



## RESIDENTIAL INSPECTION REPORT

1130 Twin Deer Ln  
Canyon Lake, TX 78133



Inspector

Aaron Paul

TREC #24606

737-206-8318

[office@inspectorteam.com](mailto:office@inspectorteam.com)



Agent

Sharon Leshikar

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832-603-3345

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# PROPERTY INSPECTION REPORT FORM

Sharon Leshikar

*Name of Client*

08/24/2026 9:00 am

*Date of Inspection*

1130 Twin Deer Ln , Canyon Lake, TX 78133

*Address of Inspected Property*

Aaron Paul

*Name of Inspector*

TREC #24606

*TREC License #*

Greg Bryan TREC #

3608

*Name of Sponsor (if applicable)*

*TREC License #*

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted.

*It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.*

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

## **NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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### **ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

*Type of Building:* Single Family

*Access Provided By:* Lockbox

*In Attendance:* None

*Occupancy:* Vacant

*Weather Conditions:* Clear

*Temperature (approximate):* 80 Fahrenheit (F)

## **Thank you for choosing Bryan & Bryan Inspections**

*Please review the inspection report and let us know if you have any further questions. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this webpage includes a version titled "Full Report" and is written on the official state promulgated form for your records. A Comment Key is also provided for you in the Attachments section if you'd like definitions for common report phrasing. Please review all documents and attachments that were sent to you by the inspector.*



I=Inspected

NI=Not Inspected

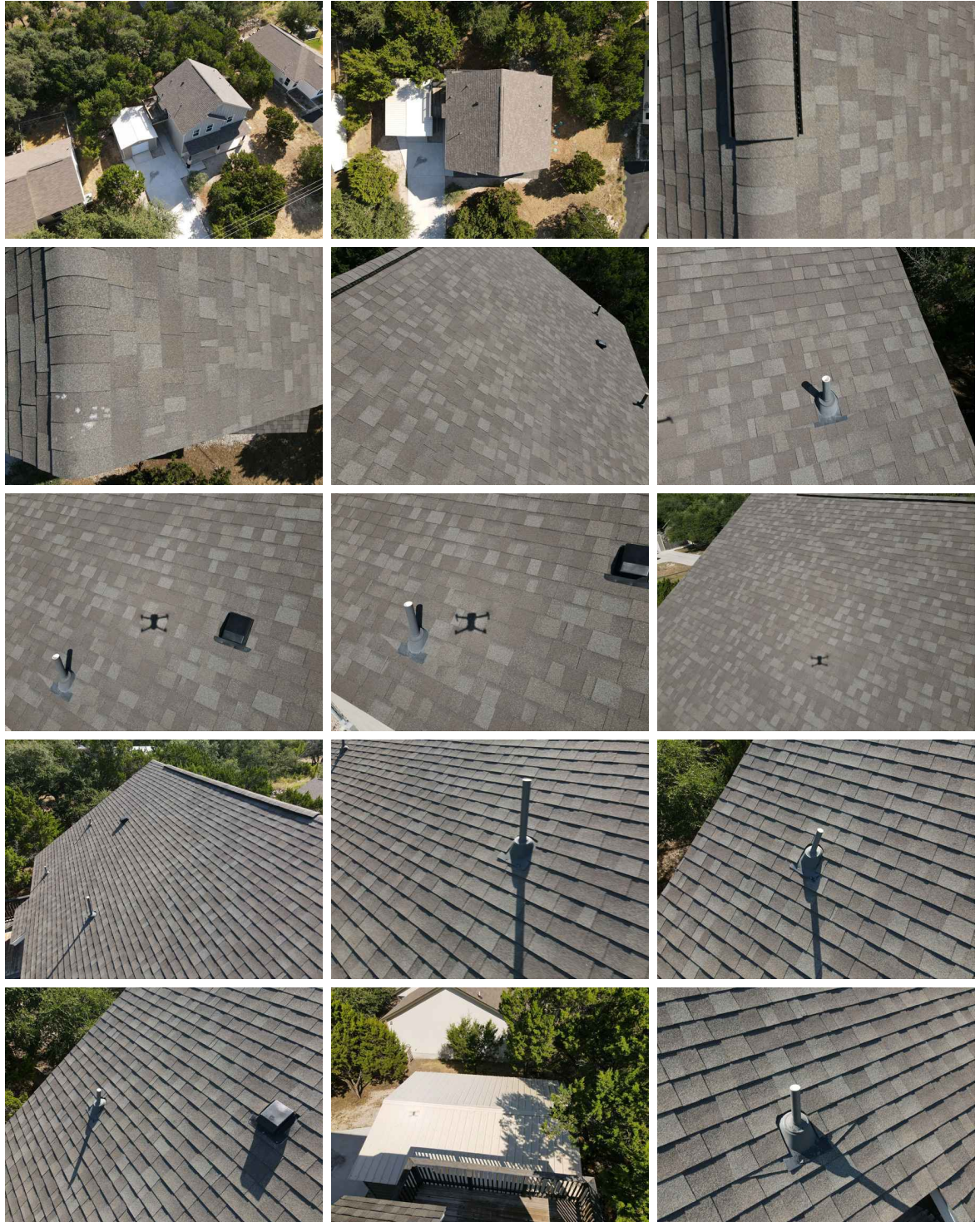
NP=Not Present

D=Deficient

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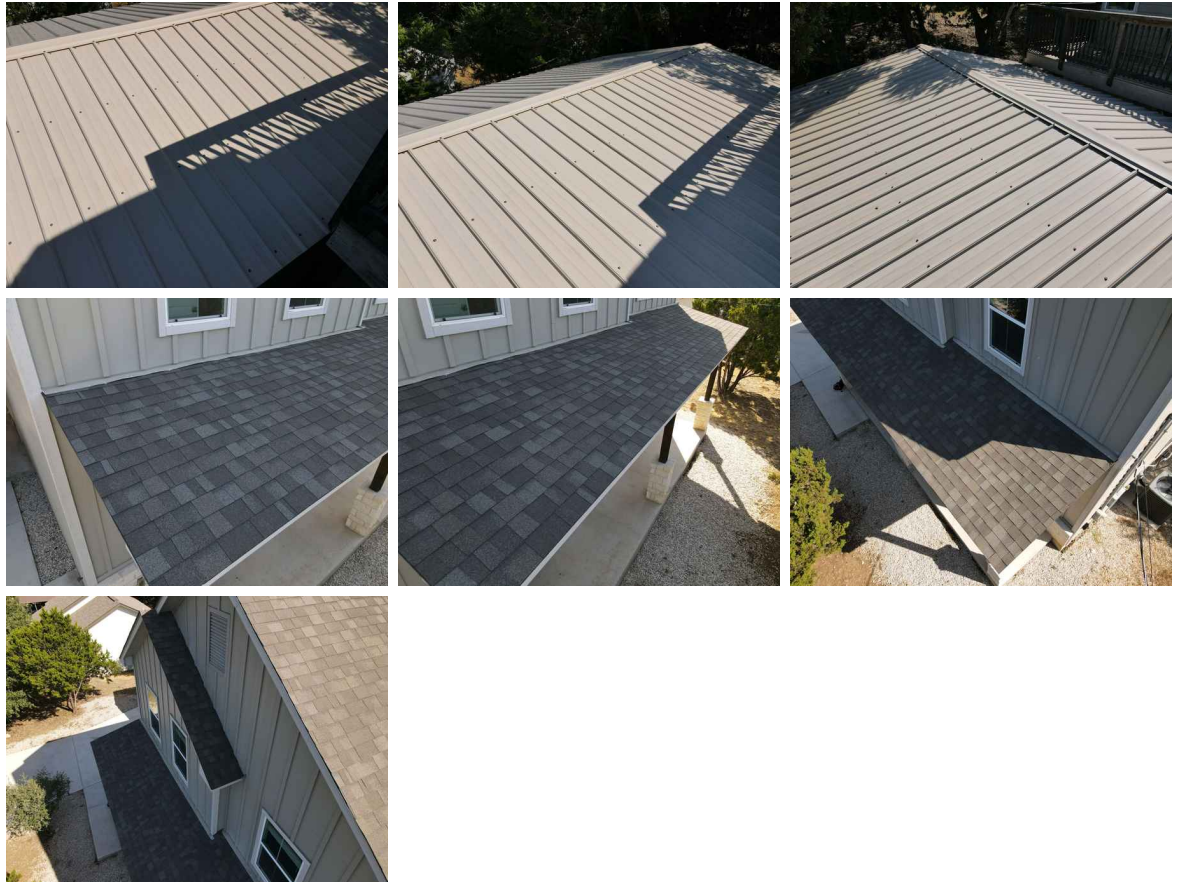
## I. STRUCTURAL SYSTEMS

