



SUMMARY

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This summary of recommendations and observations is provided for those wanting a brief synopsis of the inspector's findings. This summary only lists observations made at the time of the inspection and is a great tool for assisting you in creating a "to-do" list as a homeowner or in preparing repair list for negotiations during the purchase process. We encourage all of our clients to hire licensed professionals or qualified contractors for any items that are to be addressed from this inspection report. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

2.3.1 C. Roof Covering Materials

DRIP EDGE DEFICIENCIES

MULTIPLE LOCATIONS

Unpainted



Recommendation

Deficiencies with the drip edge were present at the time of inspection. Evaluation and remediation is recommended.

Recommendation

Contact a qualified roofing professional.



For Example: Unpainted Drip Edge Flashings



For Example: Unpainted Drip Edge Flashings

2.4.1 D. Roof Structure and Attic

PULL-DOWN STAIRS/LADDER DEFECTS PRESENT

Screws Used



Recommendation

The pull-down ladder/stairs had one or more defects at the time of inspection. Evaluate and remedy as needed.

Recommendation

Contact a qualified professional.



For Example:Attic Laddered should be mounted with 9d nails or lag bolts not construction screws

2.5.1 E. Walls (Interior and Exterior)

EXTERIOR: SEAL EXTERIOR SURFACES



MULTIPLE LOCATIONS

All Exterior Wall Penetrations, Doors/Windows, Light Fixture(s), Trim Boards, End to End Joints

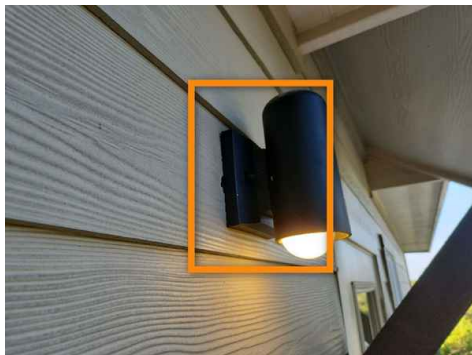
One or more areas were not properly sealed/caulked. Most exterior sealants have a lifespan of 5 to 8 years and should be regularly maintained with that lifespan in mind. Evaluation and remediation is recommended.

Recommendation

Contact a qualified professional.



For Example:Seal Around Windows and Trim Boards



For Example:Seal Around Light Fixtures



For Example:Seal Trim Boards



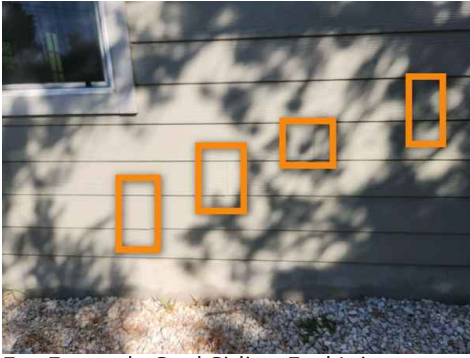
For Example:Seal Around Windows



For Example:Seal Trim Boards



For Example:Seal Door Trim



For Example: Seal Siding End Joints

2.5.2 E. Walls (Interior and Exterior)

EXTERIOR WALLS: SURFACE DEFECTS



Recommendation

Damaged

The exterior wall coverings, such as siding trim, fascia, soffit or eave had defects present. Evaluation and remediation as needed.

Recommendation

Contact a qualified professional.



For Example: Damaged Siding Rear

2.7.1 G. Doors (Interior and Exterior)

DOORS: WEATHERSTRIPPING MISSING OR DAMAGED



Recommendation

MULTIPLE LOCATIONS

Door was missing standard weatherstripping. This can result in significant energy loss and moisture intrusion. Evaluation and remediation is recommended.

Recommendation

Contact a qualified door repair/installation contractor.



Visible Daylight at Side Entry



Primary Bedroom Balcony

2.7.2 G. Doors (Interior and Exterior)

DOOR HARDWARE: MISSING/DAMAGED HARDWARE



Recommendation

MULTIPLE LOCATIONS

One or more doors had missing or damaged hardware. Evaluation and remediation is recommended.

Recommendation
Contact a qualified professional.



