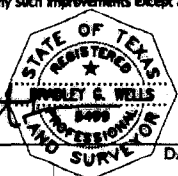


6 June 13
Abbie Bowdley
6/6/13

ADDRESS		LEGAL DESCRIPTION: (AS FURNISHED)									
(15219) Bandera Falls Bend Cypress, TX 77429		Lot Seventeen (17), in Block Three (3), of ROCK CREEK, Section One (1), an addition in Harris County, Texas, according to the map or plat thereof recorded in Film Code No. 469102, of the Map Records of Harris County, Texas.									
SCALE: 1" = 30'											
The Certified Registered Professional Land Surveyor signing this survey certifies the accuracy and sufficiency of the survey provided herein.											
All information shown on this survey, relies on a Commitment for Title Insurance, as provided by the Title Company and G.F. number referenced herein. The surveyor did not research subject property.											
CHAIN LINK FENCE WOOD FENCE (15219) BANDERA FALLS BEND (60' R.O.W.) LOT 17 BLOCK 3 LOT 18 LOT 16 2 STORY BRICK & FRAME POOL CONC. ROCK SLATE CONC DRIVE COV AREA COV AREA 10.8' 10.3' 11.4' 3.9' 2.4' 6.9' 2.3' 10.2' 1.7' 3.3' 1.8' 12.7' 5.7' 28.8' 14.8' 1.3' 17.7' 3.8' 4.7' 5.5' 10.1' 14.5' 2.0' 19.8' 3.6' 7.4' 12.5' 10.2' 4.4' 6.0' 3.1' 10.1' 15.4' 21.2' 104.50' 579°49'45"W BLUEBONNET BEND (60' R.O.W.) F.I.R. 5/8" P.C.C. S.I.R. 1/2" P.R.C. 10.8' 10.3' 11.4' 3.9' 2.4' 6.9' 2.3' 10.2' 1.7' 3.3' 1.8' 12.7' 5.7' 28.8' 14.8' 1.3' 17.7' 3.8' 4.7' 5.5' 10.1' 14.5' 2.0' 19.8' 3.6' 7.4' 12.5' 10.2' 4.4' 6.0' 3.1' 10.1' 15.4' 21.2' 104.50' 579°49'45"W 14' U.E. 7' PER SIDE (PER PLAT) Fence Corner Brs N70°53'E, 0.43' 1" = 30' GRAPHIC SCALE 0 15 30											
NOTES: 1: Any Restrictive Covenants Recorded in Film Code No. 435082 and re-platted in Film Code No. 469102, of the Map Records of Harris County, Texas; and also recorded in Harris County Clerk's File No. U-187543, U-192989, U-199359, U-216691, U-249630, U-350986, U-561483, U-561484, U-728354 and rerecorded under U-773896, U-728355, U-745649, U-773894, U-773895, U-802295, V-313659, V-313660, V-505542, V-534266, W-333077, X-240240, Z-236846, Z-236849, 20080121709, 20090399163, 20100252827, 20110101310, 20120364981 and 20120481851 of the Real Property Records of Harris County, Texas. 2: Agreement with Houston Lighting and Power Company for the installation, operation and maintenance of an underground/overhead electrical service distribution system, recorded in Harris County Clerk's File No. U-187359 Real property records, Harris County, Texas.											
BASIS OF BEARING: BEARINGS ARE BASED ON THE RECORDED PLAT											
SURVEYOR INFORMATION: ELITE SURVEYING COMPANY, INC.  P.O. Box 1697 "De Halls Estate" Pearland, TX. 77588-1697 Phone: 281-997-1585 Fax: 281-485-6321											
CLIENT G.F.#: 1320165122 SURVEY JOB #: 5-88-13 SURVEY INVOICE #: 07588 SURVEYOR: ROB DRAFTER: C. GRIFFIN APPROVED: S.G. WELLS CERTIFIED TO: (AS PROVIDED) Texas Dow Employees Credit Union Andy F. Bowdley and Deborah J. Bowdley		LEGEND A/C: AIR CONDITIONER BLDG.: BUILDING (C.): CALCULATED C.B.: CHORD BEARING CBW: CONCRETE BLOCK WALL CL: CENTERLINE CONC.: CONCRETE COV: COVERED CS: CONCRETE SLAB (D.): DESCRIPTION DRW: DRIVEWAY E.O.W.: EDGE OF WATER (M.): MEASURED P.C.: POINT OF CURVATURE P.C.P.: PERMANENT CONTROL POINT P.I.: POINT OF INTERSECTION P.O.B.: POINT OF BEGINNING P.O.C.: POINT OF COMMENCEMENT P.P.: POWER POLE P.R.C.: POINT OF REVERSE CURVATURE P.R.M.: PERMANENT REFERENCE MONUMENT P.T.: POINT OF TANGENCY CLF: CHAIN LINK FENCE WF: WOOD FENCE HWF: HOG-WIRE FENCE FLOOD ZONE (FOR INFORMATIONAL PURPOSES ONLY) SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "X", AREA OF MINIMAL FLOODING, PER F.I.J.M. PANEL NUMBER 480287, 022AL, LAST REVISION DATE 8-18-97. THIS SURVEYOR MAKES NO GUARANTEE AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.									
SURVEYOR'S CERTIFICATE I, Bradley G. Wells, Texas Registered Professional Land Surveyor No. 5199, do hereby certify that the survey plat hereon is a true and accurate representation of the property hereon described, and do further state that this survey accurately depicts the substantial improvements to said property as located on the ground, and that there are no encroachments onto said property by any such improvements except as shown hereon.  SURVEYOR'S NAME: <u>Bradley G. Wells</u> DATED: 5/23/2013		FOR THE FIRM									
DATE		REVISION		DATE		REVISION		QC/1		QC/2	
								C.G.		B.G.W.	
BUYER'S SIGNATURE: X		X									