### *General Photos of Roof Covering:*

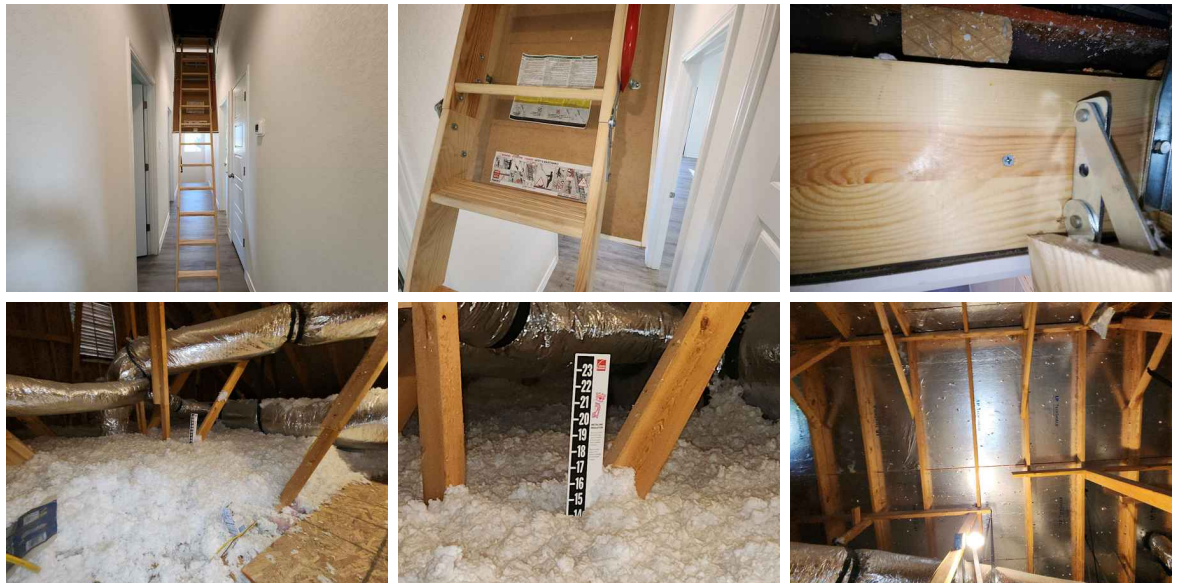


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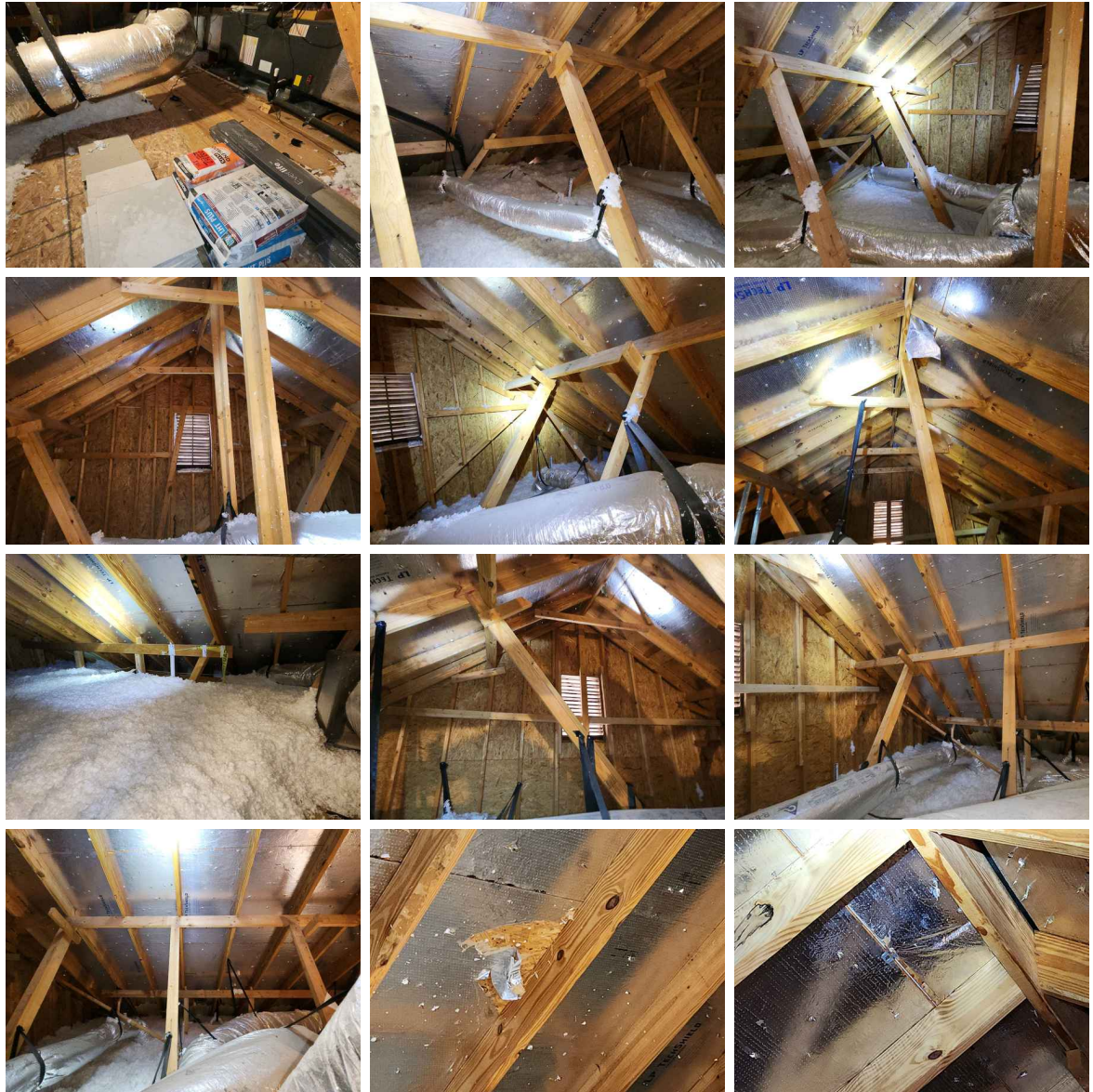


*General Photos of Attic Structure:*



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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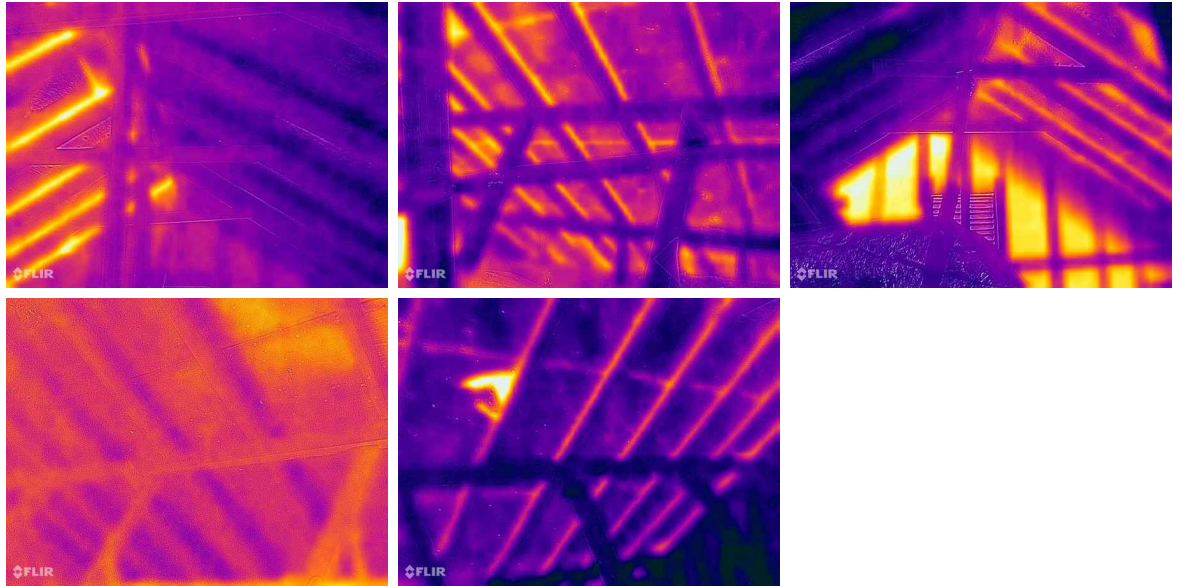


General IR Photos of Attic Structure:



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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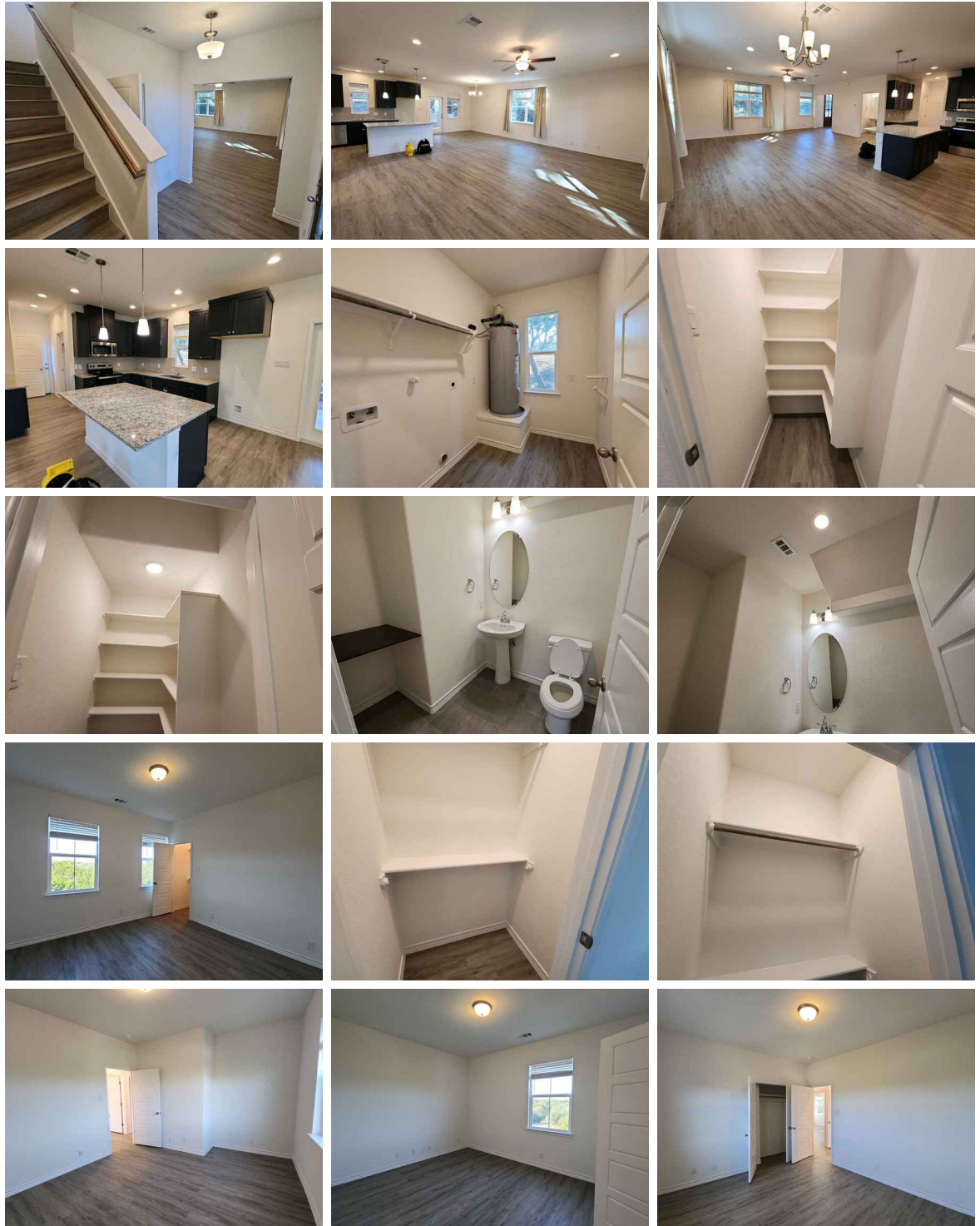
*General Photos of Exterior:*



