



FRONT ELEVATION

SCALE: 1/4"= 1'-0"

EXTERIOR MATERIALS

- DIMENSIONAL SHINGLES
- ALUMINUM FASCIA & VENTED SOFFIT PANELS
- LP LAP SIDING PER PLAN W/ 3/4" LP CORNERS
- CEMENT BRD & LP BATTEN PER PLAN
- 3/4" LP TRIM @ FRONT ELEV. PER PLAN
- 3/4" LP WINDOW/DOOR TRIM @ SIDES/BACK ELEVATION
- 3/4" LP LIGHT FIXTURE BLOCKS
- MFG THIN STONE VENEER W/CUT STONE SILLS PER PLAN



BACK ELEVATION

SCALE: 1/4"= 1'-0"

MAIN LEVEL LIVING AREA: 2342 SQ.FT.
TOTAL LIVING AREA: 2342 SQ.FT.

LOWER LEVEL AREA: 1144 SQ.FT.
GARAGE AREA: 886 SQ.FT.

SPECIAL NOTICE:
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN DESIGNING AND PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE INSTALLER, OWNER, OR CONTRACTOR MUST CHECK ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

Revision Dates: 2-5-2026

MODEL: Custom Ranch

DRAWN BY: jjm

DATE: 9-18-2025

Crosswind Builders, LLC

Lot # Fox Lake Village Addition #3

Waukesha, Wisconsin

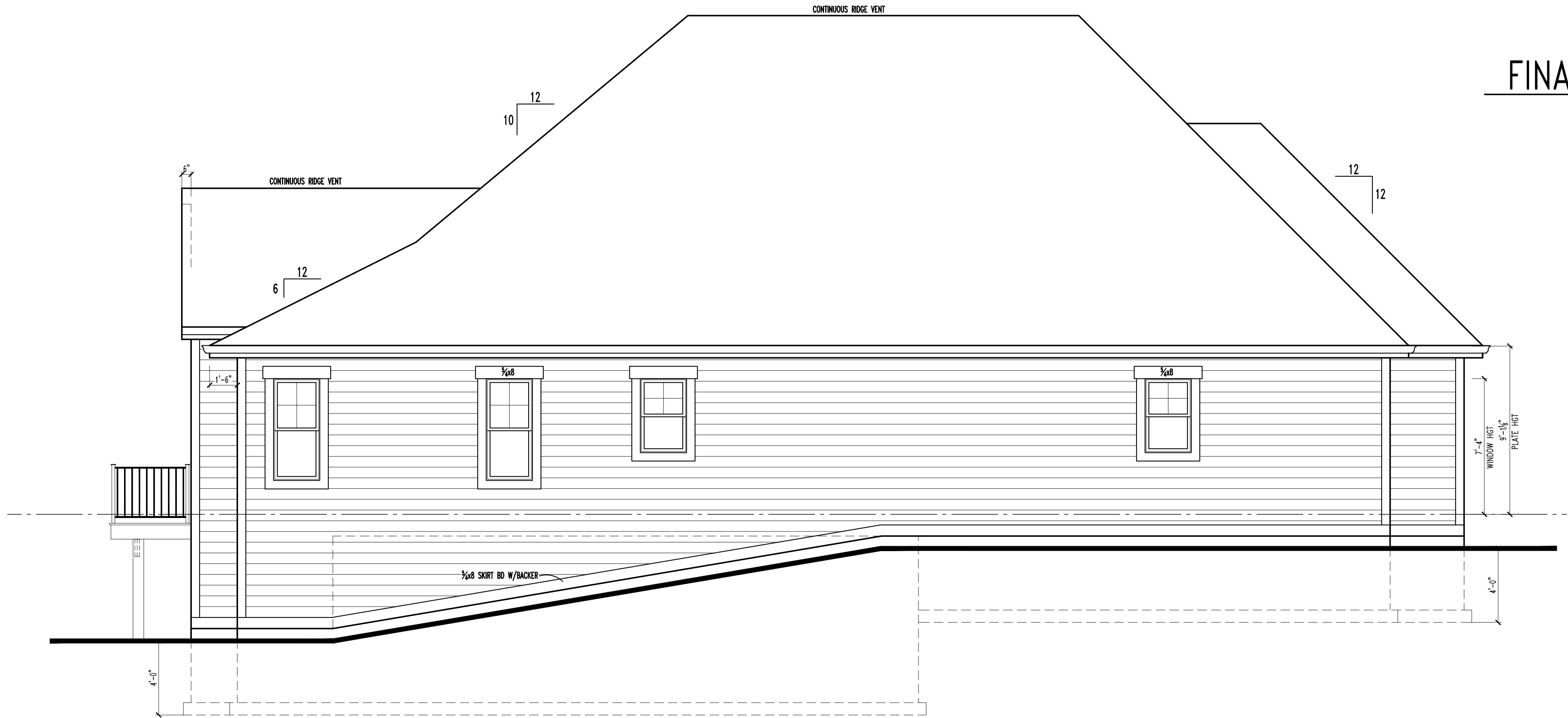
ELEVATIONS- Front & Back

PROJECT:

Sheet No.

1 of 7

FINAL PLAN DOCUMENTS

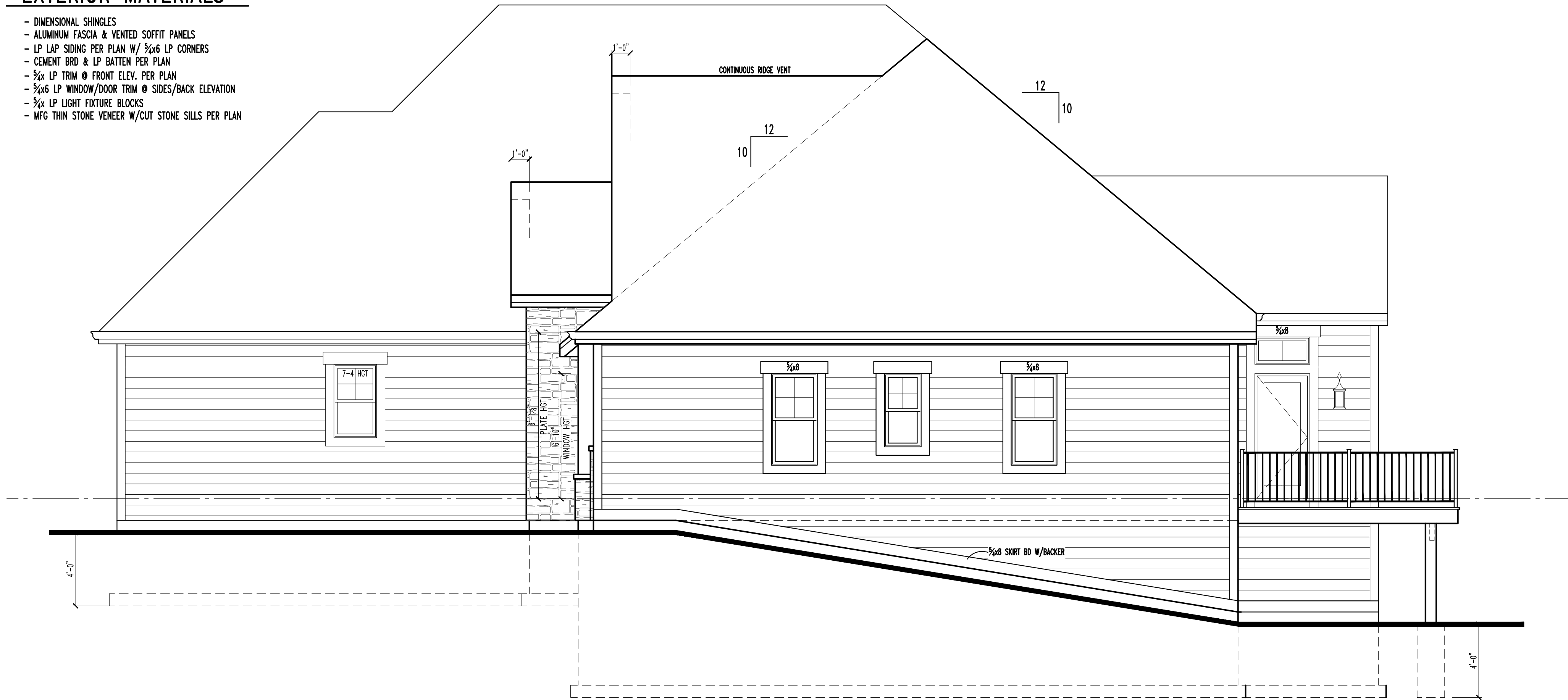


LEFT ELEVATION

SCALE: 1/4"= 1'-0"

