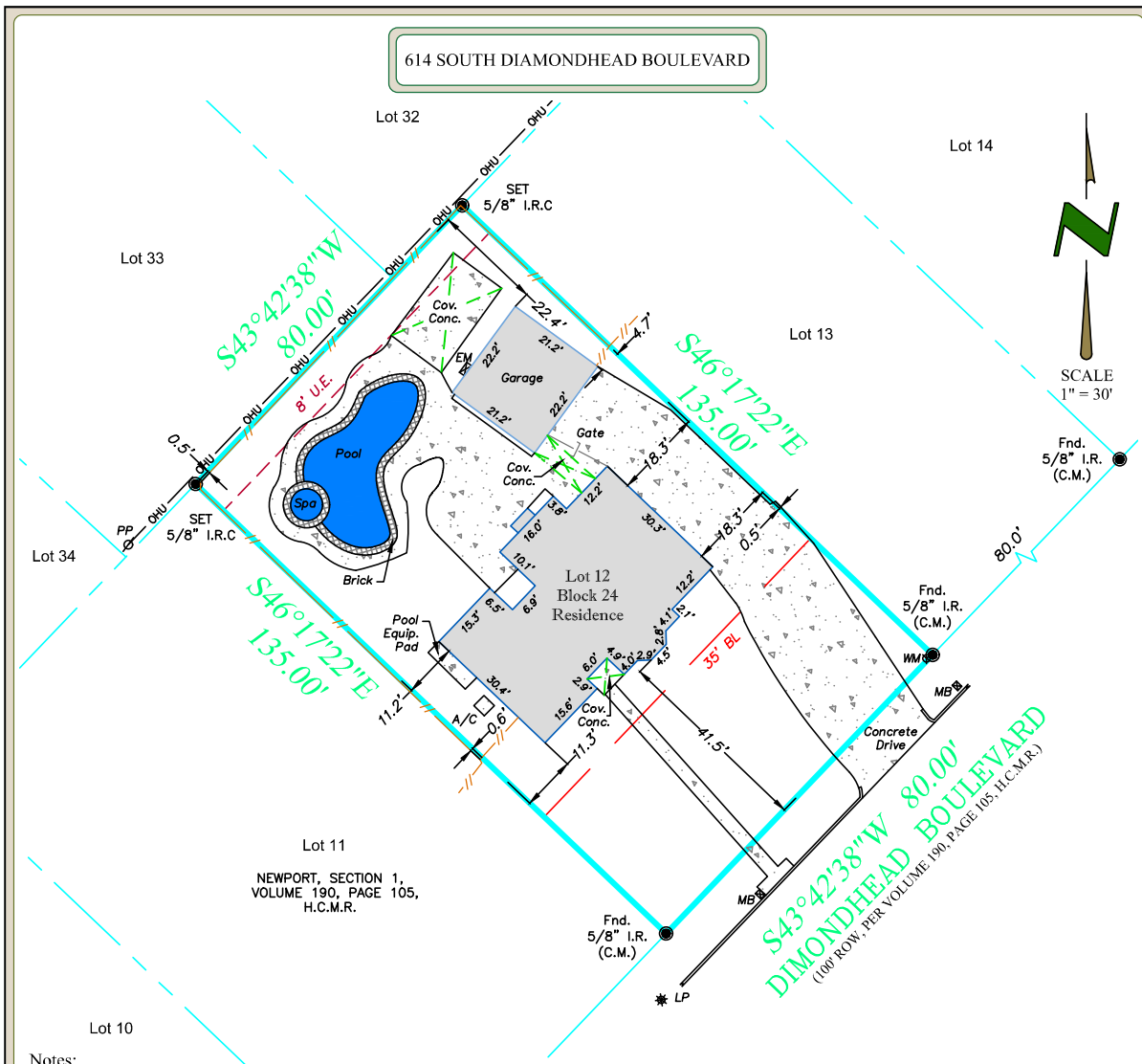




Notes:

- Subject to drainage easement extending 15 feet on each side of the centerline of any and all natural drainage courses per the Regulations of Harris County, Texas for the Approval and Acceptance of Infrastructure. No natural drainage courses were observed during our survey.
- Surveyor did not abstract subject property. This survey was prepared with information contained in title commitment GF No. 74760-GAT76 of Fidelity National Title Company, Effective date of June 10, 2019, Issued date of July 05, 2019, and is subject to the limitations of that commitment.
- Subject to easements and setbacks as per restrictions recorded in Volume 190, Page 105, of the Map Records of Harris County, Texas; and County Clerk's File No(s). D588103, D854348, R848995, T474701, U152059, U966542, V347130, V541119, V559875, W042561, Y979456, Y993343, 20090099756, 20090266434, 20090312143, 20090312144, 20110154280, 20110497233, 20110497234, 20110497235, 20110497236, 20110497237, 20110497238, 20110497239, 20110531990, 20110531991, 20110544236, 20120046809, 20120076895, 20120276977, 20120276979, 20120276980, 20130447269, 20130532922, 20130540112, 20160225841, 20160225842, 20160239819, 20160249883, 20160546688, 2017-180955, 2017-236064, 2017-304917, 2017-304918, 2018-292870, 2018-292871, 2018-292872, 20180425018 and 20180432214 of Official Public Records of Harris County, Texas.
- Terms, Conditions and Stipulations in the Agreement recorded, County Clerk's File No. U217795, Official Records, Harris County, Texas.

PROPERTY DESCRIPTION:

LOT TWELVE (12) IN BLOCK TWENTY-FOUR (24) OF NEWPORT, SECTION ONE (1), A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 190 AT PAGE 105 OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

The undersigned have/has received and reviewed a copy of this survey. X _____ X _____ Date: _____	Date :	07/15/19	LEGEND - C.M. = Controlling Monument; Fnd. = Found; I.R. = Iron Rod; LP = Iron Pipe OHE = Overhead Electric; I.R.S. = Set Iron Rods 1/2" diameter with yellow cap stamped "Arthur Surveying Company". All found iron rods are 1/2" diameter unless otherwise noted. (fence/post) — x — centerline — (overhead electric) — ohe — FLOOD NOTE: BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE "X". THIS PROPERTY WAS FOUND IN HARRIS COUNTY UNINCORPORATED, COMMUNITY NUMBER 4802870540L, DATED JUNE 18, 2007. SURVEYORS CERTIFICATION I hereby certify that this map represents a survey made upon the ground under my supervision. To the best of my knowledge, this survey is based on the available record and physical evidence obtained at the time of survey and that there are no visible discrepancies, deed line conflicts, encroachments of record, protrusions, overlapping of improvements, easements or roadways except as shown hereon. The bearings shown hereon are based on the above referenced recorded map or plat unless otherwise noted.
	ASC No.	5363	
	Buyer:	SEE NOTES	
	Client	GREAT AMERICAN - HUMBLE	
	G.F. No.	74760-GAT76	
	Drafter/Field Crew	C.B. / T.C	07/15/19

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