*General Photos of Interior Spaces:*

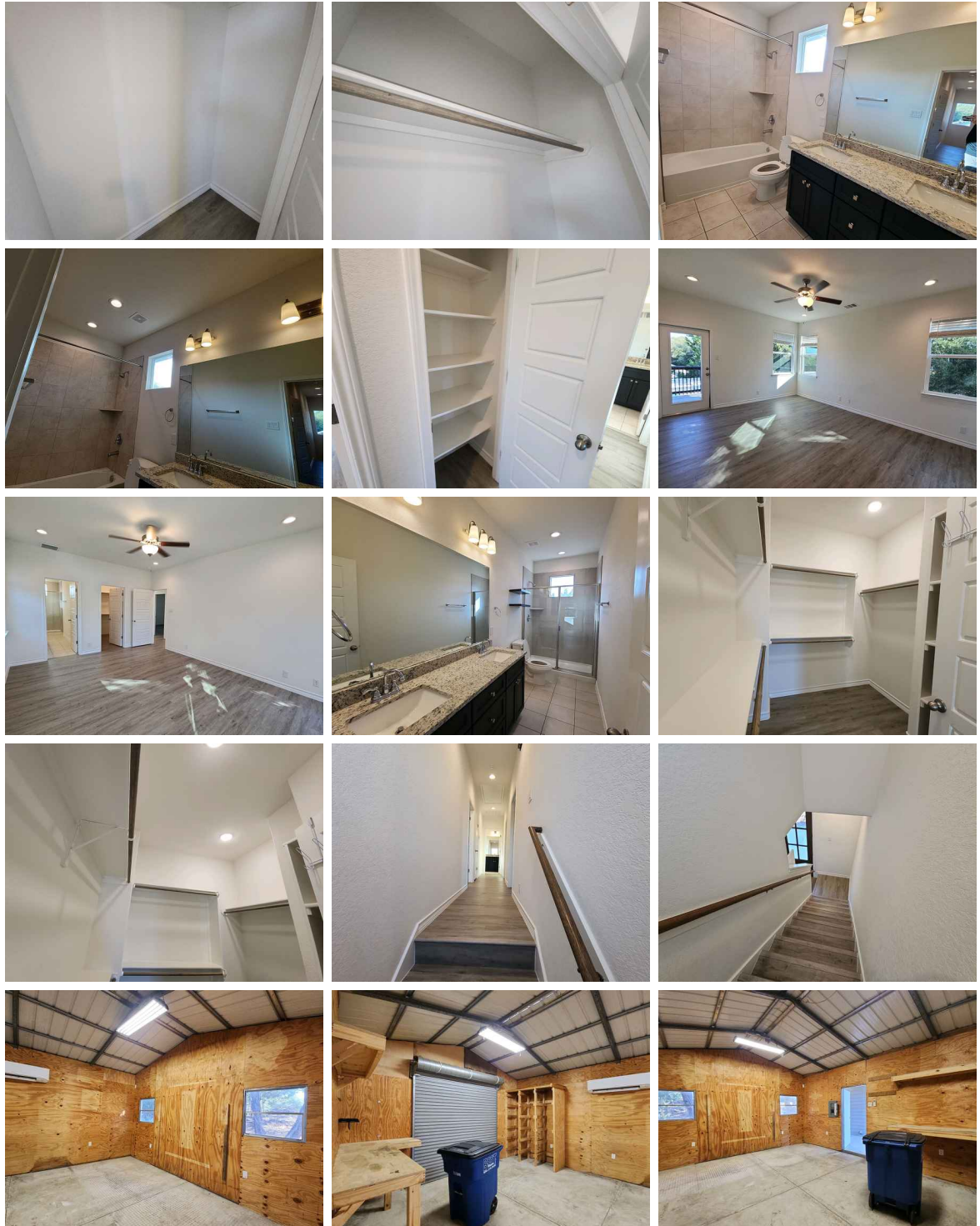
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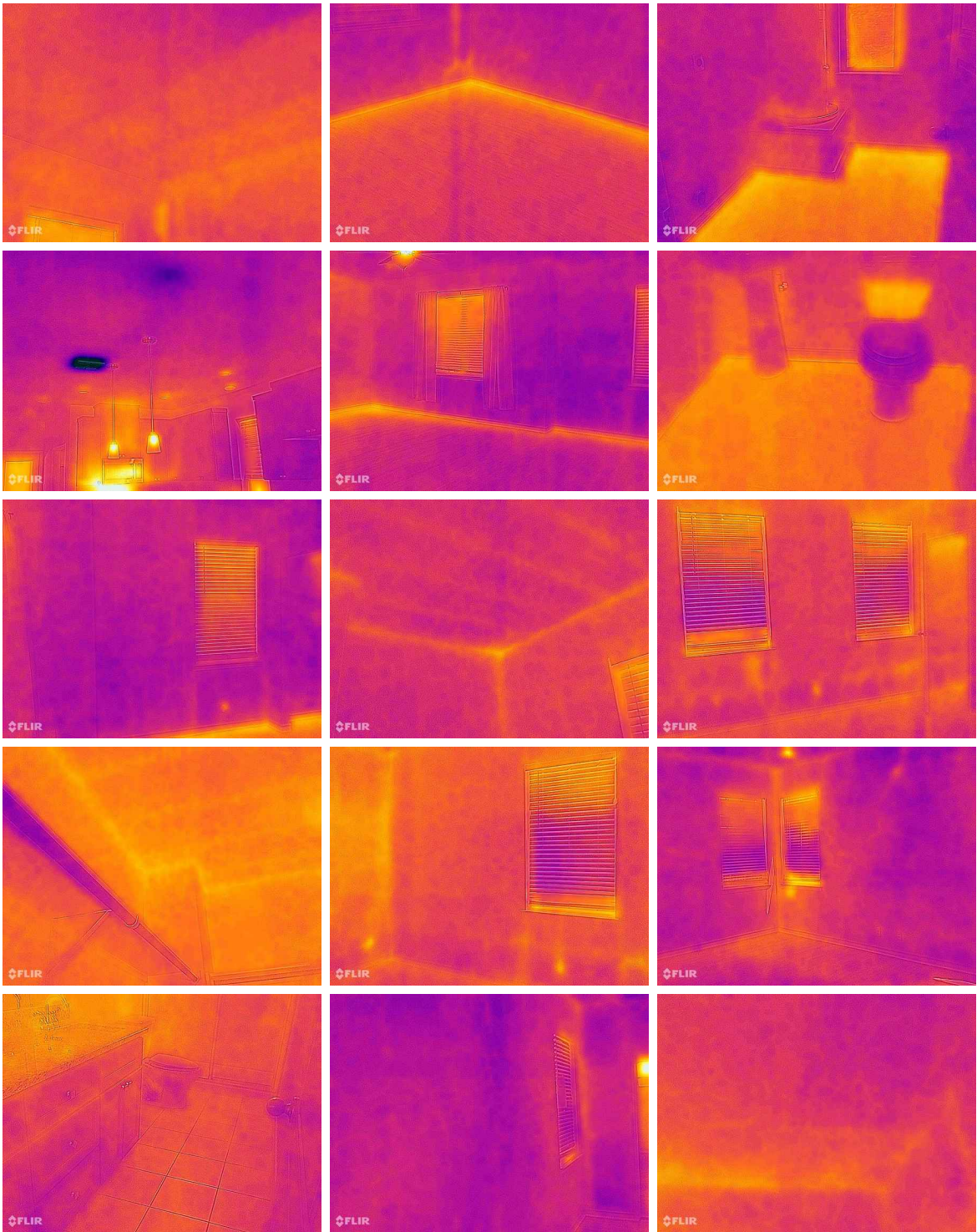
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General IR Photos of Interior Spaces:

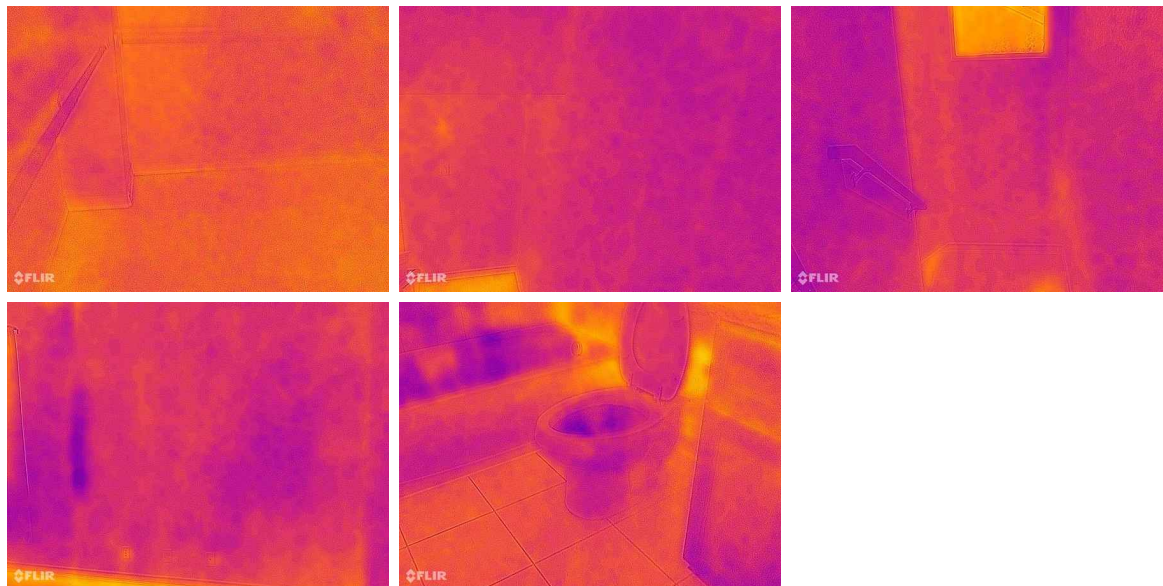
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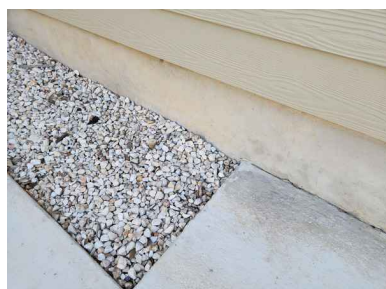
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☒ ☐ ☐ ☐ **A. Foundations**

*Type of Foundation:* Slab on Grade



*Crawl Space Viewed From:* N/A

*Performance Opinion:* Functioning as Intended:

No deficiencies were noted at the time of inspection. The foundation appeared to be functioning as intended.

*Note: The statements included in this report regarding the foundation are the inspector's OPINION. If buyer desires a second opinion or further analysis a foundation company or structural engineer should be contacted.*

*Digital Level Pictures:*

This foundation was measured with the use of an electronic digital measurement tool. Multiple elevation points were registered on the foundation throughout the property to determine if there were elevation variations that indicated excessive movement of the foundation.



