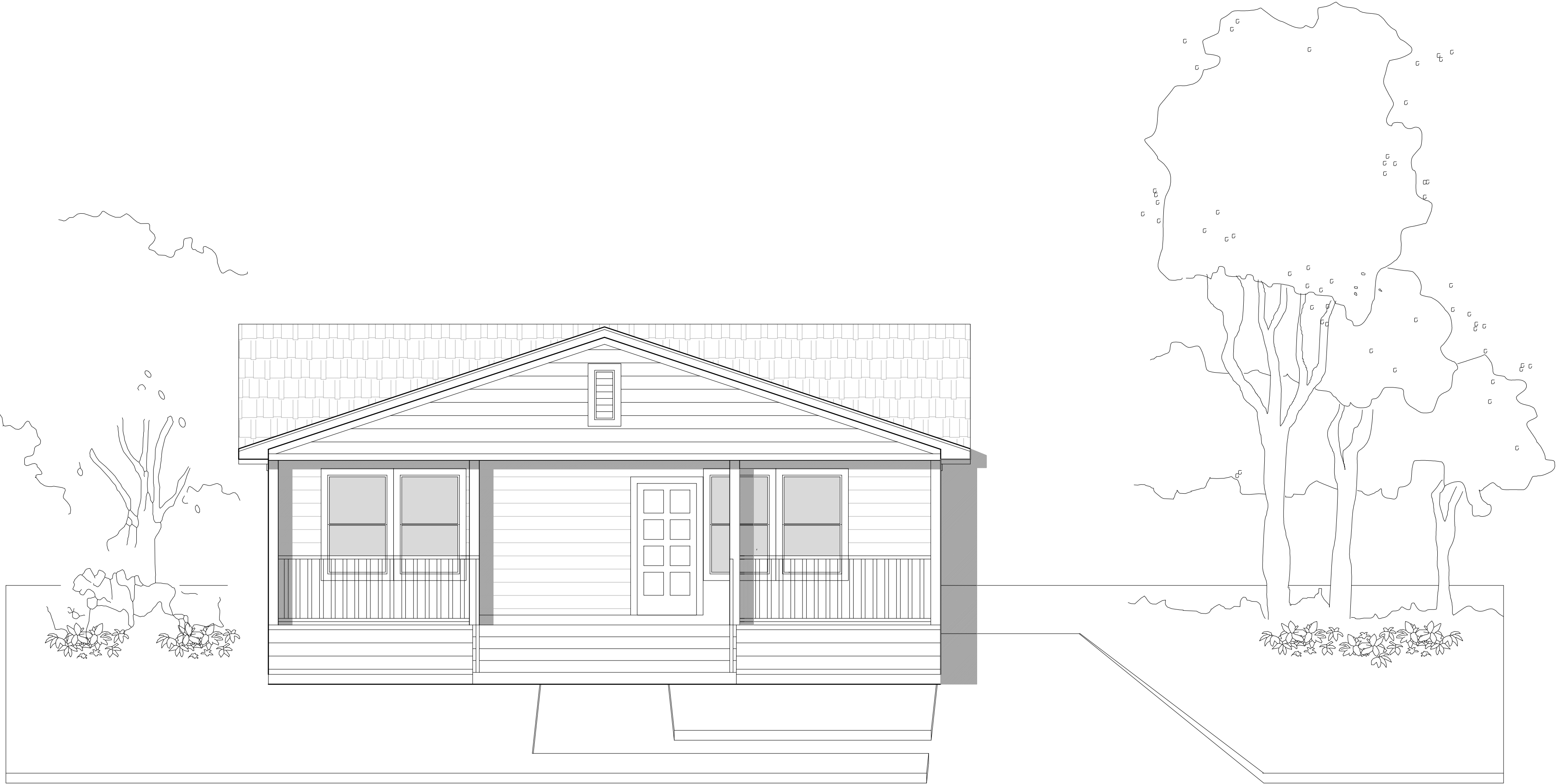


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S | D

SYNDICATE DESIGNS

WE DEDICATE OURSELVES TO UNFORGETTABLE DESIGNS

REDRAW #	
CODE INFORMATION	
BUILDING CODE:	2015 I.R.C. WITH CITY OF CLEVELAND AMENDMENTS
OCCUPANCY:	GROUP R-3 SINGLE FAMILY HOME
BUILDING CONSTRUCTION TYPE:	TYPE V-B NON-RATED
FIRE PROTECTION:	GROUP R-3 LESS THAN 4-STORIES NO FIRE SPRINKLER SYSTEM REQUIRED
ALLOWABLE HEIGHT:	2015 IBC, TABLE 503: 3 TOTAL FLOORS WITH MAXIMUM HEIGHT OF 50'-0"

SYNDICATE DESIGNS, L.L.C.
6407 PRAIRIE LANDING BLVD, KATY, TX 77493 PH. 832.801.7868
SYNDICATEDESIGNS@ICLOUD.COM

A Remodel Residence for:
MR. & MRS. REYNOSO
1342 COUNTY RD 5003
CLEVELAND, TX 77327

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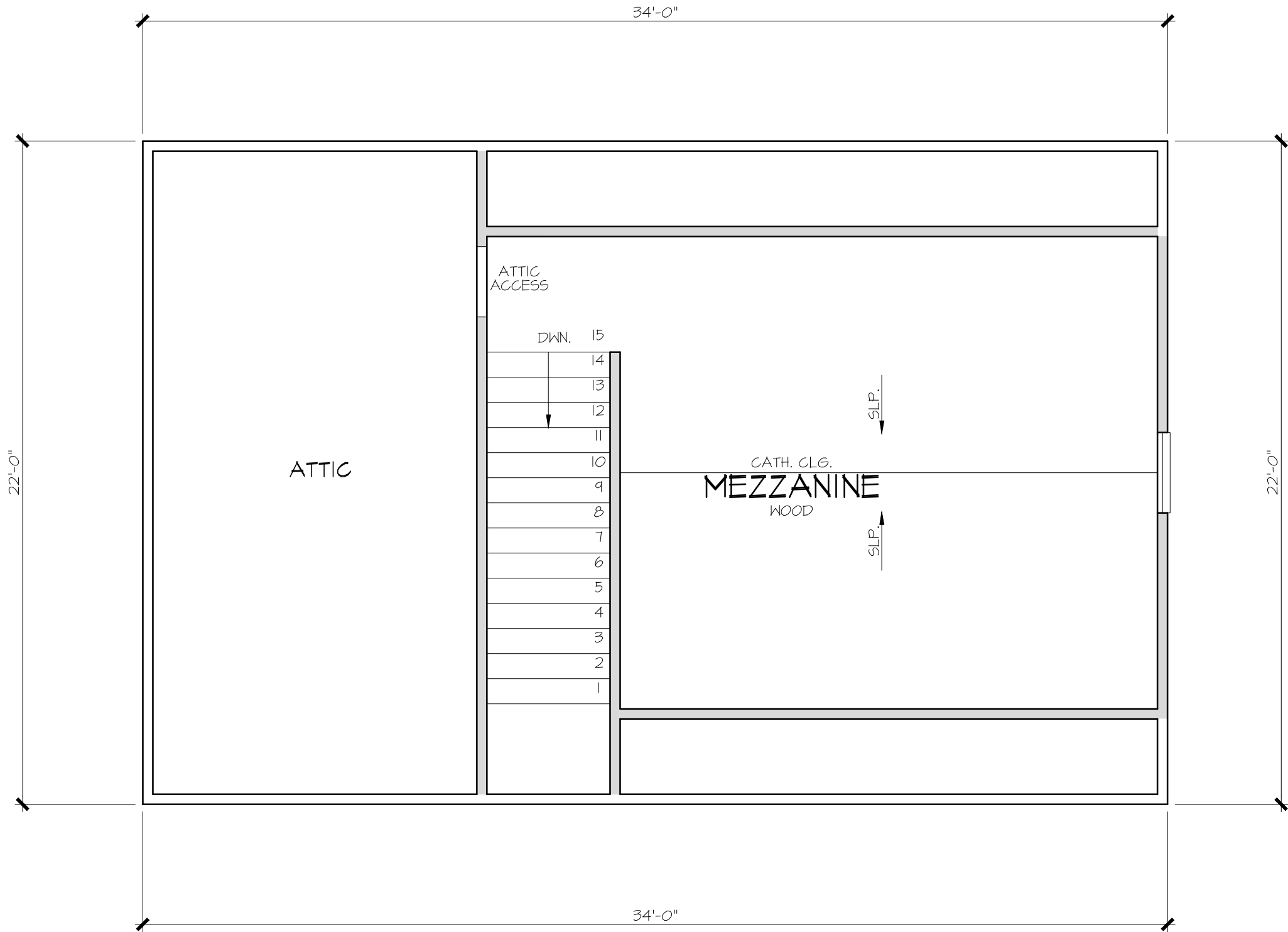
RENDERED FRONT	1
SITE PLAN (NOT INCLUDED)	2
EXISTING FIRST & MEZZANINE FLR	3
PROPOSED FIRST FLOOR	4
EXISTING ELEVATIONS	5
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PROPOSED ROOF PLAN	10
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DETAIL SHEET	12

SQUARE FOOTAGES

EXISTING :	
FIRST FLOOR:	748
MEZZANINE:	310
TOTAL AREA:	1058 S.F.
ADDITION:	
FIRST FLOOR:	548
PORCHES:	340
PROPOSED TOTAL AREA:	1636 S.F.

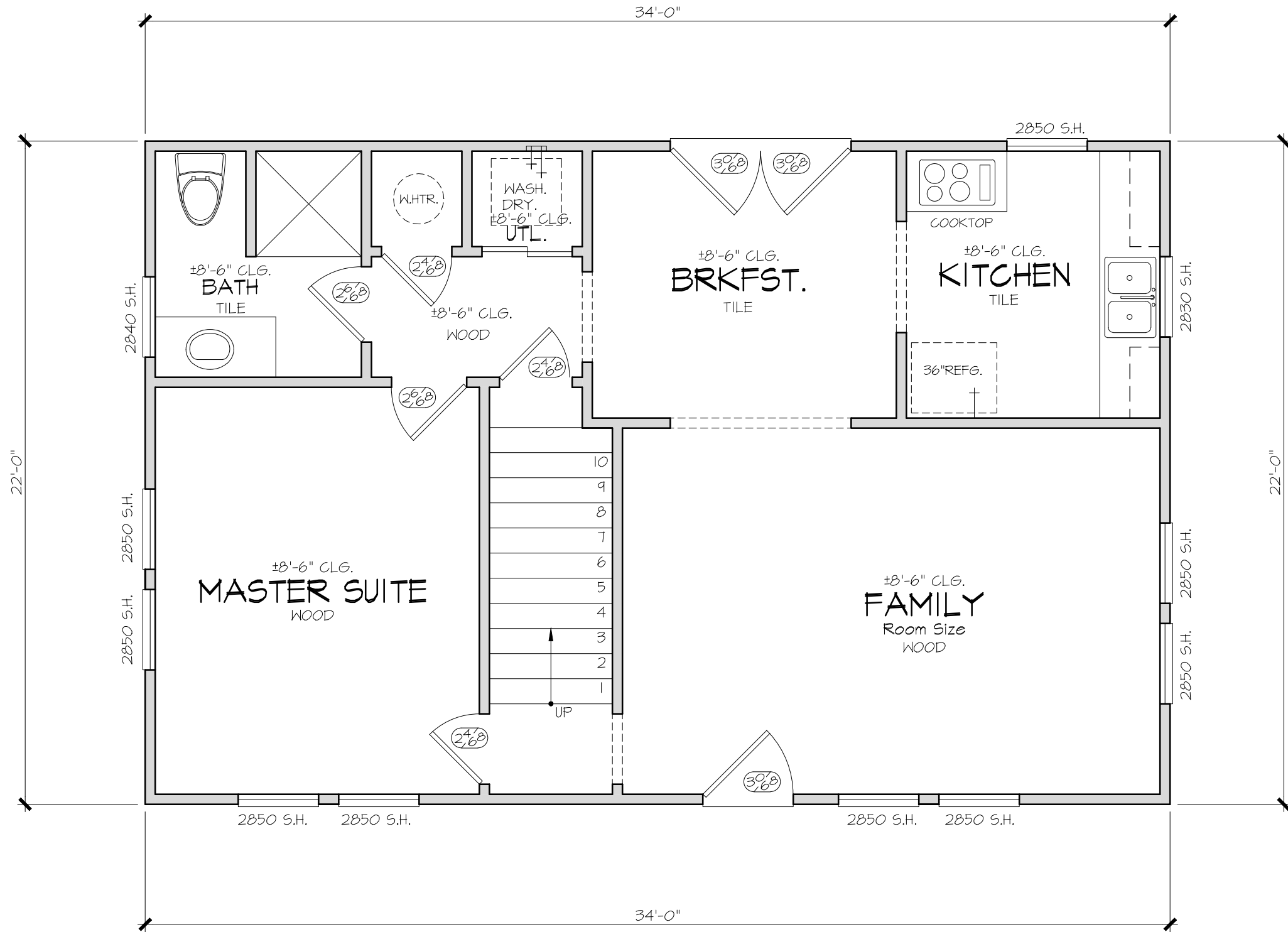
EXISTING MEZZANINE

SCALE: 1/4" = 1'-0"
±0'-4" STUD HT. WITH 2 X 4'S @ 16" O.C. TYPICAL. U.N.O. (UNLESS NOTED OTHERWISE.)
PRIMARY FLOOR COVERING: WOOD U.N.O.



