

SURVEY DESCRIPTION
2.195 ACRES
ASHBURN DAVIS SURVEY, A - 206
ANGELINA COUNTY, TEXAS

Being all that certain tract or parcel of land lying and situated in Angelina County, Texas, being located in the **ASHBURN DAVIS SURVEY, ABSTRACT NO. 206**, being all the residual portion of that certain called 9 (nine) acre tract, conveyed in Warranty Deed with Vendor's Lien from Carolyn Faye Simmons et al to Chance Holden Johnson, recorded in the Official Public Records of Angelina County, Texas (OPRACT) in Document Number 2019-00385548, dated August 23, 2019, to which reference is hereby made for any and all purposes and said tract being described by metes and bounds as follows to wit;

Beginning at the Northwest corner of the reference tract, said point being a South corner of that certain called 7975.38 acre tract conveyed to Crown Pine Timber, recorded in the OPRACT in Volume 768 on Page 541 as Tract 4, said point being located on the East boundary line of the residue of that certain called 6 acre tract conveyed to Victoria Gandy et al, recorded in said records in Document Number 2016-00338653, said point being a 5 in. x 5 in. concrete monument found for corner and the Point of Beginning of the herein described tract and from which a 22 in. Pine found marked 'x' bears N29°52'W – 14.9 ft., a 20 in. Pine found marked 'x' bears N02°43'W – 17.8 ft. and a 12 in. Pine found marked 'x' bears S72°41'E – 4.8 ft;

Thence N60°17'49"E, (called N60E), with the North boundary line of referenced tract and a South boundary line of said Crown Pine tract, at a distance of 267.45 feet, the Northwest corner of that certain called 6.051 acre tract conveyed to Angela Clark Webb et al, recorded in the OPRACT in Volume 1936 on Page 221, a ½ in. iron rod capped Texas Survey Associates, found for corner;

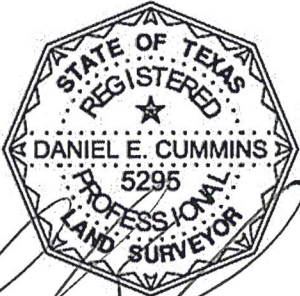
Thence S21°58'27"E, across referenced tract and with the West boundary line of said 6.051 acre tract, at a distance of 389.58 feet, pass on line a ½ in. iron rod found for reference on the North side of a County Road locally known as Harley-Golden Road and at a total distance of 419.63 feet, intersect the South boundary line of referenced tract, same being the North Right-of-way line of the Angelina & Neches River Railroad, (abandoned), a point for corner approximately 4.5 feet South of the centerline of said county road;

Thence continuing with the South boundary line of referenced tract and the North boundary line of said abandoned railroad, in curve to the right, concave to the Northwest, having a radius of 2450.00 feet, along said curve through a central angle of 04°55'01", having a long chord bearing and distance of S69°19'15"W – 210.18 ft., at an arc distance of 210.25 feet, the Southwest corner of referenced tract, a point for corner approximately 5.3 ft. North of the paved centerline of Harley-Golden Road;

Thence N30°13'01"W, (called N30W), with the West boundary line of referenced tract and with the East boundary line of the aforesaid referred to Gandy tract, at a distance of 20.00 feet, pass on line a ½ in. iron rod found for reference corner and at a total distance of 382.87 feet, the Point of Beginning of the herein described tract and found to contain 2.195 acres more or less and of which 0.13 acres lie within the margins of Harley-Golden Road..

The bearings of this survey are based on the adjoining boundary line of that certain called 7975.38 acre tract as recorded in Volume 768 on Page 541 of the OPRACT.

I, Daniel E. Cummins, a Registered Professional Land Surveyor, do hereby certify these notes were made as the result of an actual survey performed by me or under my supervision and are true and correct to the best of my knowledge. All iron rods set bear a plastic yellow cap marked Goodwin Lasiter. See Plat of even date.