EXTERIOR MATERIALS

- DIMENSIONAL SHINGLES
- ALUMINUM FASCIA & VENTED SOFFIT PANELS
- LP LAP SIDING PER PLAN W/ 3/4x6 LP CORNERS
- CEMENT BRD & LP BATTEN PER PLAN
- 3/4x LP TRIM @ FRONT ELEV. PER PLAN
- 3/4x6 LP WINDOW/DOOR TRIM @ SIDES/BACK ELEVATION
- 3/4x LP LIGHT FIXTURE BLOCKS
- MFG THIN STONE VENEER W/CUT STONE SILLS PER PLAN



RIGHT ELEVATION

SCALE: 1/4"= 1'-0"

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Crosswind Builders, LLC

Lot # Fox Lake Village Addition #3

Waukesha, Wisconsin

PROJECT:

TITLE:

ELEVATIONS-Left & Right

Sheet No.

2of7

SPECIAL NOTICE: ALTHOUGH EVERY EFFORT HAS BEEN MADE IN DESIGNING AND PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE INSTALLER, OWNER, OR CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.



SCALE: $3/8" = 1'-0"$

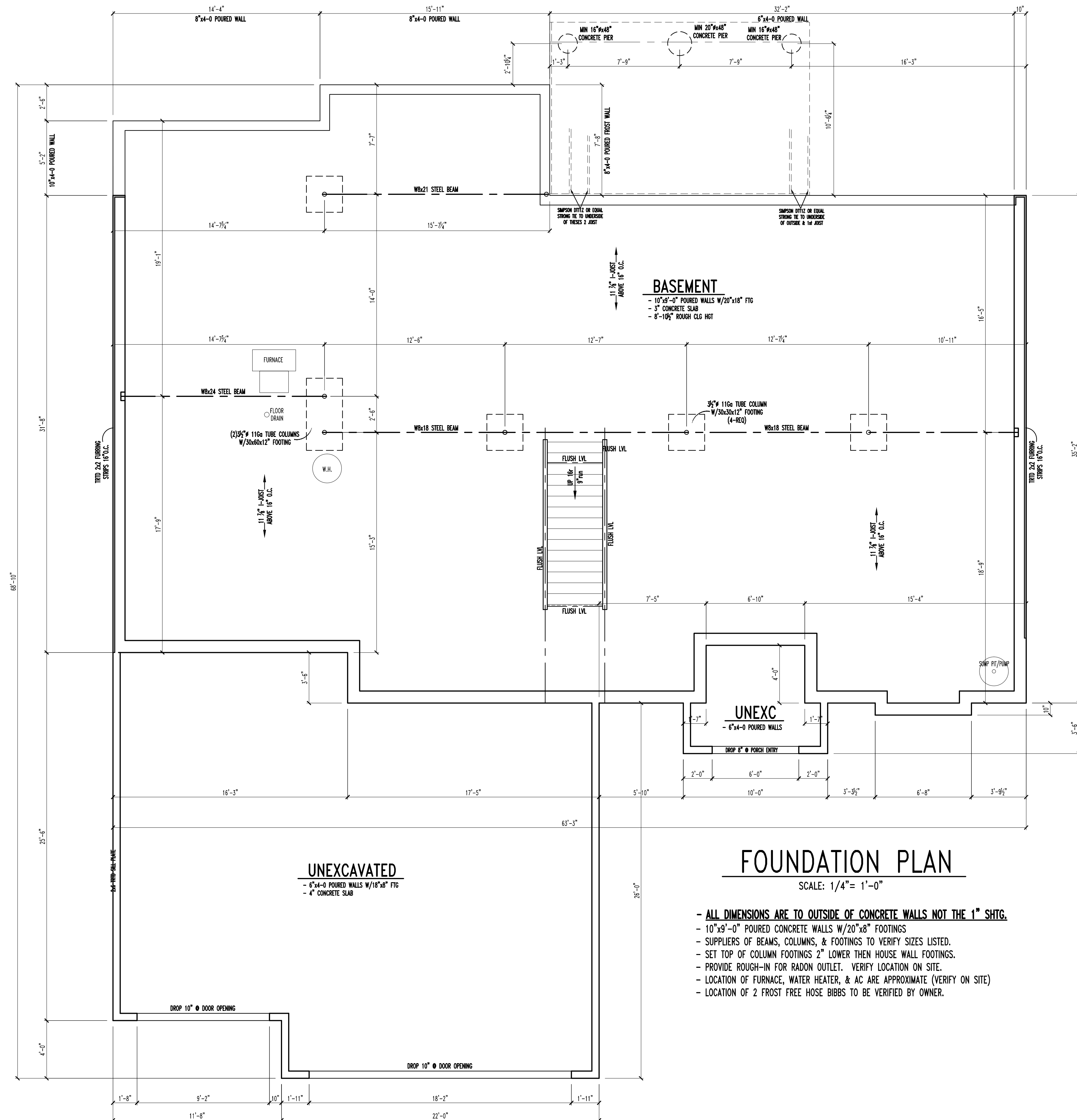


(ALL SPECS TO BE VERIFIED BY FOUNDATION CONTRACTOR)

SCALE: 3/8" = 1'-0"



SCALE: $3/8" = 1'-0"$



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

- ALL DIMENSIONS ARE TO OUTSIDE OF CONCRETE WALLS NOT THE 1" SHTG.
- 10"x9"-0" POURED CONCRETE WALLS W/20"x8" FOOTINGS
- SUPPLIERS OF BEAMS, COLUMNS, & FOOTINGS TO VERIFY SIZES LISTED.
- SET TOP OF COLUMN FOOTINGS 2" LOWER THEN HOUSE WALL FOOTINGS.
- PROVIDE ROUGH-IN FOR RADON OUTLET. VERIFY LOCATION ON SITE.
- LOCATION OF FURNACE, WATER HEATER, & AC ARE APPROXIMATE (VERIFY ON SITE)
- LOCATION OF 2 FROST FREE HOSE BIBBS TO BE VERIFIED BY OWNER.

Revision Dates. 2-5-2026

MODEL: CUSTOM KITCHEN

DRAWN BY: J. J. J.

MODEL: Cus10111

DRAWN BY: jjm

MODEL:	CUSTOMER NAME:
DRAWN BY: jjm	
DATE:	9-18-2025

Crosswind Builders, LLC
Lot # Fox Lake Village Addition #3
Waukesha, Wisconsin

**Crosswind Builders,
Lot # Fox Lake Village Addition #3
Waukesha, Wisconsin**

Crosswind Building
Lot # Fox Lake Village Addition
Waukesha, Wisconsin
FOUNDATION PLAN

PROJECT:

TITLE:

Sheet No.