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
±0'-4" STUD HT. WITH 2 X 4'S @ 16" O.C. TYPICAL. U.N.O. (UNLESS NOTED OTHERWISE.)
PRIMARY FLOOR COVERING: WOOD U.N.O.



- **FIRE NOTE**
- 1) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO THE GARAGE (# CARPORT) SIDE OF STUDS AND JOISTS.
 - 2) INSTALL MINIMUM 1-3/8 IN. SOLID CORE DOOR, OR SOLID OR HONEYCOMB STEEL DOOR 1-3/8 IN. THICK, OR 20 MIN. FIRE RATED DOOR WITH SELF CLOSING HARDWARE FROM GARAGE AREA TO CONDITIONED AREA. (R304.1)
 - 3) UNRATED DISAPPEARING STAIRS IN GARAGES TO HAVE MIN. 3/8" THICK FIRE RETARDANT PLYWOOD OR MIN. 16 GA. SHEET METAL.
 - 4) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD TO ENCLOSED AREAS LOCATED UNDER ALL STAIRS.

S | D

SYNDICATE DESIGNS

WE DEDICATE OURSELVES TO UNFORGETTABLE DESIGNS

REDRAW #

PLAN NOTES

- REFERENCING THE 2015 IRC WITH CITY OF CLEVELAND AMENDMENTS
- 1) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, L.L.C. OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. SYNDICATE DESIGNS, LLC WILL NOT BE HELD RESPONSIBLE FOR THE CONTENTS PRESENTED BY THIRD PARTY CONSULTANTS (M.E.P., CIVIL, STRUCTURAL, ETC.).
 - 2) ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWINGS.
 - 3) CEILING HEIGHTS TAKEN FROM WHERE THE NOTE IS LOCATED ON THE PLAN.
 - 4) ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (DO NOT CONNECT TO SANITARY SEWER).
 - 5) PROVIDE PLUMBING ACCESS PANEL AT ALL BATHTUBS PER IRC 2015 SECT. P2104.1
 - 6) ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS AND TO COMPLY WITH IRC 2015 SECT. R308.
 - 7) SEE STAIR NOTES AND DETAILS - LAST SHEET, CONFORM TO IRC 2015, SECTIONS R311.5.6 AND IBC 2015, CITY OF CLEVELAND AMENDMENTS, SECTION 1003.3.3.II, EXCEPTION 4: PROVIDE CONTINUOUS RAILING WHEN THERE ARE 4 OR MORE RISERS.
 - 8) PROVIDE ATTIC ACCESS WITH A MINIMUM CLEAR OPENING OF 22"x30". PROVIDE MINIMUM HEAD CLEARANCE OF 30", WHERE SERVING MECHANICAL EQUIPMENT, THE MINIMUM SIZE OF A FULL-DOWN STAIRS IS 30"x54", AND HAVE A MINIMUM LOAD CAPACITY OF 350 LBS. SEE IRC 2015 SECT. R301 AND SECT. M305.1.3.
 - 9) LOCATE WATER HEATER(S) IN ATTIC ABOVE A LOAD BEARING PARTITION, IN A PAN WITH A RELIEF LINE TO OUTSIDE OR STORM SEWER LINE. INSTALLATION TO CONFORM WITH IRC 2015 SECT. P2803.
 - 10) LOCATE H.V.A.C. EQUIPMENT IN ATTIC.
 - 11) PROVIDE 24" WIDE PLYWOOD WALKWAY TO ACCESS ALL MECHANICAL EQUIPMENT LOCATED IN ATTIC. MAXIMUM DISTANCE FROM ATTIC ACCESS TO EQUIPMENT SHALL NOT EXCEED 20'-0". PROVIDE A 30" WIDE SERVICE PLATFORM AT SERVICE SIDE OF ALL EQUIPMENT IN ATTIC.
 - 12) ALL INSULATION SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450. SEE IRC 2015 SECT. R320.1.
 - 13) PROVIDE ADEQUATE FURRING SO VENT AND SOIL PIPES DO NOT PENETRATE PLATES. ALL PLUMBING VENTS SHALL EXIT THROUGH A ROOF PLANE THAT SLOPES TO THE BACK.

SYMBOLS

SECTION CUTS	CABINET & WALL ELEVATIONS	FIRE WALL TYPE
SHEET LOCATION	SHEET LOCATION	DETAIL LOCATED LAST SHEET (U.N.O.)

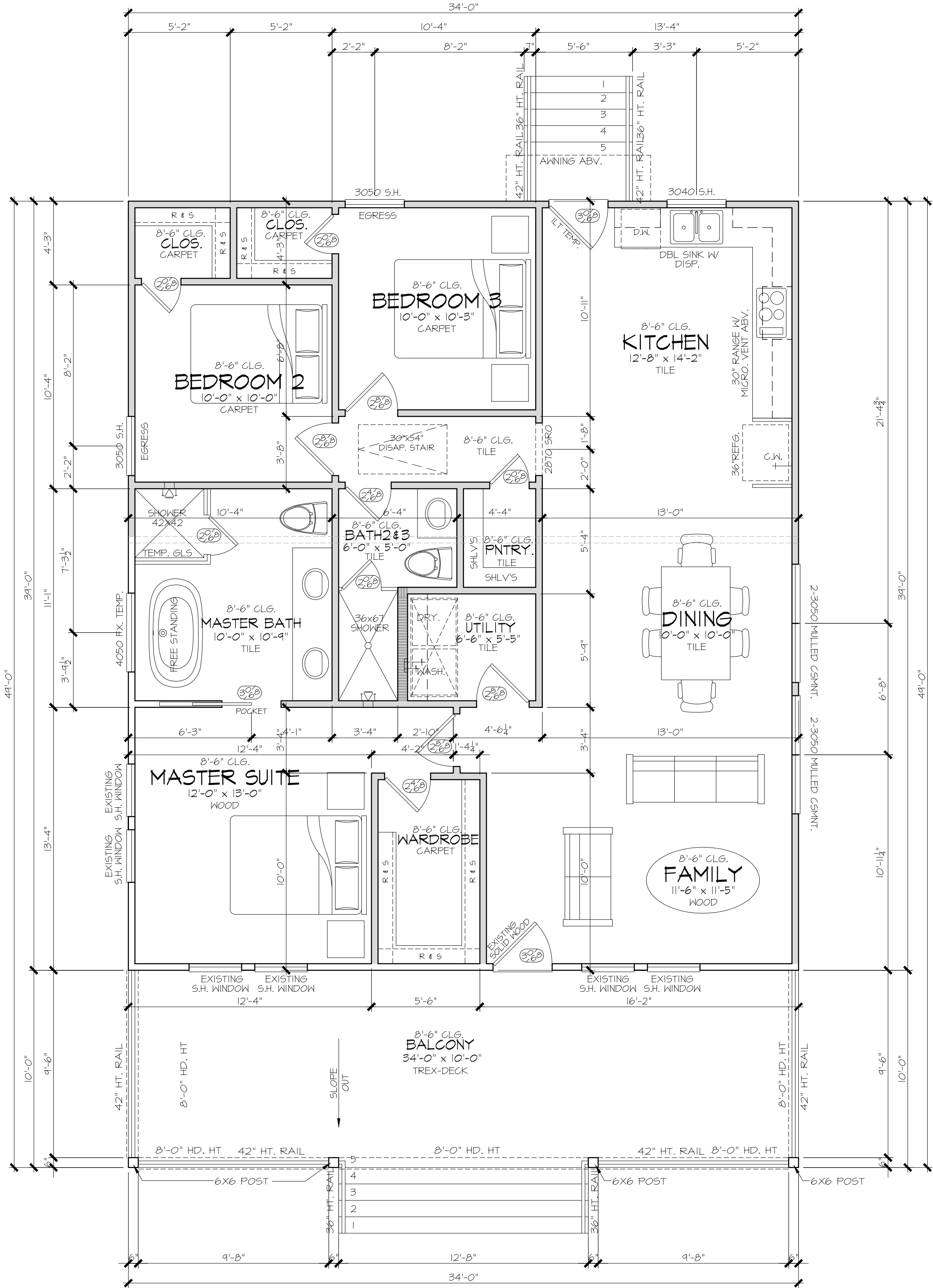
LINE LEGEND

WALLS:	EXISTING	PROPOSED	CLOSETS:	WALL
			ROD & SHELF	
			DOUBLE ROD & SHELF	
			UPPER CABINET	
			12" ABOVE COUNTERTOP TYP.	
			COUNTERTOP @ 36" HT. TYP.	

SQUARE FOOTAGES

EXISTING :	
FIRST FLOOR:	748
MEZZANINE:	310
TOTAL AREA:	1058 S.F.
ADDITION:	
FIRST FLOOR:	548
PORCHES:	340
PROPOSED TOTAL AREA:	1636 S.F.

JOB #	3	OF	12
Z-0023-v3			
CONSTRUCTION SET	ISSUE DATE:	17 July 2022	



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"
1/8"-6" STUD HT, WITH 2 X 4'S @ 16" O.C. TYPICAL, U.N.O. (UNLESS NOTED OTHERWISE)
PRIMARY FLOOR COVERING: WOOD U.N.O.

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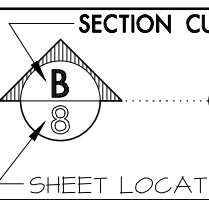
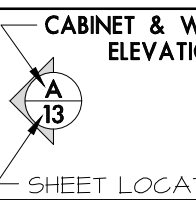
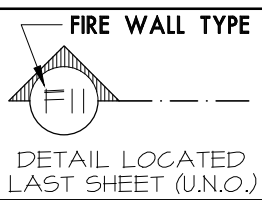
SYNDICATE DESIGNS

WE DEDICATE OURSELVES TO UNFORGETTABLE DESIGNS

EGRESS REQUIREMENTS 2015 I.R.C.

