

Cornerstone Inspection

Property Inspection Report



1301 Los Osos Valley Rd, Los Osos, CA 93402

Inspection prepared for: Todd Davidson

Real Estate Agent: David Cohune - Richardson Sotheby's International Realty

Date of Inspection: 1/30/2026 Time: 9:00 AM

Age of Home: 1952 Size: 4276

Weather: Clear

Order ID: 13104

Inspector: Peter Ruiz

CREIA #167160

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INTRODUCTION

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. After you have reviewed your report, please give us a call if you have any questions you would like us to address. Remember, once the inspection is completed and the report is delivered, we will remain available to provide more information throughout the entire closing process.

The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, because we recognize that our clients' time is valuable, and do not wish to provide you with an unnecessarily lengthy report about components that are not in need of service.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report are intended to illustrate an example of the issue being reported. More issues or defects may exist that could be discovered by a licensed specialist retained to evaluate the specific issue.

Locations of various components identified within the report such as 'left', 'right', 'front', or 'rear' of the property are described from the perspective of facing the front door. Please use the photo on the cover page of this report to define the 'front' of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

REPORT SUMMARY

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct, or items to which I would like to draw extra attention. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report, as the summary alone does not explain all of the issues. All repairs should be done by a licensed and bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for any work done on the property.

On this page you will find a brief summary of any critical concerns of the inspection, as they relate to health and safety, or if they may be costly to repair. An example could be exposed live electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report. Basic maintenance or recommended upgrade items will be in BLUE. Informational comments will be in typical black lettering. It is important to read your entire report. For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the building has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist. Depending upon your needs and those of who will be on this property, other items listed in the body of the report may also be a concern for you; be sure to read your inspection report in its entirety. Note: If there are no comments in **RED** below, we located no **CRITICAL** systems or safety concerns with this property at the time of inspection.

Exterior

Page 10 Item: 6	Electrical Components	6.3. The exterior outlets are functional, but should be upgraded to have ground-fault protection.
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Electrical Service Panels

Page 22 Item: 3	Sub Panel #2 Observations	3.7. There are voids or open knockouts in the cover of the electrical sub panel that should be covered.
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Bedrooms

Page 26 Item: 3	Bedroom 3	3.2. There is no smoke alarm, and although one may not be mandated it is strongly recommended.
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Garages

Page 35 Item: 1	Double-Car Garage	1.9. The house entry doors are not self-closing and latching and should be serviced for optimal safety. 1.10. The outlets that were tested are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.
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Site and Other Comments

1. Site and General Information

Observations:

1.1. The clients were present during the inspection.

1.2. The seller was present during the inspection.

1.3. The residence is furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.4. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.5. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.6. We do not inspect window coverings as a part of our service.

1.7. We do not evaluate auxiliary structures, such as storage buildings, as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.8. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.9. The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

1.10. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

Site and Other Comments (continued)

2. Environmental Comments

Observations:

2.1. Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before 1978 should not be assumed to be free from these and other well-known contaminants. Regardless, we do not have the expertise or the authority to detect the presence of environmental contaminants. If this is a concern, you should consult with an environmental hygienist, and particularly if you intend to remodel any area of the residence.

2.2. The carbon-monoxide detectors responded to the test button, but should be checked periodically.

2.3. It is recommended that smoke alarms older than 10 years old be replaced due to safety concerns, as the sensors may no longer be effective.

Site and Other Comments (continued)

3. Pool/Spa

Observations:

3.1. We do not evaluate pools or spas as part of our inspection service. Therefore, you should have a pool/spa contractor evaluate them before the close of escrow, and you should be aware of local ordinances governing pool and spa safety.

3.2. We do not verify any testing agency listing or approval, effectiveness, adequacy, compliance with local or other regulations or for proper installation or function of pool or spa barrier systems. California Health and Safety lists 7 systems with at least 2 recommended for proper safety. The property currently has 2 of the 7 safety barriers.

3.3. For pool safety we recommend you follow the California safety requirements at:

<http://www.cdph.ca.gov/HealthInfo/environhealth/water/Documents/RecHealth/SwimmingPoolSafetyAct.pdf>

Site and Other Comments (continued)

3.4. The seven drowning safety features identified in SB 552 are:

- 1-A pool enclosure that meets the requirements of Section 115923 and isolates the swimming pool or spa from the private single-family home.
- 2-Removable mesh fencing that meets the ASTM International F2286 standard in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.
- 3-A manually operated or power-operated safety pool cover that is accompanied by a label verifying that the cover meets the specifications of the ASTM International F1346-23 standard.
- 4-Exit alarms on the private single-family home's doors and windows that provide direct access to the swimming pool or spa without any intervening enclosure. Whenever any door or window is opened or left ajar, exit alarms shall make either an audible, continuous alarm sound or a repeating verbal warning, such as a notification that "the door to the pool is open." An exit alarm may be battery operated or connected to the electrical wiring of the building.
- 5-A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.
- 6-An alarm in good repair and operable as designed that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM International F2208 standard that includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.
- 7- Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by ASTM International, the American Society of Mechanical Engineers, or another nationally recognized standards development organization, and the feature is accompanied by a label verifying that the protection meets those standards.