3 of 7

ATTIC VENTING

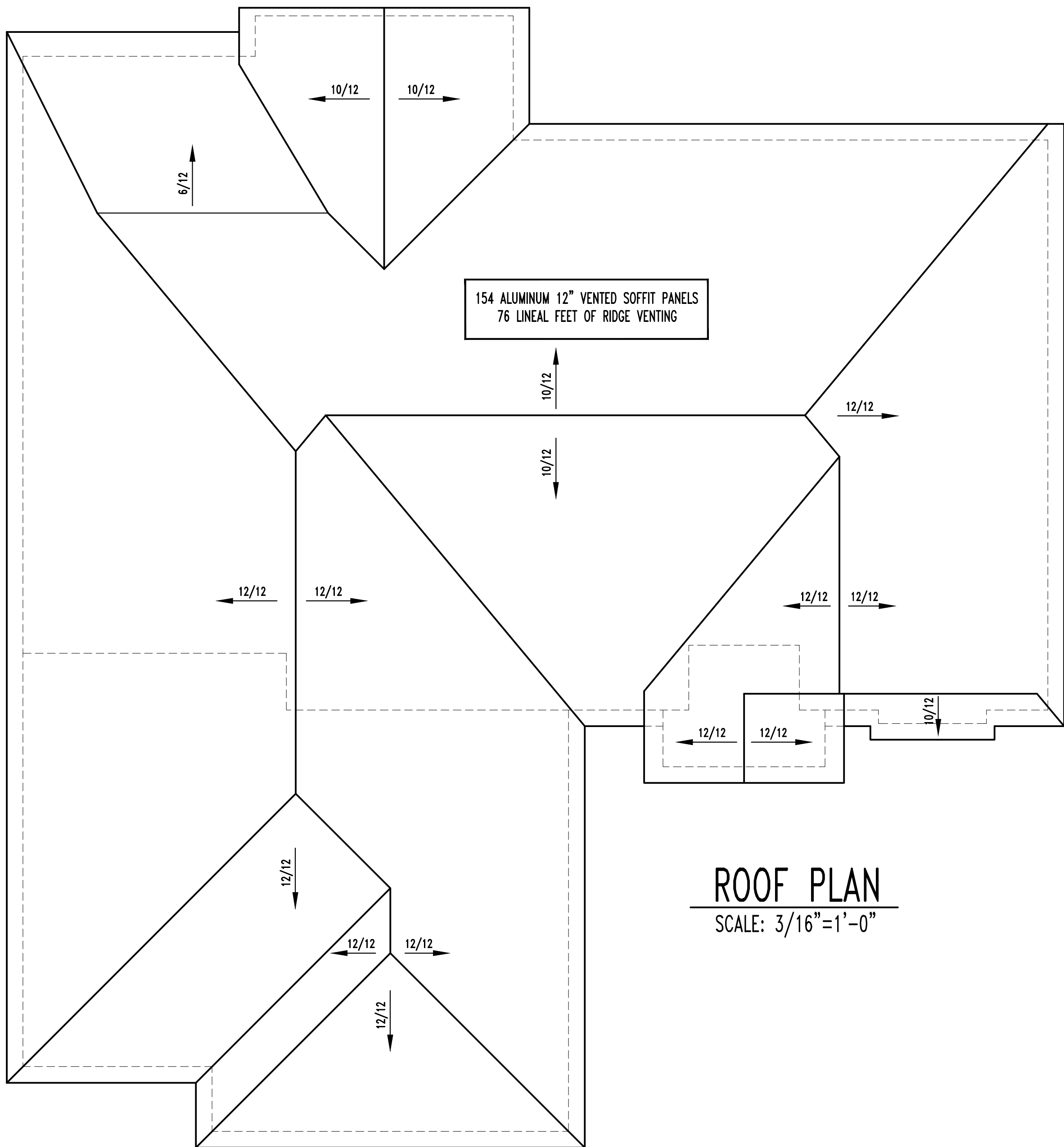
Horizontal Square Footage (Ceiling):	3228
1/300 of Area:	10.76
Minimum Square Inch Required:	1549.44 (Net Free Venting Area)

RIDGE/EAVE VENTING

Lineal Feet of Ridgeventing:	76
Total Square Inches of Ridgeventing:	1026.00 (13.5 Sq. in. per Lineal Foot)
Minimum # Aluminum 12" Eave Vents Needed:	154
Total Square Inches of Eave venting:	498.96 (3.24 Square Inches / each)
Total Square Inches of Net Free Venting:	1524.96

CUSTOMER:

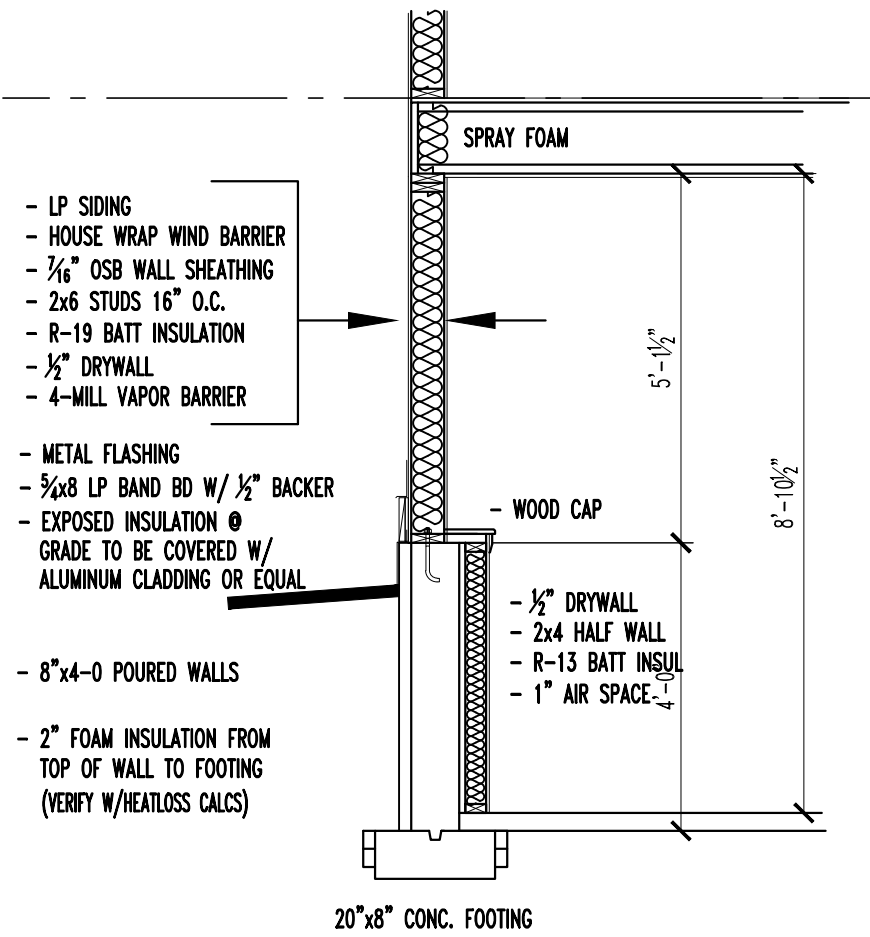
Crosswind Builders LLC
Job #
Waukesha, Wisconsin



ROOF PLAN

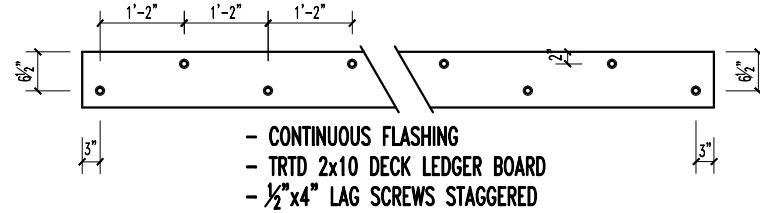
SCALE: 3/16"=1'-0"