R310.1 IRC 2015 EMERGENCY ESCAPE AND RESCUE REQUIRED
BASEMENTS w/ HABITABLE SPACE AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPENABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR EXTERIOR DOOR OPENING FOR EMERGENCY ESCAPE AND RESCUE. WHERE OPENINGS ARE PROVIDED AS A MEANS OF ESCAPE AND RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1129mm) ABOVE THE FLOOR.
R310.1.1 IRC 2015 MINIMUM OPENING AREA
ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. (0.530 m2).
R310.1.2 IRC 2015 MINIMUM OPENING HEIGHT
THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610 mm).
R310.1.3 IRC 2015 MINIMUM OPENING WIDTH
THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (508 mm).
R310.1.4 IRC 2015 OPERATIONAL CONSTRAINTS
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS OPERABLE WINDOW SILL HEIGHT - A MINIMUM OF 25" OFF OF FINISH FLOOR HEIGHT AT SECOND FLOOR AND ABOVE.

SYMBOLS

SECTION CUTS	CABINET & WALL ELEVATIONS	FIRE WALL TYPE
 B	 C	 F
SHEET LOCATION	SHEET LOCATION	DETAIL LOCATED LAST SHEET (U.N.O.)

LINE LEGEND

WALLS:	EXISTING	CLOSETS:	WALL
	4" STUD WALL	ROD & SHELF	
	PROPOSED		
	4" STUD WALL		WALL
	PROPOSED	DOUBLE ROD & SHELF	
	6" STUD WALL		
CEILINGS	DESIGNATION FOR FURRED DOWN CLG.	CABINETS:	WALL
		UPPER CABINET	
	DESIGNATION FOR OPEN FRAMING ABOVE (STAIR VOIDS & OPENINGS)	18" ABOVE COUNTERTOP TYP.	
		COUNTERTOP @ 36" HT. TYP.	

SQUARE FOOTAGES

EXISTING :	
FIRST FLOOR:	748
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TOTAL AREA:	1058 S.F.
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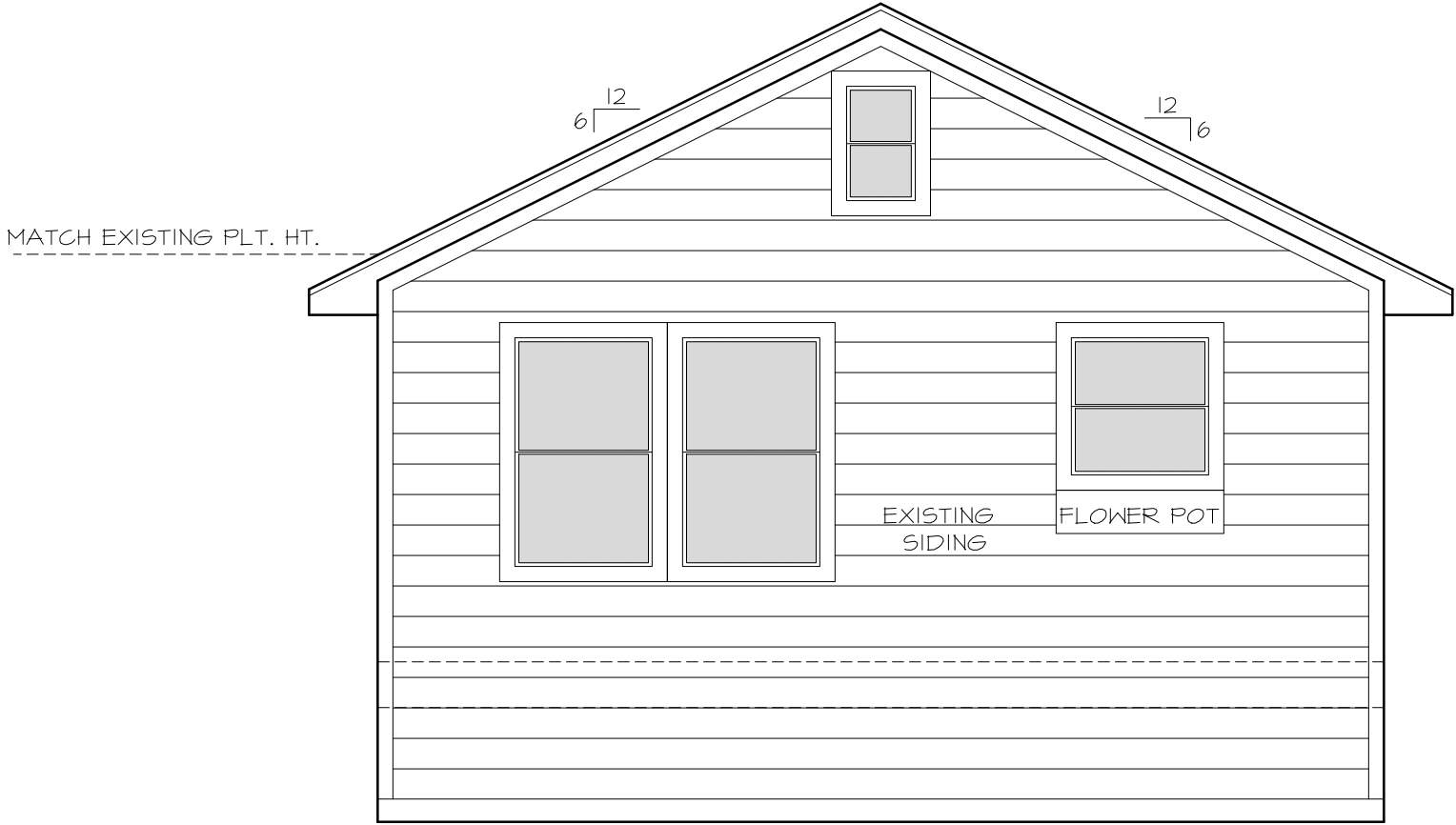
PROPOSED TOTAL AREA: 1636 S.F.



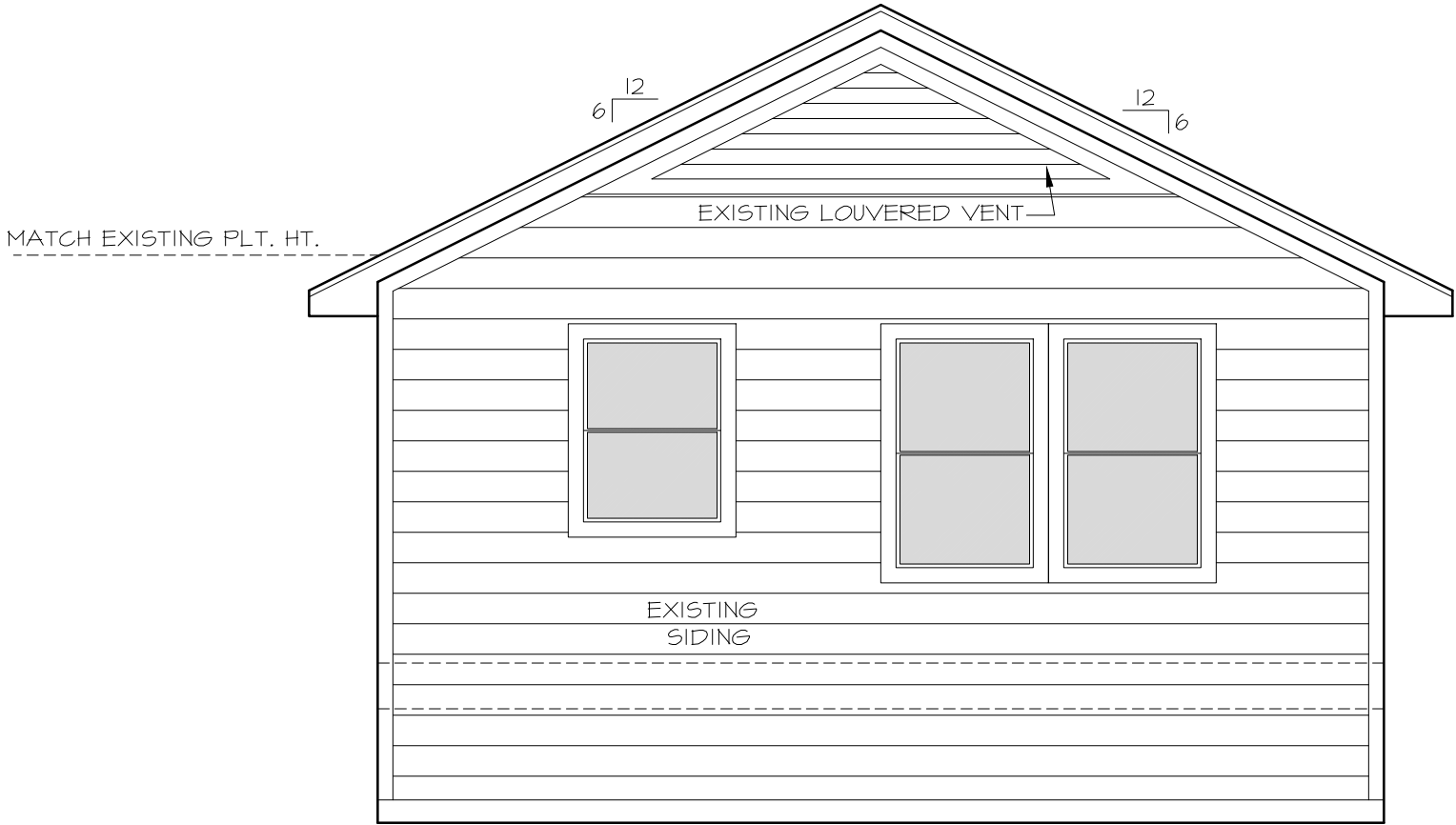
EXISTING
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
REAR ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING
LEFT ELEVATION
SCALE: 1/4" = 1'-0"

REDRAW #

ELEVATION NOTES

- 1) ALL DRAWINGS HERE REFERENCES THE 2015 INTERNATIONAL RESIDENTIAL CODE (W/ CITY OF CLEVELAND AMENDMENTS) AND THE 2015 INTERNATIONAL BUILDING CODE (W/ COH AMENDMENTS).
- 2) DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND NOTIFY PRESTON WOOD & ASSOCIATES, LLC OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THE DRAWINGS PRESENTED HEREIN.
- 3) ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THIS DOCUMENT.
- 4) ALL EGRESS WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR. MINIMUM WINDOW OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM 5.7 SQ. FT. NET CLEAR OPENING. WHERE DOORS ARE USED AS EGRESS, KEY LOCKING HARDWARE MAY BE USED (2015 IRC CITY OF CLEVELAND AMENDMENTS, R310.2).
- 5) ALL WINDOW HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. HEAD HEIGHTS IN STAIRWELLS TAKEN FROM (FIRST) FLOOR LEVEL (AT THE STAIRWELL).
- 6) OPENINGS ON A ONE-HOUR FIRE-RATED EXTERIOR WALL SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. SEE IRC 2015, SECTIONS T14.3.1 AND T14.3.4 AND TABLE T14.2 (EXTERIOR WALLS). PENETRATIONS INTO OR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2015, SECTION T11.5. BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY (GLASS BLOCK SELECTION OF YOUR CHOICE).
- 7) PROVIDE SAFETY GLAZING IN THESE HAZARDOUS LOCATIONS (R308.4):
 - a. GLAZING IN TUBS AND SHOWERS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" FROM ANY WALKING SURFACE.
 - b. GLAZING IN SIDE HINGED DOORS EXCEPT JALOUSIES.
 - c. GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.
 - d. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - e. BOTTOM EDGE OF A PANE IS LESS THAN 18" FROM FLOOR.
 - f. TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).
 - g. ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 - h. GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.
- 8) ALL RAILING (WOOD, METAL OR PRECAST) TO HAVE 4" MAXIMUM SPACING BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2015, SECTION R316. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD FOUND IN IRC 2015 TABLE R301.4, AND ON THE LAST SHEET OF THIS DOCUMENT.
- 9) INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT (SECT. R316.2).
- 10) EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FROM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAXIMUM UNSUPPORTED SPAN OF LOWEST RUNNER SHALL BE 6'-0".
- 11) ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL, U.O.N.
- 12) ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2015, CHAPTER 10, AND BE U.L. AND I.C.B.O. APPROVED (IF U.L. A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW).
- 13) CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (RIDGE); SEE IRC 2015, SECTION R1001.6. CHIMNEY PIPES) SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
- 14) PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2", MINIMUM GAP OF 3/8" AND TO CONFORM WITH IRC 2015 CHAPTER 10.
- 15) ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL. DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.

