

L:\2023 Acad Drawings\F3120 Vignesh Proddatur- 705 & 707 Sydnor\F3120-A1.1-R-v7.dwg, 4/15/2024 11:11:26 AM, Eric, 0.25:12

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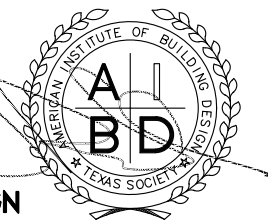
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Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW # F2124-A1.1R-V3			
DESIGNER:	DATE:	PRODUCTION 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

CODE INFORMATION

BUILDING CODE:	2015 I.R.C. WITH CITY OF HOUSTON AMENDMENTS
OCCUPANCY:	GROUP R-3 SINGLE FAMILY HOME
BUILDING CONSTRUCTION TYPE:	TYPE V-B NON-RATED
FIRE PROTECTION:	GROUP R-3 LESS THAN 4-STORIES NO FIRE SPRINKLER SYSTEM REQUIRED
ALLOWABLE HEIGHT:	2015 IBC, TABLE 503: 3 TOTAL FLOORS WITH MAXIMUM HEIGHT OF 50'-0"

FEMA ZONE: X

SCOPE OF WORK

A NEW 3-STORY SINGLE FAMILY DETACHED DWELLING WITH A 2-CAR ATTACHED GARAGE ACCESSED FROM A PRIVATE DRIVE.

Plan Name **A1.1-R-FW5**

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SQUARE FOOTAGES

FIRST FLOOR LIVING:	116
SECOND FLOOR LIVING:	905
THIRD FLOOR LIVING:	905
TOWER:	29
TOTAL LIVING AREA:	1955 #
GARAGE:	511
PORCH:	59
PORTE COCHERE:	130
TOTAL SLAB:	816 #
UNCOVERED ROOF DECK:	469
TOTAL COVER:	2881 #
TOTAL FLOOR AREA:	3124 #

VEER EAST RIVER LLC
SYDNOR COURT LOTS 4 & 5 BLK 1
705 & 707 SYDNOR STREET
HOUSTON, TX 77020

PWA Project Number: **1** of **12**
F3120-A1.1-R-v7

PERMIT SET

Date:

24 March 2024

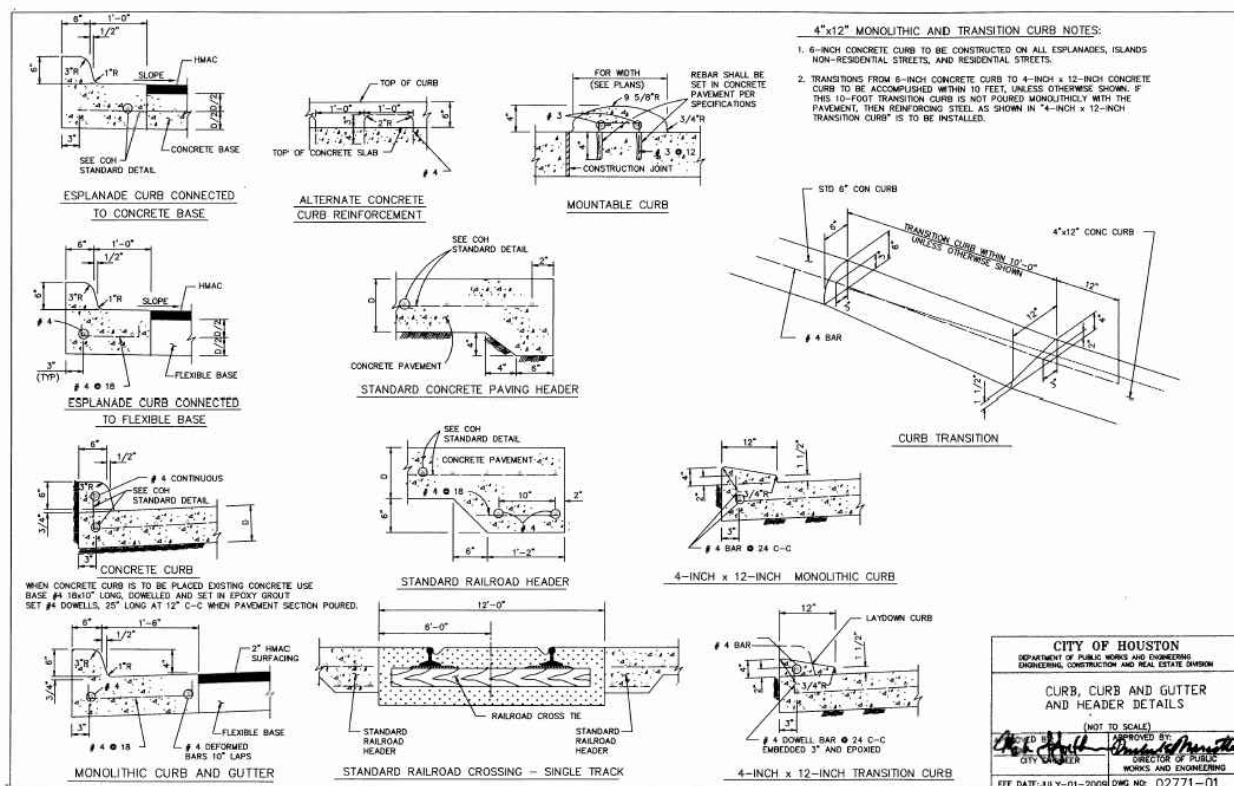
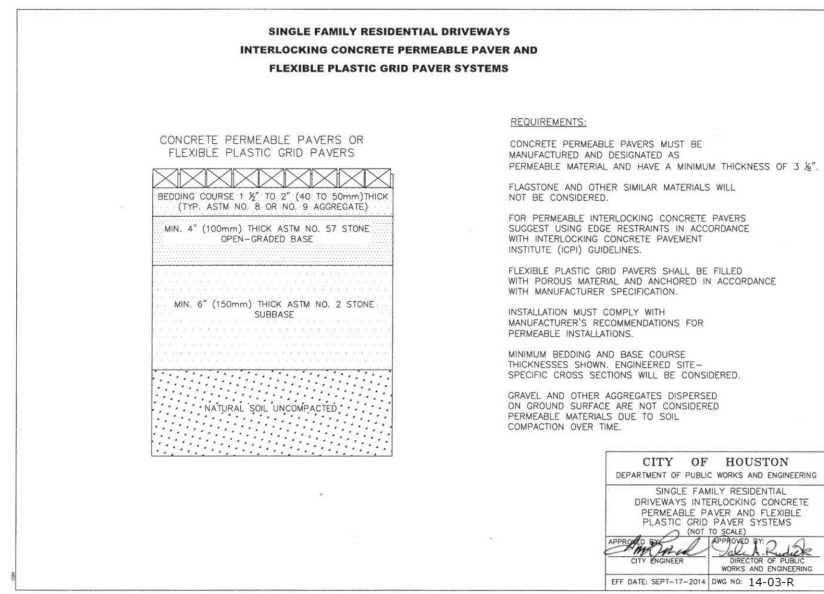
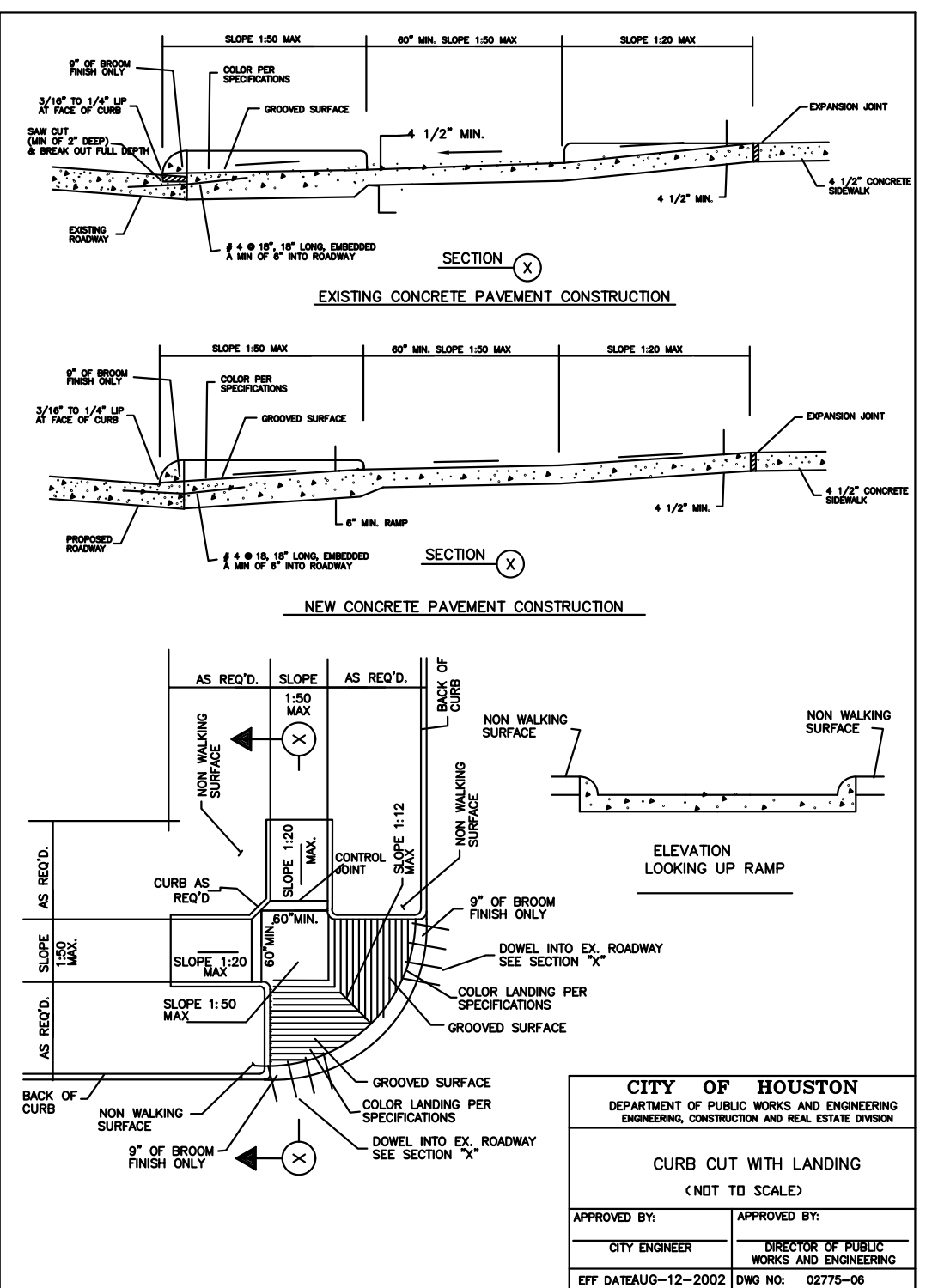