Missing Door Stoppers 2nd Floor Bedrooms



Missing Door Stopper Primary Bedroom

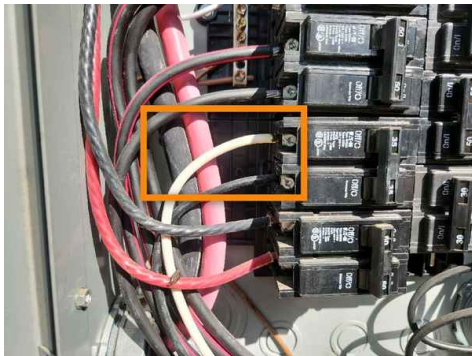
3.1.1 A. Service Entrance and Panels

WHITE WIRES NOT MARKED

MULTIPLE LOCATIONS

White wires connected to breakers were not marked with black or red electrical tape to indicate that they are "hot". Evaluation and remediation is recommended.

Recommendation
Contact a qualified electrical contractor.



Exterior



Garage Electrical Panel

3.1.2 A. Service Entrance and Panels

MISSING KNOCKOUTS

Safety "knockouts" were missing from the panel cover. Evaluation and/or remediation by a licensed electrician is recommended.

Recommendation
Contact a qualified electrical contractor.



Garage Electrical Panel

3.2.1 B. Branch Circuits, Connected Devices, and Fixtures

RECEPTACLES: GFCI PROTECTION INADEQUATE/MISSING

Garage

GFCI protection was inadequate or missing. Current building standards recommend the installation of ground fault protection:

- at all countertop receptacles in the kitchen
- in bathrooms
- in garages
- all exterior receptacles
- in laundry rooms

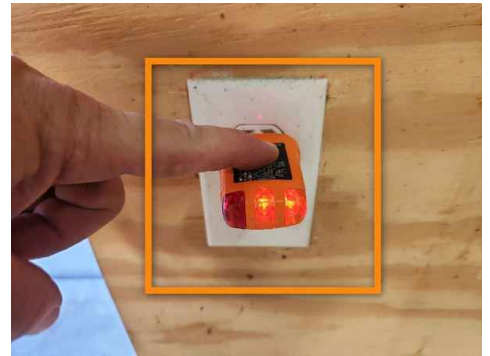
GFCI protection was not present in one or more of these locations. Evaluation and remediation is recommended.

Recommendation

Contact a qualified electrical contractor.



Recommendation



For Example: Garage near the Entry

4.2.1 B. Cooling Equipment

CONDENSER: INSULATION MISSING/DAMAGED ON REFRIGERANT LINES

Missing or damaged insulation on refrigerant lines can cause energy loss and condensation. Evaluation and remediation is recommended.

Recommendation

Contact a qualified HVAC professional.



Recommendation



Garage Mini Split

4.3.1 C. Duct Systems, Chases, and Vents

REGISTERS: REDUCED AIR FLOW

MULTIPLE LOCATIONS

A supply air register that varies in temperature by more than 5 degrees from the others on the same floor indicates poor performance. Evaluate and remedy as needed.

Recommendation

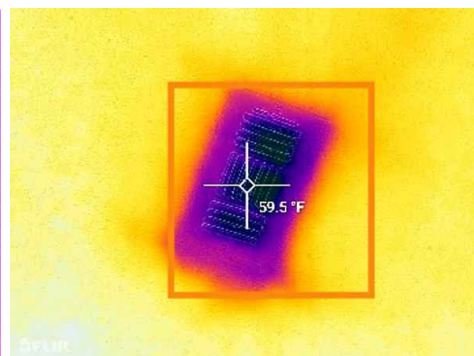
Contact a qualified HVAC professional.



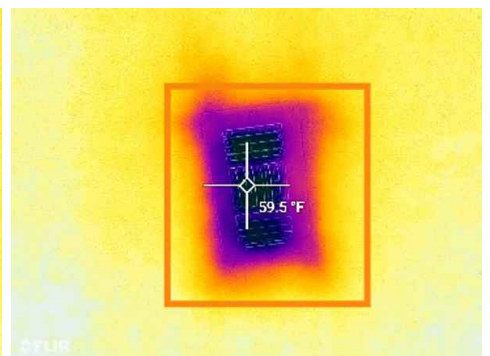
Recommendation



Primary Closet



Primary Bathroom



2nd Floor Hall Bathroom

4.3.2 C. Duct Systems, Chases, and Vents

DUCTS: DEFECTS PRESENT

MULTIPLE LOCATIONS

In Contact With Each Other

At the time of inspection one or more defects were present in the duct work. Evaluation and remediation as needed.