PRIMARY EXTERIOR MATERIAL: SIDING
SECONDARY EXTERIOR MATERIAL: X
ROOF MATERIAL: COMPOSITION SHINGLE

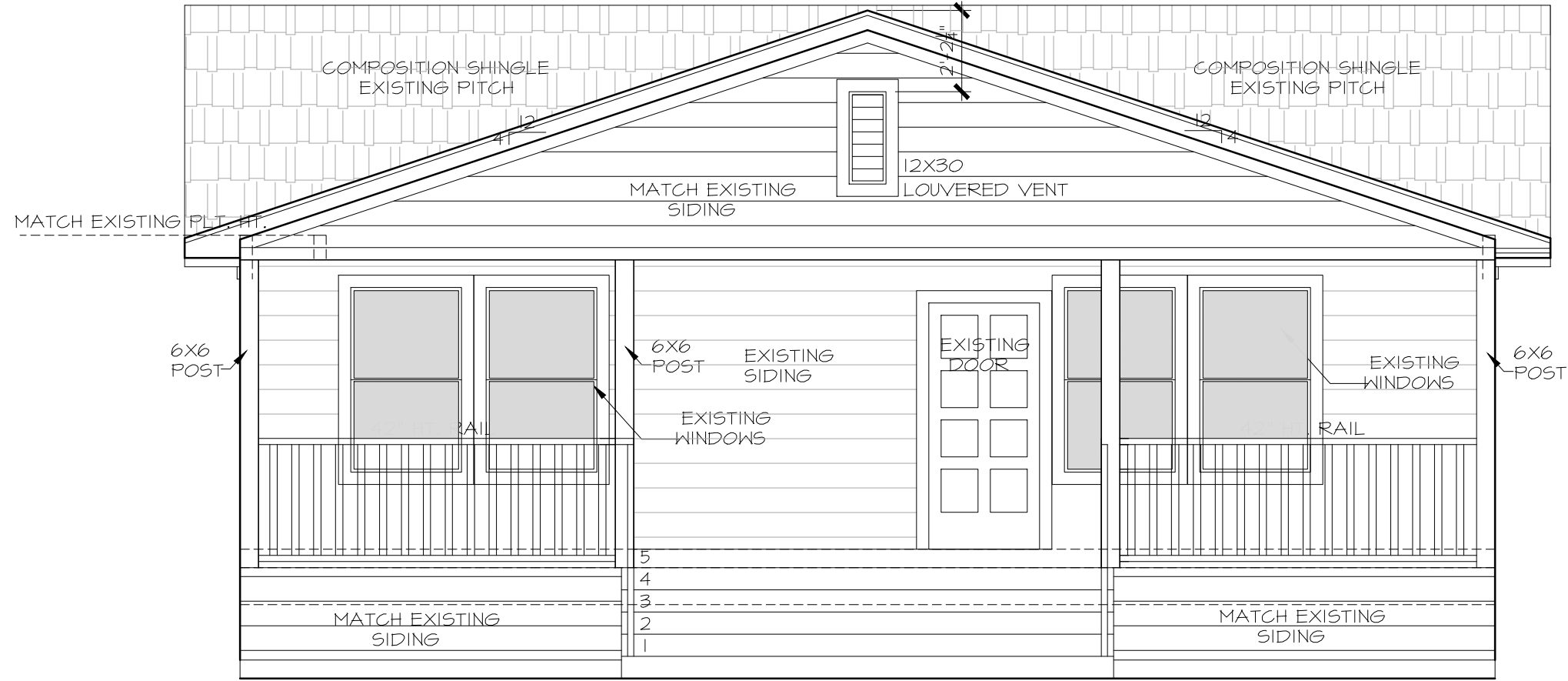
ALL DOOR AND WINDOW ASSEMBLIES TO HAVE MATCHING BRICK MOLD OR EQUAL SURROUNDS. MATCH TRANSOMS TO UNITS BELOW. HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL. SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.

SQUARE FOOTAGES

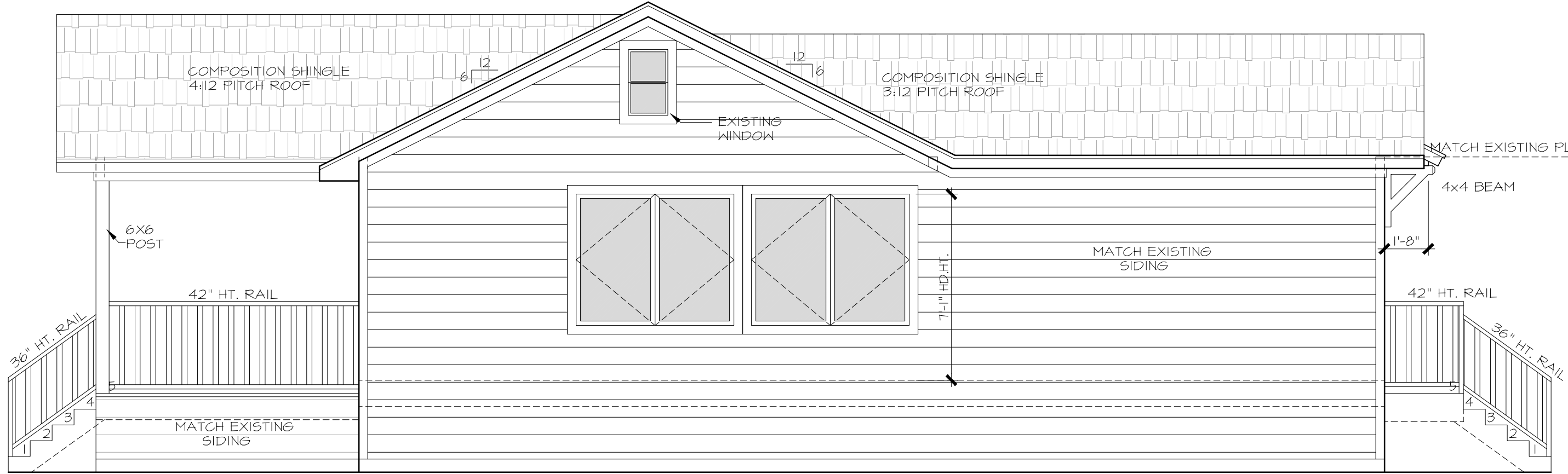
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ADDITION:	
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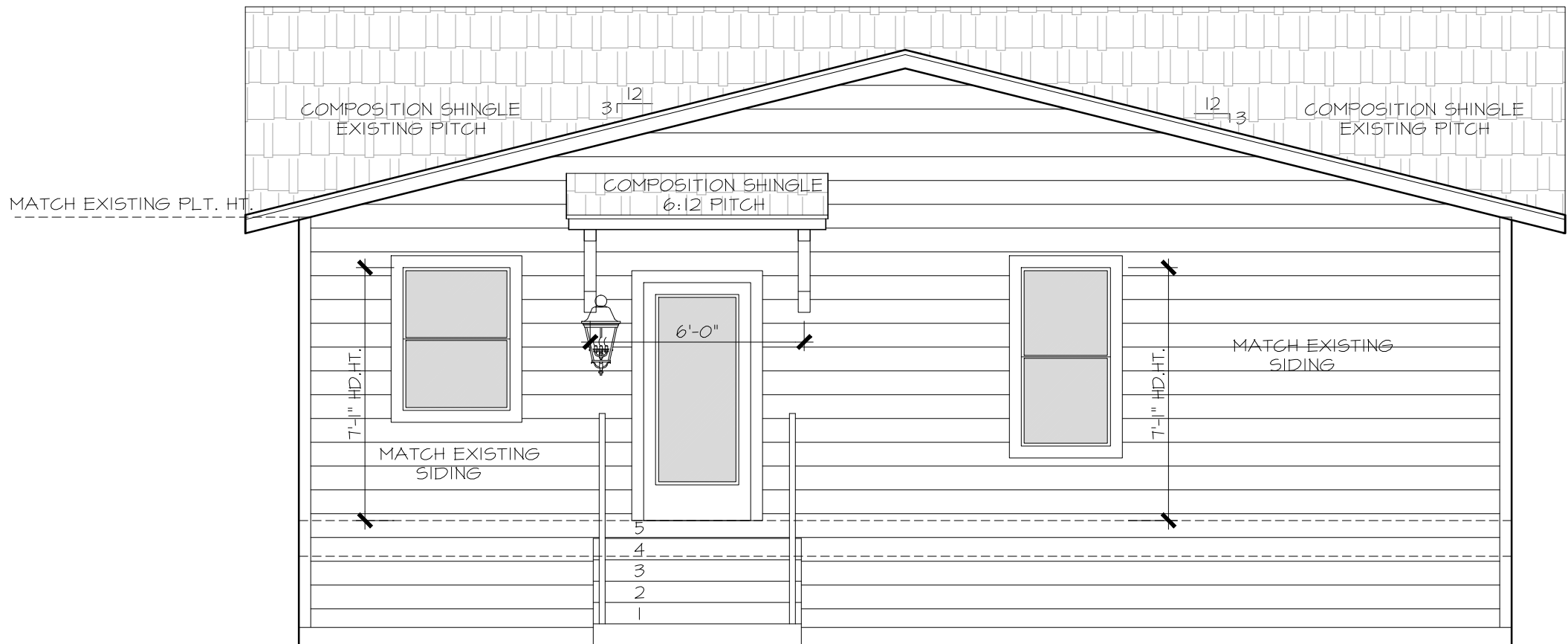
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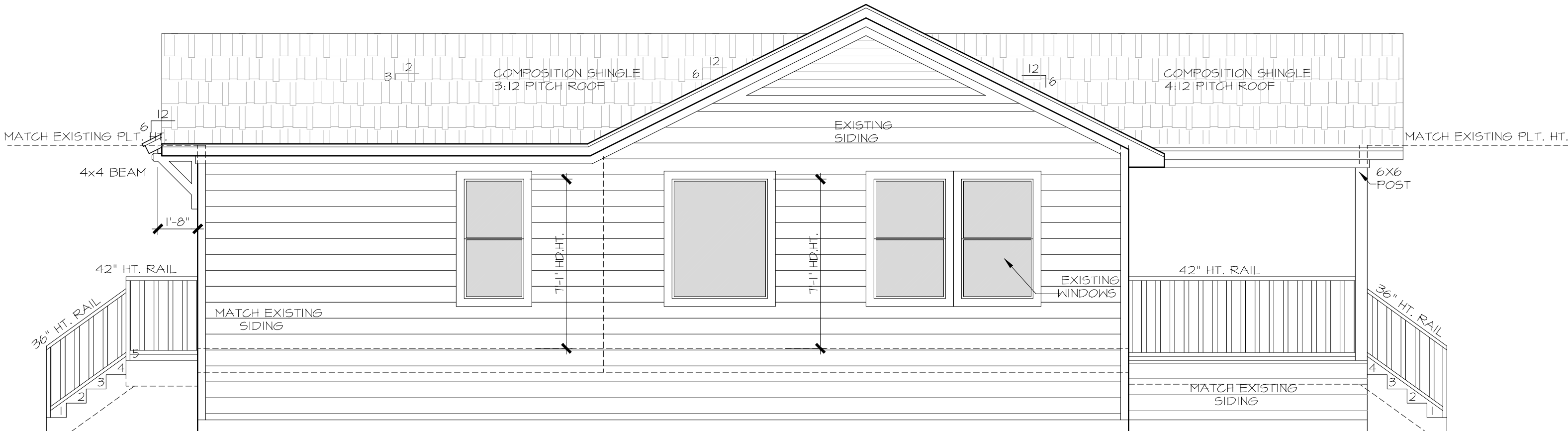
PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED BACK ELEVATION
SCALE: 1/4" = 1'-0"