Figure 1: Typical Section of a 12' x 12' Box Culvert. The figure consists of three parts: a plan view, a typical section, and a detail section. The plan view shows the culvert layout with dimensions and labels for various components like 'OUTLET', 'INLET', 'WATER TIGHT JOINT', and 'CONCRETE'. The typical section shows the cross-section of the culvert with dimensions like '12' x 12' BOX', '12' x 12' BOX', and '12' x 12' BOX'. The detail section shows a close-up of the joint between two culvert sections, labeled 'SECTION 3' and 'SECTION 4'. The figure is titled 'TYPICAL SECTION' and 'SECTION 3'.

SITE NOTES

- ALL DRAWINGS PRESENTED HERE REFERENCES THE 2015 IRC WITH CITY OF HOUSTON AMENDMENTS.
- FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" ABOVE THE TOP OF THE SLAB START SEWER MANHOLE COVER. A QUALIFIED ENGINEER TO DETERMINE FINAL SLAB ELEVATION AND PROVIDE A SITE GRADING PLAN PER LOCAL AUTHORITY.
- ELEVATION OF THE NEAREST SANITARY SEWER MANHOLE COVER IS ASSUMED TO BE 100.0'. CURB ELEVATION (AS REFERRED) TAKEN FROM TOP OF THE CURB.
- BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITIES ARE DEEPLY EMBEDDED, BLOCK-FACE, AND SETBACK LINES PRIOR TO CONSTRUCTION.
- PLUMBER TO CONNECT INTO EXISTING SANITARY SEWER. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) INSIDE PROPERTY, AND CONCRETE UNDER THE SLAB TO BE 4" MIN. THICK.
- PLUMBER TO DETERMINE LOCATION OF WATER MAIN AND TO CONTACT THE LOCAL AUTHORITY TO CONNECT, WATER PIPE AND METER SIZES TO CONFORM WITH 2015 U.P.C. PIPING TO BE SCH. 40 P.V.C. (OR EQ.) SETBACK TO BE 10' MIN. WHEN AS REQUIRED ALLOWED FOR WATER AND GAS LINES ENTERING THE BUILDING PROPER (ONLY).
- ELECTRICIAN TO RUN THREE UNDERGROUND CONDUITS FROM SOURCE FOR THE FOLLOWING: (A) ELECTRIC SERVICE, (B) TELEPHONE, (C) BROADCASTING SERVICE, (D) ENTERTAINMENT SERVICE... AT THE SAME LOCATION, PROVIDE CONDUITS IN SLAB, PRIOR TO POUR, TO MINIMIZE ABOVE GRADE "ELBOWS" ENTERING THE BUILDING PROPER. ALL WIRING TO BE UNDERGROUND, AND TO BE PROTECTED BY AN UNDERGROUND SYSTEM OR DIRECTED ON THE SURFACE TO THE STREET. DRAINAGE AND RUNOFF ARE NOT ALLOWED TO BE DIRECTED ONTO ADJACENT PROPERTIES. SEE SEATTLE DETAIL, DRAIN PIPING TO BE SCH. 40 P.V.C. (OR EQ.) WHEN AS REQUIRED.
- PROVIDE ONE QUALIFIED TREE PER 5000 SQ. FT. OF LOT SIZE OR ONE QUALIFIED TREE PER FAMILY.
- SHADED AREAS DESIGNATES MINIMUM COMMON AREAS AND/OR PRIVATE UTILITY AREAS (SEE APPLICATION). THIS PANEL IS USED AS A GUIDE FOR THE DRAFTING OF THE REQUIRED COMMON AREA AGREEMENT LETTER. THE REQUIRED COMMON AREA AGREEMENT LETTER MUST PRECEDE.
- ALL WATER, SANITARY, SEWER, ELECTRICAL, PIPING, AND PAVING LOCATED IN THE COMMON AREAS (A) ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- SIMILAR LINES (ELECTRIC, WATER, COMMUNICATION, ENTERTAINMENT) ARE TO BE PLACED TOGETHER IN THE SAME DITCH PROVIDED. ALL LINES ARE SLEEVED THE ENTIRE RUN, OR MAINTAIN MINIMUM 36 INCH SPACING BETWEEN ALL LINES.
- ALL PIPING IN THE R.O.W. SHALL BE REINFORCED CONCRETE.
- PROVIDE A MINIMUM 12" CLEARANCE OF A/C PADS TO ANY VERTICAL SURFACE, WITH MINIMUM 18" BETWEEN A/C PADS, AND A 30" MINIMUM SERVICE AREA.
- ALL FENCING ALONG PROJECT BOUNDARY, AGAINST AN ADJACENT PROPERTY, SHALL BE A MINIMUM 6' TALL FENCE. FENCE SHALL BE AGAINST THE R.O.W. TO BE METAL AND CAN BE PLACED AGAINST THE PROPERTY LINE PROVIDED THE 6 FOOT MIN. TALL FENCE IS 25% OR LESS OBSCURE 1/4" INCH BARS OR TUBES PLACED 18" TO 19" AWAY FROM THE PROPERTY LINE THAT IS AGAINST THE R.O.W.