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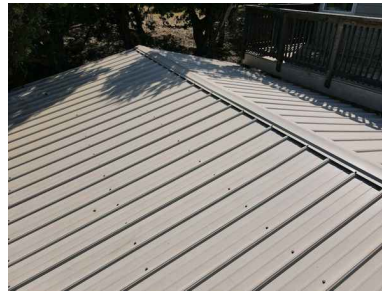
Comments:

☒ ☐ ☐ ☐ **B. Grading and Drainage**

Comments:

☒ ☐ ☐ ☒ **C. Roof Covering Materials**

*Types of Roof Covering:* Composition Shingles, Metal



*Viewed From:* Drone



Comments:

*Roof Access Was Limited:* Too High, Too Steep, Unsafe to Access -

Direct access to the roof was limited because of constraints encountered during the inspection. The inspector did employ other methods in determining the overall functionality of the roof covering. If further evaluation of the roof covering is desired, consult with a qualified roofing contractor.

*Roof Fastening Not Verified:*

The roof fastening method was not verified as determining this may cause damage to the roofing material. In addition, the inspector does not determine if the roof fastening meets current wind storm codes/ratings.

### 1: Drip Edge Deficiencies

🟡Recommendation

Multiple Locations

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

| I | NI | NP | D |
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Unpainted -

Deficiencies with the drip edge were present at the time of inspection. Evaluation and remediation is recommended.

Recommendation: Contact a qualified roofing professional.



For Example: Unpainted Drip Edge Flashings



For Example: Unpainted Drip Edge Flashings

- ☒  
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☒ **D. Roof Structure and Attic**  
*Viewed From: Decked Areas of Attic*



*Approximate Average Depth of Insulation: 14 Inches*



*Attic Access Method: Pull Down Ladder*



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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*Type of Attic/Roof Ventillation:* Ridge and Soffit Vents, Gable Vent



*Type of Insulation Material:* Blown Fiberglass



*Comments:*

*Only Accessible Areas Were Entered:*

Only accessible areas of the attic were inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible. In addition, insulation can hide or obstruct deficiencies.

*Radiant Barrier is Present:*

A radiant barrier was installed on the roof decking. This may conceal possible evidence of water penetration and limit evaluation of the decking material.



**1: Pull-down Stairs/Ladder Defects Present**

🚫Recommendation

Screws Used -

The pull-down ladder/stairs had one or more defects at the time of inspection. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.

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For Example: Attic Ladder should be mounted with 9d nails or lag bolts not construction screws

## 2: Sheathing: Radiant Barrier Damage

Maintenance Item/Note

Multiple Locations

One or more areas of the radiant barrier was Loose or damaged. This condition reduces the effectiveness of the barriers ability to reduce heat buildup. Evaluate and remedy as needed.

Recommendation: Contact a qualified professional.



Attic



Attic

## ☒ ☐ ☐ ☒ E. Walls (Interior and Exterior)

Comments:

### 1: Exterior: Seal Exterior Surfaces

Recommendation

Multiple Locations

All Exterior Wall Penetrations, Doors/Windows, Light Fixture(s), Trim Boards, End to End Joints -

One or more areas were not properly sealed/caulked. Most exterior sealants have a lifespan of 5 to 8 years and should be regularly maintained with that lifespan in mind. Evaluation and remediation is recommended.

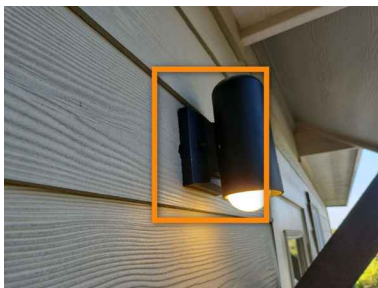
Recommendation: Contact a qualified professional.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

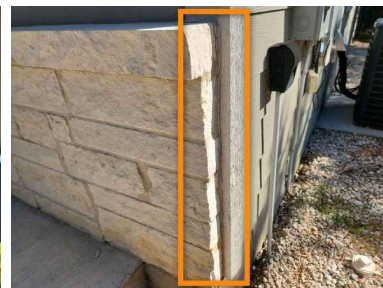
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For Example:Seal Around Windows and Trim Boards



For Example:Seal Around Light Fixtures



For Example:Seal Trim Boards



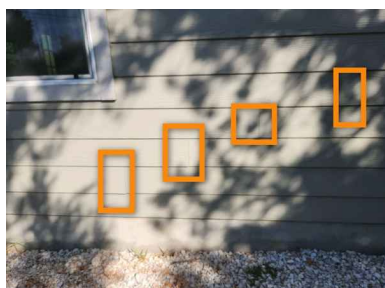
For Example:Seal Around Windows



For Example:Seal Trim Boards



For Example:Seal Door Trim



For Example:Seal Siding End Joints

## 2: Exterior Walls: Surface Defects

### 🔴Recommendation

Damaged -

The exterior wall coverings, such as siding trim, fascia, soffit or eave had defects present. Evaluation and remediation as needed.

Recommendation: Contact a qualified professional.



For Example:Damaged Siding Rear

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☒ ☐ ☐ ☐ **F. Ceilings and Floors**

*Comments:*

☒ ☐ ☐ ☒ **G. Doors (Interior and Exterior)**

*Comments:*

**1: Doors: Weatherstripping Missing or Damaged**

🔴Recommendation

Multiple Locations

Door was missing standard weatherstripping. This can result in significant energy loss and moisture intrusion. Evaluation and remediation is recommended.

Recommendation: Contact a qualified door repair/installation contractor.



Visible Daylight at Side Entry



Primary Bedroom Balcony

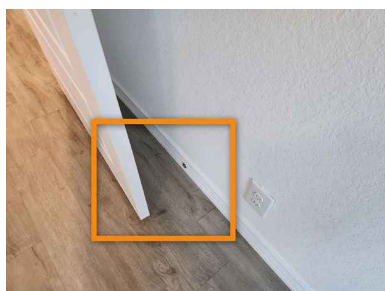
**2: Door Hardware: Missing/Damaged Hardware**

🔴Recommendation

Multiple Locations

One or more doors had missing or damaged hardware. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Missing Door Stoppers 2nd Floor Bedrooms



Missing Door Stopper Primary Bedroom

☒ ☐ ☐ ☐ **H. Windows**

*Comments:*

☒ ☐ ☐ ☐ **I. Stairways (Interior and Exterior)**

*Comments:*

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☐ ☐ ☒ ☐ **J. Fireplaces and Chimneys**

*Comments:*

*Limited Access/Visibility:*

There was limited access and visibility to safely inspect chimney flue.

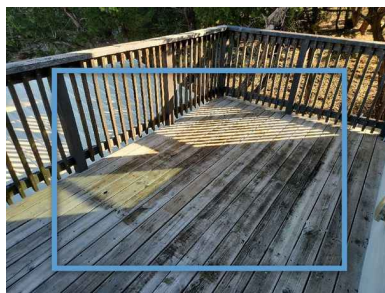
☒ ☐ ☐ ☐ **K. Porches, Balconies, Decks, and Carports**

*Comments:*

**1: Water Sealant Needed**

[🔧 Maintenance Item/Note](#)

Deck was weathered and/or water damaged. Application of water sealant or weatherproofing is recommended.



2nd Floor Balcony

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

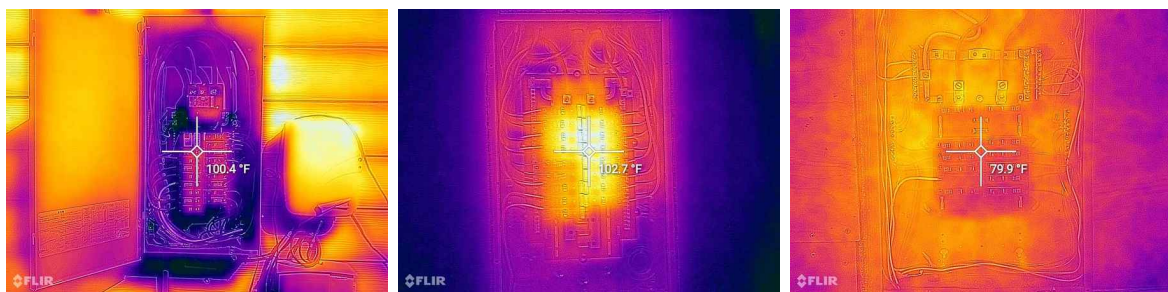
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## II. ELECTRICAL SYSTEMS

*General Photos of Distribution Panels:*



*General Infrared Photos of Distribution Panels:*



*General Photos of 220V Outlets:*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

| I | NI | NP | D |
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☒ ☐ ☐ ☒ **A. Service Entrance and Panels**

*Main Disconnect/Service Box Types and Locations:* Breakers - Garage, Breakers - Exterior Wall



*Service Entrance Cable Location:* Overhead



*Service Size:* 200 Amps



*Comments:*

*Grounding Rod Not Visible:*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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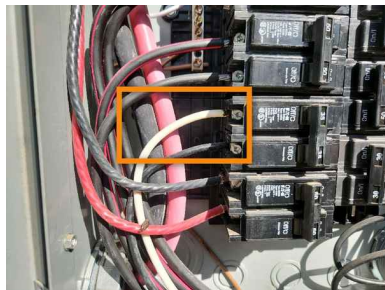
**1: White Wires Not Marked**

🔴Recommendation

Multiple Locations

White wires connected to breakers were not marked with black or red electrical tape to indicate that they are "hot". Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



Exterior



Garage Electrical Panel

**2: Missing Knockouts**

⚠️Safety Hazard

Safety "knockouts" were missing from the panel cover. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation: Contact a qualified electrical contractor.



Garage Electrical Panel

☒ ☐ ☐ ☒ **B. Branch Circuits, Connected Devices, and Fixtures**

Type of Wiring: Copper

Comments:

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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*Smoke Alarm Testing Method:*

Accessible smoke/carbon monoxide alarms (units within an arm's reach of the inspector) were tested by pushing the test button. Test buttons only confirm that the battery, electronics, and alert systems are working. It does not mean that the smoke sensors are working.

**1: Receptacles: GFCI Protection Inadequate/Missing****🔴Recommendation**

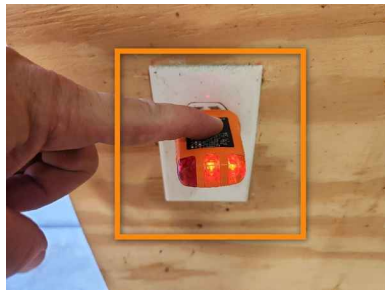
Garage -

GFCI protection was inadequate or missing. Current building standards recommend the installation of ground fault protection:

- at all countertop receptacles in the kitchen
- in bathrooms
- in garages
- all exterior receptacles
- in laundry rooms

GFCI protection was not present in one or more of these locations. Evaluation and remediation is recommended.

