



Lone Star Stucco, LLC

Moisture Assessment Report

Ryan and Georgina Thielke

2409 Langston Street

Houston, TX 77007





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Project Information

PROPERTY INFORMATION		INSPECTION INFORMATION	
Client Name	Ryan and Georgina Thielke	Type of Inspection	Invasive
Property Address	2409 Langston Street	Date of Inspection	8/5/25
City, State, ZIP	Houston, TX 77007	Temperature	95 Degrees
Phone	G - 713-689-0866	Weather	Clear
Square Footage (estimated)	2,260	Last Rain	1 Day
Approximate Age of Property	2018	In Attendance	Homeowner / Inspector
Stories	3	Inspector	Gregg Morgan
Type of Exterior	Traditional Hardcoat Stucco / Foam Accent / Siding		
Substrate	Wood		
Windows	Metal / Fixed / Double Hung		

Inspection Test Equipment		
Equipment Description	Test Range	Setting
Delmhorst Moisture Probe Meter- BD 2100	Low 6-13 /Medium 13-19 /High 19+	1
Important Note: The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. this information is then used to help determine potential problem areas which may warrant more investigation.		



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Caulking	Good	Not Adequate	N/A	Comments
Caulking Around Window Frame		X		Seal All Windows Typical
Caulking At Window Joints / Miters	X			
Caulking Around Door Frame		X		Seal DoorTrim / Typical
Caulking At Door Joints / Miters		X		Seal Door Miter / Typical
Caulking Around Other Breaches		X		Seal Penetrations / Typical
Flat Accents Caulked or Angled		X		Seal
Soffit, Frieze & Facia Boards Caulked		X		Damaged / Modify
Flashings / Diverters	Good	Not Adequate	N/A	Comments
Kickout Flashings / Roof / Wall		X		Seal / Typical
Balcony Flashings		X		Failing / Assess & Modify
Other Attachment Flashings			X	
Porches / Stoop Flashing			X	
Chimney Cap			X	
Chimney Cricket			X	
Window Head Flashing	X			
Door Head Flashing			X	
Column Flashing	X			
Terminations	Yes	No	N/A	Comments
Stucco In Contact With Flat Work		X		
Stucco In Contact With Soil		X		
Miscellaneous	Yes	No	N/A	Comments
Evidence Of Sprinkler Overspray		X		
Gutters Clean & Functioning	X			
Cracks or Impact Damage	X			Seal, Paint or Repair
Exterior Evidence of Pest Infestation		X		
Control Joints Noted On System	X			



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Summary Page

- Lone Star Stucco, LLC recommends consulting with a qualified waterproofing contractor to touch up or seal all doors, windows and penetrations as needed in an effort to avoid moisture intrusion.
- Stucco appears to be typically detailed at grade for the time of this construction. The inspector suggests that this is a positive detail and recommends no modification at this time but to always keep soil away from the structure. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.
- The door trim and miter sealants are aged or separated at this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #5.2, #5.3, #5.4, #5.5 and #5.6 for more detail.
- The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area in an effort to prevent moisture intrusion. Please refer to photos #6.2, #6.3, #6.4, #6.5, #6.6, #7.1, #7.2, #7.3 and #7.4 for more detail.
- A broken vent is noted at this location. The inspector suggests to have a qualified contractor further assess, replace then seal as needed in an effort to prevent moisture intrusion. Please refer to photos #8.2, #8.3 and #8.4 for more detail.
- Siding/stucco termination sealants are aged or separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #9.2, #9.3, #9.4, #9.5 and #9.6 for more detail.
- The window sealants are aged or separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #10.2, #10.3, #10.4, #10.5, #10.6, #11.1, #11.2, #11.3 and #11.4 for more detail.
- Impact damage noted on foam accent with exposed mesh at this location. The inspector suggests to have a qualified waterproofing contractor further assess the extent of damage and repair as needed in an effort to prevent moisture intrusion. All impact damage was not necessarily identified in this report. Please refer to photos #12.2, #12.3 and #12.4 for more detail.