C.O.H. RESIDENTIAL TREE REQUIREMENTS:
 LOTS < 5000 S.F. - 1 TREE REQUIRED
 LOTS > 5000 S.F. - 2 TREE REQUIRED
 1 TREE MINIMUM REQUIRED IN R.O.W.

A11				B11			
WATER-SUPPLY FIXTURE-UNIT VALUES				WATER-SUPPLY FIXTURE-UNIT VALUES			
PLUMBING FIXTURE TABLE 2903.6				PLUMBING FIXTURE TABLE 2903.6			
FIXTURE GROUP OR TYPE OF FIXTURE	VALUE	QTY.	TOTAL	FIXTURE GROUP OR TYPE OF FIXTURE	VALUE	QTY.	TOTAL
FULL-BATH GROUP WITH BATHTUB OR SHOWER STALL (3 TOTAL FIXTURES)	3.6	2	7.2	FULL-BATH GROUP WITH BATHTUB OR SHOWER STALL (3 TOTAL FIXTURES)	3.6	2	7.2
HALF-BATH GROUP (2 FIXTURES)	2.6	1	2.6	HALF-BATH GROUP (2 FIXTURES)	2.6	2	5.2
KITCHEN GROUP (SINK AND D.J.U.)	2.5	1	2.5	KITCHEN GROUP (SINK AND D.J.U.)	2.5	1	2.5
LAUNDRY GROUP (WASHER AND SINK)	2.5	0	0	LAUNDRY GROUP (WASHER AND SINK)	2.5	0	0
BATHTUB	1.4	1	1.4	BATHTUB	1.4	1	1.4
BIDET	0.7	0	0	BIDET	0.7	0	0
CLOTHES WASHER	1.4	1	1.4	CLOTHES WASHER	1.4	1	1.4
DISHWASHER	0	1.4	0	DISHWASHER	1.4	0	0
HOSE BIB / LANDSCAPE SPRINKLER	2.5	2	5	HOSE BIB / LANDSCAPE SPRINKLER	2.5	3	7.5
KITCHEN SINK	1.4	0	0	KITCHEN SINK	1.4	2	2.8
LAVATORY	0.7	1	0.7	LAVATORY	0.7	2	1.4
LAUNDRY TUB	1.4	0	0	LAUNDRY TUB	1.4	0	0
SHOWER STALL	1.4	0	0	SHOWER STALL	1.4	0	0
WATER CLOSET (TANK TYPE)	2.2	0	0	WATER CLOSET (TANK TYPE)	2.2	0	0
TOTAL W.S.F.U.:			20.8	TOTAL W.S.F.U.:			29.4
WATER METER SIZE:			1"	WATER METER SIZE:			1"
WATER LINE SIZE:			1"	WATER LINE SIZE:			1"
2021 IRC TABLE P2403.6				2021 IRC TABLE P2403.6			

COMMON DRAINAGE AGREEMENT BY OTHERS. ADDRESS ASSIGNMENTS BY OTHERS.	IF REQUIRED
--	-------------

ELEVATION MARK	SITE AREA DRAIN
ELECTRICAL METER	PHONE STUB
WATER METER	SEWER CLEAN OUT
GAS METER	HOSE BIB
FIRE WALL (TYPE)	A/C PAD POOL EQUIPT.

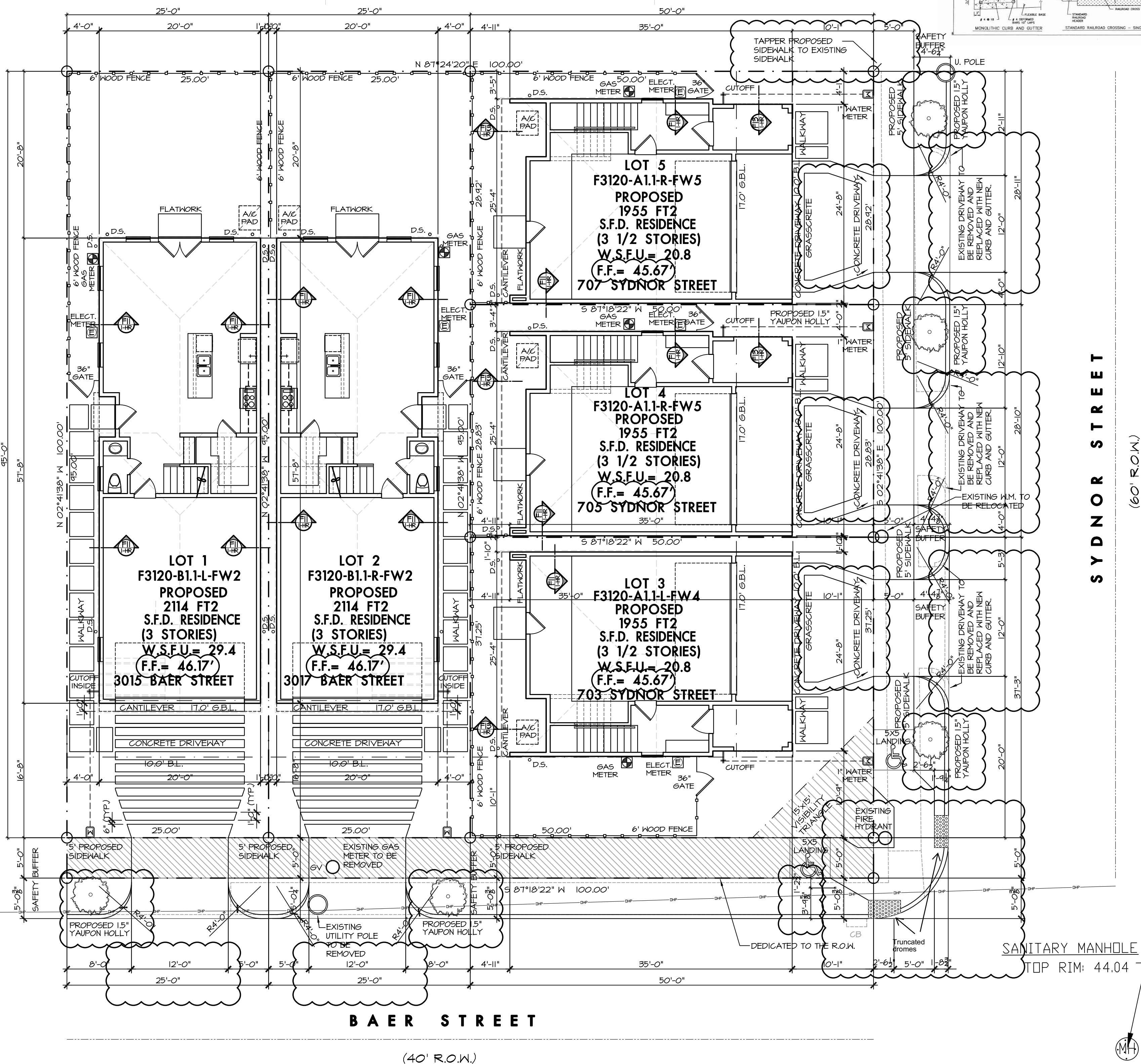
LOT	SIZE	TOTAL SLAB	% COVERAGE
1	2375	143	48.1 %
2	2375	143	48.1 %
3	1863	86	43.8 %
4	1442	86	56.6 %
5	1446	86	56.4 %