Recommendation: Contact a qualified electrical contractor.



For Example: Garage near the Entry

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

General Photos of HVAC Equipment:



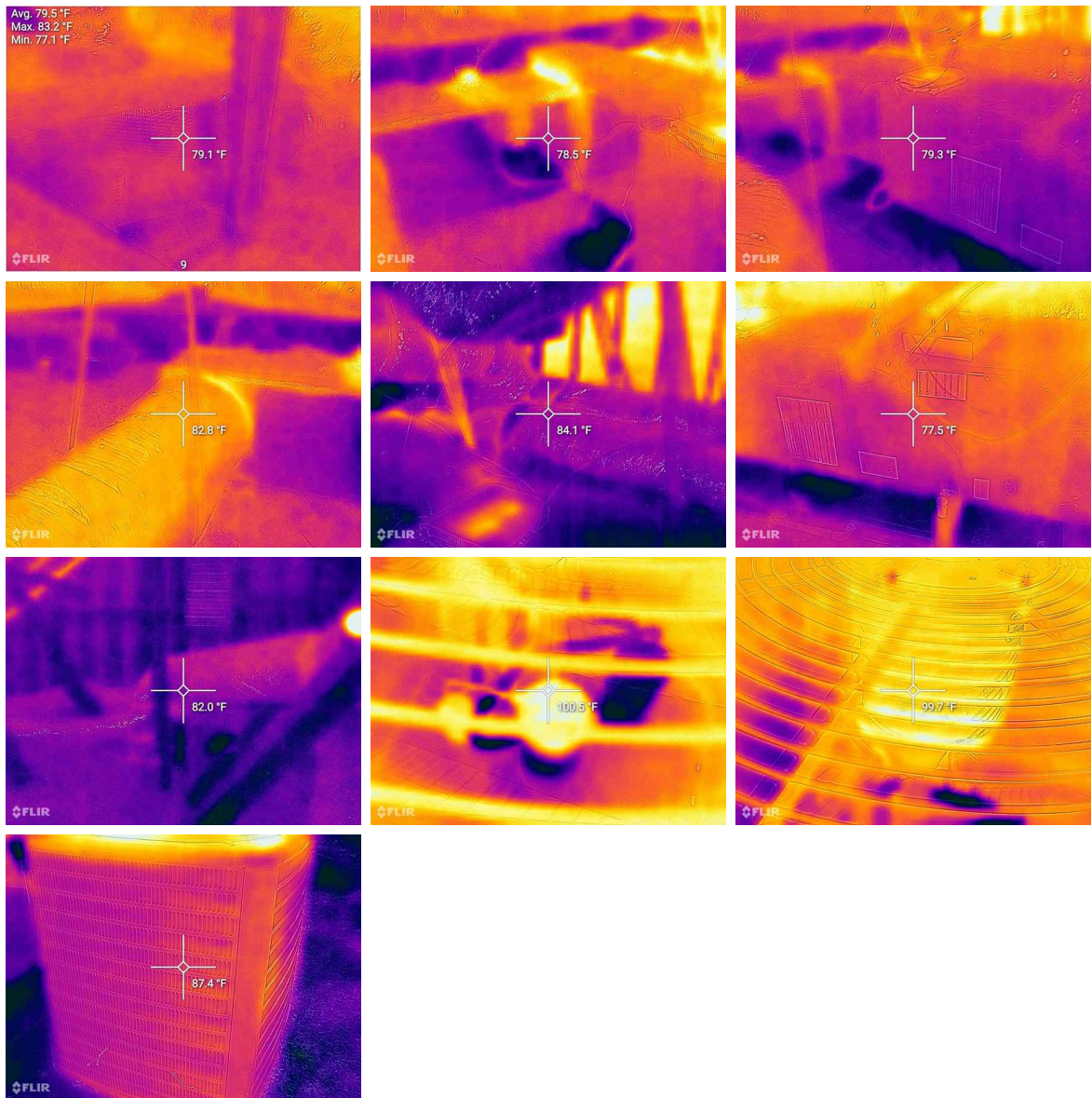
General Photos of Thermostats:

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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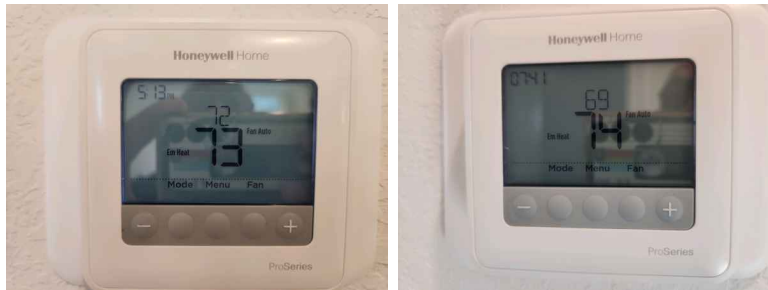
General Infrared Photos of HVAC Equipment:



☒ ☒ ☐ ☐ **A. Heating Equipment**  
 Type of System: Heat Pump

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

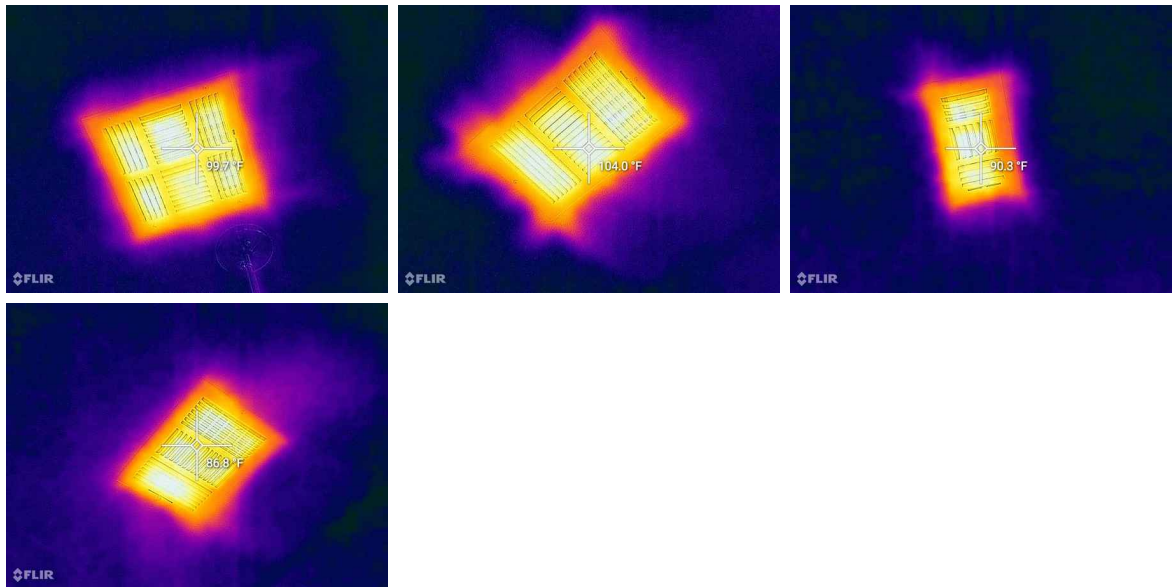
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*Energy Source:* Electric

*Heating System Was Functioning "Tested Only Emergency Heat" see Limitations :*

The heating system was functioning at the time of inspection. Refer to the inspection report for any further recommendations.



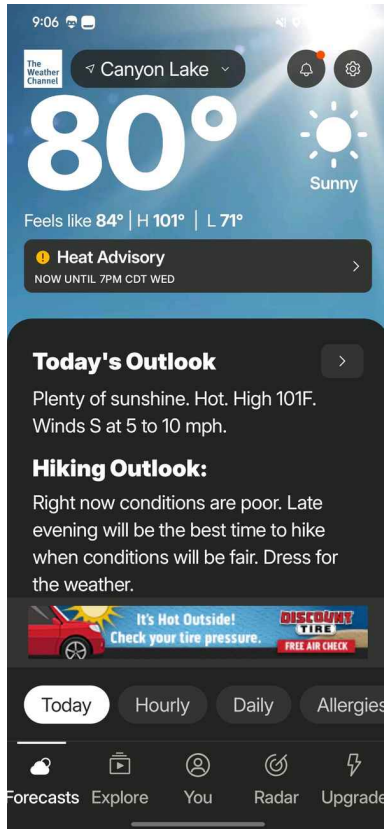
*Comments:*

*Heat Pump Tested in Emergency Heat Mode Only:*

Due to high outside ambient air temperatures, the inspector was unable to test the Heating mode of the Heat Pump system because this poses a risk of damage to the equipment. The Heating system was tested in the electric emergency Heat mode only.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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☒ ☐ ☐ ☒ **B. Cooling Equipment**

*Type of System:* Central Air Conditioner, Ductless (Split System)



*Type of Refrigerant:* R410A (Puron)