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Summary Page

- Impact damage is noted at this location. The inspector suggests having a qualified waterproofing contractor further assess and repair this area as needed from an aesthetic concern. Please refer to photos #13.2, #13.3, #13.4, #13.5 and #13.6 for more detail.
- Mildew and run off stains have been noted in this area. The inspector suggests to clean the area as needed from an aesthetic concern only. Please refer to photos #14.2, #14.3, #14.4, #14.5 and #14.6 for more detail.
- The balcony flashing sealants are aged at this location, allowing excess moisture into the system. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #15.2, #15.3, #15.4, #15.5 and #15.6 for more detail.
- Confirmed substrate and potential frame damage is noted at the bottom of the wall below the balcony. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #17.2, #17.3, #17.4, #17.5 and #17.6 for more detail.
- Sizeable cracks are noted at this location. The inspector suggests to have a qualified waterproofing contractor further assess and properly repair these cracks to prevent moisture intrusion. All cracking was not necessarily identified in this report. Please refer to photos #18.2, #18.3, #18.4 and #18.5 for more detail.
- Hairline cracks are noted at this location. The inspector suggests to have a qualified waterproofing contractor paint for aesthetic concerns only. All cracking was not necessarily identified in this report. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.
- Although the bottom of the wall noted does not have a proper relief, this was a proper detail at the time of construction. Upon invasive testing at this location, the substrate was firm with low moisture readings. The inspector recommends no modification at this point in time but recommends to maintain all sealants above this location to prevent potential moisture intrusion. Please refer to photos #21.2, #21.3, #21.4 and #21.5 for more detail.
- Siding/stucco termination sealants are aged or separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #22.2, #22.3, #22.4, #22.5 and #22.6 for more detail.



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Summary Page

- Door trim and miter sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #23.2, #23.3, #23.4, #23.5 and #23.6 for more detail.
- The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area in an effort to prevent moisture intrusion. Please refer to photos #24.2, #24.3, #24.4, #24.5 and #24.6 for more detail.
- The window sealants are aged. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area in an effort to prevent moisture intrusion. Please refer to photos #25.2, #25.3, #25.4, #25.5 and #25.6 for more detail.
- The roof diverter flashing sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area in an effort to prevent moisture intrusion. Please refer to photos #26.2, #26.3, #26.4, #26.5 and #26.6 for more detail.
- You have several areas that are showing signs of elevated moisture. Nonexistent substrate was noted in some of these areas. It is recommended to consult with a stucco waterproofing contractor to investigate all nonexistent areas. Please refer to the attached report for more detail.
- **LIMITATIONS OF LIABILITY:** Because this is a limited inspection, we can make no guarantee, express or implied, that our observations and random moisture readings offer conclusive evidence that no installation or moisture problems exist, or that problems found are all-inclusive. This inspection company, its employees and any divisions shall not be liable for non-visual defects, unseen defects, unspecified defects or hidden damage and conditions existing on the subject property and hereby disclaims any liability or responsibility thereof. All parties concerned agree to hold harmless and indemnify this inspection company involving any liabilities that may result.
- **FURTHER TESTING / INVESTIGATION:** Our policy is to rely on moisture meter readings as an indicator of relative moisture values between different test spots, not as an absolute value of water content in the substrate. It is difficult to determine if the structural wood of your home has been damaged in areas of high readings without 'probing' and/or removing a core sample of the stucco to allow for visual inspection. Should we feel that further investigation is needed this will be indicated in the summary section of the report.



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Summary Page

- **REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS:** A repair follow-up inspection should be conducted within three months after completion of the repairs to assess the effectiveness of the moisture modifications. This is extremely important. Annual inspections should also be scheduled to ensure that your stucco system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining your home on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell your home, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your home has been inspected and maintained on a regular basis by a reputable and qualified firm.
- **PLEASE NOTE:** Lone Star Stucco, LLC is not a home inspection company, and does not perform home inspections. This report's primary use is to show the areas that are likely to have moisture intrusion in an effort to help control mold. This report and all its contents are sanctioned by the Texas Department of State and Health Services in guidelines for mold prevention.

Thank you for your business,

James "Gregg" Morgan

2100 Welch St, C315
Houston, TX 77019

Texas Department of Licensing and Regulation
Mold Assessment Consultant
License Number: MAC 1299
Expiration 8/2026
Exterior Design Institute
EDI# TX-205
Expiration: 1/31/2026



