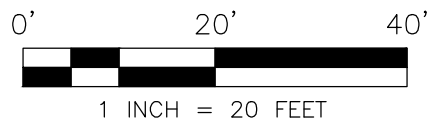
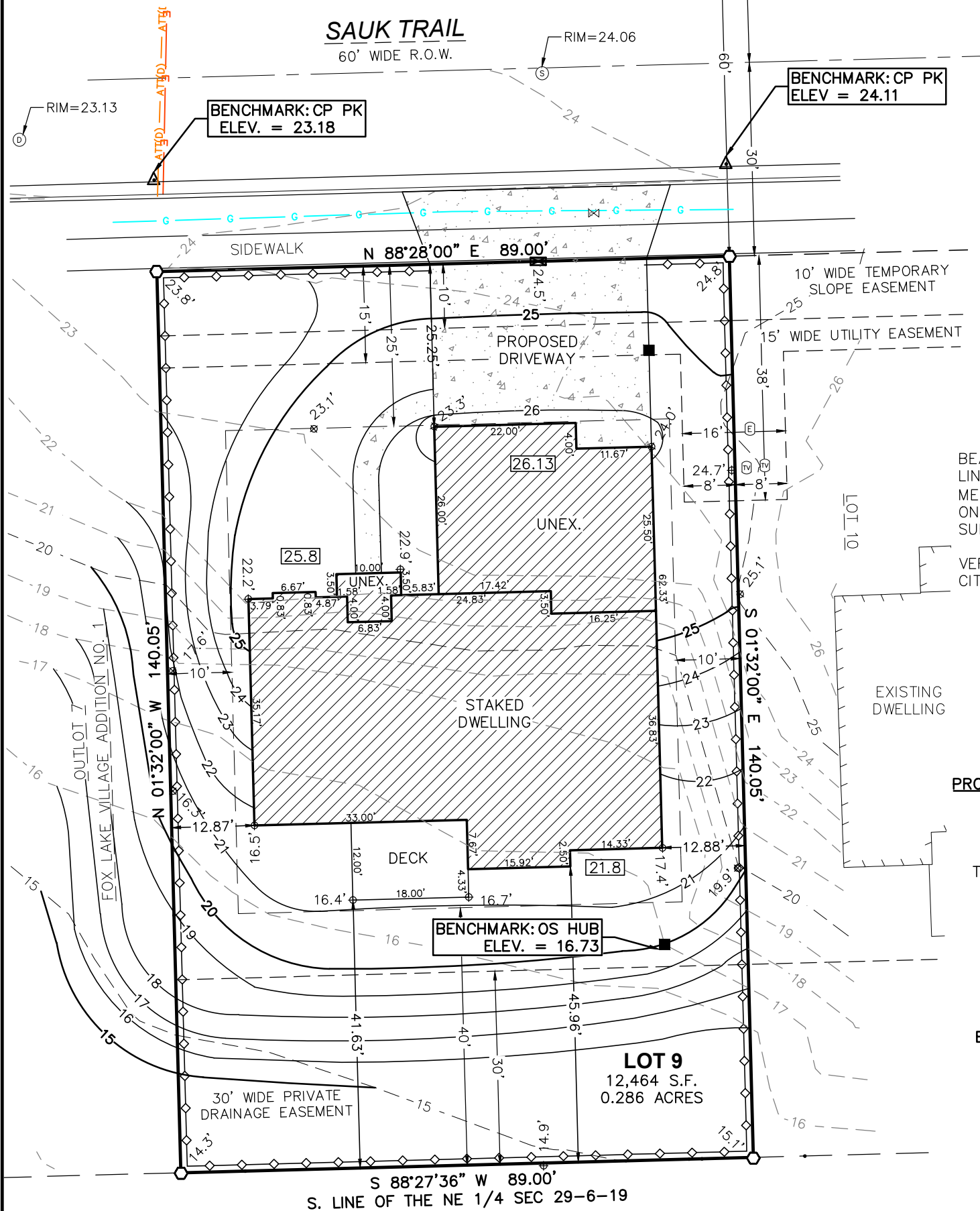


PLAT OF SURVEY

LOT 9, BLOCK I OF FOX LAKE VILLAGE ADDITION NO. 3 BEING PART OF THE SOUTHWEST 1/4 AND NORTHWEST 1/4 OF SECTION 28, AND THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 6 NORTH, RANGE 19 EAST, CITY OF WAUKESHA, WAUKESHA COUNTY, WISCONSIN.



