

GF NO. ATCH-09-ATCH25147488ML ALAMO TITLE
ADDRESS: 15890 FOUR HILLS ROAD
WILLIS, TEXAS 77378
BORROWER: JEREMIAH BRISCOE AND
KARLEY ERIN BRISCOE

LOT 3, BLOCK 8 REPUBLIC GRAND RANCH, SECTION 5

ACCORDING TO THE MAP OR PLAT THEREOF RECORDED
IN CABINET Z, SHEET 7788 OF THE MAP RECORDS
OF MONTGOMERY COUNTY, TEXAS

NOTE: MAY BE SUBJECT TO DEED RESTRICTIONS AND/OR
ADDITIONAL GOVERNMENTAL BUILDING REQUIREMENTS.

NOTE: EASEMENT AS PER C.F. NO. 8834547.

NOTE: EASEMENT AS PER C.F. NO. 2000-107348.

NOTE: EASEMENT AS PER C.F. NOS. 2020095332, 2020095333, 2020095334 AND
2020095335.

NOTE: DEDICATION OF TEMPORARY TURN-AROUND AS PER C.F. NOS. 2020098992 AND
2020098993.

NOTE: DEDICATION OF DRAINAGE EASEMENT AS PER C.F. NO. 2020102355.



THIS PROPERTY DOES NOT LIE WITHIN THE
100 YEAR FLOOD PLAIN AS PER FIRM
PANEL NO. 48339C 0250 G
MAP REVISION: 08/18/2014
ZONE X
BASED ONLY ON VISUAL EXAMINATION OF MAPS.
INACCURACIES OF FEMA MAPS PREVENT EXACT
DETERMINATION WITHOUT DETAILED FIELD STUDY.

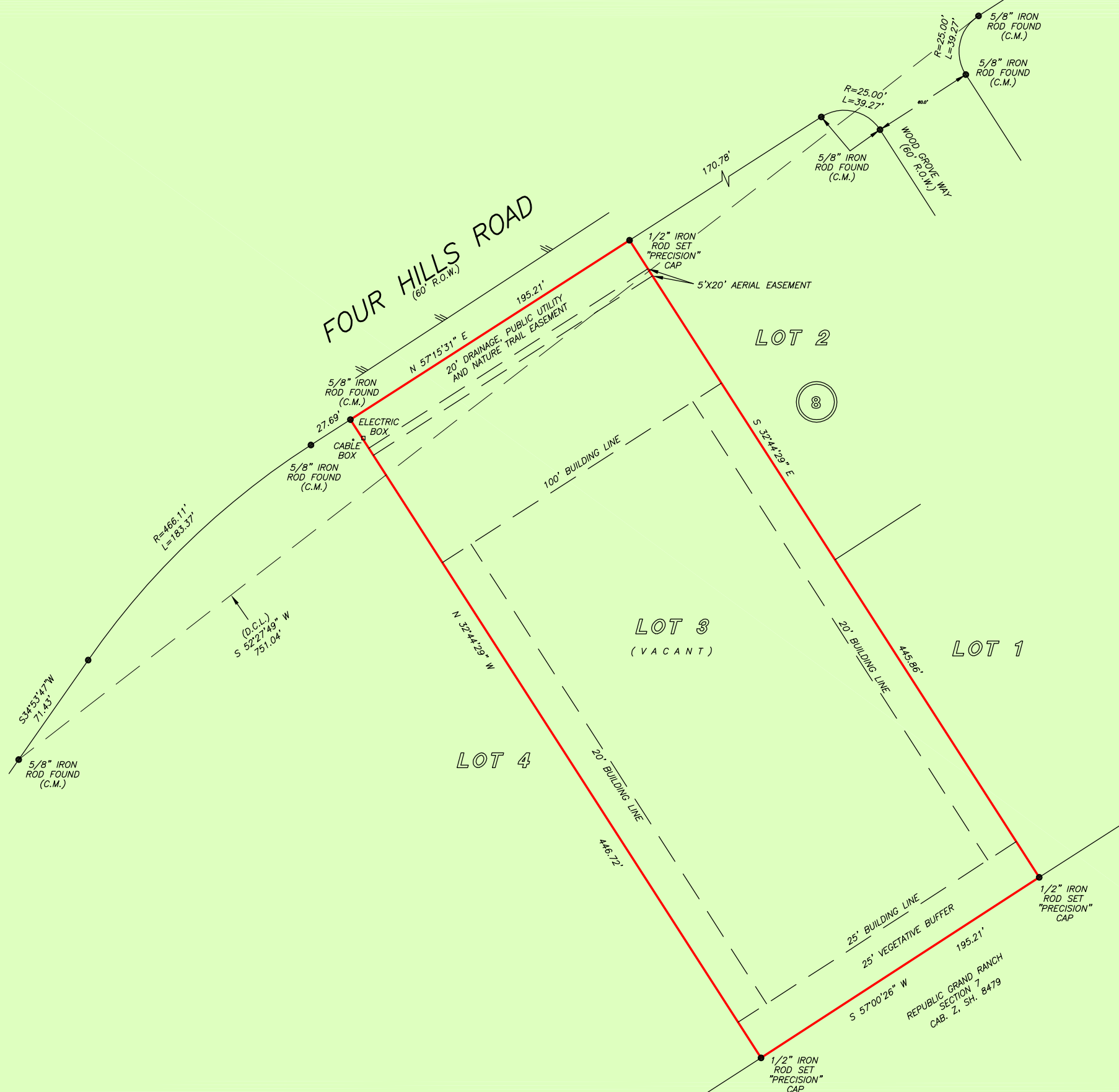
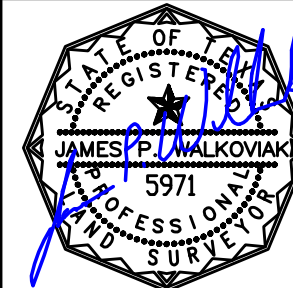
A SUBSURFACE INVESTIGATION
WAS BEYOND THE SCOPE OF THIS SURVEY

D.C.L. = DIRECTIONAL CONTROL LINE
RECORD BEARING: CAB. Z, SH. 7788, M.C.M.R.

DRAWN BY: PR

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
ON THE GROUND, THAT THIS PLAT CORRECTLY
REPRESENTS THE FACTS FOUND AT THE
TIME OF SURVEY AND THAT THERE ARE NO
ENCROACHMENTS APPARENT ON THE GROUND,
EXCEPT AS SHOWN HEREON. THIS SURVEY IS
CERTIFIED FOR THIS TRANSACTION ONLY AND
ABSTRACTING PROVIDED IN THE ABOVE
REFERENCED TITLE COMMITMENT WAS RELIED
UPON IN PREPARATION OF THIS SURVEY.

JAMES P. WALKOVIK
PROFESSIONAL LAND SURVEYOR
NO. 5971
JOB NO. 2025-10329
DECEMBER 03, 2025



SCALE: 1" = 70'



MARTHA LOVE
713-993-2900



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