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Photo4.1

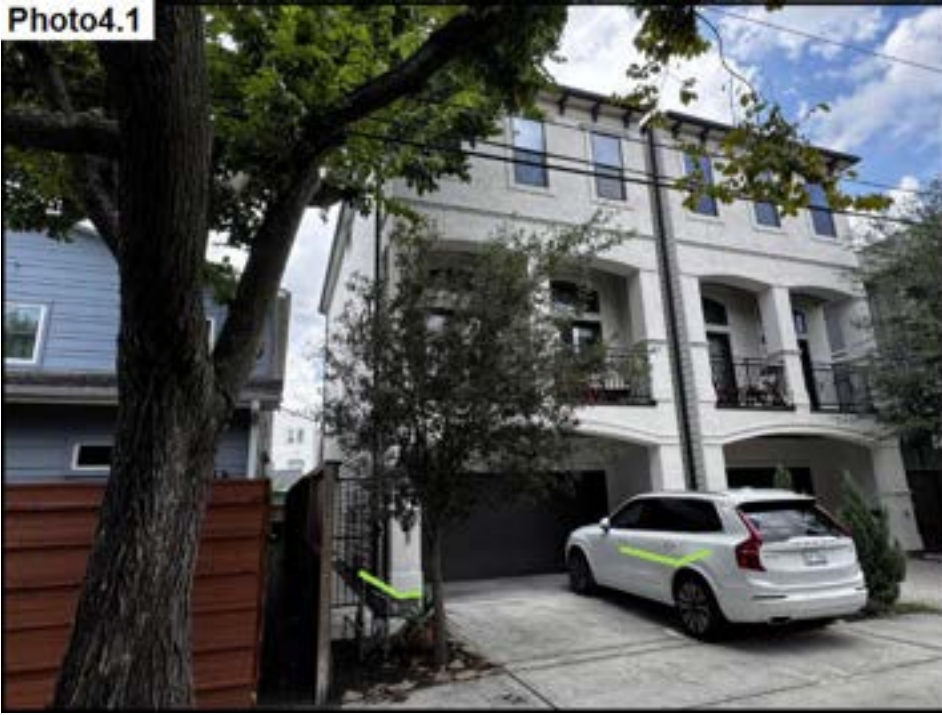
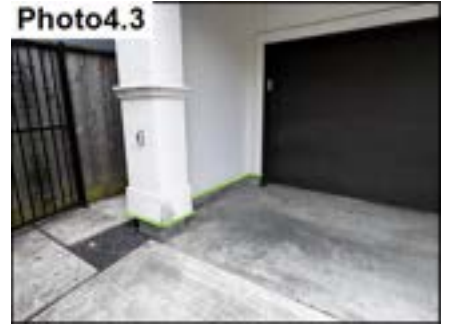


Photo4.2



Proper Grade Termination with Weep Screed / Positive Detail

Photo4.3



Proper Grade Termination with Weep Screed / Positive Detail

Photo4.4



Proper Grade Termination with Weep Screed / Positive Detail

Photo4.5



Proper Grade Termination with Weep Screed / Positive Detail

Photo4.6



Proper Grade Termination with Weep Screed / Positive Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Lines	Grade Termination			Stucco appears to be typically detailed at grade for the time of this construction. The inspector suggests that this is a positive detail and recommends no modification at this time but to always keep soil away from the structure. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.



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Photo5.1



Photo5.2



Door Trim and Miter Sealant / Seal

Photo5.3



Door Trim and Miter Sealant / Seal

Photo5.4



Door Trim and Miter Sealant / Seal

Photo5.5



Door Trim and Miter Sealant / Seal

Photo5.6



Door Trim and Miter Sealant / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Doors			The door trim and miter sealants are aged or separated at this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #5.2, #5.3, #5.4, #5.5 and #5.6 for more detail.



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Photo6.1



Photo6.2



Penetration Sealants / Seal

Photo6.3



Penetration Sealants / Seal

Photo6.4



Penetration Sealants / Seal

Photo6.5



Penetration Sealants / Seal

Photo6.6



Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Penetrations			The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area in an effort to prevent moisture intrusion. Please refer to photos #6.2, #6.3, #6.4, #6.5, #6.6, #7.1, #7.2, #7.3 and #7.4 for more detail.



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Photo7.1



Penetration Sealants / Seal

Photo7.2



Penetration Sealants / Seal

Photo7.3



Penetration Sealants / Seal

Photo7.4



Penetration Sealants / Seal



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Photo8.1



Photo8.2



Broken Vent / Replace and Seal

Photo8.3



Broken Vent / Replace and Seal

Photo8.4



Broken Vent / Replace and Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Circle	Vent			A broken vent is noted at this location. The inspector suggests to have a qualified contractor further assess, replace then seal as needed in an effort to prevent moisture intrusion. Please refer to photos #8.2, #8.3 and #8.4 for more detail.



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Photo9.1



Photo9.2



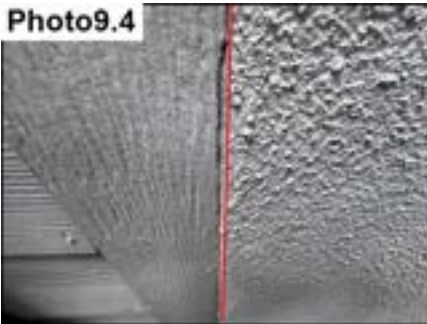
Siding & Stucco Termination / Seal

Photo9.3



Siding & Stucco Termination / Seal

Photo9.4



Siding & Stucco Termination / Seal

Photo9.5



Siding & Stucco Termination / Seal

Photo9.6



Siding & Stucco Termination / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Lines	Stucco Termination			Siding/stucco termination sealants are aged or separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #9.2, #9.3, #9.4, #9.5 and #9.6 for more detail.