FINAL PLAN DOCUMENTS



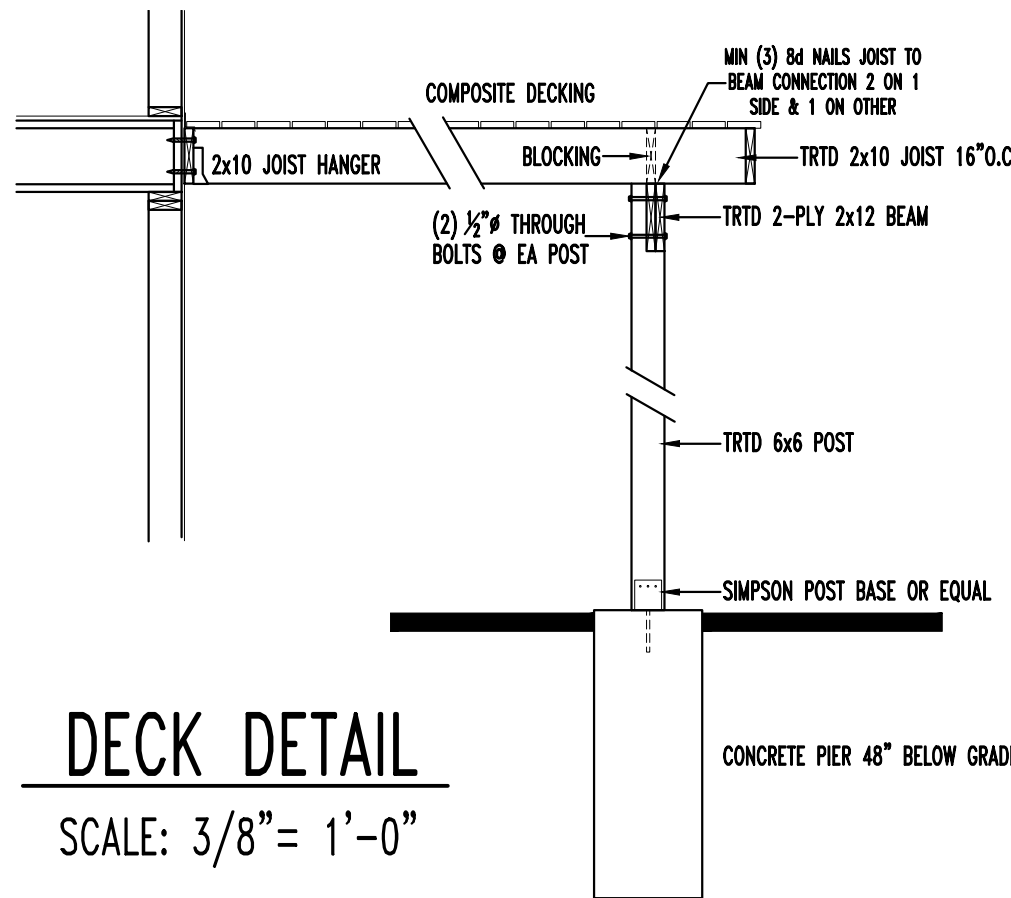
PARTIAL EXPOSED SECTION

SCALE: 3/8"= 1'-0"



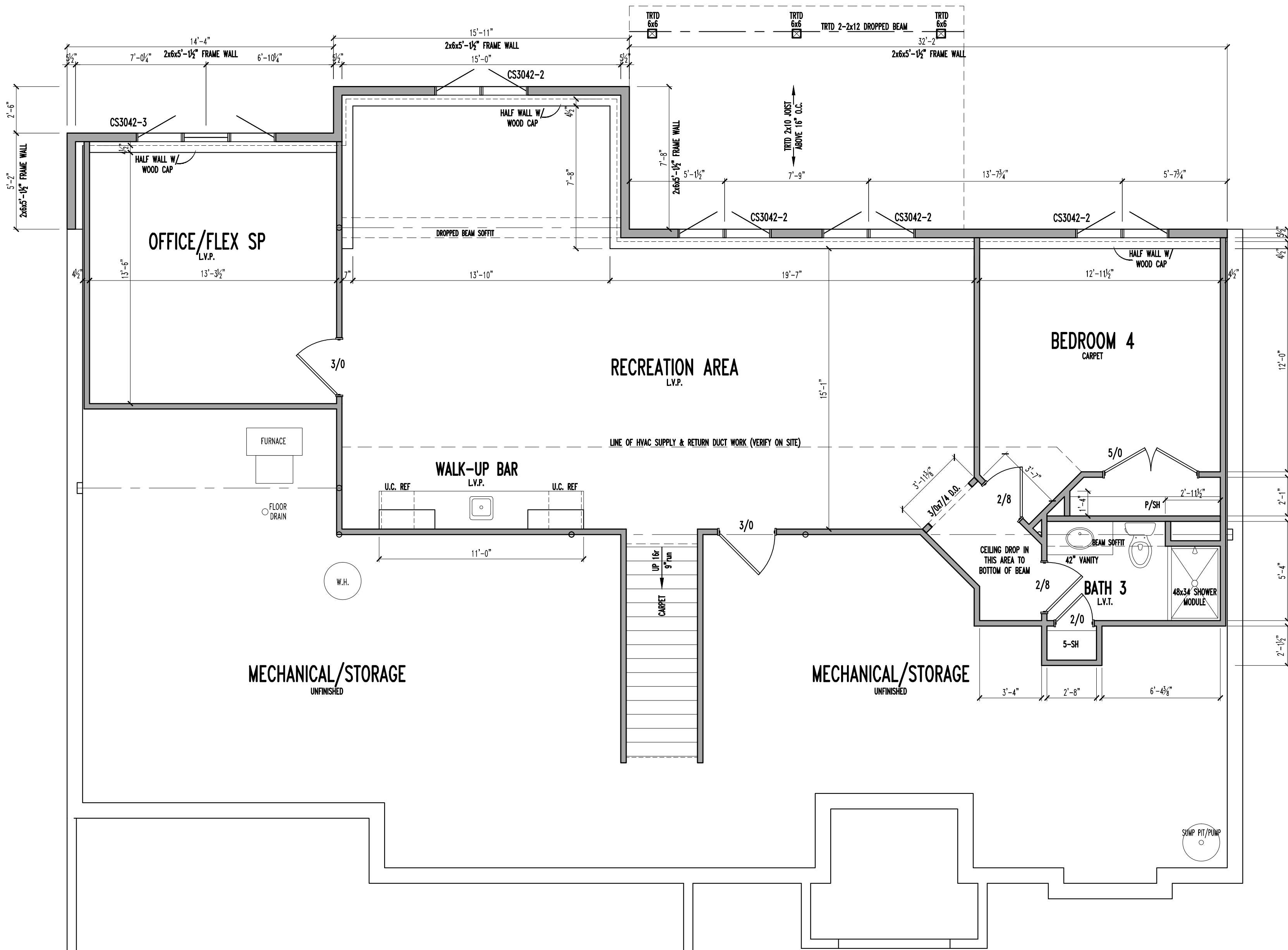
DECK LEDGER DETAIL

SCALE: 3/8"= 1'-0"



DECK DETAIL

SCALE: 3/8"= 1'-0"



LOWER LEVEL PLAN

SCALE: 1/4"= 1'-0"

MAIN LEVEL LIVING AREA: 2342 SQ.FT.
TOTAL LIVING AREA: 2342 SQ.FT.

LOWER LEVEL AREA: 1144 SQ.FT.
GARAGE AREA: 886 SQ.FT.