MAXIMUM ALLOWABLE BUILDING COVERAGE IS 60%			
LOT	DRIVE/WALKS	TOTAL IMPERVIOUS	% IMPERVIOUS
1	33	1,466	61.7 %
2	33	1,466	61.7 %
3	33	1,466	61.7 %
4	33	1,466	61.7 %
5	33	1,466	61.7 %
6	33	1,466	61.7 %
7	33	1,466	61.7 %
8	33	1,466	61.7 %
9	33	1,466	61.7 %
10	33	1,466	61.7 %
11	33	1,466	61.7 %
12	33	1,466	61.7 %
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14	33	1,466	61.7 %
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94	33	1,466	61.7 %
95	33	1,466	61.7 %
96	33	1,466	61.7 %
97	33	1,466	61.7 %
98	33	1,466	61.7 %
99	33	1,466	61.7 %
100	33	1,466	61.7 %

MAXIMUM ALLOWABLE IMPERVIOUS IS 65% BEFORE DETENTION IS REQUIRED

VEER EAST RIVER LLC
SYDNOR COURT LOTS 1-5 BLK 1
703,705,707 SYDNOR ST & 3015,3017 BAER ST
HOUSTON, TX 77020

PWA Project Number: F3120-SITE-v2	2A of 11	
PERMIT SET	Date:	12 April 2024



RECOMMENDED APPROVAL
PLANNING AND
DEVELOPMENT DEPARTMENT
DEVELOPMENT SERVICES
andy Lilley 6/18/2024
LANDSCAPING REQUIRED

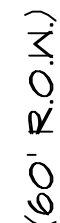
COMMON AREA NOTE

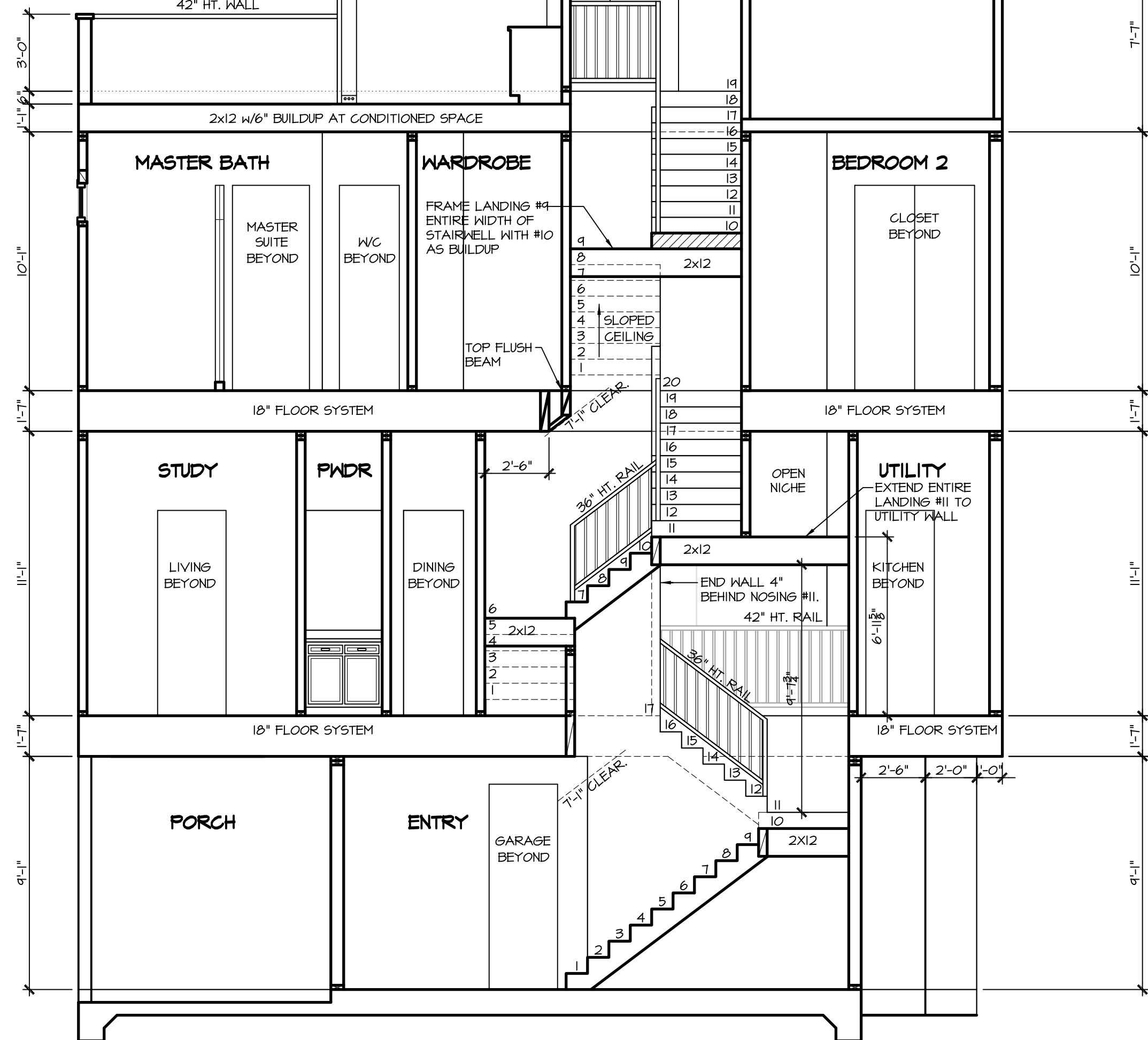
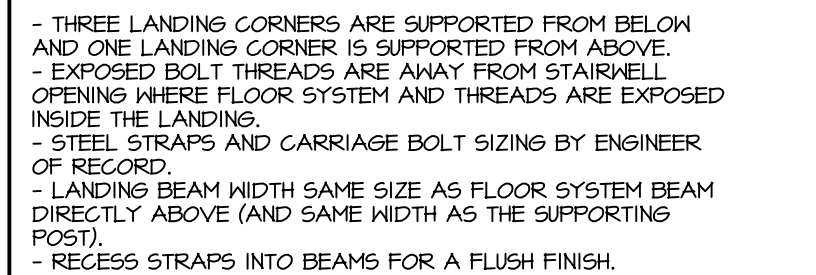
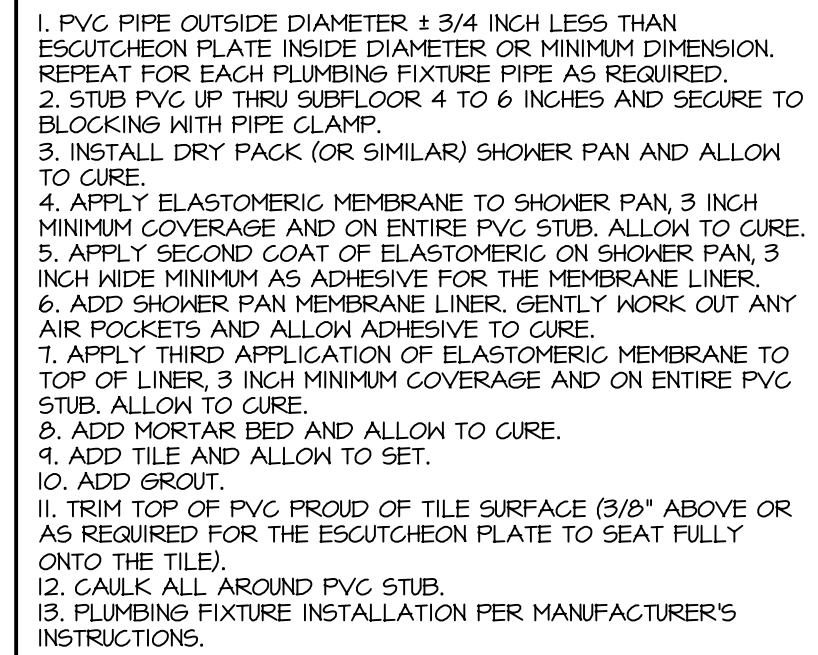
ALL AREAS NOT UNDER THE FOUNDATION FOOTPRINTS ARE COMMON AREAS. SEE COMMON AREA AGREEMENT BY OTHERS FOR MORE INFORMATION.