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Photo10.1



Photo10.2



Window Sealants / Seal

Photo10.3



Window Sealants / Seal

Photo10.4



Window Sealants / Seal

Photo10.5



Window Sealants / Seal

Photo10.6



Window Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Windows			The window sealants are aged or separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #10.2, #10.3, #10.4, #10.5, #10.6, #11.1, #11.2, #11.3 and #11.4 for more detail.



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Photo11.1



Window Sealants / Seal

Photo11.2



Window Sealants / Seal

Photo11.3



Window Sealants / Seal

Photo11.4



Window Sealants / Seal



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Photo12.1



Photo12.2



Impact Damage / Repair

Photo12.3



Impact Damage / Repair

Photo12.4



Impact Damage / Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Circle	Impact Damage			Impact damage noted on foam accent with exposed mesh at this location. The inspector suggests to have a qualified waterproofing contractor further assess the extent of damage and repair as needed in an effort to prevent moisture intrusion. All impact damage was not necessarily identified in this report. Please refer to photos #12.2, #12.3 and #12.4 for more detail.



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Photo13.1

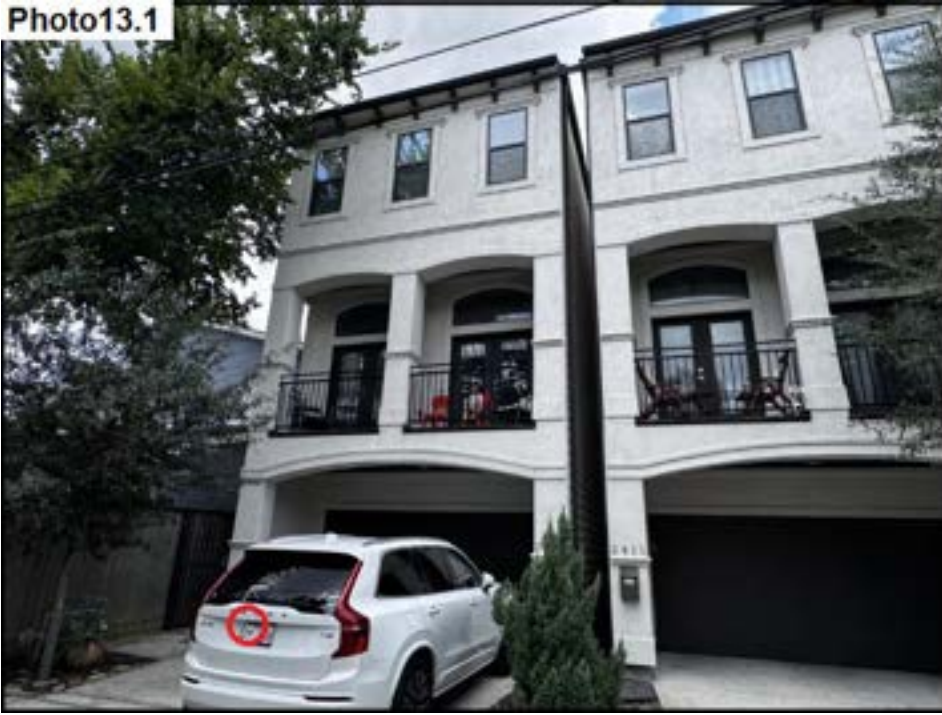


Photo13.2



Impact Damage / Repair (Aesthetic)

Photo13.3



Impact Damage / Repair (Aesthetic)

Photo13.4



Impact Damage / Repair (Aesthetic)

Photo13.5



Impact Damage / Repair (Aesthetic)

Photo13.6



Impact Damage / Repair (Aesthetic)

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Circle	Impact Damage			Impact damage is noted at this location. The inspector suggests having a qualified waterproofing contractor further assess and repair this area as needed from an aesthetic concern. Please refer to photos #13.2, #13.3, #13.4, #13.5 and #13.6 for more detail.