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DRAWN BY: jjm

DATE: 9-18-2025

Crosswind Builders, LLC
Lot # Fox Lake Village Addition #3
Waukesha, Wisconsin

LOWER LEVEL PLAN

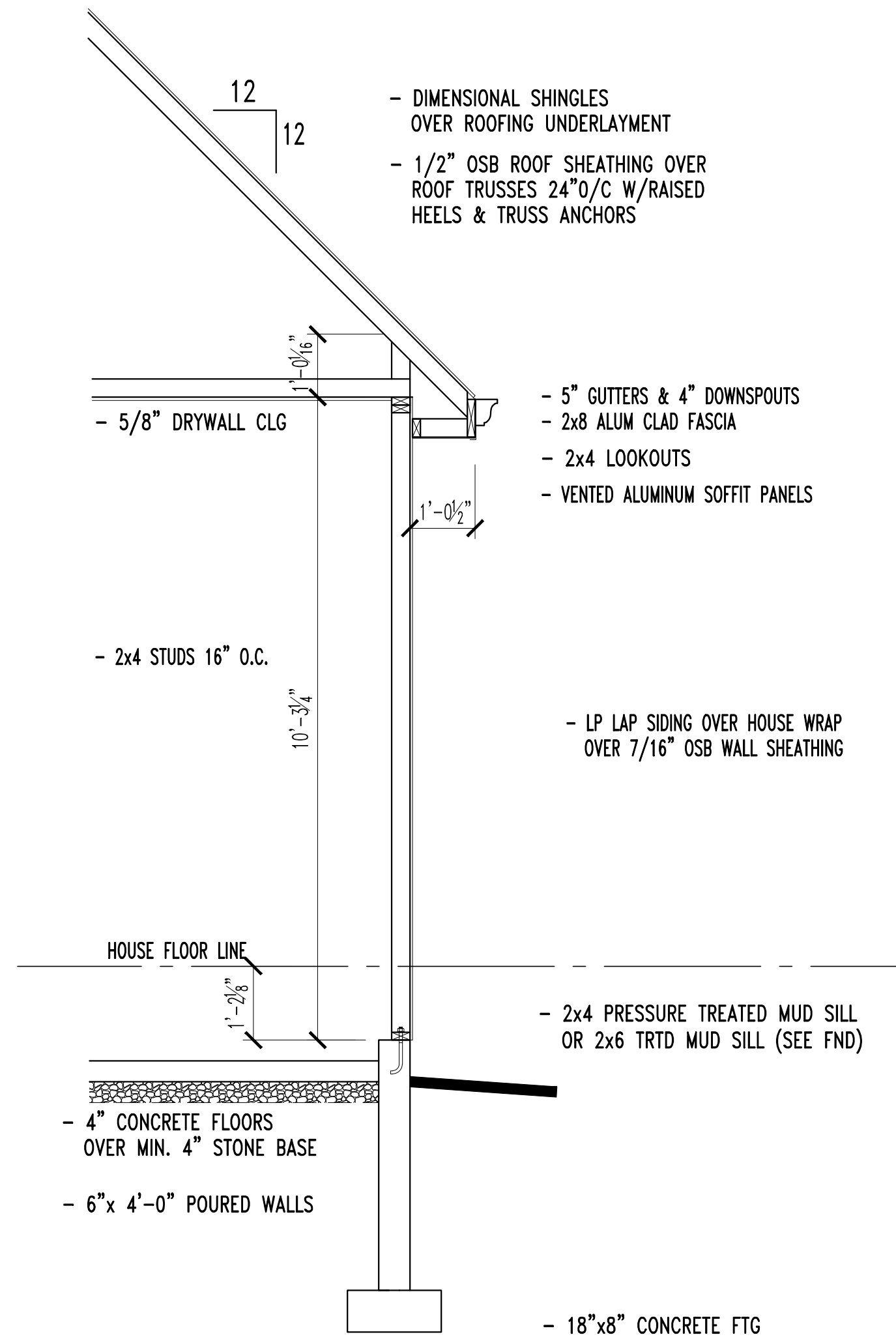
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Sheet No.

4of7

SPECIAL NOTICE:
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TYPICAL GARAGE SECTION

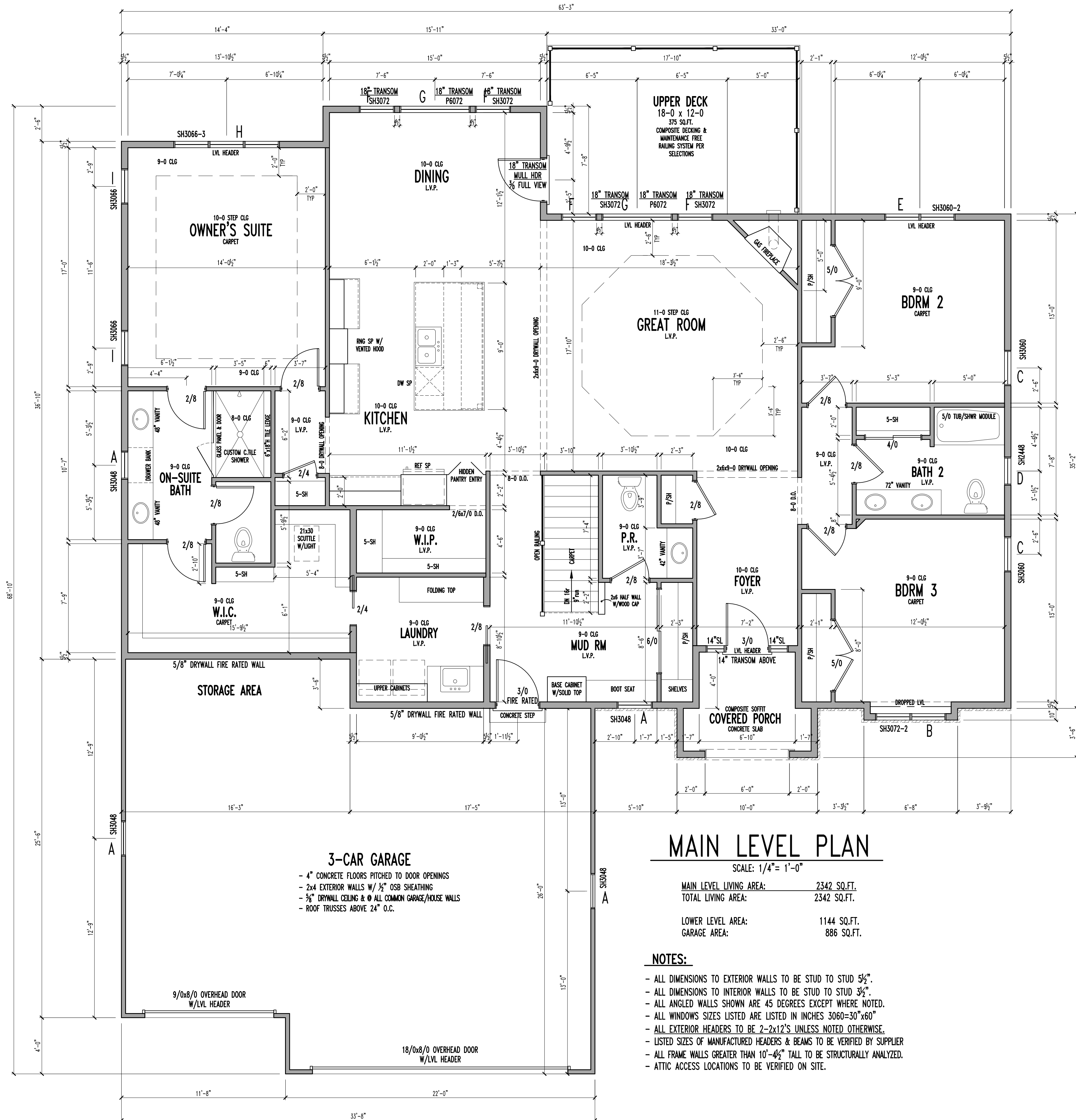
SCALE: 1/2" = 1'-0"