SCALE: 1/8" = 1'-0"



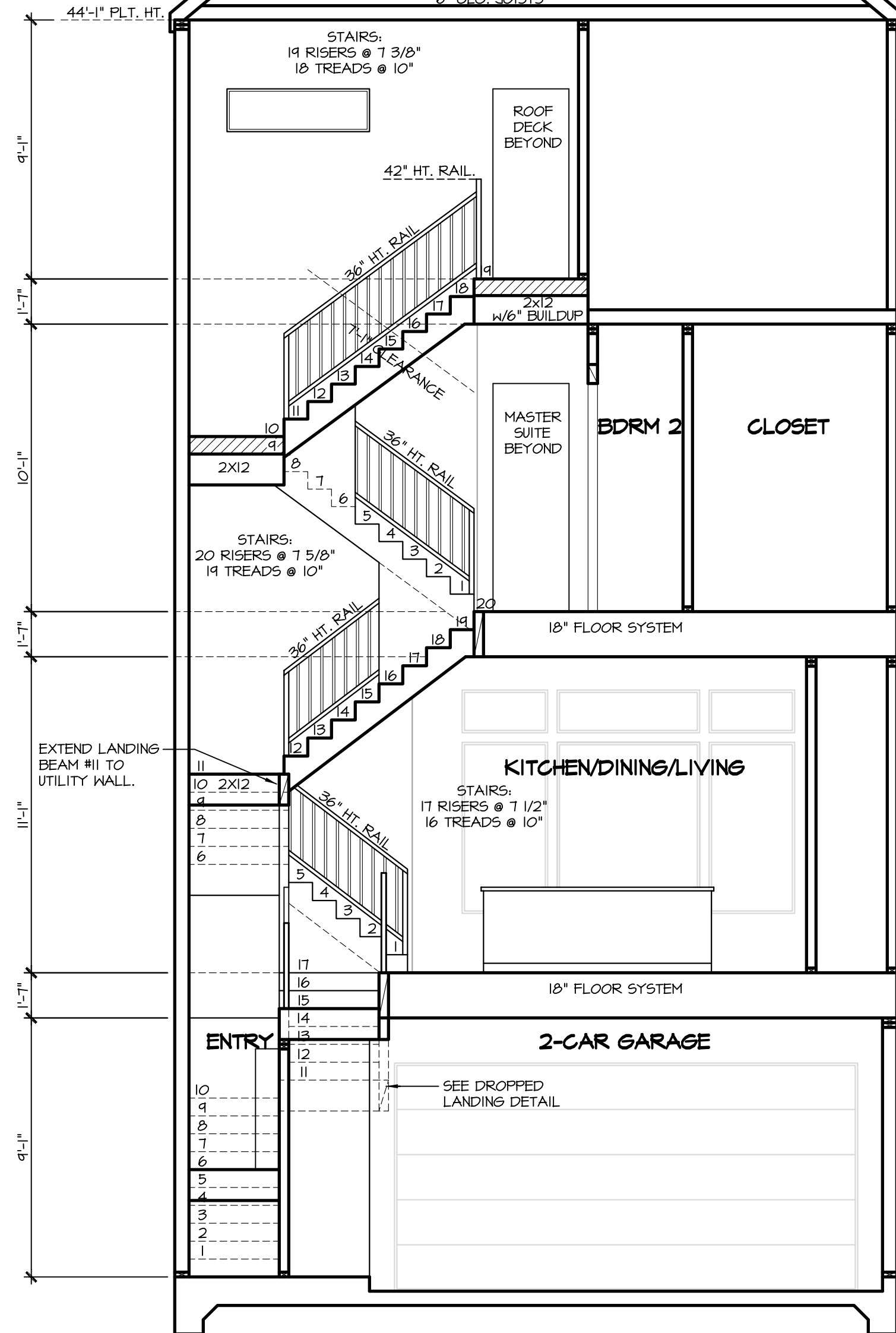
NOTE! BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND TO VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING LINES AND SETBACK LINES PRIOR TO CONSTRUCTION





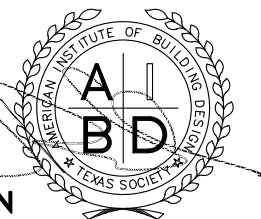
SCALE: 1/4" = 1'-0"

SUGGESTED FLOOR AND CEILING SYSTEM AS NOTED ON DRAWING.



SCALE: 1/4" = 1'-0"

SUGGESTED FLOOR AND CEILING SYSTEM AS NOTED ON DRAWING.

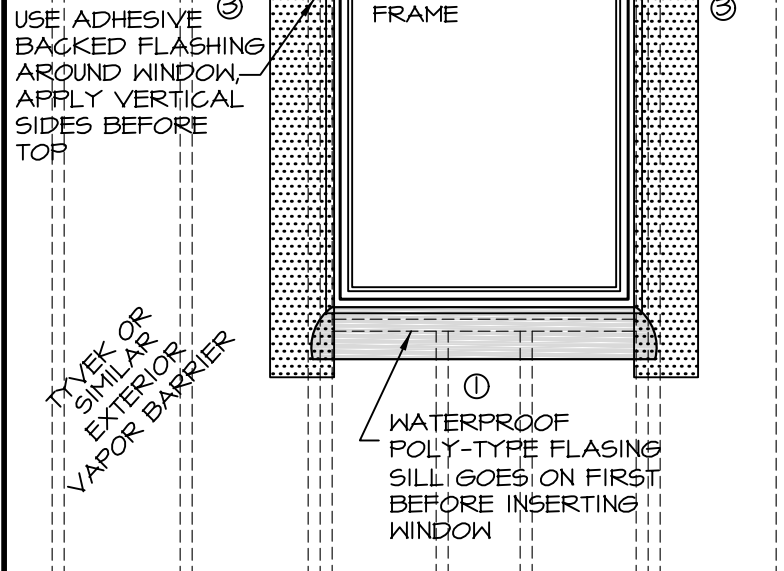


Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN

DESIGNER:	DATE:
XXX	X-X-XX

PRODUCTION 1 :	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2 :	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3 :	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

IT	□	□	□	□
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FIRST FLOOR LIVING:	116
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SECOND FLOOR LIVING:	905
THIRD FLOOR LIVING:	905
TOWER:	29
TOTAL LIVING AREA:	1955
GARAGE:	511
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PORTE COCHERE:	130
TOTAL SLAB:	816
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TOTAL FLOOR AREA:	3124