I=Inspected

NI=Not Inspected

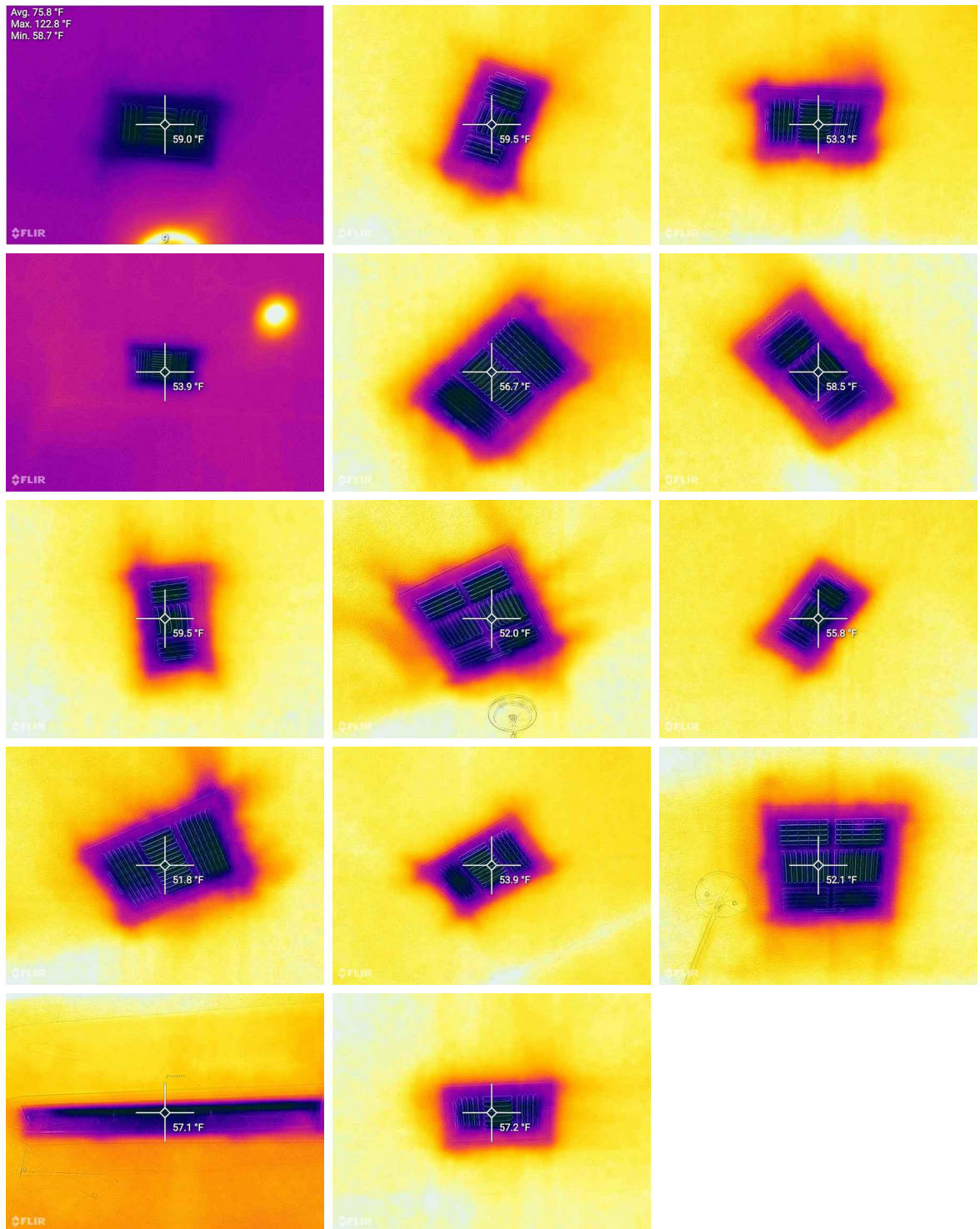
NP=Not Present

D=Deficient

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*Cooling System Was Functioning:*

The cooling system was functioning at the time of inspection. Refer to the inspection report for any further recommendations.



Temperature Difference (Delta) - First Floor: 22°

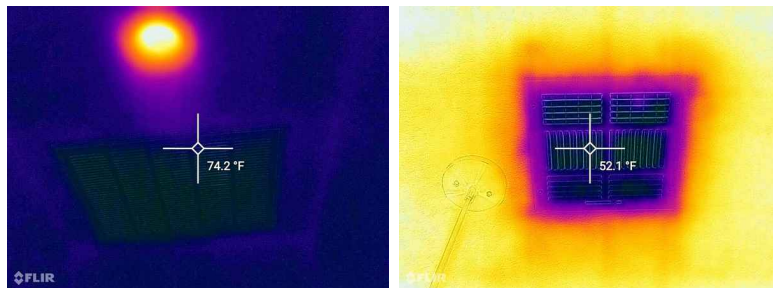
I=Inspected

NI=Not Inspected

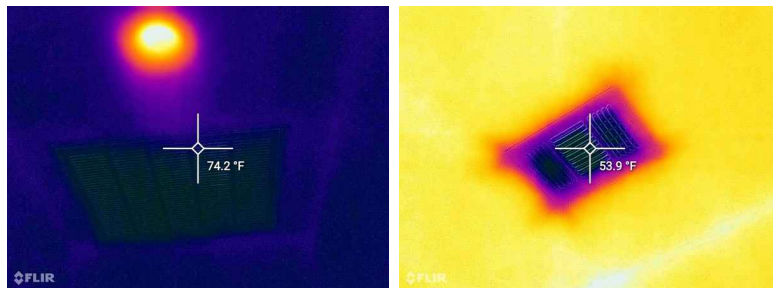
NP=Not Present

D=Deficient

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Temperature Difference (Delta) - Second Floor: 21°



Comments:

No Access to Internal Coils:

There were no removable panels/covers to provide viewing access to the internal evaporator coils.

### 1: Condenser: Insulation Missing/Damaged on Refrigerant Lines

#### 🔴Recommendation

Missing or damaged insulation on refrigerant lines can cause energy loss and condensation. Evaluation and remediation is recommended.

Recommendation: Contact a qualified HVAC professional.



Garage Mini Split

### ☒ ☐ ☐ ☒ C. Duct Systems, Chases, and Vents

Comments:

Return Chases in Ceilings:

Inspector does not access return chases in ceilings.

### 1: Registers: Reduced Air Flow

#### 🔴Recommendation

Multiple Locations

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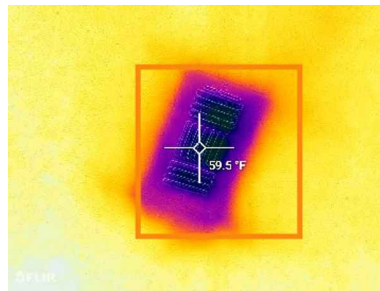
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A supply air register that varies in temperature by more than 5 degrees from the others on the same floor indicates poor performance. Evaluate and remedy as needed.

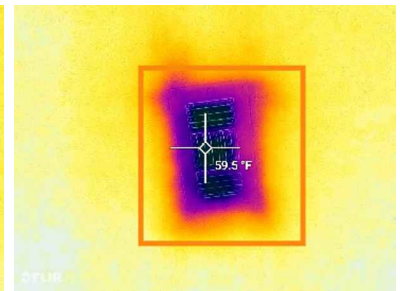
Recommendation: Contact a qualified HVAC professional.



Primary Closet



Primary Bathroom



2nd Floor Hall Bathroom

## 2: Ducts: Defects Present

### 🔴Recommendation

Multiple Locations

In Contact With Each Other -

At the time of inspection one or more defects were present in the duct work. Evaluation and remediation as needed.

Recommendation: Contact a qualified professional.