WINDOW SCHEDULE

MARK	R.O. SIZE		QTY	TYPE	NOTES
	Width	HEIGHT			
A	30"	48"	3	DH	2-UNITS MULLED
B	60"	72"	1	DH x 2	
C	30"	60"	2	DH	
D	24"	48"	1	DH	
E	60"	60"	1	DH x 2	2-UNITS MULLED
F	30"	90"	4	DH & TRANSOM	2-UNITS MULLED
G	60"	90"	2	PICT & TRANSOM	2-UNITS MULLED
H	90"	66"	1	DH x 3	3-UNITS MULLED
I	30"	66"	2	DH	

LIGHT & VENT SCHEDULE

ROOM	SQ.FT.	WINDOW TYPE	8% REQ LIGHT	ACTUAL LIGHT	3.5% REQ VENT	ACTUAL VENT
OWNER'S SUITE	237sf	3066 DH	18.96sf	42.80sf	8.30sf	20.79sf
BDRM 2	184sf	3060 DH	13.12sf	24.75sf	5.74sf	12.96sf
BDRM 3	169sf	3072 & 3000 DH	13.52sf	28.77sf	5.92sf	15.28sf



Revision Dates: 2-5-2026

MODEL: Custom Ranch

DRAWN BY: ijm

DATE: 9-18-2025

Crosswind Builders, LLC
Lot # Fox Lake Village Addition #3
Waukesha, Wisconsin

PROJECT:

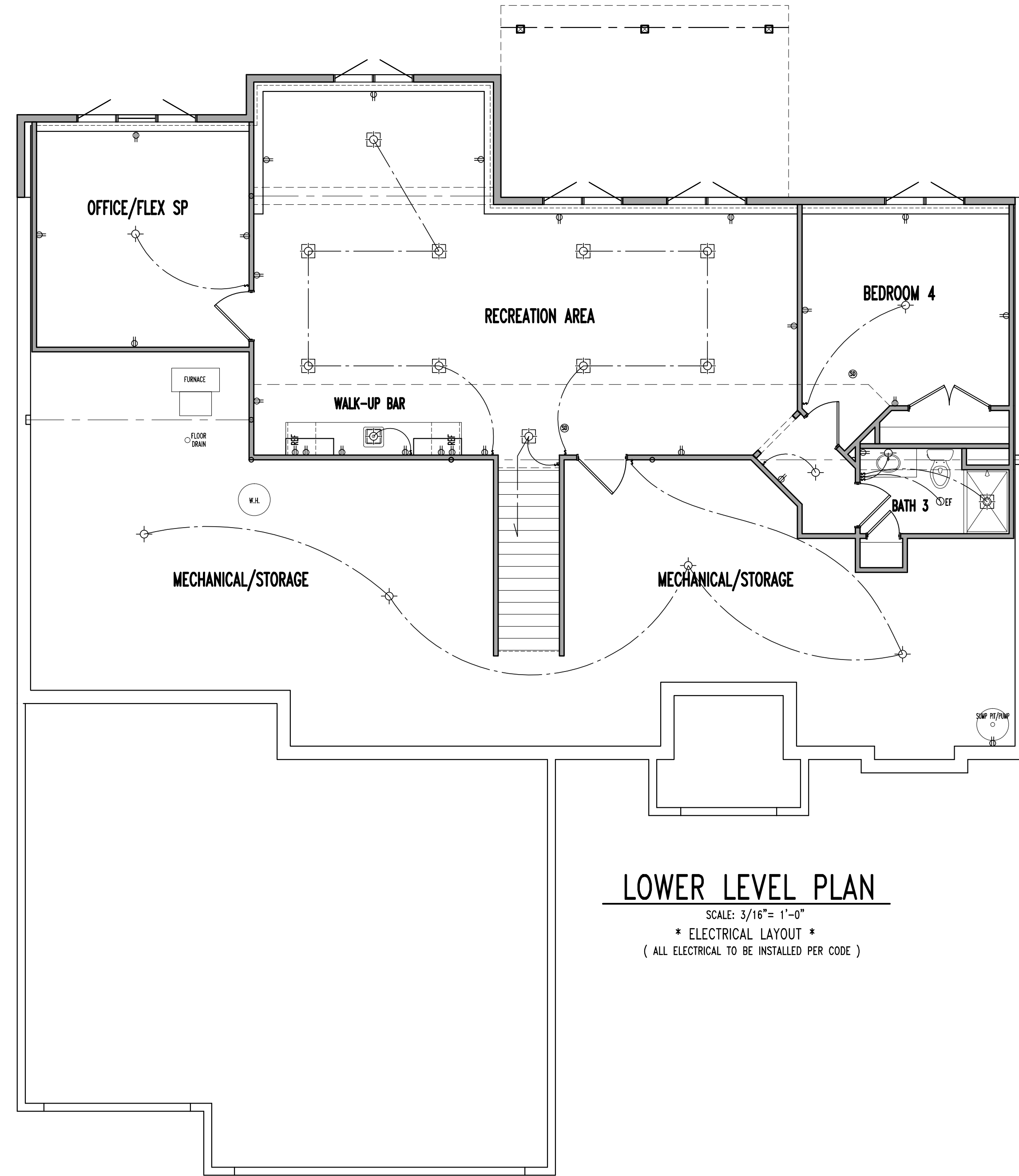
TITLE: MAIN LEVEL PLAN

Sheet No.

5of7

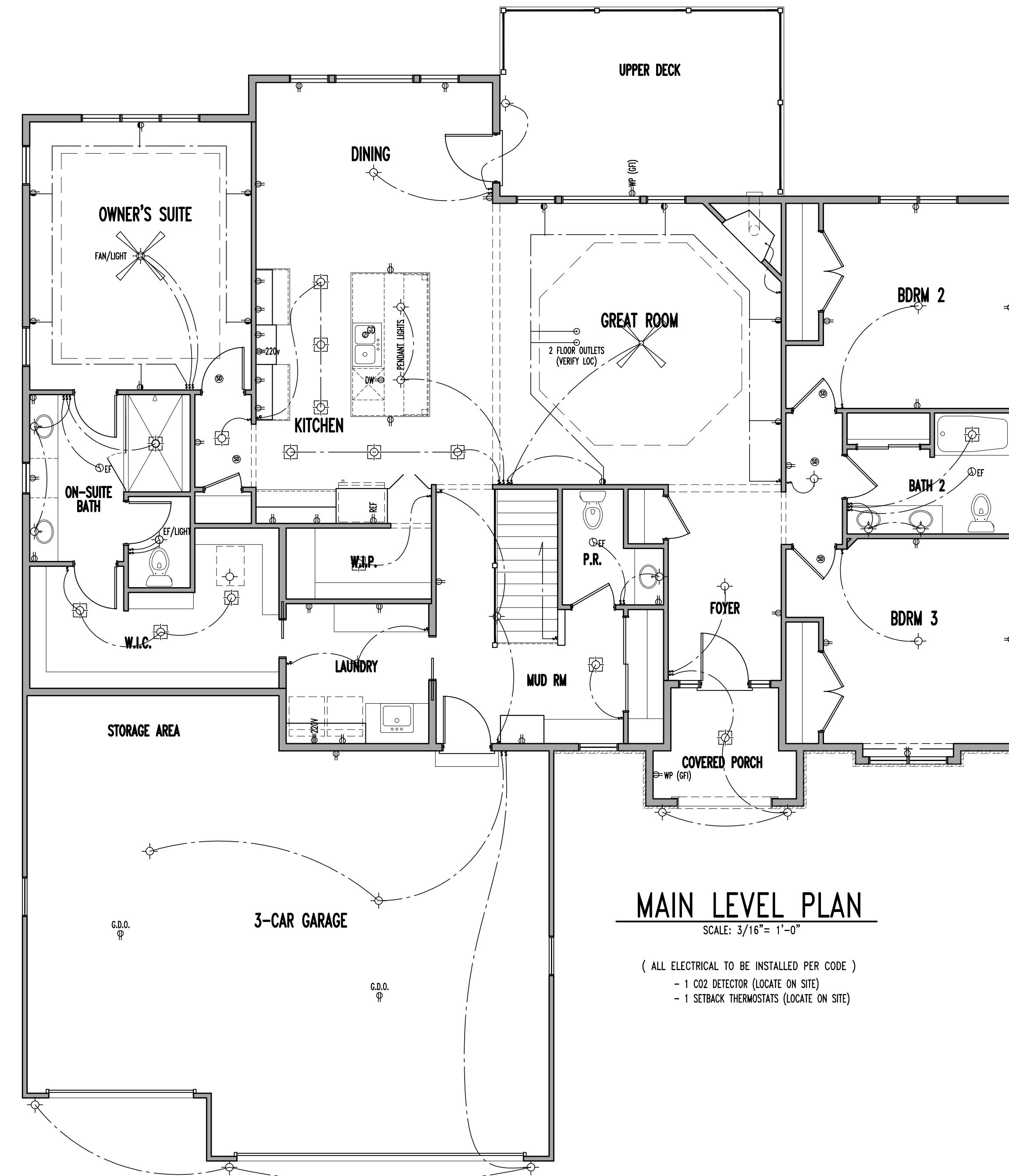
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FINAL PLAN DOCUMENTS