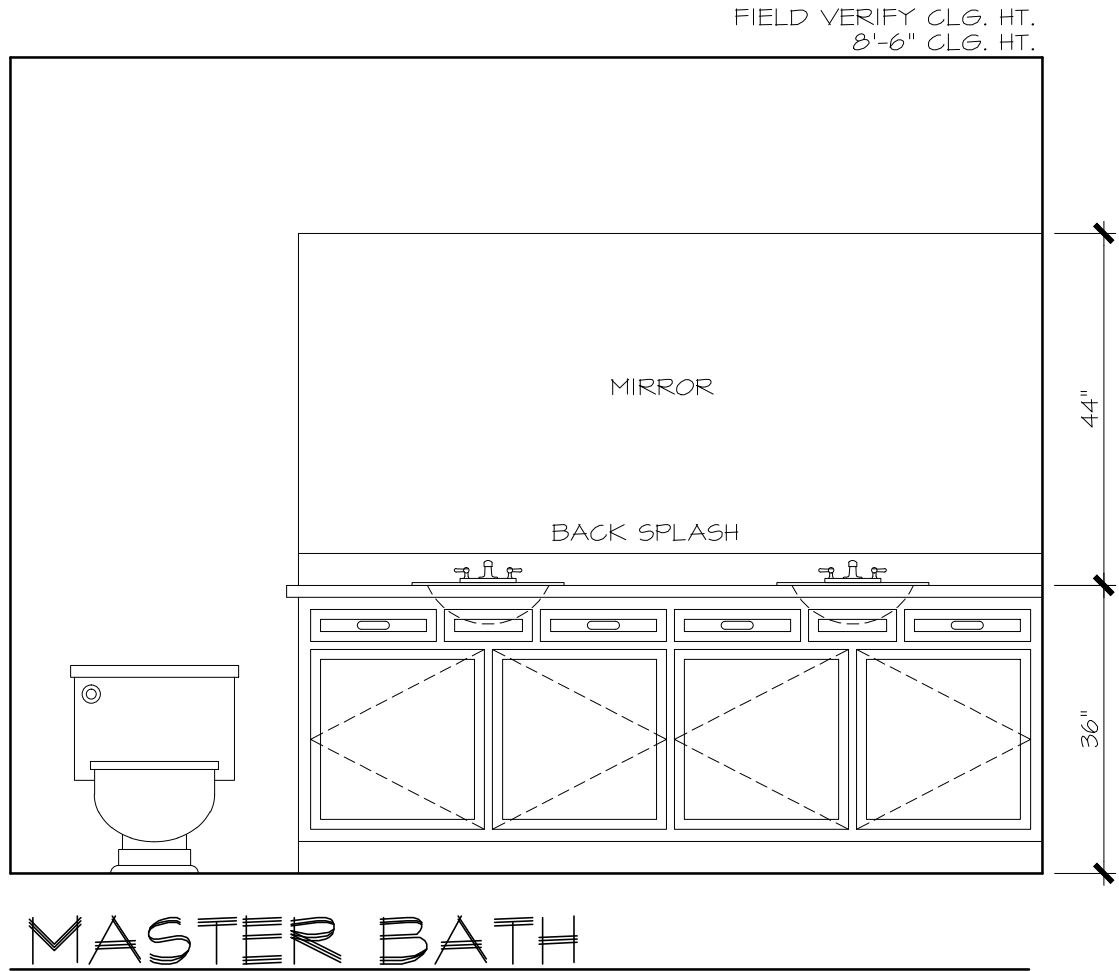
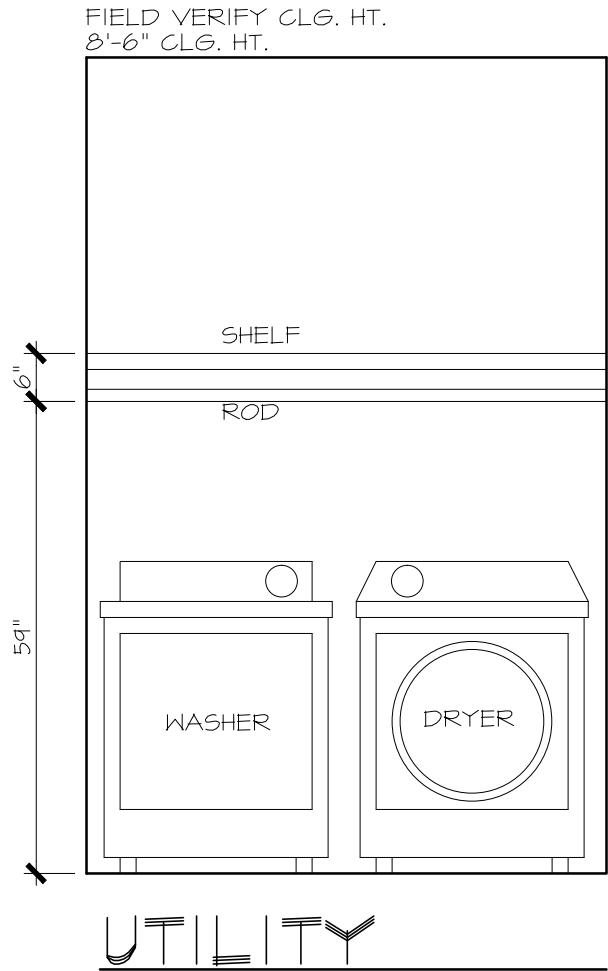
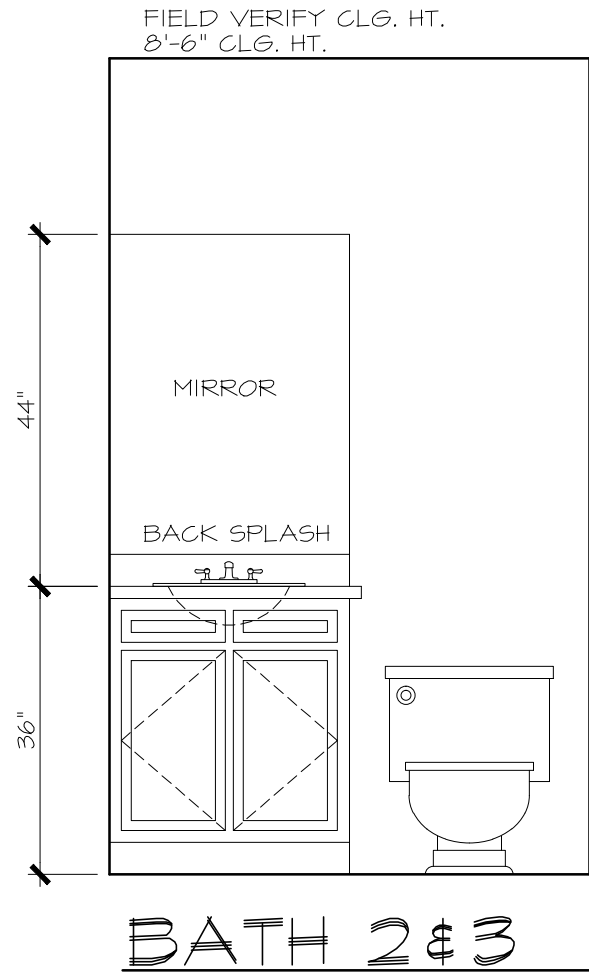
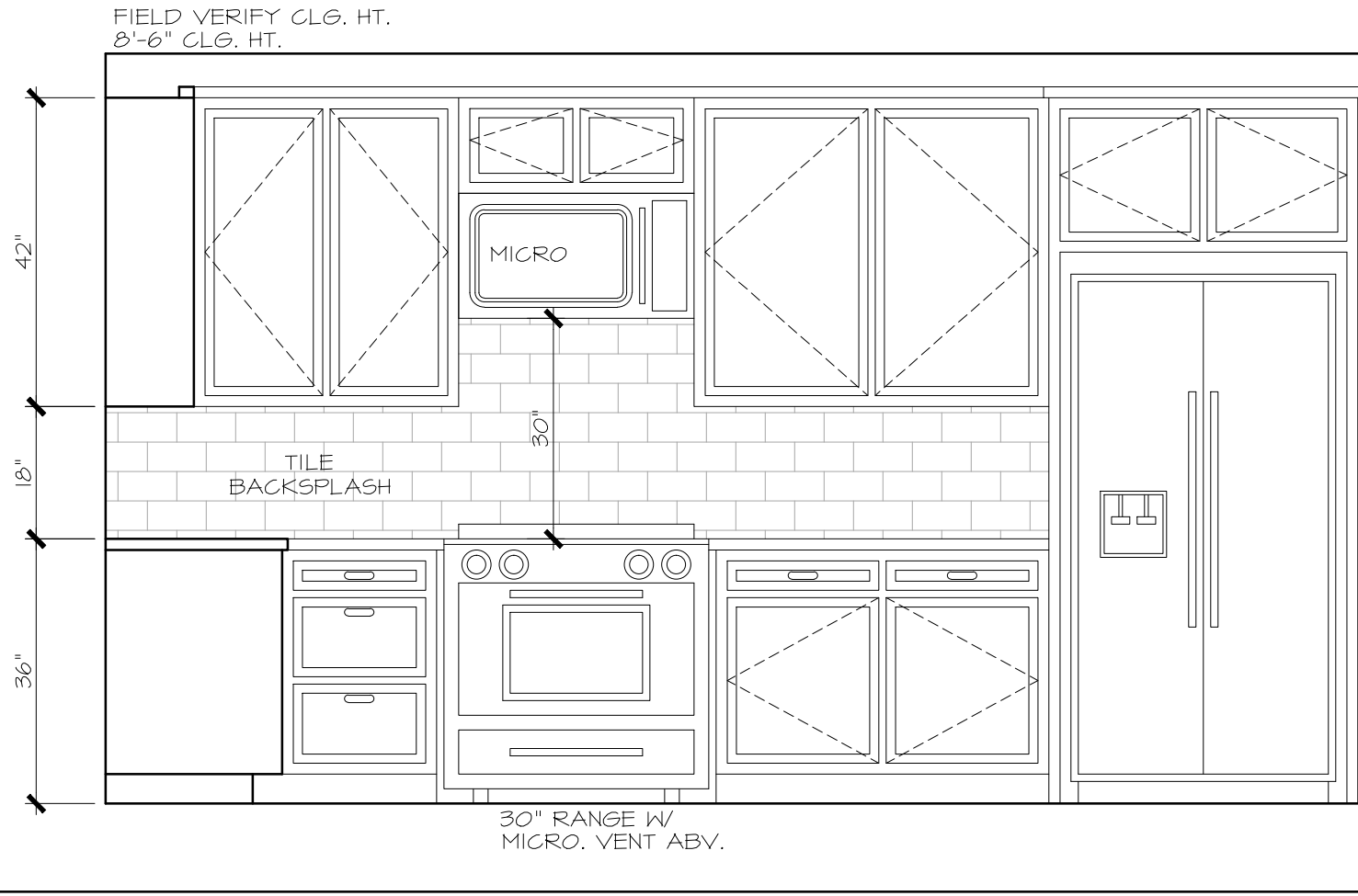
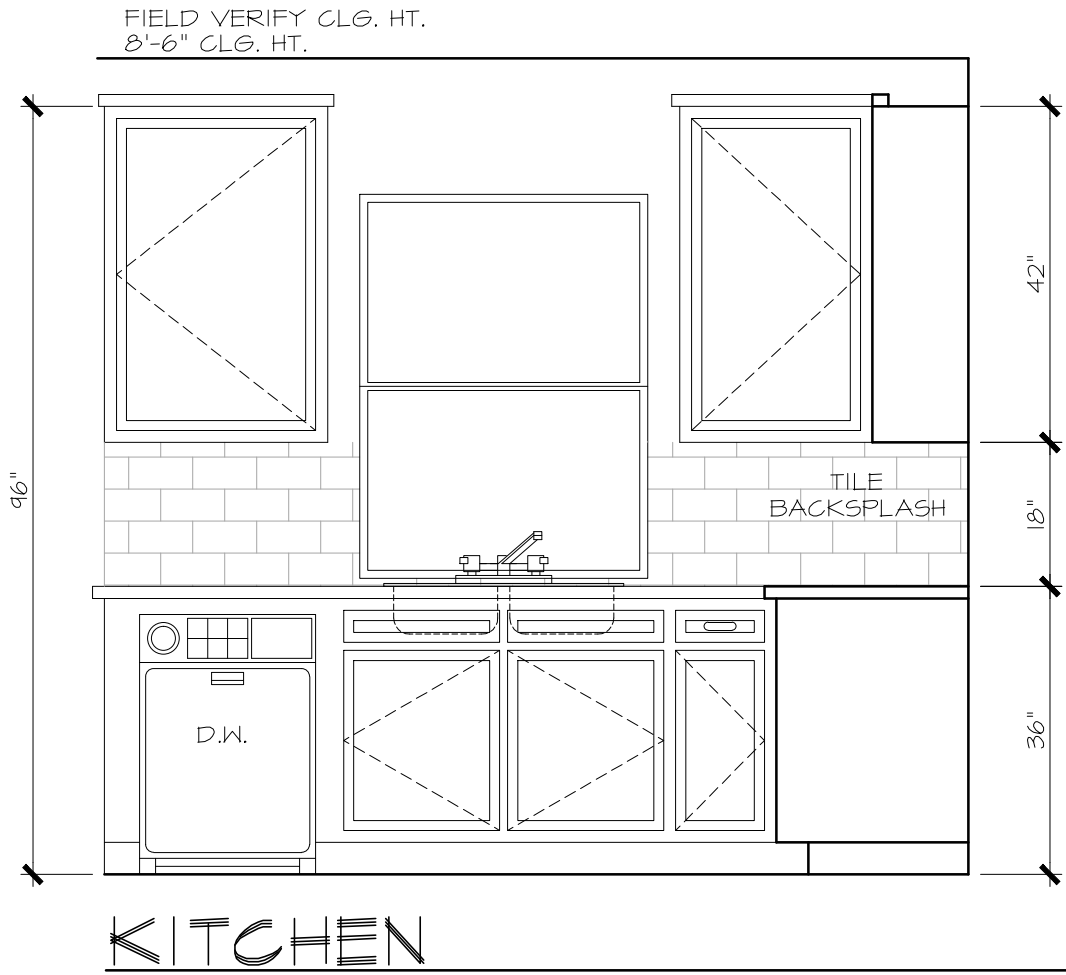
PROPOSED LEFT ELEVATION
SCALE: 1/4" = 1'-0"