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Photo14.1

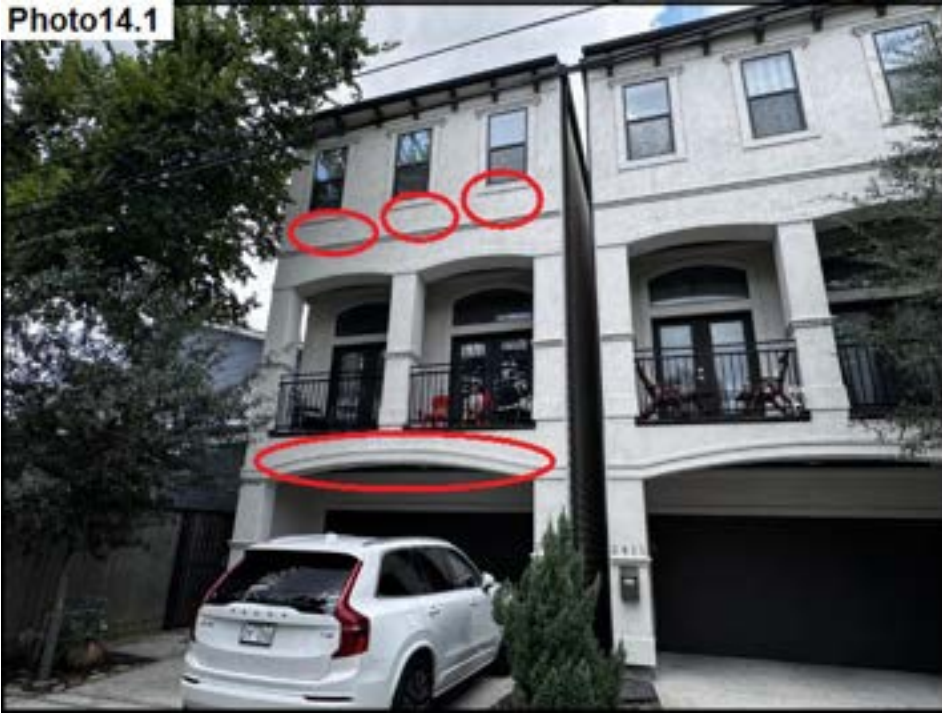


Photo14.2



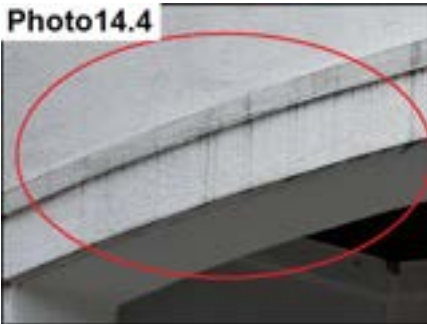
Mildew & Runoff Stains / Clean
(Aesthetic Concern)

Photo14.3



Mildew & Runoff Stains / Clean
(Aesthetic Concern)

Photo14.4



Mildew & Runoff Stains / Clean
(Aesthetic Concern)

Photo14.5



Mildew & Runoff Stains / Clean
(Aesthetic Concern)

Photo14.6



Mildew & Runoff Stains / Clean
(Aesthetic Concern)

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Circles	Stains			Mildew and run off stains have been noted in this area. The inspector suggests to clean the area as needed from an aesthetic concern only. Please refer to photos #14.2, #14.3, #14.4, #14.5 and #14.6 for more detail.



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Photo15.1



Photo15.2



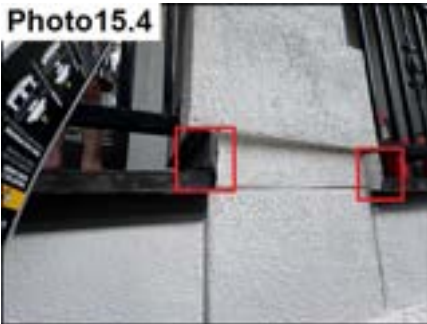
Balcony Flashing Sealants / Seal

Photo15.3



Balcony Flashing Sealants / Seal

Photo15.4



Balcony Flashing Sealants / Seal

Photo15.5



Balcony Flashing Sealants / Seal

Photo15.6



Balcony Flashing Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Boxes	Flashing			The balcony flashing sealants are aged at this location, allowing excess moisture into the system. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #15.2, #15.3, #15.4, #15.5 and #15.6 for more detail.



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Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
C7	Left Corner Wall	20%	Firm	A moisture probe was taken at left corner wall. An elevated moisture reading was noted with a firm substrate.
C6	Left Corner Wall	22%	Firm	A moisture probe was taken at left corner wall. An elevated moisture reading was noted with a firm substrate.
F7	Right Corner Wall	18%	Firm	A moisture probe was taken at right corner wall. The substrate was firm with no damage noted at this time.
F6 (green)	Right Corner Wall	17%	Firm	A moisture probe was taken at right corner wall. The substrate was firm with no damage noted at this time.
D6	Below Balcony		None	A moisture probe was taken below the balcony. No substrate was noted at this time, modify as needed.
E6	Below Balcony		None	A moisture probe was taken below the balcony. No substrate was noted at this time, modify as needed.
F6 (red)	Below Balcony		None	A moisture probe was taken below the balcony. No substrate was noted at this time, modify as needed.