For Example:Ducts In Contact in the Attic



For Example:Ducts in Contact in the Attic

I=Inspected

NI=Not Inspected

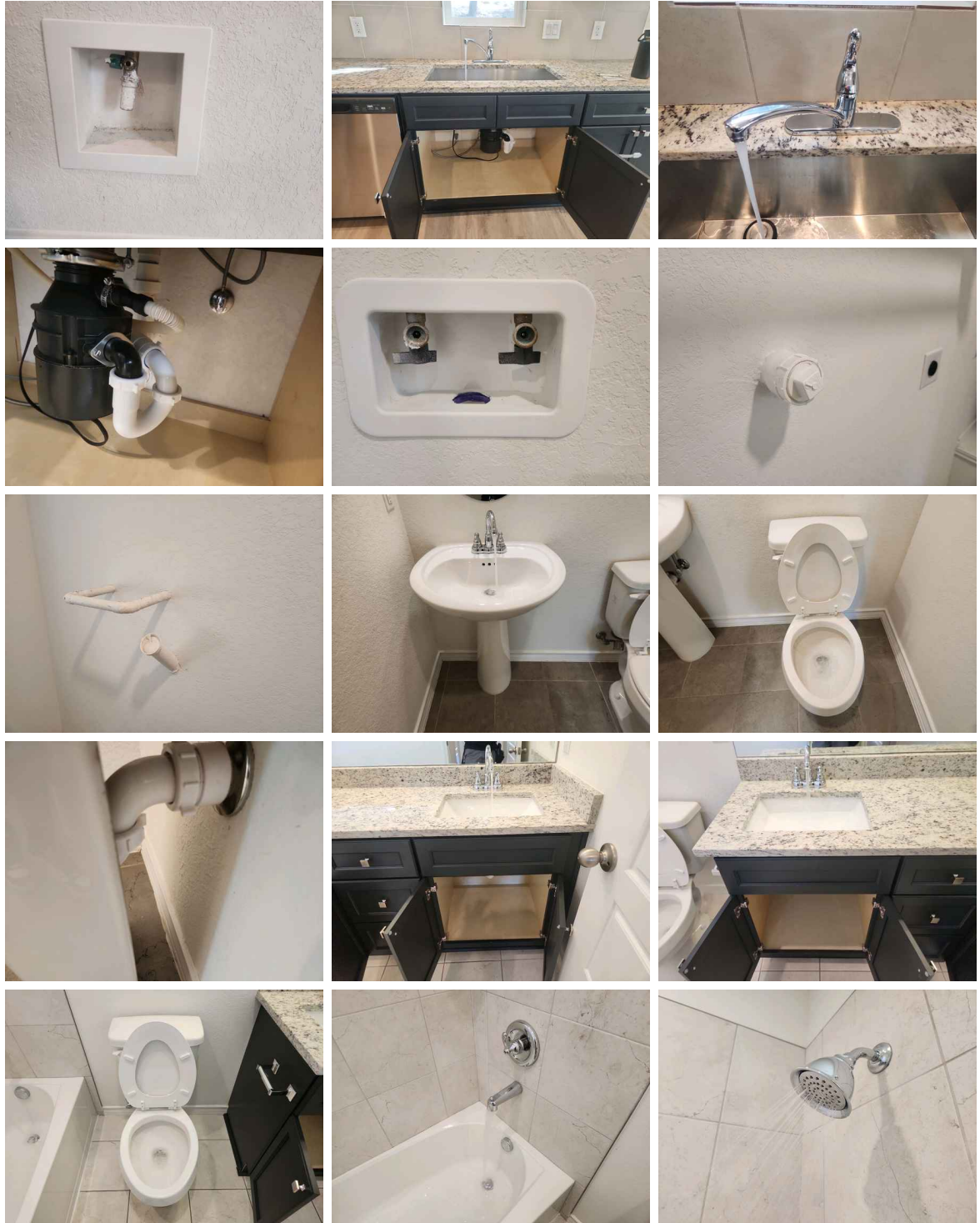
NP=Not Present

D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|

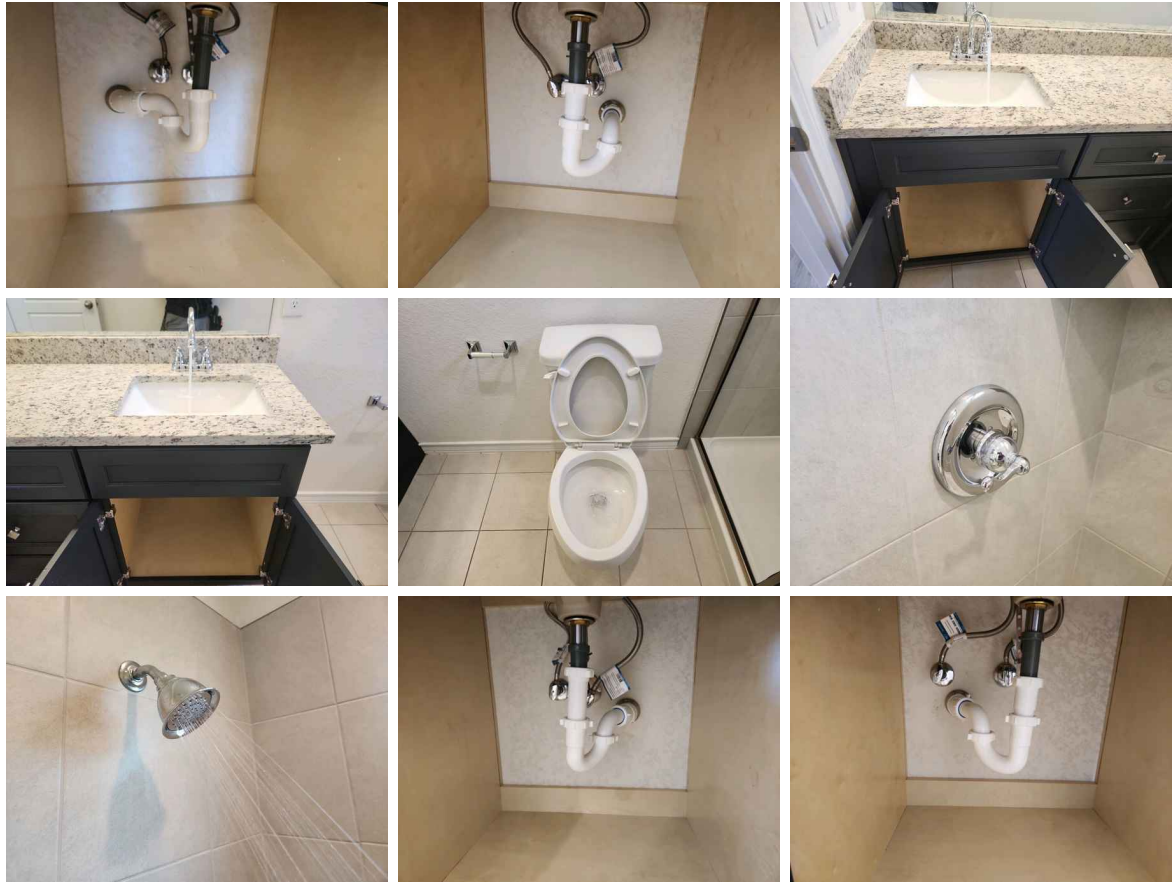
## IV. PLUMBING SYSTEMS

*General Photos of Plumbing Fixtures & Drains:*

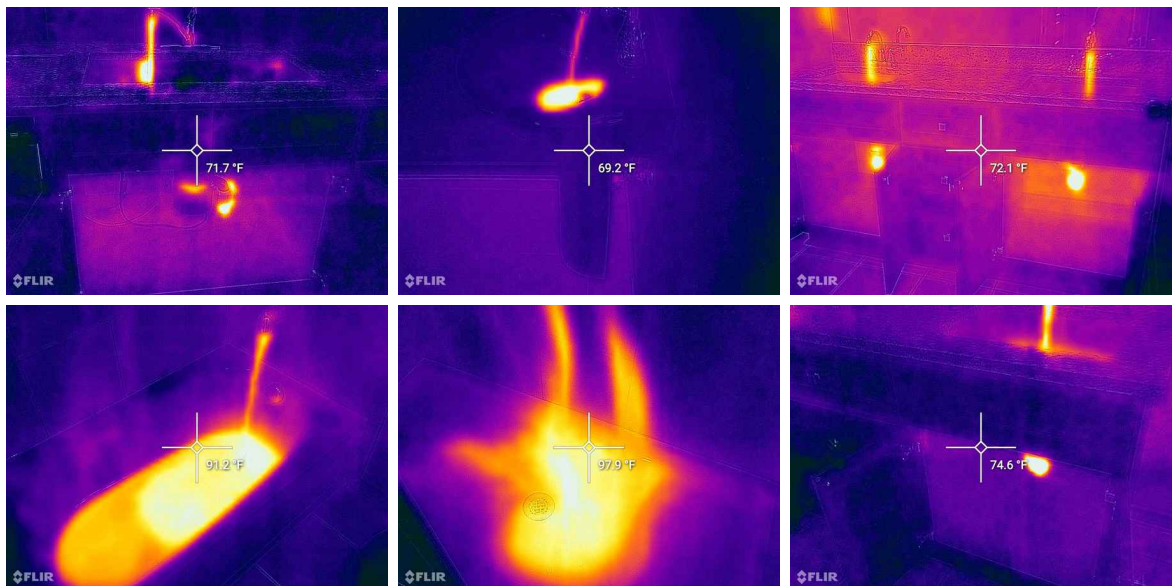


I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

| I | NI | NP | D |
|---|----|----|---|
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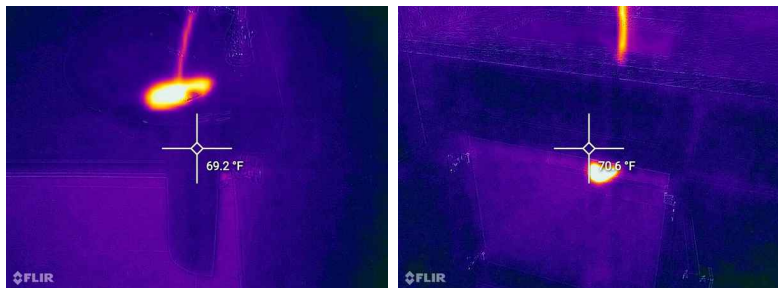


General IR Photos of Plumbing Fixtures & Drains:



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

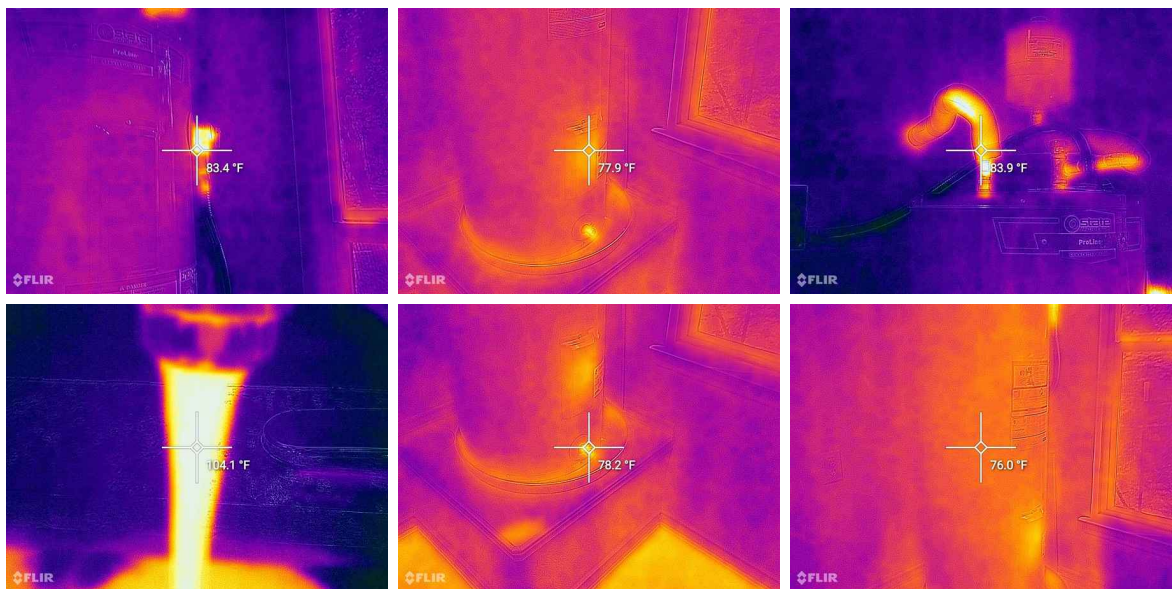
| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|



General Photos of Water Heating Equipment:



General Infrared Photos of Water Heating Equipment:



☒ ☐ ☐ ☒ A. Plumbing Supply, Distribution Systems, and Fixtures

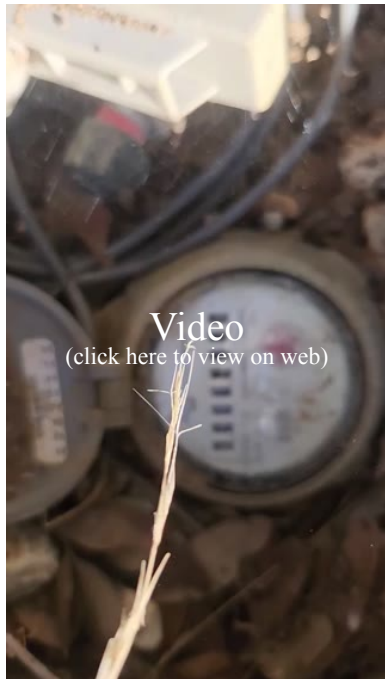
I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|

*Location of Water Meter:* Front Yard Near Street



*Water Meter Video:*



*Location of Main Water Supply Valve:* Control Box Near Meter



*Static Water Pressure Reading:* 80 PSI

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|   |    |    |   |



*Type of Supply Piping Material:* Copper

*Comments:*

*Plumbing in Vacant Houses:*

It is not uncommon for plumbing seals (gaskets, commode seals, etc.) to dry out when a property is vacant for an extended period of time. These dried out seals may crack and leak after a short period of time when placed back into service. Inspectors cannot determine life expectancy of plumbing seals or gaskets.

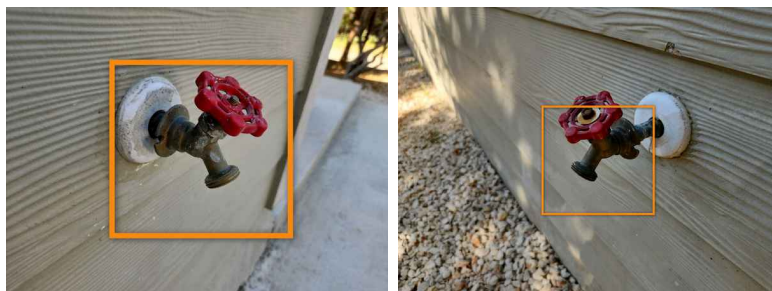
### 1: Hose Bibb (Outdoor Faucet): Backflow Prevention Missing

➔Recommendation

Multiple Locations

Hose bibbs were missing a backflow preventer. These devices prevent contamination of potable water. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



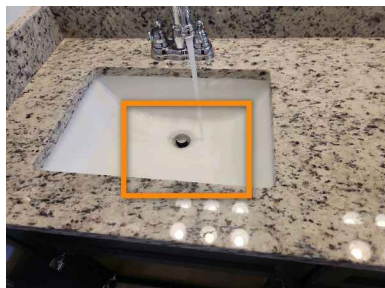
For Example: Left Side

### 2: Fixtures: Drain Stops Missing, Damaged or Ineffective

➔Recommendation

Drain stops had issues that prevented them from working properly. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.