REDRAW #

SQUARE FOOTAGES

EXISTING :	
FIRST FLOOR:	748
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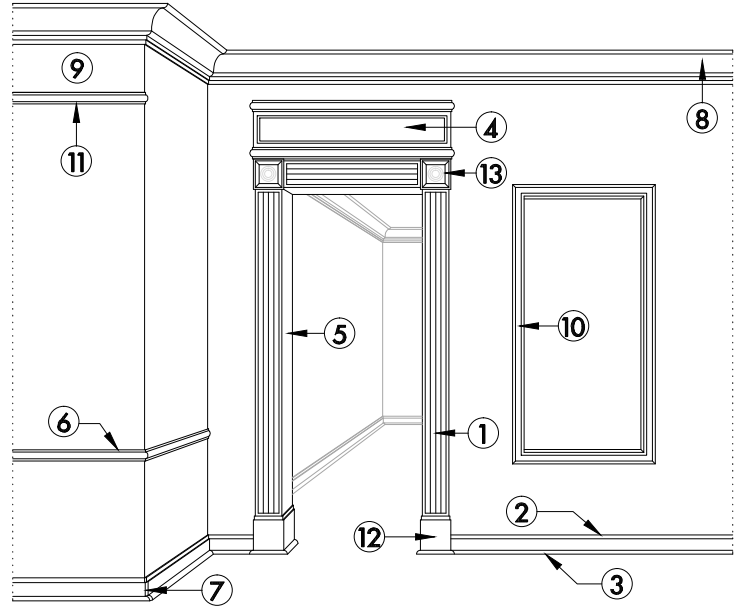


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SYNDICATE DESIGNS

WE DEDICATE OURSELVES TO UNFORGETTABLE DESIGNS

MOULDING DEFINITIONS



1. ARCHITRAVE - THE MOULDED FRAME SURROUNDING A DOOR, WINDOW OR C.O. - ALSO CALLED CASING.
2. BASEBOARD - THE BOARD (PLAIN OR MOULDED) WHICH RUNS AROUND THE BOTTOM OF AN INTERIOR WALL AND COVERS THE JUNCTION OF THE FLOORBOARDS WITH THE WALL.
3. BASEBOARD SHOE - A THIN PIECE OF MOULDING USED TO CONCEAL THE GAP BETWEEN THE BOTTOM OF THE BASEBOARD AND THE FLOOR.
4. CABINET HEAD - IS THE BOXED-IN HEAD AT THE TOP OF AN ARCHITRAVE (DOOR FRAME).
5. CASING - THE INNER PART IF THE FRAME IN WHICH THE DOOR OR WINDOW IS HUNG. IT IS ALSO WHERE THE ARCHITRAVE AND OTHER TRIM DETAILS, SUCH AS STOPS, ARE FIXED. THE CASING IS COMPOSED OF THE HEAD & JAMB. SEE ARCHITRAVE DEFINITION.
6. CHAIR RAIL - A HORIZONTAL PIECE (PLAIN OR MOULDED) ATTACHED 32" ABOVE THE FLOOR PARALLEL TO THE BASEBOARD.
7. CORNER BLOCK - A THIN BLOCK (PLAIN OR MOULDED) FOR INSIDE AND OUTSIDE CORNERS, USUALLY THE SAME HEIGHT AS THE BASEBOARD.
8. CROWN MOULDING - ANY MOULDING USED FOR THE CROWNING OR TOP FINISHING MEMBER OF A STRUCTURE, MOST COMMONLY USED IN HIGH CORNERS (WALL & CLG.).
9. FRIEZE - THE SPACE BETWEEN THE CEILING AND THE PICTURE RAILING (BETWEEN THE CROWN AND THE RAIL).
10. PANEL MOULDING - A DECORATIVE (PLAIN OR MOULDED) FLATBACK PIECE USED TO FRAME-OUT A RECTANGLE OR SQUARE ON A WALL.
11. PICTURE RAIL - IS A HORIZONTAL MOULDING WHICH RUNS AROUND A ROOM JUST BELOW THE CEILING.
12. PLINTH BLOCK - A BLOCK OF WOOD PLACED AT THE DOOR MOULDINGS TO SEPERATE THE BASEBOARD FROM THE ARCHITRAVE.
13. ROSETTE - A DECORATIVE (PLAIN OR MOULDED) BLOCK, USED AT THE UPPER CORNER OF A DOOR, WINDOW OR C.O. ATTACHED TO THE ARCHITRAVE TO ELIMINATE THE NEED FOR MITERED ARCHITRAGE CORNERS.

MILLWORK

SCALE: 1/2" = 1'-0"

THE OWNER AND BUILDER TO DETERMINE FINAL MATERIAL MAKEUP AND FINISHES. ALL VIEWS SHOWN ARE SIMPLIFIED FOR CLARITY.

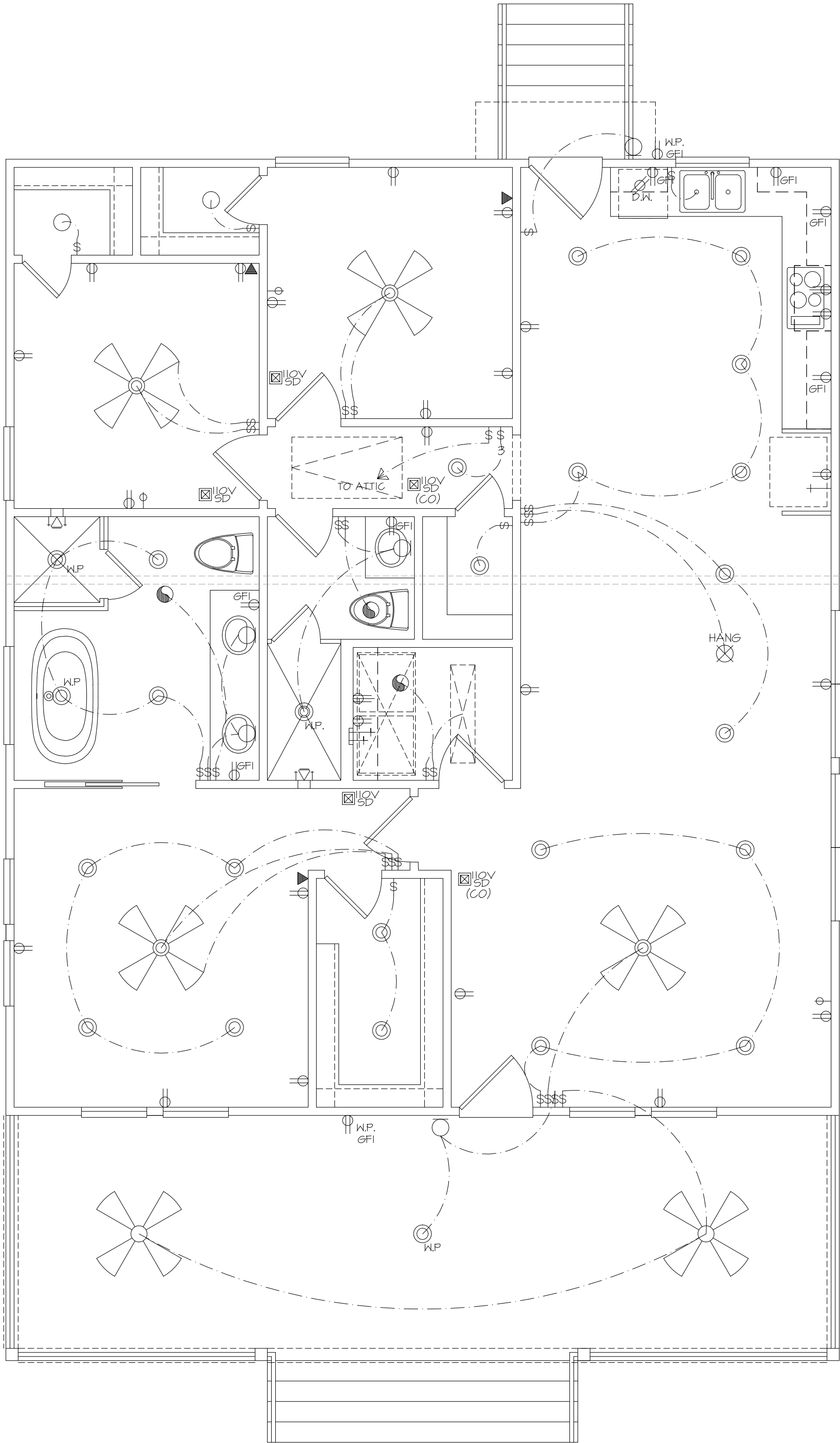
MR. & MRS. REYNOSO
CAMINO REAL SEC 1 BLK 21 LOT 1267
1342 CR 5003 CLEVELAND, TX 77327

JOB #
Z-0023

7 OF 12

REVIEW SET

ISSUE DATE: 8 April 2021



PROPOSED FLOOR ELECTRICAL

SCALE: 1/4" = 1'-0"