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Photo17.1



Photo17.2



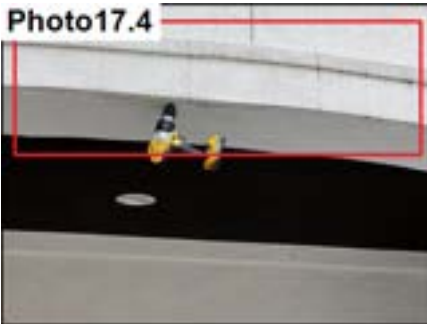
Substrate Damage / Assess, Repair and Install Proper Relief

Photo17.3



Substrate Damage / Assess, Repair and Install Proper Relief

Photo17.4



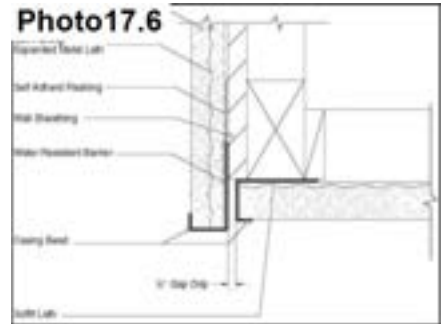
Substrate Damage / Assess, Repair and Install Proper Relief

Photo17.5



Substrate Damage / Assess, Repair and Install Proper Relief

Photo17.6



Relief / Proper Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Damage			Confirmed substrate and potential frame damage is noted at the bottom of the wall below the balcony. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #17.2, #17.3, #17.4, #17.5 and #17.6 for more detail.



Lone Star Stucco, LLC

Photo18.1



Photo18.2



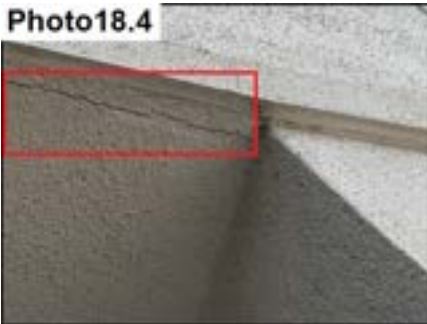
Sizeable Crack Noted / Assess and Repair as Needed

Photo18.3



Sizeable Crack Noted / Assess and Repair as Needed

Photo18.4



Sizeable Crack Noted / Assess and Repair as Needed

Photo18.5



Sizeable Crack Noted / Assess and Repair as Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Cracks			Sizeable cracks are noted at this location. The inspector suggests to have a qualified waterproofing contractor further assess and properly repair these cracks to prevent moisture intrusion. All cracking was not necessarily identified in this report. Please refer to photos #18.2, #18.3, #18.4 and #18.5 for more detail.



Lone Star Stucco, LLC

Photo19.1

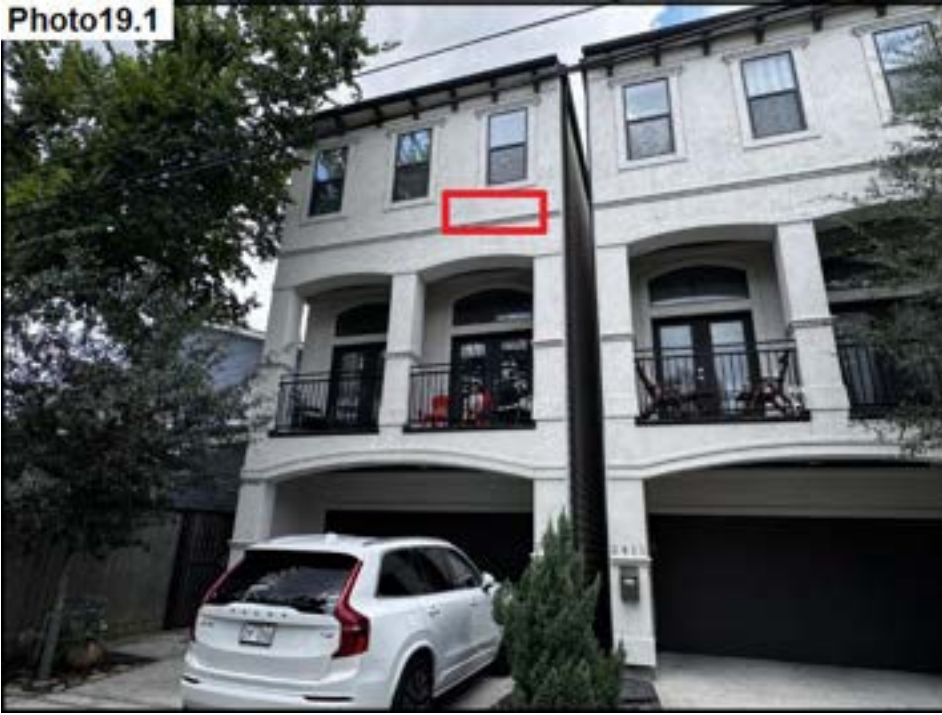


Photo19.2



Hairline Cracks / Paint (Aesthetic)