PWA Project Number:	7
F3120-A1.1-R-v7	

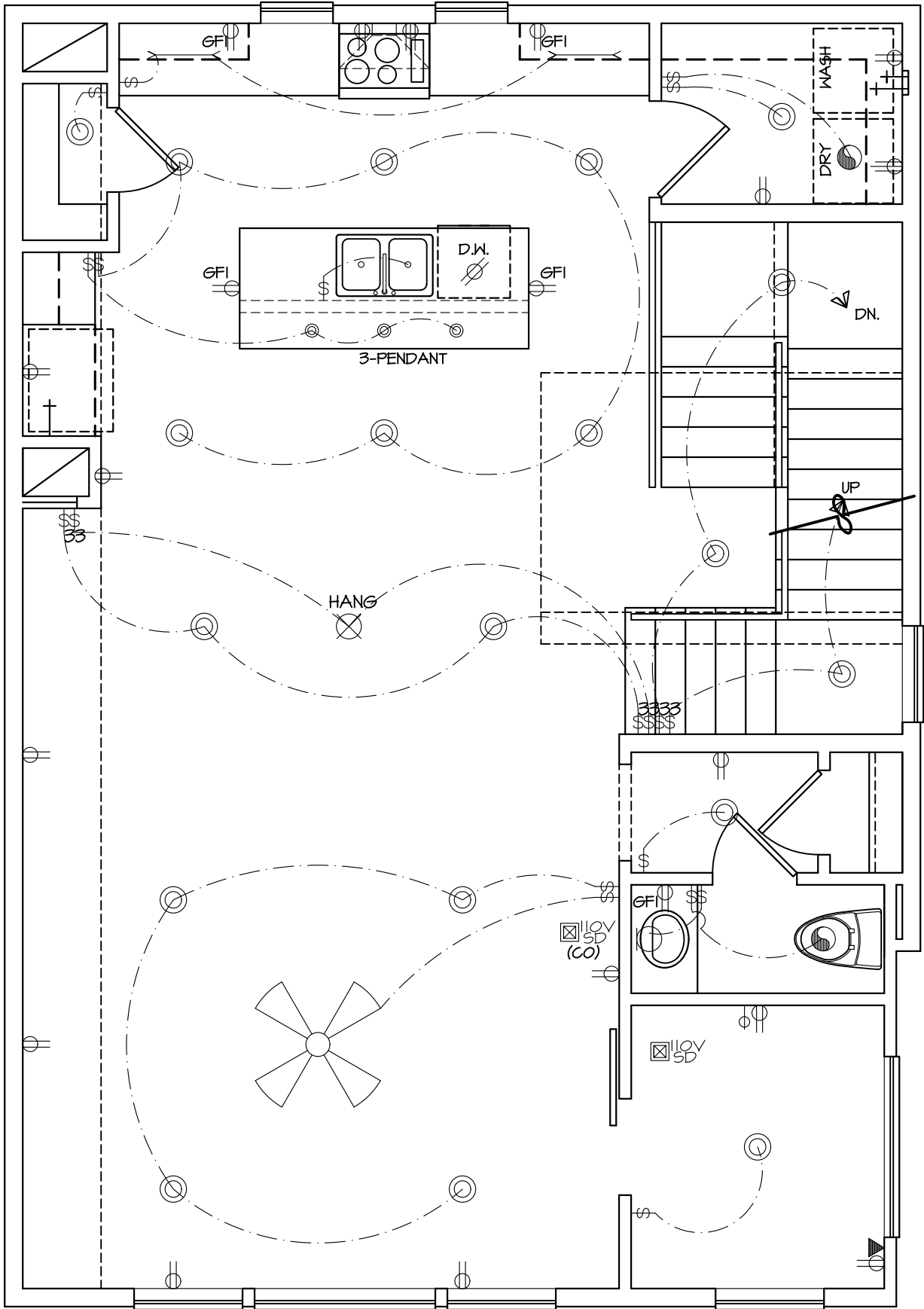
PERMIT SET

Date: 24 March 202

Date:

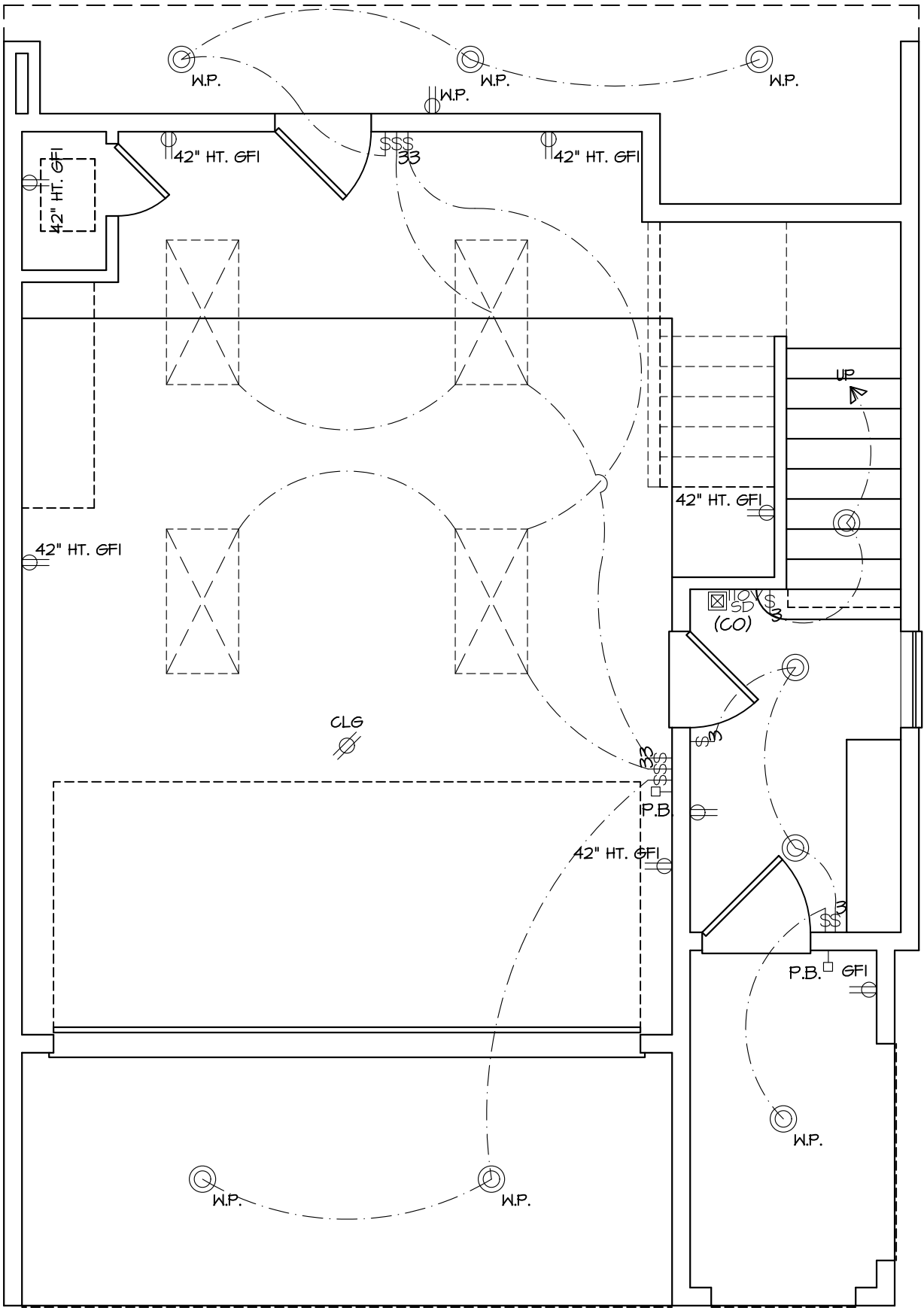
SECOND FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"



SMOKE ALARM NOTES

1. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
 - a. IN EACH SLEEPING ROOM.
 - b. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS (UP TO 12 FEET).
 - c. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
2. PRIMARY POWER SHALL BE FROM THE BUILDING WIRING (110V) AND SHALL ALSO BE EQUIPPED WITH A BATTERY BACKUP.
3. ALARM DEVICES SHALL BE INTERCONNECTED WHERE ACTUATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
4. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS WHERE THERE IS FUEL-FIRED (GAS) APPLIANCES AND/OR ATTACHED GARAGES.