LOWER LEVEL PLAN

SCALE: 3/16" = 1'-0"
* ELECTRICAL LAYOUT *
(ALL ELECTRICAL TO BE INSTALLED PER CODE)



MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"
(ALL ELECTRICAL TO BE INSTALLED PER CODE)
- 1 CO2 DETECTOR (LOCATE ON SITE)
- 1 SETBACK THERMOSTATS (LOCATE ON SITE)

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Lot # Fox Lake Village Addition #3
Waukesha, Wisconsin

PROJECT:

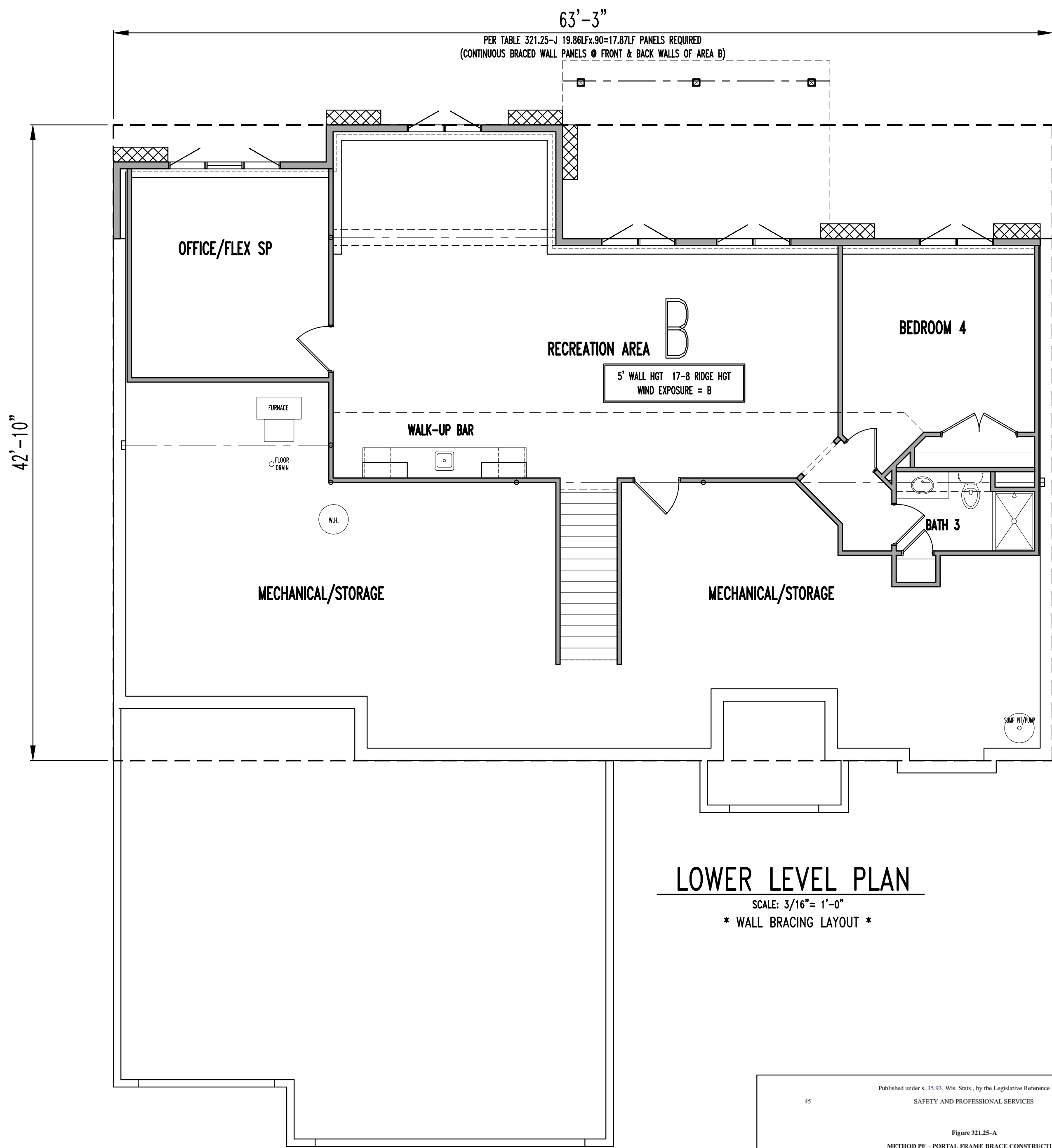
Sheet No.

6of7

ELECTRICAL LAYOUTS

TITLE:

