED UPON THE PROPERTY, AND THAT THE PLAT IS A CORRECT REPRESENTATION OF WHITNALL EDGE CONDOMINIUM AS PROPOSED AT THE DATE HEREOF, AND THE LOCATION AND IDENTIFICATION OF THE UNITS AND THE COMMON ELEMENTS CAN BE DETERMINED FROM THE PLAT.



Kenneth E. Berke
KENNETH E. BERKE, REGISTERED
WISCONSIN LAND SURVEYOR S 107

EXHIBIT B