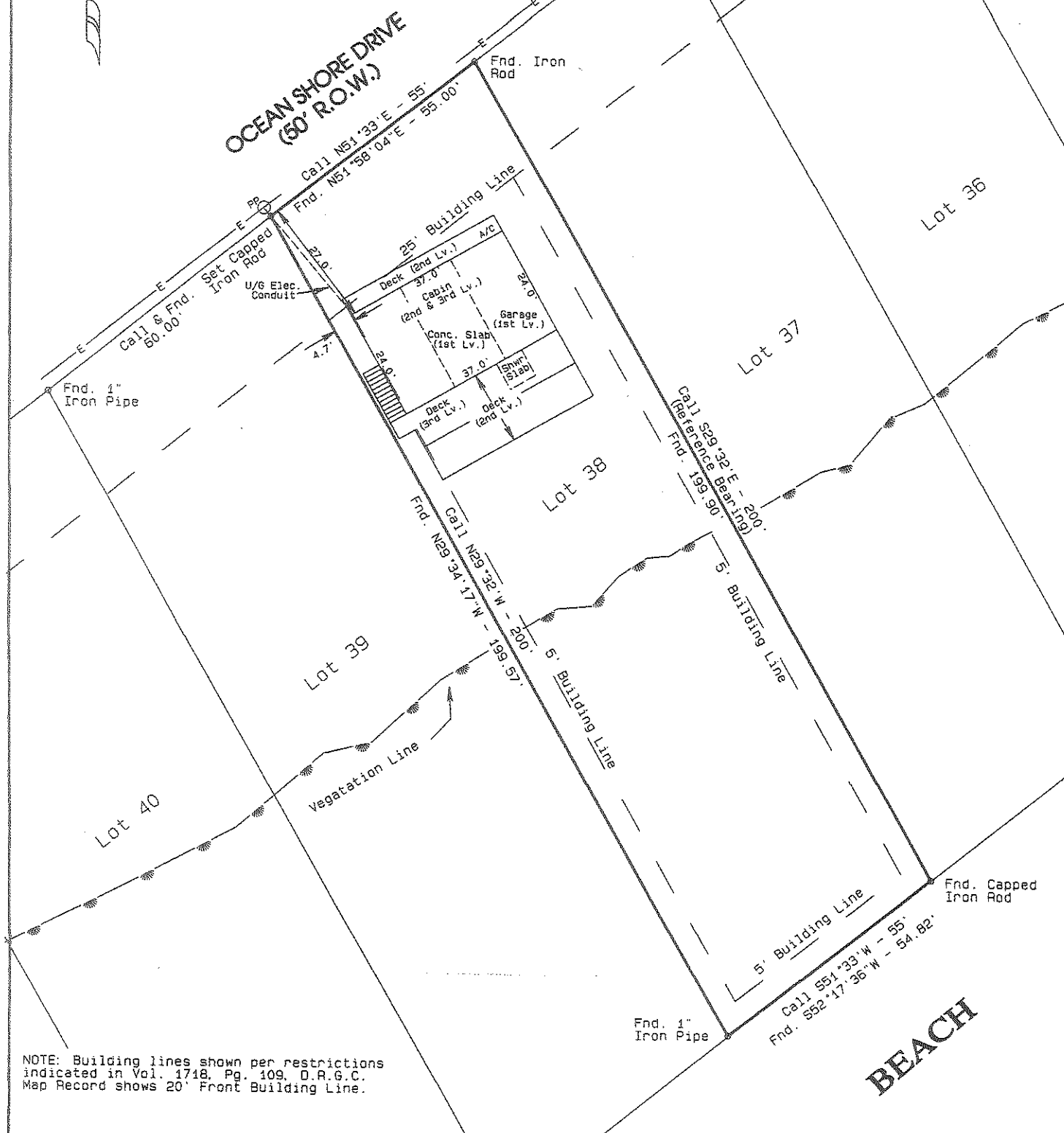




SCALE: 1" = 30'

OCEAN SHORE DRIVE
(50' R.O.W.)

NOTE: Building lines shown per restrictions indicated in Vol. 1718, Pg. 109, D.R.G.C. Map Record shows 20' Front Building Line.

PURCHASER: J. Paul Stevens

ADDRESS: 112 Ocean Shore Drive, Crystal Beach, TX 77650

LEGAL DESCRIPTION: Lot 38, Ocean Shore Addition, Sec. 1, Vol. 2, Pg. 85 M.R.

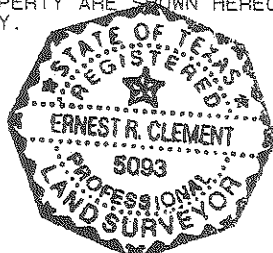
SURVEY: Abraham Van Nordstrand ABSTRACT: 203 COUNTY: Galveston, TEXAS

FLOOD ZONE: "V18" (PER FLOOD INSURANCE RATE MAP, FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY NO. 485470, PANEL NO. 0180 F, DATE OF FIRM July 5, 1993)
LOCATION OF PROPERTY DETERMINED BY SCALE ON MAP. CLEMENT SURVEYING CO. DOES NOT WARRANT NOR SUBSCRIBE TO THE ACCURACY OF FEMA MAPS)

I, ERNEST R. CLEMENT, DO HEREBY CERTIFY TO THE OWNERS AND CHICAGO TITLE INSURANCE CO. THAT THIS SURVEY WAS MADE ON THE SURFACE OF THE GROUND THIS DATE AND IS CORRECT, AND EXCEPT AS SHOWN HEREON, THERE ARE NO OVERLAPS OR ENCROACHMENTS OF IMPROVEMENTS, AND THAT ALL EASEMENTS OR RIGHT-OF-WAYS AS SUPPLIED BY THE TITLE COMPANY (IN GF No. 000423766) AFFECTING SAID PROPERTY ARE SHOWN HEREON, AND PROPERTY HAS ACCESS TO AND FROM A DEDICATED ROADWAY.

DATE SURVEYED

2/08/06



CLEMENT
Surveying Co.

466 W. Washington
P.O. Box 752
China, TX 77613
(409) 752-5789

ERNEST R. CLEMENT - REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5093

FILE NO. 06003