S | D

SYNDICATE DESIGNS

WE DEDICATE OURSELVES TO UNFORGETTABLE DESIGNS

REDRAW #

ELECTRICAL SYMBOLS & NOTES

	110 VOLT RECEPTACLE		FLOOD LIGHTS
	110 VOLT W/ GROUND FAULT INTERRUPTOR		UNDER CABINET LIGHT
	110 VOLT IN CEILING		OVER CABINET LIGHT
	WATERPROOF G.F.I.		IN CABINET LIGHT
	110 VOLT IN FLOOR		2'X4' FLUORESCENT LIGHT BOX (1'X4' AND 4'X4' SIMILAR)
	110 VOLT 1/2 SWITCHED		
	220 VOLT RECEPTACLE (TV CABLE/SATELLITE)		
	R-6 CABLE RECEPTACLE (TV CABLE/SATELLITE)		
	TELEPHONE OUTLET		
	NETWORK		
	SINGLE POLE SWITCH		ELECT. PANEL
	THREE WAY SWITCH		ELECT. METER
	FOUR WAY SWITCH		INTERCOM
	DIMMER SWITCH (RHEOSTAT)		SECURITY KEYPAD
	PUSH BUTTON SWITCH		SECURITY CAMERA
	CARBON MONOXIDE/ SMOKE DETECTOR W/ BATTERY BACKUP		
	SMOKE DETECTOR W/ BATTERY BACKUP		CEILING FAN
	THERMOSTAT		CEILING FAN W/ LIGHT
	CHIMES		CEILING LIGHT W/ OPTIONAL FAN (FRESH AIR AND BLOCK)
	SPEAKER		
	CEILING MOUNTED FIXTURE		
	HANGING LIGHT		
	RECESSED CAN		
	WATERPROOF RECESSED CAN		
	RECESSED EYEBALL SPOT		
	WALL MOUNTED FIXTURE		
	PORCELAIN FIXTURE W/ PULL CORD		
	EXHAUST FAN		
	PENDANT		

ELECTRICAL NOTES

- SMOKE DETECTORS REQUIRE A 110V CONNECTION TO HOUSE WITH BATTERY BACKUP. ALL SMOKE DETECTORS SHALL BE WIRED IN SERIES (INTERCONNECTED).
- PROVIDE G.F.I. OUTLETS WITHIN 6'-0" OF SINKS, IN GARAGES AND ALL EXTERIOR WATERPROOF OUTLETS.
- RECESS LIGHTS IN INSULATED CEILINGS TO BE LIGHTOLIER 1102 IC - 1103 OR EQUAL.
- PROVIDE 110V OUTLET AND SWITCHED LIGHT IN ATTIC NEAR H.V.A.C. EQUIPMENT. LOCATE SWITCH NEAR (IF NOT OUTSIDE) ATTIC ACCESS.
- PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS. IF UTILITY ROOM HAS A MEANS OF NATURAL VENTILATION TO OUTSIDE, A VENT IS NOT REQUIRED.
- ALL EXHAUST VENTS SHALL EXIT THROUGH THE ROOF DECKING AT A MINIMUM DISTANCE OF 5'-0" FROM ANY PROPERTY LINE. DRYER VENTS MAY EXIT A NON-FIRE RATED EXTERIOR WALL.
- WHEN GARAGE DOOR OPENERS ARE INSTALLED, PROVIDE LOW VOLTAGE FOR SHUTOFF AND REVERSE SENSORS AT BOTH SIDES OF OVERHEAD DOOR.

ELECTRICAL NOTE:
ELECTRICAL PLANS ARE PROVIDED FOR DESIGN INTENT ONLY. VERIFY LOCATIONS OF FIXTURES, SWITCHES, OUTLETS AND EQUIPMENT WITH A LICENSED PROFESSIONAL ELECTRICIAN.

SQUARE FOOTAGES

EXISTING :	
FIRST FLOOR:	748
MEZZANINE:	310
TOTAL AREA:	1058 S.F.

ADDITION:	
FIRST FLOOR:	548
PORCHES:	340

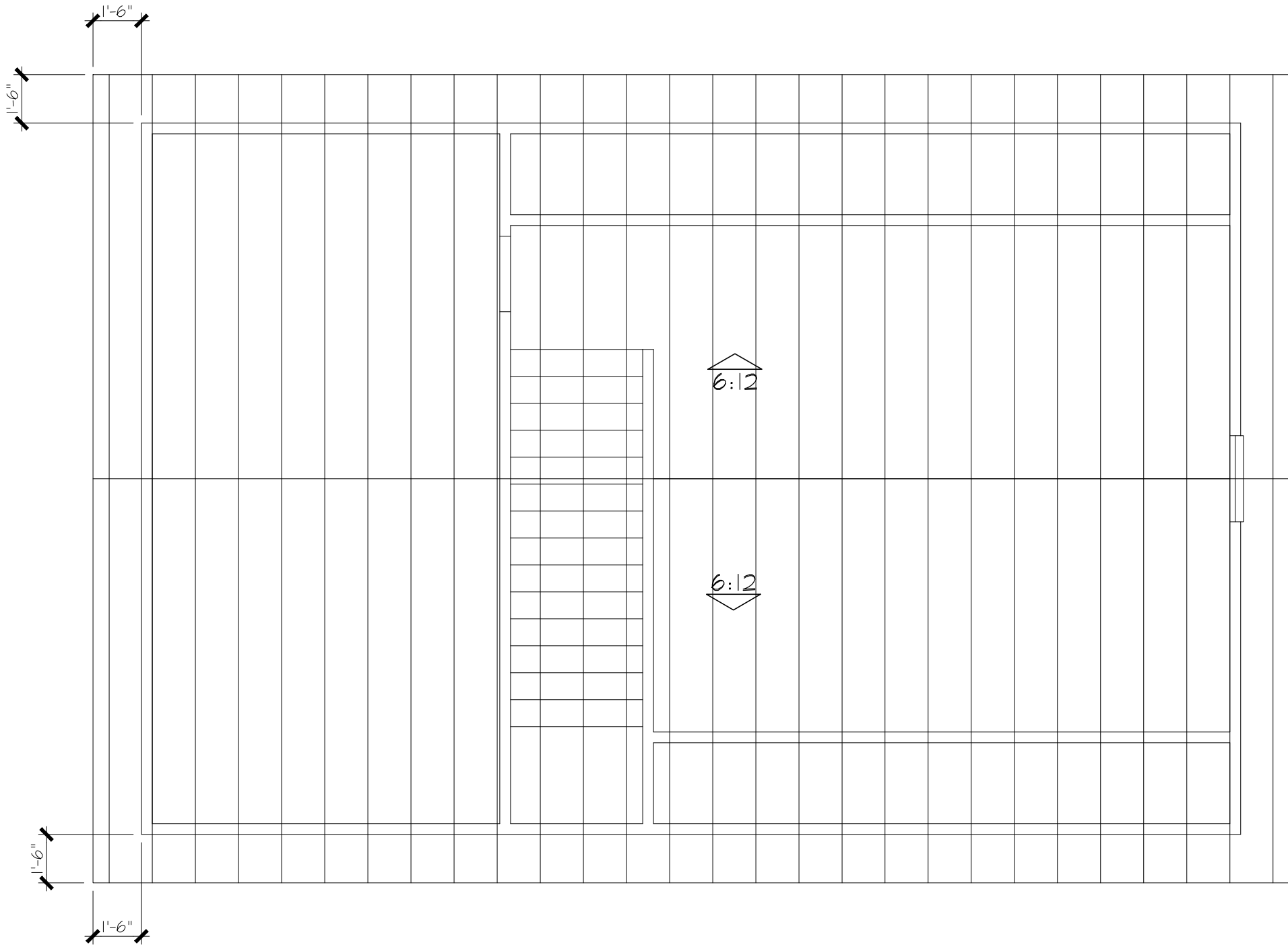
PROPOSED TOTAL AREA: 1636 S.F.

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- BUBBLE NOTES:
- 1) ADJUST SLOPES TO MATCH RIDGES.
 - 2) ADJUST OVERHANGS TO MATCH FASCIA.
 - 3) ADJUST PLATE HEIGHT TO MATCH FASCIA.

EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"
PLATE HEIGHTS AS NOTED.
SLOPES AS NOTED.
12" OVERHANGS FROM FRAME U.N.O.
8" OVERHANG AT GABLE ENDS U.N.O.
6" OVERHANG AT DORMERS U.N.O.
SOFFIT AND RIDGE VENTING PER BUILDER SPEC'S.
ROOF MATERIAL: COMPOSITION SHINGLE
PLUMBING VENTS AND ALL OTHER PENETRATIONS THROUGH ROOF DECKING SHALL BE DIRECTED TO BACK ROOF SLOPE.
MINIMIZE PLUMBING VENT PENETRATIONS THROUGH ROOF DECKING.
COLOR COORDINATE PIPING TO ROOF MATERIAL WHERE APPLICABLE.

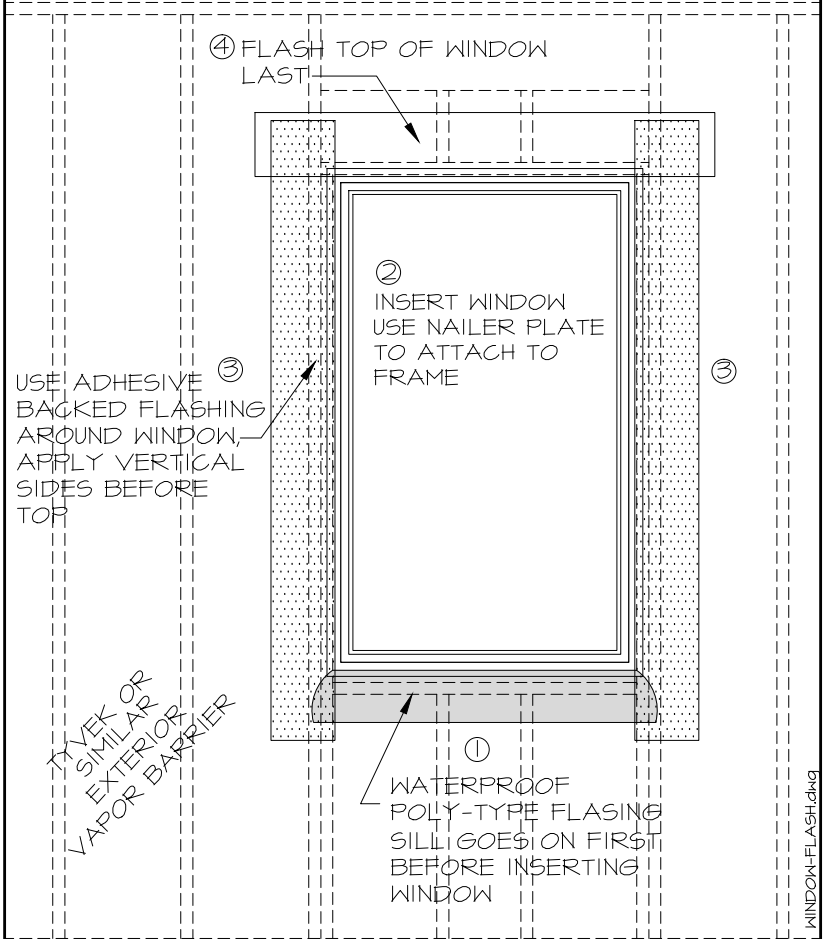
S | D

SYNDICATE DESIGNS

WE DEDICATE OURSELVES TO UNFORGETTABLE DESIGNS

REDRAW #

WINDOW FLASHING DETAIL



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MINIMUM SHED ROOF BEAM SIZE BASED ON SPAN BETWEEN BRACKETS			
SHED ROOF BEAM SIZE	4x4	4x6	4x8
MAXIMUM SPAN BETWEEN BRACKETS	8'-0"	14'-0"	20'-0"
MAXIMUM CANTILEVER BEYOND BRACKET	2'-8"	4'-8"	6'-8"