Primary Bathroom Left Side

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

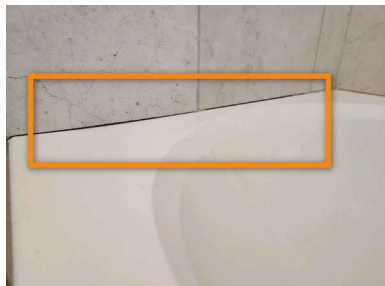
| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|

**3: Shower/Tub: Missing/Deteriorated Caulking or Grout****☞Recommendation**

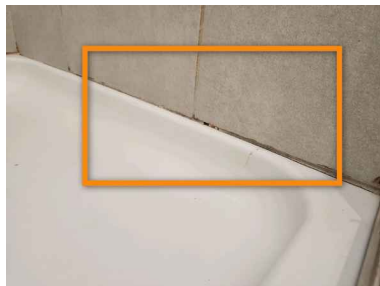
Multiple Locations

Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Hall Bathroom



Primary Bathroom



Primary Bathroom

**4: Supply Piping: Corrosion****☞Recommendation**

Various plumbing lines, fittings or valves were corroded. Evaluation of all plumbing lines and/or remediation by a licensed plumber is recommended.

Recommendation: Contact a qualified plumbing contractor.

Corroded Fittings at Water Heater  
Expansion Tank

- ☒ ☐ ☐ ☐ **B. Drains, Wastes, and Vents**  
*Type of Drain Piping Material:* PVC  
*Comments:*

*Bathtub Overflow Drain Limitation:*

Bathtubs are not filled to the overflow opening, and overflow drains are not performance-tested due to the risk of hidden leakage at concealed connections. The inspection is limited to normal tub operation and conditions visible from accessible areas at the time of inspection.

- ☒ ☐ ☐ ☒ **C. Water Heating Equipment**  
*Energy Source:* Electric

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|



Capacity: 50 Gallons



Location: Washer/Dryer Area



Year of Manufacture: 2022



Comments:

Inspector Does Not Test TPR Valves:

The inspector does not test TPR valves due to safety reasons and risk of damage to the property.

### 1: Tank: Cold Water Shutoff Missing

#### ➡Recommendation

The water heater tanks did not have cold water shutoff valves. Evaluation and remediation is recommended.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|



Water Heater

- ☐ ☐ ☒ ☐ **D. Hydro-Massage Therapy Equipment**  
*Comments:*

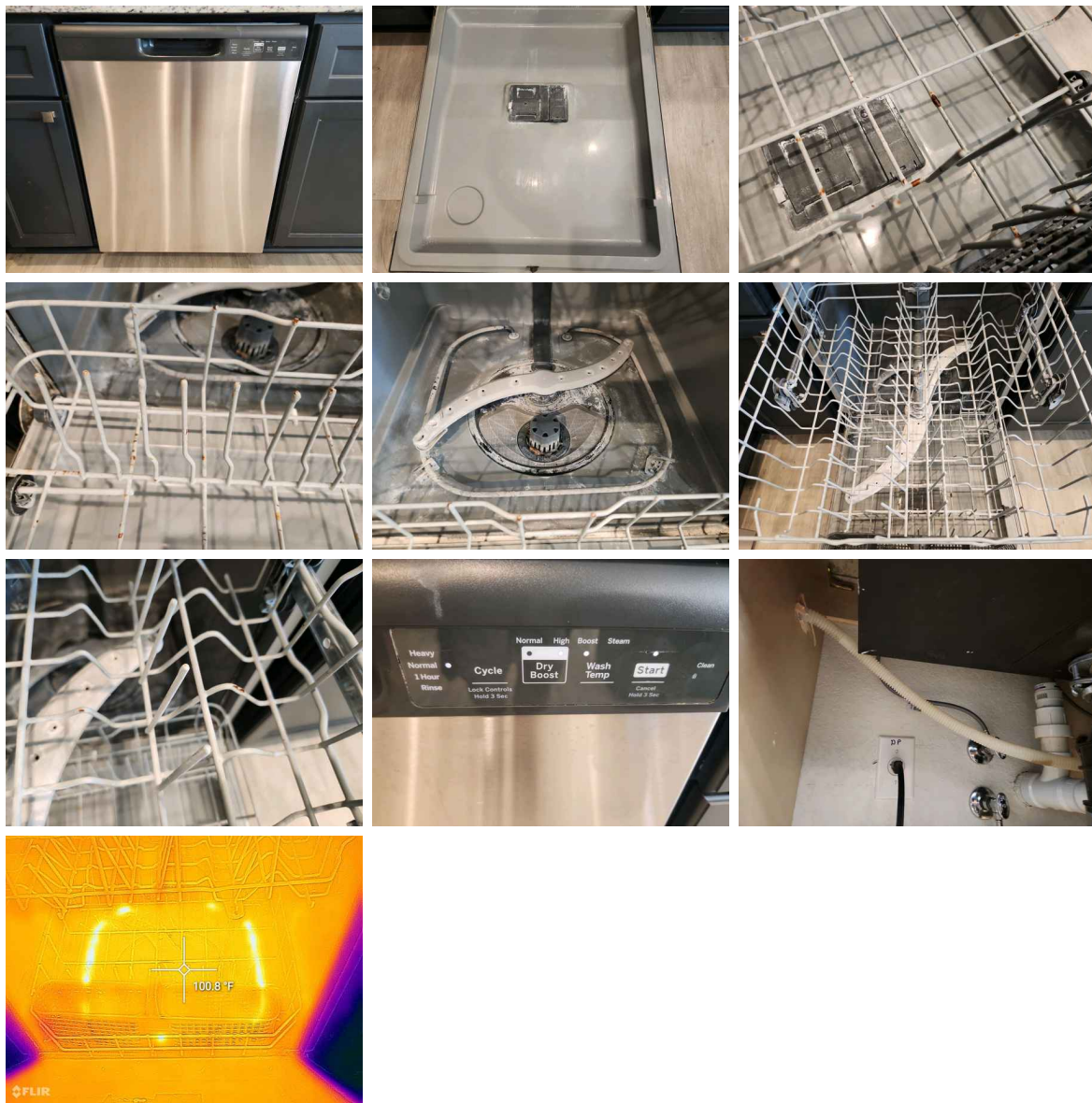
- ☐ ☐ ☒ ☐ **E. Gas Distribution Systems and Gas Appliances**  
*Location of Gas Meter:* N/A  
*Type of Gas Distribution Piping Material:* N/A  
*Comments:*

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|

## V. APPLIANCES

*General Photos of Dishwashers:*



*General Photos of Food Waste Disposers:*

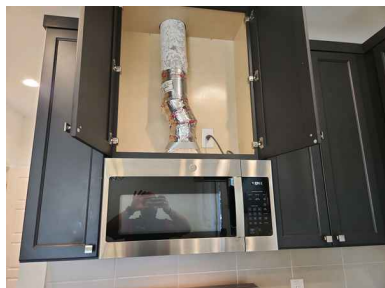


I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|



General Photos of Range Hood/Exhaust Systems:



General Photos of Ranges, Cooktops and/or Ovens:



General Photos of Microwave Ovens:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|



General Photos of Dryer Exhaust System:



☒ ☐ ☐ ☒ **A. Dishwashers**

Comments:

**1: Corroded Dish Racks**

👉Recommendation

Multiple Locations

There was evidence of corrosion on dishwasher racks. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Kitchen

Kitchen

Kitchen

☒ ☐ ☐ ☒ **B. Food Waste Disposers**

Comments:

**1: Debris**

👉Recommendation

The garbage disposal sounded as if it had debris in it. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|



Kitchen

## 2: Corrosion

### ☹️Recommendation

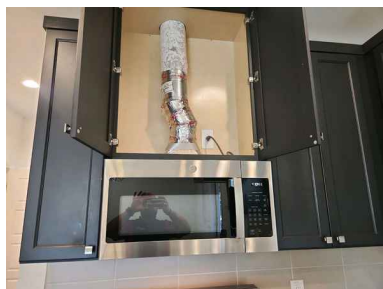
There was evidence of corrosion on or in the disposal. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Kitchen

- ☒ ☐ ☐ ☒ **C. Range Hood and Exhaust Systems**  
*Exhaust Hood Type: Vented*



*Comments:*

## 1: Vents to Exterior and Recirculates

### ☹️Recommendation

When vented to the exterior the exhaust fan should not also recirculate. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.

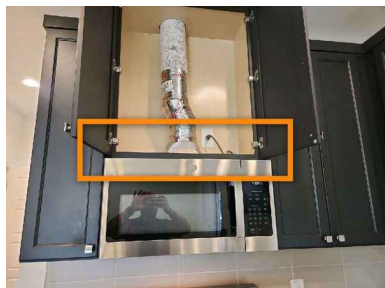
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

| I | NI | NP | D |
|---|----|----|---|
|   |    |    |   |



Kitchen

☒ ☐ ☐ ☒ **D. Ranges, Cooktops, and Ovens**

*Energy Source:* Electric

*Comments:*

**1: Missing Anti-Tip Device**

**▲Safety Hazard**

There was no anti-tipping device installed on the oven/range to prevent tipping if the door is climbed on while opened. This is a possible safety hazard. Evaluation and remediation is recommended.

Recommendation: Contact a qualified professional.



Kitchen

☒ ☐ ☐ ☐ **E. Microwave Ovens**

*Comments:*

☒ ☐ ☐ ☐ **F. Mechanical Exhaust Vents and Bathroom Heaters**

*Comments:*

☐ ☐ ☒ ☐ **G. Garage Door Operators**

*Comments:*

*Contact Reversal Test Not Performed:*

The inspector does not perform a contract reversal test for safety reasons and risk of damage to the property.

☒ ☐ ☐ ☐ **H. Dryer Exhaust Systems**

*Comments:*

**I=Inspected**      **NI=Not Inspected**      **NP=Not Present**      **D=Deficient**

| I | NI | NP | D |
|---|----|----|---|
|---|----|----|---|

☐ ☐ ☒ ☐ **I. Other**

*Comments:*