

LEGEND:
A.E.=AERIAL EASEMENT
B.L.=BUILDING LINE
BRS=BEARS
C.F. NO.=COUNTY CLERK'S FILE NUMBER
C.I.R.=CAPPED IRON ROD
C.M.=CONTROL MONUMENT

D.E.=DRAINAGE EASEMENT
ESMT=EASEMENT
FNC=FENCE
F.C.I.R.=FOUND CAPPED IRON ROD
F.I.P.=FOUND IRON PIPE
F.I.R.=FOUND IRON ROD
GM=GAS METER

G.B.L.=GARAGE BUILDING LINE
P.R.=PLAT RECORDS
U.E.=UTILITY EASEMENT
U.T.S.=UNABLE TO SET
R.O.W.=RIGHT-OF-WAY
S.C.I.R.=SET CAPPED IRON ROD

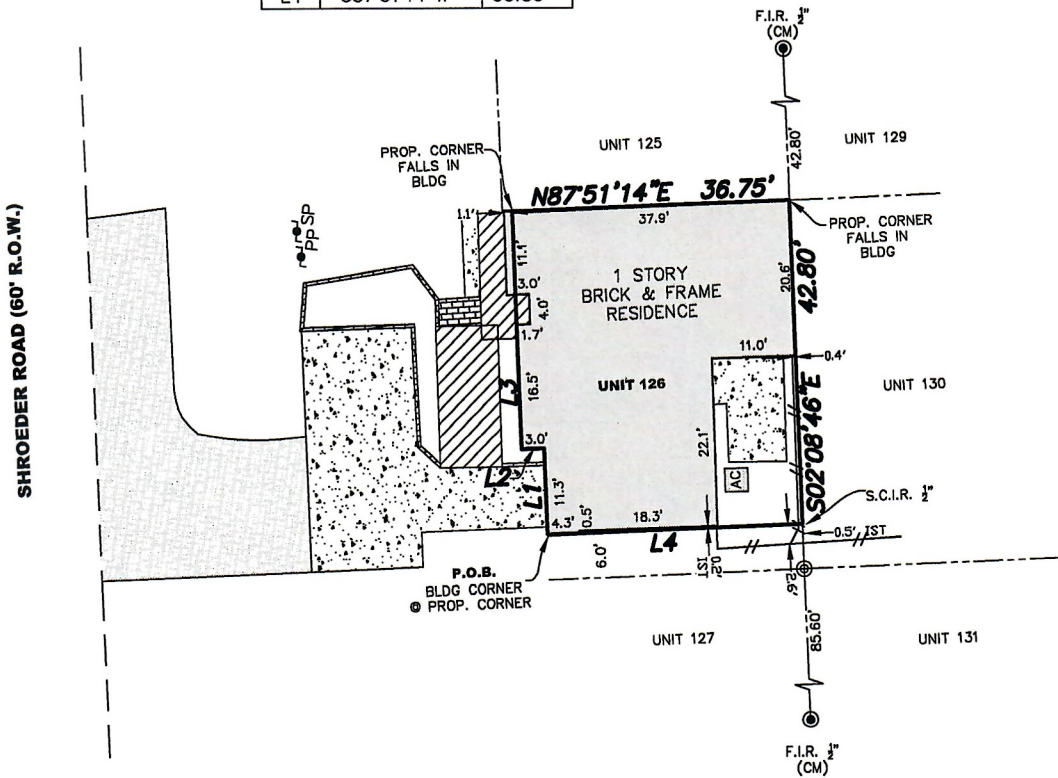
WOOD FENCE
CHAIN LINK FENCE
WROUGHT IRON FENCE
BARBED WIRE FENCE
SUBJECT TRACT



CONCRETE PAVEMENT
COVERED AREA
ASPHALT PAVEMENT

LINE TABLE

LINE	BEARING	DIST
L1	N02°08'46"W	11.40'
L2	S87°51'14"W	2.90'
L3	N02°08'46"W	31.40'
L4	S87°51'14"W	33.85'



LEGAL DESCRIPTION:

UNIT 126 BEING OUT OF BUILDING 7 AS SHOWN ON THE RECORDED PLAT OF WILLOW WOOD VILLAS, A SUBDIVISION OF 7.428 ACRES, IN THE LORENZO DE ZAVALLA SURVEY, ABSTRACT 950, HARRIS COUNTY, TEXAS RECORDED IN VOLUME 326, PAGE 84 OF THE HARRIS COUNTY MAP RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID BUILDING 7;
THENCE ALONG THE WEST LINE OF SAID BUILDING 7 THE FOLLOWING COURSES:
NORTH 02° 08' 46" WEST 11.4 FEET TO A POINT;
SOUTH 87° 51' 14" WEST 2.9 FEET TO A POINT;
THENCE NORTH 02° 08' 46" WEST, A DISTANCE OF 31.4 FEET TO THE NORTHWEST CORNER OF UNIT 126;
THENCE NORTH 87° 51' 14" EAST, ALONG THE COMMON LINE AND PARTY WALL BETWEEN UNITS 126 AND 125, A DISTANCE OF 36.75 FEET TO THE COMMON EAST CORNER OF UNITS 126 AND 125;
THENCE SOUTH 02° 08' 46" EAST, ALONG THE COMMON LINE AND PARTY WALL BETWEEN UNITS 126 AND 130, A DISTANCE OF 42.80 FEET TO A 1/2 INCH IRON ROD SET FOR THE COMMON SOUTH CORNER OF UNITS 126 AND 130;
THENCE SOUTH 87° 51' 14" WEST, ALONG THE SOUTH LINE OF SAID BUILDING 7, A DISTANCE OF 33.85 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.035 ACRE OF LAND. THE BEARINGS CONTAINED HEREIN ARE BASED UPON A RECORD BEARING OF SOUTH 87° 26' 08" WEST FOR THE SOUTH LINE OF SAID WILLOW WOOD VILLAS, AS SHOWN ON THE RECORDED PLAT OF SAME.

NOTES:

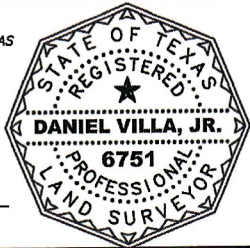
1. BEARINGS SHOWN HEREON ARE REFERENCED TO RECORDED SUBDIVISION PLAT OF SUBJECT TRACT AND ARE BASED ON CONTROL MONUMENTS DEPICTED ON THIS SURVEY
2. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST NATIONAL TITLE INSURANCE COMPANY, G.F. NO. 21-637129-HC, EFFECTIVE DATE OF POLICY SEPTEMBER 7, 2021, WITH REGARD TO ANY RECORDED EASEMENTS, RIGHTS-OF-WAY OR SETBACKS AFFECTING THE SUBJECT PROPERTY. NO ADDITIONAL RESEARCH REGARDING THE EXISTENCE OF EASEMENTS, RESTRICTIONS, OR OTHER MATTERS OF RECORD HAS BEEN PERFORMED BY THE SURVEYOR.
3. ALL ABSTRACTING PERFORMED BY TITLE COMPANY
4. LOT SUBJECT TO APPLICABLE RESTRICTIVE COVENANTS LISTED IN ITEM NO. 1, SCHEDULE "B" OF TITLE COMMITMENT AFOREMENTIONED IN NOTE 2.
5. SURVEY BASED ON THE BEST OF FIELD EVIDENCE FOUND.

FLOOD PLAIN INFO:

THIS PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AS PER FEMA FIRM PANEL NO. 48201C0435M
MAP REVISION: 10/16/2013
ZONE: X
(BASED ONLY ON VISUAL EXAMINATION OF MAPS)

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION AND THAT IT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF SURVEY AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN.

DANIEL VILLA, JR.
REGISTRATION NO. 6751



DVJ
CIVIL ENGINEERING &
LAND SURVEYING

TX ENGINEERING FIRM NO. F-22322
TX SURVEYING FIRM NO. 10194609
8118 FRY ROAD, SUITE 402
CYPRESS, TEXAS 77433
832.518.9910

BOUNDARY SURVEY

14020 SCHROEDER RD # 0126, HOUSTON, TEXAS 77070

JOB NO.: D2109-075
DATE: 11-11-21
FOR: CAPITAL TITLE
GF#: 21-637129-HC
PURCHASER: AMY GLASS AND BILLY GLASS

DRAFTER: ISMA

METES AND BOUNDS

Unit 126 being out of Building 7 as shown on the recorded plat of Willow Wood Villas, a subdivision of 7.428 acres, in the Lorenzo De Zavalla Survey, Abstract 950, Harris County, Texas recorded in Volume 326, Page 84 of the Harris County Map Records, and being more particularly described as follows:

BEGINNING at the southwest corner of said Building 7;

THENCE along the west line of said Building 7 the following courses:

North 02° 08' 46" West 11.4 feet to a p

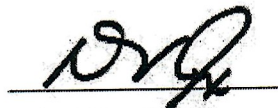
South 87° 51' 14" West 2.9 feet to a point;

THENCE North 02° 08' 46" West, a distance of 31.4 feet to the northwest corner of Unit 126;

THENCE North 87° 51' 14" East, along the common line and party wall between Units 126 and 125, a distance of 36.75 feet to the common east corner of Units 126 and 125;

THENCE South 02° 08' 46" East, along the common line and party wall between Units 126 and 130, a distance of 42.80 feet to a 1/2 inch iron rod set for the common south corner of Units 126 and 130;

THENCE South 87° 51' 14" West, along the south line of said Building 7, a distance of 33.85 feet to the POINT OF BEGINNING, and containing 0.035 acre of land. The bearings contained herein are based upon a record bearing of South 87° 26' 08" West for the south line of said Willow Wood Villas, as shown on the recorded plat of same.


DANIEL VILLA, JR.
REGISTRATION NO. 6751