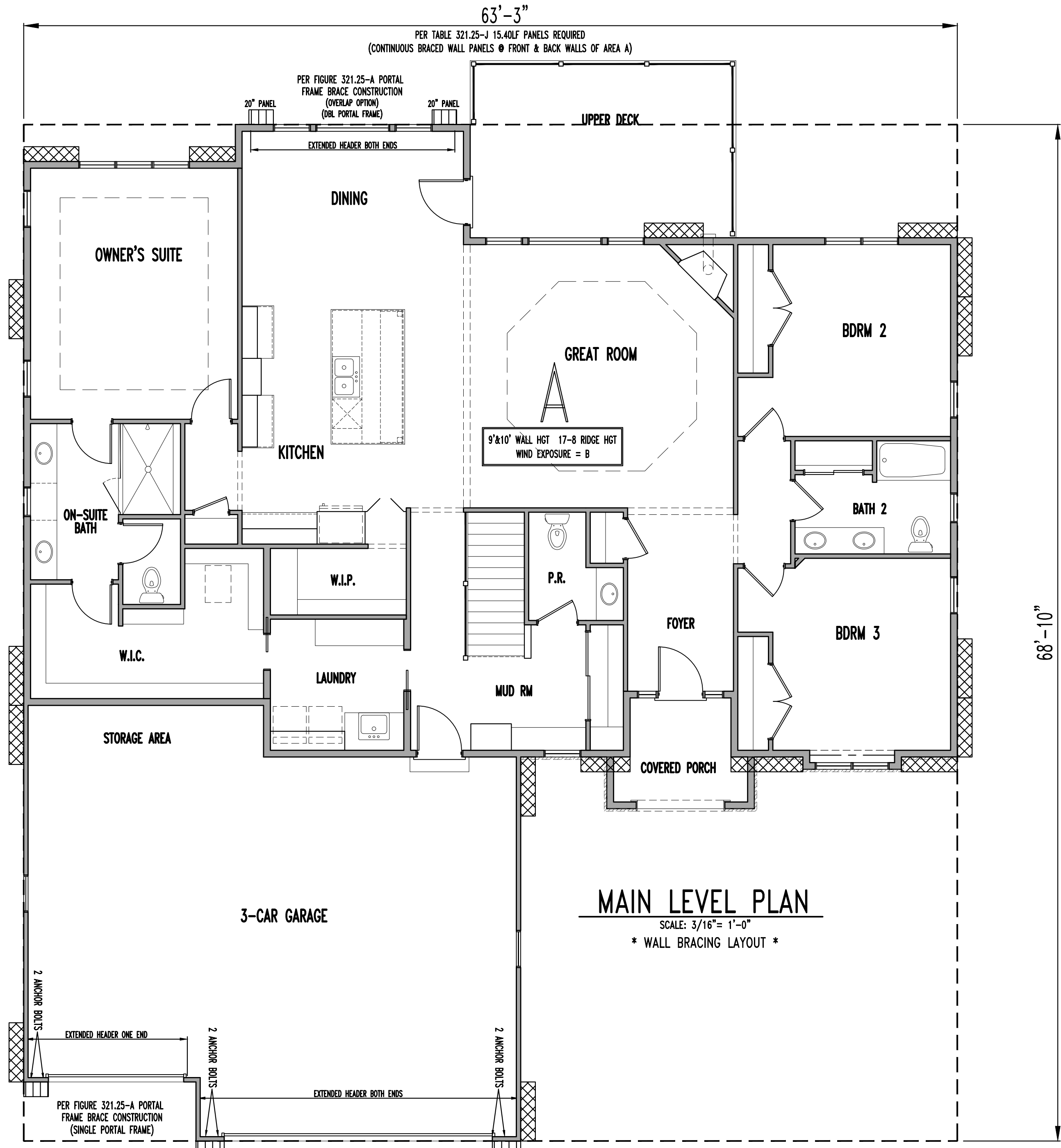
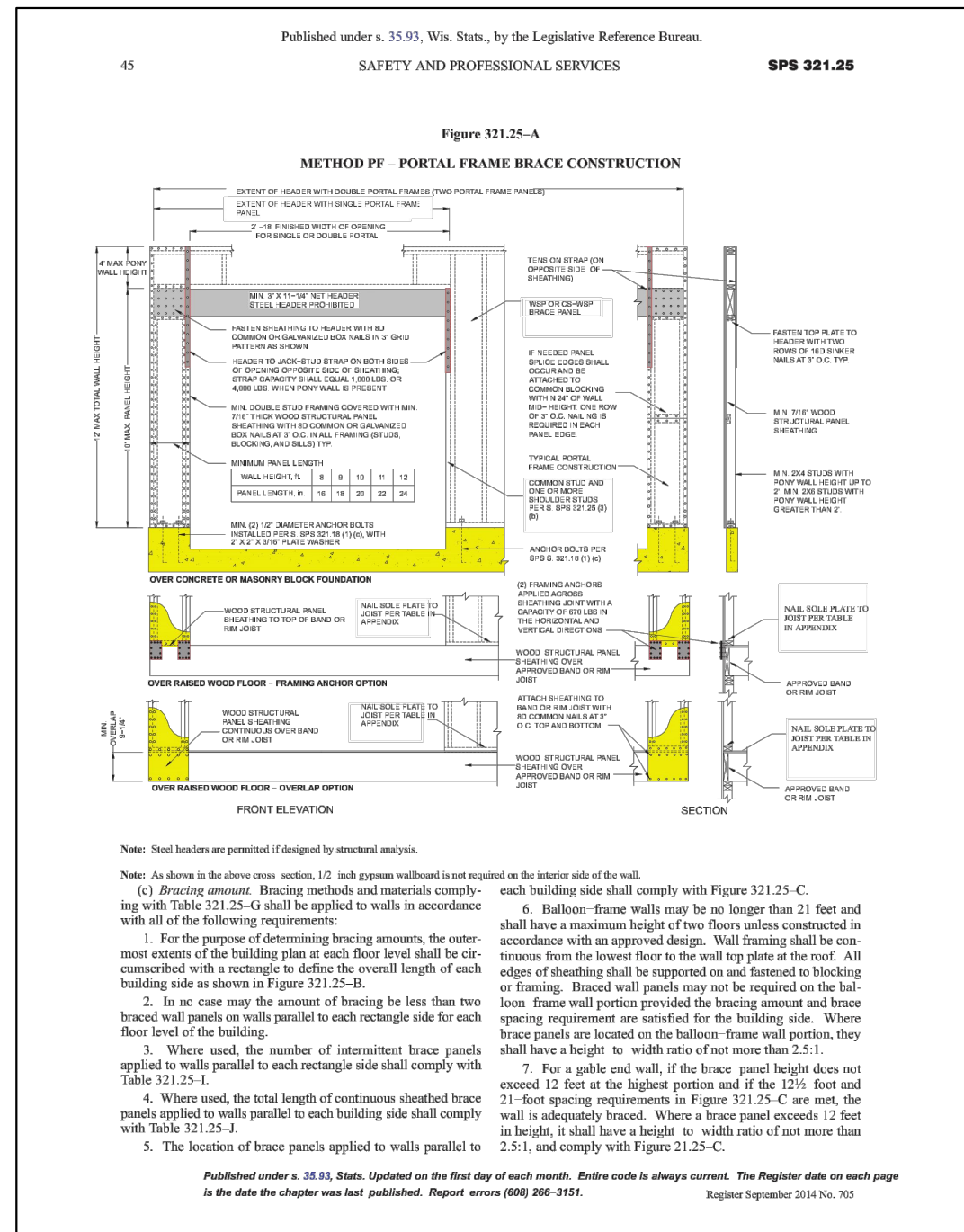
FINAL PLAN DOCUMENTS



LOWER LEVEL PLAN

SCALE: 3/16" = 1'-0"

* WALL BRACING LAYOUT *



MAIN LEVEL PLAN

SCALE: 3/16" = 1'-0"

* WALL BRACING LAYOUT *

KEY FOR WALL BRACING PLAN (ALL BRACING TO COMPLY WITH CURRENT CODES)

- 48" WIDTH OF 3/8" OSB WOOD STRUCTURAL PANEL (WSP) W/6d COMMON NAIL OR 8d BOX NAIL (2 1/2" LONG x 0.113" DIA) OR 3/8" CROWN 16ga STAPLES (1 1/4" LONG), 6" O.C. EDGES, 12" O.C. FIELD (NAILS) 3" O.C. EDGES, 6" O.C. FIELD (STAPLES). OR 1x4 LET IN BRACING (LIB) @ 45 Degree & MAXIMUM 16" O.C. STUD SPACING W/2-8d COMMON NAILS OR 3-8d BOX NAILS (PER STUD & TOP & BOTTOM PLATES). OR METAL T-BRACING PER MANUFACTURING SPECS.
- 96" LINEAL RUN OF 1/2" GYPSUM BOARD (GB) ON BOTH SIDES OF WALL W/5d COOLER NAILS, OR #6 SCREWS, 7" EDGES 7" FIELD (INCLUDING TOP & BOTTOM PLATES)
- CONTINUOUSLY SHEATHED METHOD (CS-WSP). FASTENERS & SPACING SAME AS WSP ABOVE. PANEL LENGTH PER TABLE 321.25-H.
- PORTAL FRAMED METHOD (PF). MAXIMUM 12' WALL HGT. PANEL WIDTH, FASTENERS, & SPACING PER FIGURE 321.25

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MODEL: Custom Ranch

DRAWN BY: ijm

DATE: 9-18-2025

Crosswind Builders, LLC
Lot # Fox Lake Village Addition #3
Waukesha, Wisconsin

WALL BRACING LAYOUT

PROJECT:

TITLE:

Sheet No.

7 of 7

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