BEARINGS REFERENCED TO THE SOUTH LINE OF SAUK TR. RIGHT OF WAY MEASURED AS N88°28'00"E. AS SHOWN ON FOX LAKE VILLAGE ADDITION NO. 3 SUBDIVISION PLAT.

VERTICAL DATUM IS REFERENCED TO CITY OF WAUKESHA DATUM

PROPOSED GRADES PER GRADING PLAN

FINISH YARD GRADE: 25.8
EXPOSURE: 21.8
GARAGE FLOOR: 26.13
TOP OF WALL: 26.47
TOP OF FOOTING: 17.47 (9' WALL)
DRIVE SLOPE = 6.5%

SETBACK REQUIREMENTS

FRONT YARD = 25'
SIDE YARD = 10'
REAR YARD = 40'

BUILDING DIMENSIONS SHOWN PER FOUNDATION PLANSET DATED 09/18/2025

UNPLATTED LANDS

*** THE BUILDER OR DEVELOPER SHALL NOTIFY THE HOME OWNER THAT GRADING ON THEIR LOT MAY OCCUR AS NEIGHBORING HOMES ARE CONSTRUCTED. SIDE LOT LINES TO BE GRADED TO MATCH MGP AS NEIGHBORING HOMES ARE CONSTRUCTED AND IT IS THE RESPONSIBILITY OF THE HOMEOWNER GRADING ON A NEIGHBORING PROPERTY TO RESTORE THE LOT TO EQUAL OR BETTER CONDITIONS. ***

LEGEND

- FOUND 3/4 REBAR" OR NOTED
- △ CONTROL POINT BENCHMARK
- ⊙ STORM MANHOLE
- ⊙ SANITARY MANHOLE
- ⊙ WATER VALVE
- ⊙ TV PEDESTAL
- ⊙ ELECTRIC TRANSF./PEDESTAL
- E — UNDERGROUND ELEC.
- ATT(D) — AT&T UNDERGROUND PER DES.
- G — UNDERGROUND GAS
- 800 — PROPOSED CONTOUR
- 800 — PROPOSED SILT FENCE
- 800.0 PROPOSED ELEVATION
- 15' OFFSET
- PROPOSED FLOW DIRECTION
- ⊕ 800.0 EXISTING SPOT GRADE
- 800 — EXISTING CONTOUR
- ⊗ C/L DRIVE LATHE

NOTES:

- THE EXCAVATOR AND MASON MUST VERIFY AT LEAST 2 BENCHMARKS SHOWN ABOVE.
- PROPOSED ELEVATIONS AS SHOWN ON THIS DRAWING IS A SUGGESTED GRADE AND SHOULD BE VERIFIED BY THE OWNER AND/OR THE BUILDER AND APPROVED BY THE BUILDING INSPECTOR.
- EROSION CONTROL MEASURES SHALL BE PROVIDED BY THE BUILDER AND APPROVED BY THE BUILDING INSPECTOR BASED ON SITE CONDITIONS.
- A TITLE COMMITMENT HAS NOT BEEN PROVIDED. AN ADDITIONAL SEARCH FOR EASEMENTS OF RECORD HAS NOT BEEN COMPLETED.
- PER WAUKESHA COUNTY GIS THE PARCEL CURRENTLY DOES NOT HAVE AN ADDRESS.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL VISIBLE STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT EASEMENTS, ROADWAY AND VISIBLE ENCROACHMENTS, IF ANY. THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE, THE TITLE THERETO WITHIN ONE (1) YEAR FROM DATE HEREOF.

SIGNED: MATTHEW T. O'ROURKE, PROFESSIONAL LAND SURVEYOR S-2771



SHEET 1 OF 1	JOB NO. 25300	DATE 04/07/2026	CLIENT CROSSWIND BUILDERS	LOCATION SAUK TRAIL WAUKESHA, WAUKESHA COUNTY, WISCONSIN TAX: WAKC1409219	REV.	 LAND SURVEYING • LAND PLANNING 955 LEXINGTON DRIVE OCCONOMOWOC, WI 53066 WWW.LANDTECHWI.COM (262) 367-7599
		PROJECT LOT 9 FLV ADD. 3			REV.	
		LAYOUT RESTAKED SURVEY			REV.	
		DRAWING 25300_SURVEY_STK.DWG	DRAWN BY ODB	CHECKED BY MTD	REV.	