Recommendation

Contact a qualified professional.



Recommendation



For Example:Ducts In Contact in the Attic



For Example:Ducts in Contact in the Attic

5.1.1 A. Plumbing Supply, Distribution Systems, and Fixtures

HOSE BIBB (OUTDOOR FAUCET): BACKFLOW PREVENTION MISSING

MULTIPLE LOCATIONS

Hose bibbs were missing a backflow preventer. These devices prevent contamination of potable water. Evaluation and remediation is recommended.

Recommendation

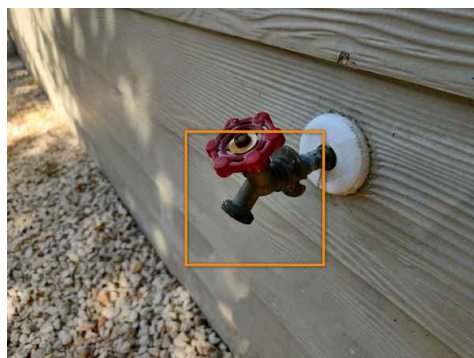
Contact a qualified plumbing contractor.



Recommendation



For Example: Left Side



5.1.2 A. Plumbing Supply, Distribution Systems, and Fixtures

FIXTURES: DRAIN STOPS MISSING, DAMAGED OR INEFFECTIVE

Drain stops had issues that prevented them from working properly. Evaluation and remediation is recommended.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



Primary Bathroom Left Side

5.1.3 A. Plumbing Supply, Distribution Systems, and Fixtures

SHOWER/TUB: MISSING/DETERIORATED CAULKING OR GROUT



MULTIPLE LOCATIONS

Evaluation and remediation is recommended.

Recommendation

Contact a qualified professional.



Hall Bathroom



Primary Bathroom



Primary Bathroom

5.1.4 A. Plumbing Supply, Distribution Systems, and Fixtures



SUPPLY PIPING: CORROSION

Various plumbing lines, fittings or valves were corroded. Evaluation of all plumbing lines and/or remediation by a licensed plumber is recommended.

Recommendation

Contact a qualified plumbing contractor.



Corroded Fittings at Water Heater
Expansion Tank

5.3.1 C. Water Heating Equipment

TANK: COLD WATER SHUTOFF MISSING



The water heater tanks did not have cold water shutoff valves. Evaluation and remediation is recommended.

Recommendation
Contact a qualified plumbing contractor.



Water Heater

6.1.1 A. Dishwashers **CORRODED DISH RACKS** MULTIPLE LOCATIONS

Recommendation

There was evidence of corrosion on dishwasher racks. Evaluation and remediation is recommended.

Recommendation
Contact a qualified professional.



Kitchen



Kitchen



Kitchen

6.2.1 B. Food Waste Disposers **DEBRIS**

Recommendation

The garbage disposal sounded as if it had debris in it. Evaluation and remediation is recommended.

Recommendation
Contact a qualified professional.



Kitchen

6.2.2 B. Food Waste Disposers **CORROSION**

Recommendation

There was evidence of corrosion on or in the disposal. Evaluation and remediation is recommended.

Recommendation
Contact a qualified professional.



Kitchen

6.3.1 C. Range Hood and Exhaust Systems

VENTS TO EXTERIOR AND RECIRCULATES

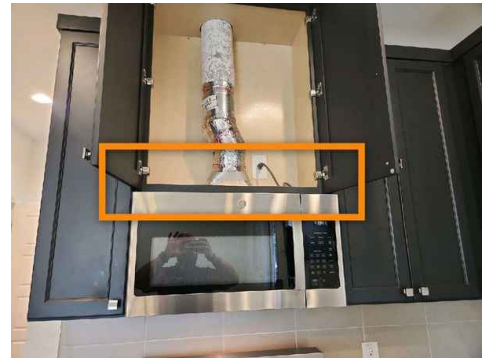
When vented to the exterior the exhaust fan should not also recirculate. Evaluation and remediation is recommended.

Recommendation

Contact a qualified professional.



Recommendation



Kitchen

6.4.1 D. Ranges, Cooktops, and Ovens

MISSING ANTI-TIP DEVICE

There was no anti-tipping device installed on the oven/range to prevent tipping if the door is climbed on while opened. This is a possible safety hazard. Evaluation and remediation is recommended.

Recommendation

Contact a qualified professional.



Safety Hazard



Kitchen