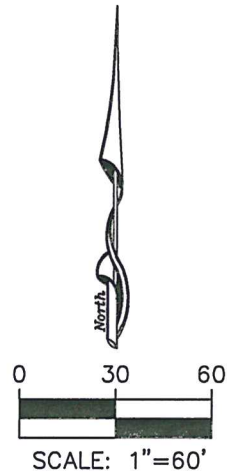
Daniel E. Cummins R. P. L. S. 5295
August 27, 2024

~MORTGAGE LOAN SURVEY~

PLAT SHOWING A SURVEY OF 2.195 ACRES OF LAND LYING AND SITUATED IN ANGELINA COUNTY, TEXAS, BEING LOCATED IN THE ASHBURN DAVIS SURVEY, A-206, BEING ALL THE RESIDUAL PORTION OF THAT CERTAIN CALLED 9 (NINE) ACRE TRACT, CONVEYED IN WARRANTY DEED WITH VENDOR'S LIEN FROM CAROLYN FAYE SIMMONS et al TO CHANCE HOLDEN JOHNSON, RECORDED IN THE OFFICIAL PUBLIC RECORDS OF ANGELINA COUNTY, TEXAS IN DOCUMENT NUMBER 2019-00385548, DATED AUGUST 23, 2019.

CROWN PINE TIMBER
CALLED 7975.38 ACRES
"TRACT 4"
VOL. 768, PG. 541
OPRACT

(BASE BEARING) (CALLED N60E)
N 60°17'49" E 267.45'



2.195 Acres

0.13 Acre WITHIN HARLEY-GOLDEN ROAD

CHANCE HOLDEN JOHNSON
RESIDUE OF CALLED 9 ACRES
DOC. NO. 2019-00385548
OPRACT

ANGELA CLARK WEBB et al
CALLED 6.051 ACRES
VOL. 1936, PG. 221
OPRACT

P.O.B.

CMF(5"x5")
22"PINE "X" BEARS
N29°52'W 14.9'
20"PINE "X" BEARS
N02°43'W 17.8'
12"PINE "X" BEARS
S72°41'E 4.8'

VICTORIA GANDY et al
RESIDUE OF CALLED 6 ACRES
DOC. NO. 2016-00338653
OPRACT

LEGEND

FOUND

- CMF Concrete Monument
- IRF 1/2" Iron Rod
- OPFC Point For Corner
- E— Overhead Electric Line
- X— Barbed Wire Fence
- //— Barbed Wire Fence
- AC Air Conditioner
- EM Electric Meter
- PPL Power Pole
- ST Septic Tank/System
- WM Water Meter

P.O.B. Point Of Beginning
TSA Texas Survey Associates
OPRACT Official Public Records of Angelina County, Texas

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	04°55'01"	2450.00'	210.25'	S69°19'15"W	210.18'

EXCLUSIVELY TO:

BUYER(S): CHANCE JOHNSON AND KATELYN JOHNSON

SELLER(S): N/A

LENDER: COMMERCIAL BANK OF TEXAS, N.A.

TITLE COMPANY: SECURITY & GUARANTY

PROPERTY ADDRESS: 2295 Harley Golden Road,
Huntington, Texas

BASE BEARING: This survey is based on the adjoining
boundary line of that certain called
7975.38 acre tract as recorded in
Volume 768 on Page 541 of the OPRACT

EASEMENTS: This survey was completed without the
benefit of a title commitment, other
easements or encumbrances, than shown,
may exist in this area.

ACCESS: This property has legal access to public
road(s) as shown

CERTIFICATION: I, DANIEL E. CUMMINS, A REGISTERED PROFESSIONAL
LAND SURVEYOR, DO HEREBY CERTIFY THIS PLAT WAS MADE AS A
RESULT OF AN ACTUAL SURVEY MADE UNDER MY SUPERVISION ON THE
GROUND 8-27-24. ALL CORNERS WERE FOUND OR SET AS INDICATED.
NO EASEMENT OR PROTRUSION VISIBLE ON THE GROUND EXIST OTHER
THAN AS SHOWN OR STATED, TO THE BEST OF MY KNOWLEDGE.

GLS
1609 S. Chestnut, Suite 202
Lufkin, Texas 75901
(936) 637-4900

TBPLS FIRM REGISTRATION #10110900

Daniel E. Cummins, R.P.L.S. 5295
Lufkin, Texas August 27, 2024



(see attached metes & bounds description) H:\256\256357\256357-MLS.DWG