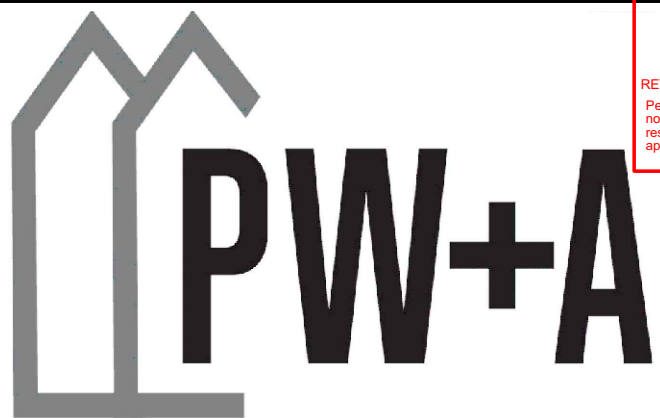
BREAKER BOX NOTE

CIRCUIT BREAKER BOXES ARE NOT ALLOWED INSIDE A FIRE RATED EXTERIOR STUD WALL THAT IS FACING TO AND LOCATED LESS THAN 3 FEET TO A PROPERTY LINE.

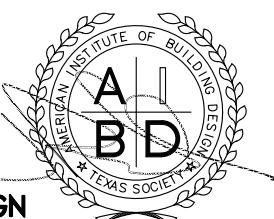
LISTED BOXES IN 1-HOUR WALL

1. MEMBRANE PENETRATIONS -- RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATINGS WILL NOT BE REDUCED.

2. MEMBRANE PENETRATIONS BY LISTED ELECTRICAL BOXES OF ANY MATERIAL PROVIDED THE BOXES HAVE BEEN TESTED FOR USE IN FIRE-RESISTIVE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING. THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH UNLESS LISTED OTHERWISE.



PRESTON WOOD & ASSOCIATES, LLC
3217 Mercer St., Houston, TX 77027
phone: 713.522.2724
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Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW # F2124-A1.1R-V3

DESIGNER:	DATE:	PRODUCTION 4:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1:	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2:	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3:	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

ELECTRICAL SYMBOLS & NOTES

110 VOLT RECEPTACLE	FLOOD LIGHTS
110 VOLT 1/4 GROUND FAULT INTERRUPTOR	UNDER CABINET LIGHT
110 VOLT IN CEILING	OVER CABINET LIGHT
WATERPROOF G.F.I.	IN CABINET LIGHT
110 VOLT IN FLOOR	2'X4' FLUORESCENT LIGHT BOX (1'X4' AND 4'X4' SIMILAR)
110 VOLT 1/2 SWITCHED	
220 VOLT RECEPTACLE	
RS-6 CABLE RECEPTACLE (TV CABLE/SATELLITE)	
TELEPHONE OUTLET	
NETWORK	
SINGLE POLE SWITCH	ELECT. PANEL
THREE WAY SWITCH	ELECT. METER
FOUR WAY SWITCH	INTERCOM
DIMMER SWITCH (RHEOSTAT)	SECURITY KEYPAD
PUSH BUTTON SWITCH	SECURITY CAMERA
CARBON MONOXIDE/SMOKE DETECTOR w/ BATTERY BACKUP	
SMOKE DETECTOR w/ BATTERY BACKUP	
THERMOSTAT	
CHIMES	
SPEAKER	CEILING FAN
CEILING MOUNTED FIXTURE	
HANGING LIGHT	
RECESSED CAN	
WATERPROOF RECESSED CAN	CEILING FAN w/ LIGHT
RECESSED EYEBALL SPOT	
WALL MOUNTED FIXTURE	
PORCELAIN FIXTURE w/ PULL CORD	
EXHAUST FAN	CEILING LIGHT w/ OPTIONAL FAN (FRESHIRE AND BLOCK)
PENDANT LIGHT	

ELECTRICAL NOTES

- 1) SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).
- 2) PROVIDE G.F.C.I. OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGES AND ALL EXTERIOR WATERPROOF OUTLETS.
- 3) RECESS LIGHTS IN INSULATED CEILINGS TO BE LIGHTOLIER 1102 IC - 1105 OR EQUAL.
- 4) PROVIDE 110V OUTLET AND SWITCHED LIGHT IN ATTIC NEAR H.V.A.C. EQUIPMENT. LOCATE SWITCH NEAR (IF NOT OUTSIDE) ATTIC ACCESS.
- 5) PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS. IF UTILITY ROOM HAS A MEANS OF NATURAL VENTILATION TO OUTSIDE, A VENT IS NOT REQUIRED.
- 6) ALL EXHAUST VENTS SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 6'-0" FROM ANY PROPERTY LINE. DRYER VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
- 7) WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SMOKE DETECTOR AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.

ELECTRICAL NOTE:
ELECTRICAL PLANS ARE PROVIDED FOR DESIGN INTENT ONLY. VERIFY LOCATIONS OF FIXTURES, SWITCHES, OUTLETS AND EQUIPMENT WITH A LICENSED PROFESSIONAL ELECTRICIAN.

SQUARE FOOTAGES

FIRST FLOOR LIVING:	116
SECOND FLOOR LIVING:	905
THIRD FLOOR LIVING:	905
TOWER:	29
TOTAL LIVING AREA:	1955 #
GARAGE:	511
PORCH:	59
FORTE COCHERE:	130
TOTAL SLAB:	816 #
UNCOVERED ROOF DECK:	469
TOTAL COVER:	2881 #
TOTAL FLOOR AREA:	3124 #

VEER EAST RIVER LLC
SYDNOR COURT LOTS 4 & 5 BLK 1
705 & 707 SYDNOR STREET
HOUSTON, TX 77020

PWA Project Number:
F3120-A1.1-R-v7

9 of 12

PERMIT SET

Date:

24 March 2024

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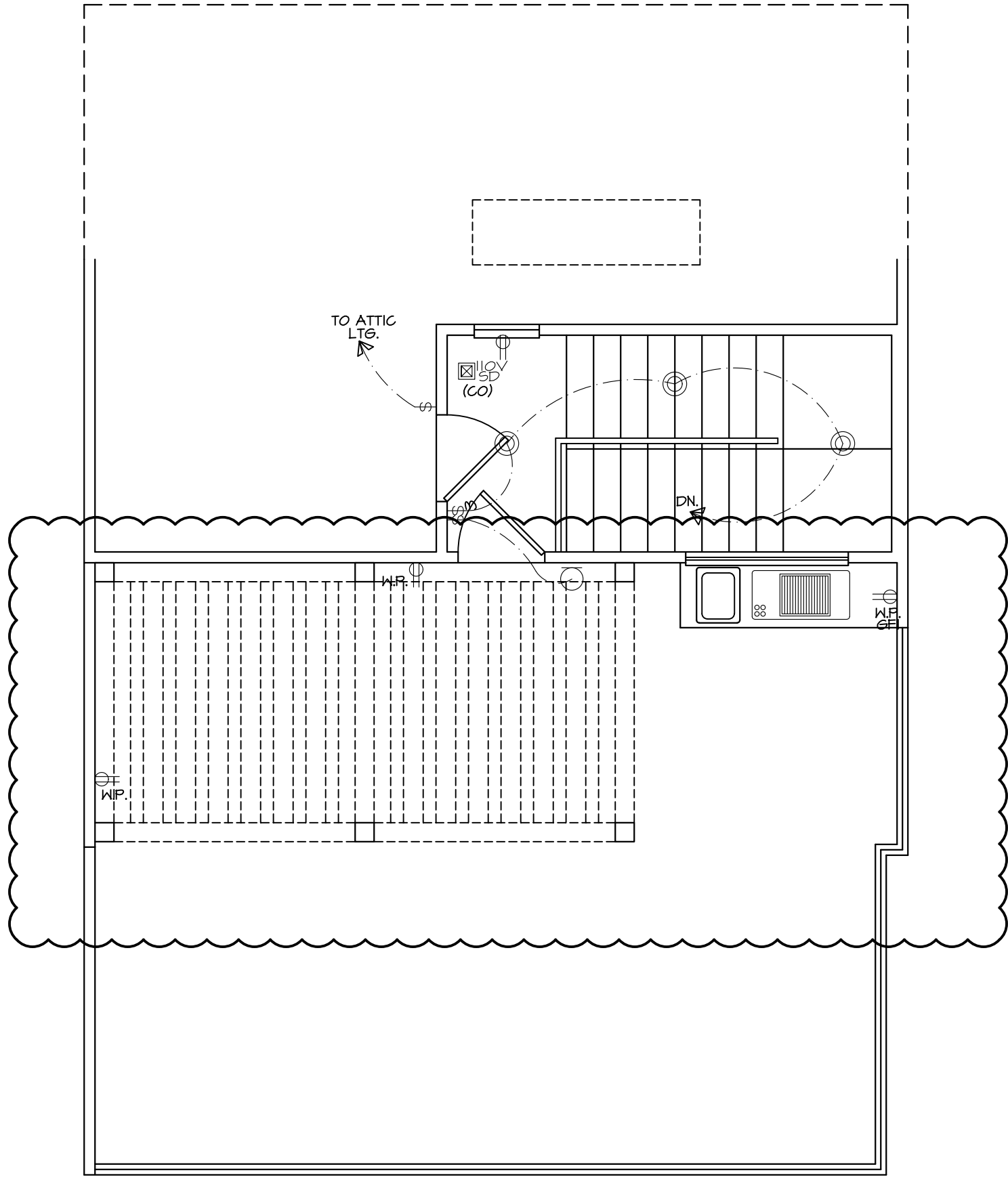
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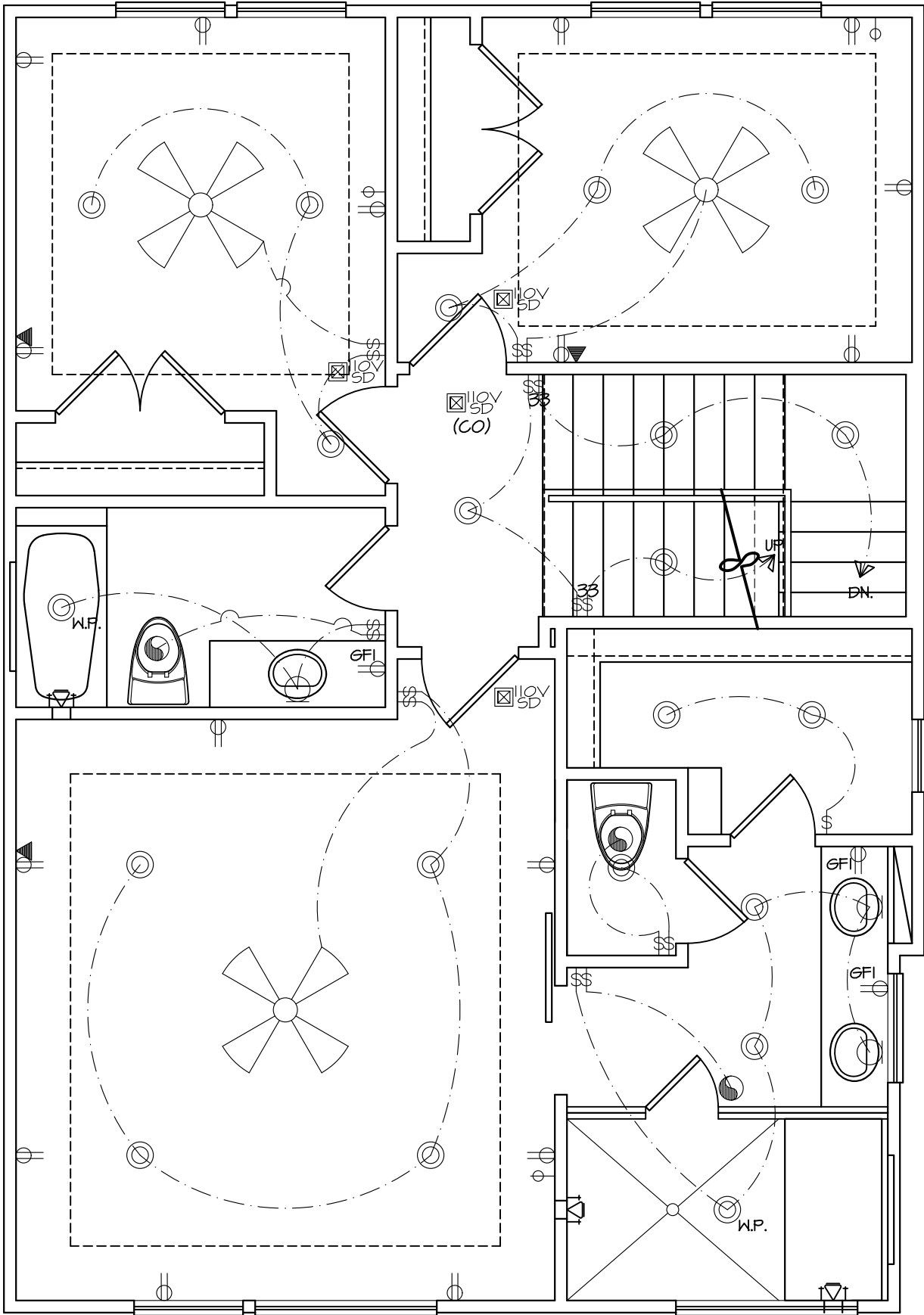
STAIR TOWER ELECTRICAL

SCALE: 1/4" = 1'-0"

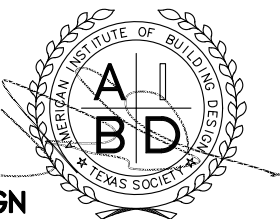


THIRD FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"



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Jack Preston Wood PBD Certification: TX-431
AMERICAN INSTITUTE OF BUILDING DESIGN



REDRAW # F2124-A1.1R-V3			
DESIGNER:	DATE:	PRODUCTION 4 :	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 1 :	DATE:	SENT TO ENGINEER:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 2 :	DATE:	CORRECTIONS:	DATE:
XXX	X-X-XX	XXX	X-X-XX
PRODUCTION 3 :	DATE:	CHECKED:	DATE:
XXX	X-X-XX	XXX	X-X-XX

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