Photo19.3



Hairline Cracks / Paint (Aesthetic)

Photo19.4



Hairline Cracks / Paint (Aesthetic)

Photo19.5



Hairline Cracks / Paint (Aesthetic)

Photo19.6



Hairline Cracks / Paint (Aesthetic)

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Cracks			Hairline cracks are noted at this location. The inspector suggests to have a qualified waterproofing contractor paint for aesthetic concerns only. All cracking was not necessarily identified in this report. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.



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Grid Location		Moisture Readings	Substrate Condition	Observations
C5	Column	17%	Firm	A moisture probe was taken at column. The substrate was firm with no damage noted at this time.
D5	Column	20%	Firm	A moisture probe was taken at column. An elevated moisture reading was noted with a firm substrate.
E5	Column	18%	Firm	A moisture probe was taken at column. The substrate was firm with no damage noted at this time.
F5	Right Wall	15%	Firm	A moisture probe was taken at the right wall. The substrate was firm with no damage noted at this time.
D4 (green)	Bottom Wall	17%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
D4 (blue)	Bottom Wall	15%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
E4	Bottom Wall	16%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
F3	Bottom Wall	17%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.



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Photo21.1

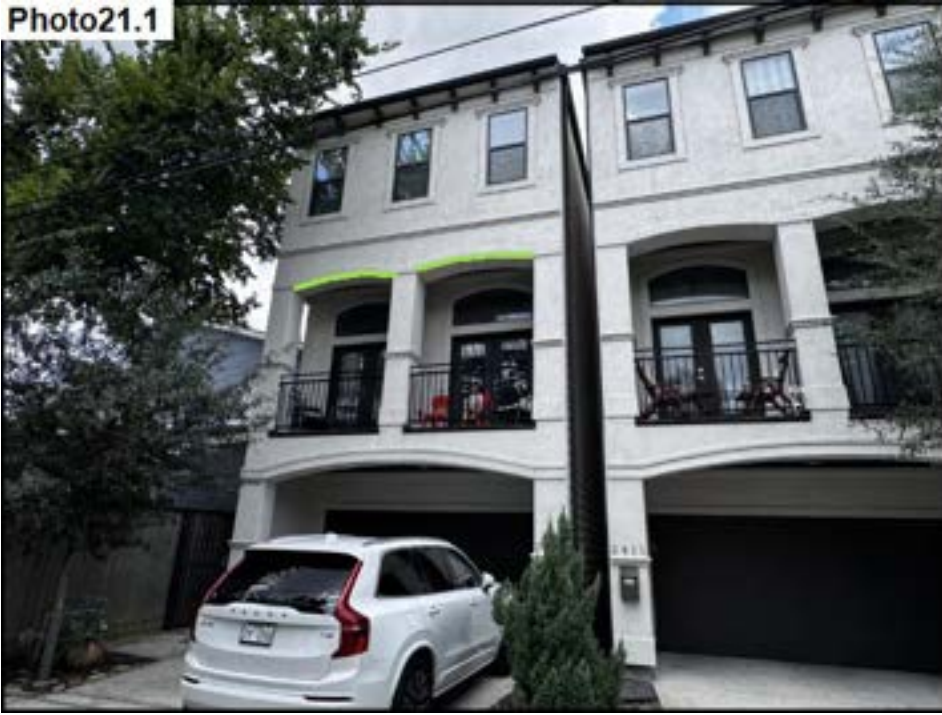


Photo21.2



No Relief Present / No Modification but Maintain Sealants Above

Photo21.3



No Relief Present / No Modification but Maintain Sealants Above

Photo21.4



No Relief Present / No Modification but Maintain Sealants Above

Photo21.5



No Relief Present / No Modification but Maintain Sealants Above

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Lines	Relief			Although the bottom of the wall noted does not have a proper relief, this was a proper detail at the time of construction. Upon invasive testing at this location, the substrate was firm with low moisture readings. The inspector recommends no modification at this point in time but recommends to maintain all sealants above this location to prevent potential moisture intrusion. Please refer to photos #21.2, #21.3, #21.4 and #21.5 for more detail.