MINIMUM BEAM LENGTH FOR CANTILEVER IS 3 TIMES
CANTILEVER VALUE AND THE ENTIRE BEAM TO HAVE
CONTINUOUS LADING

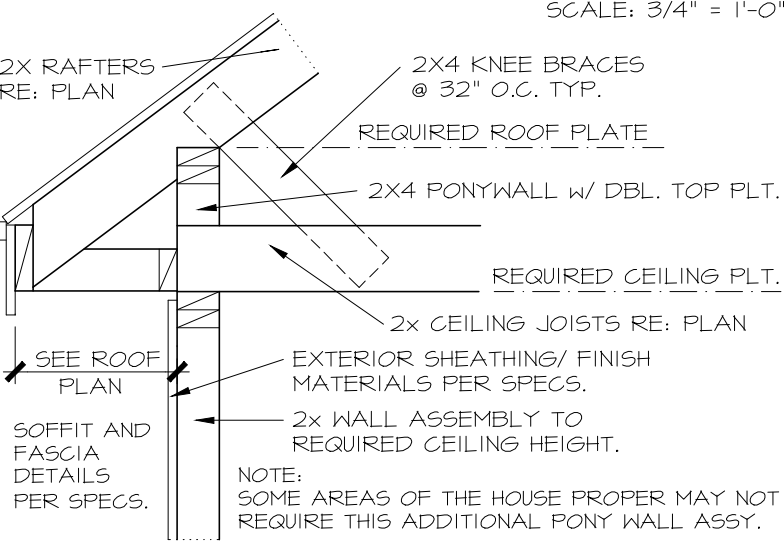


PROPOSED ROOF PLAN

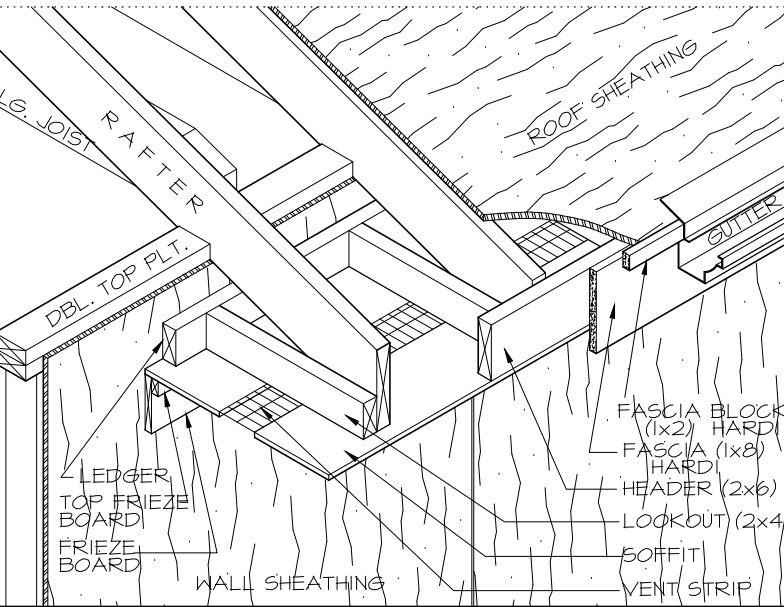
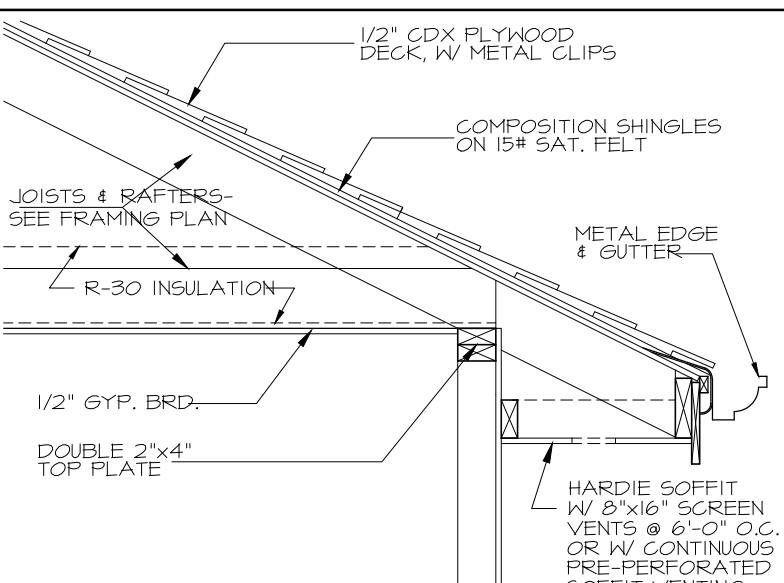
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TO BE DIRECTED TO BACK ROOF SLOPE.
MINIMIZE PLUMBING VENT PENETRATIONS THROUGH ROOF DECKING.
COLOR COORDINATE PIPING TO ROOF MATERIAL WHERE APPLICABLE.

REDRAW

SCALE: 3/4" = 1'-0"



SCALE: 1" = 1'-0"



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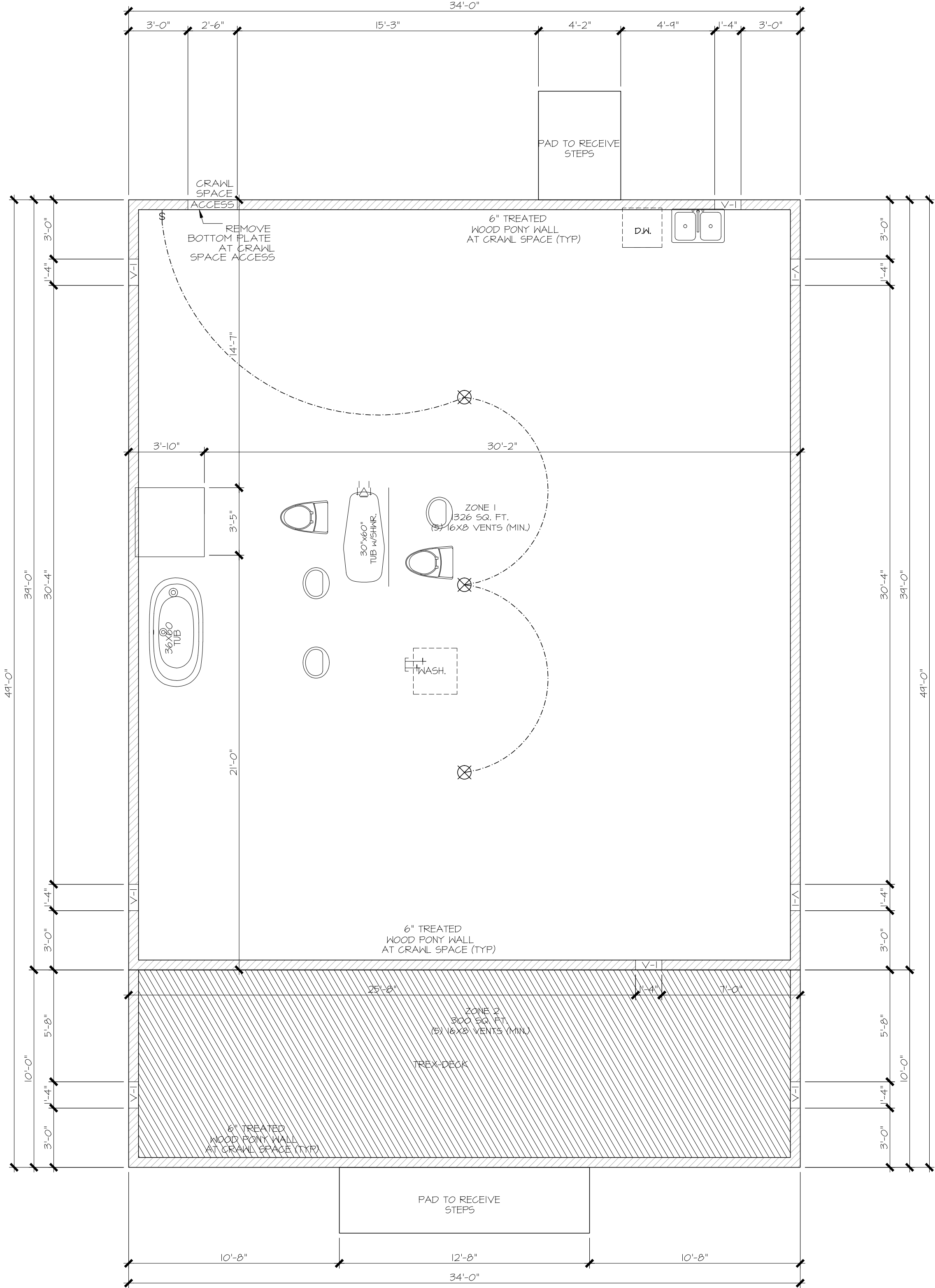
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PROPOSED FOUNDATION OUTLINE

SCALE: 1/4" = 1'-0"

DIMENSION OF DROPS AND LABELING OF SLOPES TAKES PRECEDENCE ON THIS PAGE.

DROP VALUES (U.O.N.):
3 1/2" FOR PORCHES, TIRE STOPS, SHOWER STALLS.
1 1/2" FOR OVERHEAD DOORS.
12" FOR ELEVATOR PITS.

S | D

SYNDICATE DESIGNS

WE DEDICATE OURSELVES TO UNFORGETTABLE DESIGNS

REDRAW #

CRAWL SPACE FLOOD VENT REQUIREMENTS

VENT SIZE		Model FFV-1608 16x8	NET OPENING VENT (SQ.IN.)			
ZONE:	VENT SIZE:	CRAWL SPACE AREA (SQ.FT.):	DIVIDED BY:	NET OPENING VENT (SQ.IN.):	EQUALS (FT/IN.):	ROUND UP TO:
1	16X8	1326	/	250	5.3	6
1	16X8	300		250	1.2	2
TOTAL FLOOD VENTS: 8 min.						

- GENERAL NOTES:
- 1) PROVIDE MINIMUM ONE SQUARE INCH OPENING (TOTAL NET AREA) PER ONE SQUARE FOOT CRAWL SPACE AREA.
 - 2) BOTTOM OF EACH OPENING SHALL BE ONE FOOT OR LESS ABOVE THE ADJACENT GROUND LEVEL.
 - 3) PROVIDE MINIMUM (1) 18 INCH BY 24 INCH ACCESS.
 - 4) ANY LOUVERS, SCREENS, OR OTHER OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOOD WATERS INTO AND OUT OF THE ENCLOSED AREA.
 - 5) PROVIDE ONE ADDITIONAL VENT ALONG OUTSIDE OF PORCH FOR EACH VENT LOCATED BETWEEN PORCH AND LIVING SPACES.
 - 6) DO NOT INSTALL FLOOD VENTS OR ACCESS DOOR BETWEEN ATTACHED GARAGE AND CRAWL SPACE BELOW LIVING SPACES.
 - 7) OPENINGS INSTALLED IN DOORS AND WINDOWS ARE ALLOWED; HOWEVER, DOORS AND WINDOWS WITHOUT INSTALLED OPENINGS DO NOT COUNT AS VALID OPENINGS.
 - 8) PROVIDE 2 INCH PVC WEEP HOLES, ONE PER ELEVATION, LOCATE EVEN WITH FINISHED CRAWL SPACE GRADE AND/OR ADJACENT GROUND LEVEL WHERE PERIMETER BEAM FOUNDATIONS.
 - 9) PROVIDE BOTTOM PLATE "SCUPPER" CUTOUT, NO GREATER THAN 8 INCHES WIDE, ONE PER ELEVATION, WHEN CRAWL SPACE IS A SLAB ON GRADE FOUNDATION.
 10. PROVIDE MINIMUM (1) 18 INCH BY 24 INCH ACCESS.
 11. ANY LOUVERS, SCREENS, OR OTHER OPENING COVERS SHALL ALLOW THE AUTOMATIC FLOW OF FLOOD WATERS INTO AND OUT OF THE ENCLOSED AREA.
 12. PROVIDE ONE ADDITIONAL VENT ALONG OUTSIDE OF PORCH FOR EACH VENT LOCATED BETWEEN PORCH AND LIVING SPACES.
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