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Photo22.1

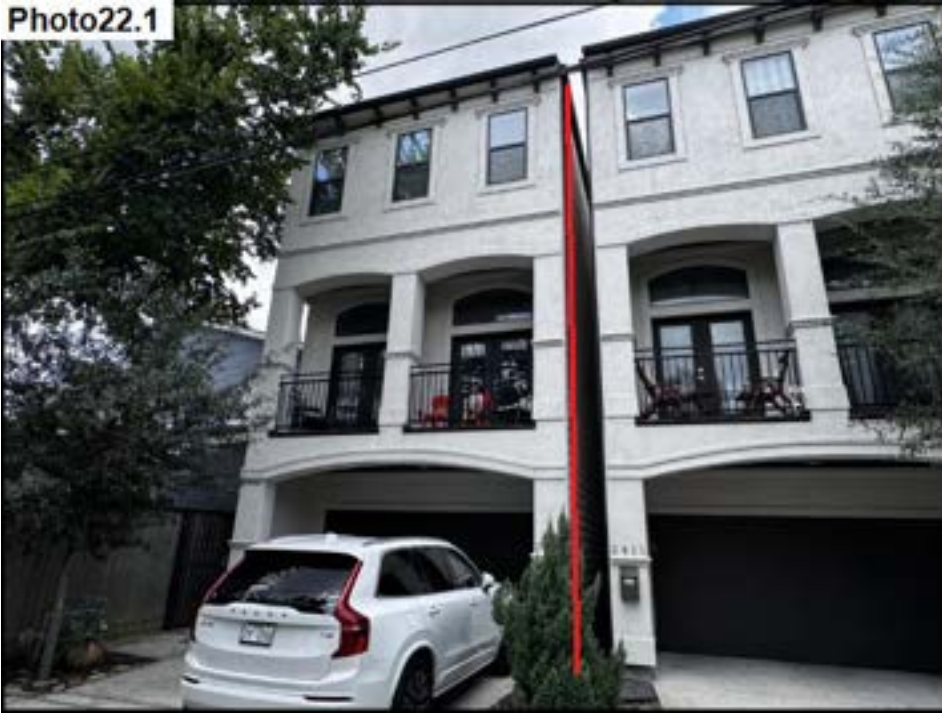


Photo22.2



Siding & Stucco Termination / Seal

Photo22.3



Siding & Stucco Termination / Seal

Photo22.4



Siding & Stucco Termination / Seal

Photo22.5



Siding & Stucco Termination / Seal

Photo22.6



Siding & Stucco Termination / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Line	Stucco Termination			Siding/stucco termination sealants are aged or separated at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #22.2, #22.3, #22.4, #22.5 and #22.6 for more detail.



Lone Star Stucco, LLC

Photo23.1



Photo23.2



Door Trim and Miter Sealant /
Maintain

Photo23.3



Door Trim and Miter Sealant /
Maintain

Photo23.4



Door Trim and Miter Sealant /
Maintain

Photo23.5



Door Trim and Miter Sealant /
Maintain

Photo23.6



Door Trim and Miter Sealant /
Maintain

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Arrows	Doors			Door trim and miter sealants are present at this location. The inspector states that this is a positive detail and suggests maintaining these sealants in an effort to prevent moisture intrusion. Please refer to photos #23.2, #23.3, #23.4, #23.5 and #23.6 for more detail.



Lone Star Stucco, LLC

Photo24.1



Photo24.2



Penetration Sealants / Seal

Photo24.3



Penetration Sealants / Seal

Photo24.4



Penetration Sealants / Seal

Photo24.5



Penetration Sealants / Seal

Photo24.6



Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Penetrations			The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area in an effort to prevent moisture intrusion. Please refer to photos #24.2, #24.3, #24.4, #24.5 and #24.6 for more detail.



Lone Star Stucco, LLC

Photo25.1



Photo25.2



Window Sealants / Seal

Photo25.3



Window Sealants / Seal

Photo25.4



Window Sealants / Seal

Photo25.5



Window Sealants / Seal

Photo25.6



Window Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Windows			The window sealants are aged. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area in an effort to prevent moisture intrusion. Please refer to photos #25.2, #25.3, #25.4, #25.5 and #25.6 for more detail.



Lone Star Stucco, LLC

Photo26.1



Photo26.2



Roof Diverter Flashing Sealants / Seal

Photo26.3



Roof Diverter Flashing Sealants / Seal

Photo26.4



Roof Diverter Flashing Sealants / Seal

Photo26.5



Roof Diverter Flashing Sealants / Seal

Photo26.6



Roof Diverter Flashing Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Circles	Flashing			The roof diverter flashing sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area in an effort to prevent moisture intrusion. Please refer to photos #26.2, #26.3, #26.4, #26.5 and #26.6 for more detail.