The requirements are not satisfied by any of the following:

- (1) An exit alarm and a self-closing, self-latching device on the same door.
- (2) An exit alarm and a door latch on separate doors.
- (3) A safety pool cover and a surface alarm designed for detection of accidental or unauthorized entrance.

Note: A pool isolation fence, as described in Section 115923 of the Health and Safety Code, is the most studied and effective drowning prevention safety feature for preventing a child from accessing a pool or spa unsupervised, according to the American Academy of Pediatrics Policy Statement, "Prevention of Drowning," published in 2019.

3.5. The requirements of 'two of the seven drowning safety features' as required by the Swimming Pool Safety Act as updated by SB 552, do not apply to Spas or hot tubs with locking type covers complying with ASTM International F1346 standard. We cannot confirm the hot tub cover meets this standard. We recommend further evaluation by a qualified licensed swimming pool specialist and service or correct and required to meet current safety standards.

Site and Other Comments (continued)



The requirements of 'two of the seven drowning safety features' as required by the Swimming Pool Safety Act as updated by SB 552, do not apply to Spas or hot tubs with locking type covers complying with ASTM International F1346 standard. We cannot confirm the hot tub cover meets this standard. We recommend further evaluation by a qualified licensed swimming pool specialist and service or correct and required to meet current safety standards.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, as they provide the most effective barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principal cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may be hidden or difficult to detect without the proper conditions present. For example, we may discover leaking windows while it is raining that may not have been apparent otherwise.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason, the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation, hard surfaces, area drains, and full or partial gutters. We did not observe any evidence of moisture threatening the living space. However, the area drains must be kept clean or moisture intrusion could result.

2.3. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

2.4. The property is served by area drains that appear to be in acceptable condition. However, because it is impossible to see inside them, the seller should verify that the drains are functional. Surface water carries minerals and silt that is deposited inside the pipes and hardens in the summer months to the consistency of wet concrete, which can impede drainage and require the pipes to be cleared by a plumbing service.

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with a combination of stucco and rock veneer siding.

3.2. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches (30 cm) away from the home.

3.3. There are small cracks in the stucco, which are quite common, and which you should view for yourself. Most cracks result from movement, and are structural in that respect, but the vast majority of them have only a cosmetic significance. You may wish to have an evaluation by a specialist.

3.4. There are separations, gaps, cracks or openings on the siding that need to be serviced/sealed. This includes hose bibs, electrical or cable wires that enter the home, or cracks around the windows or doors.

Exterior (continued)



Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches (30 cm) away from the home.

4. Hard Surfaces

Observations:

- 4.1. There are one or more offsets in the driveway that could prove to be trip-hazards.
- 4.2. The driveway is surfaced with gravel or decomposed granite, which can impede drainage and does not provide positive traction.
- 4.3. The driveway is shared or part of an easement. Please refer to disclosures on any responsibilities of maintenance cost or operation.
- 4.4. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. There could be many causes for the cracks, such as by the lack of expansion joints, or a tree that is too close to the concrete decking.

5. Wood Trim, Facia and Eave

Observations:

- 5.1. The fascia board and trim are in acceptable condition.

6. Electrical Components

Observations:

- 6.1. We were not able to activate some of the exterior lights. They may be operated on a timer, sensors, or have a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.
- 6.2. We do not evaluate low-voltage or decorative lights, such as Malibu lights, and you may wish to have the sellers demonstrate them as functional.
- 6.3. The exterior outlets are functional, but should be upgraded to have ground-fault protection.

Exterior (continued)

7. Sliding Glass Doors and Screens

Observations:

7.1. The sliding glass door is tempered and in acceptable condition.

8. Windows

Observations:

8.1. In accordance with industry standards, we only test a representative sample of windows.

8.2. Dual-pane windows are present that include hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

9. Stairs and Handrails

Observations:

9.1. The stairs are in acceptable condition, and do not appear to need service at this time.

10. Fences and Gates

Observations:

10.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

10.2. The fences and gates have damage that is commensurate with their age, such as loose or missing boards, weathered boards and/or posts, which could be repaired but is not essential.

11. Yard and Retaining Walls

Observations:

11.1. The yard walls appear to be in functional condition.

12. Landscaping

Observations:

12.1. There are oak trees on this property, which we do not have the expertise to evaluate. However, there may be local ordinances that prevent some of them from being removed or significantly pruned without a permit, and you may wish to have them examined by an arborist.

12.2. There are trees on this property that we do not have the expertise to evaluate, and you may wish to have them examined by an arborist.

12.3. Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.

Exterior (continued)

13. Balconies

Observations:

13.1. We cannot guarantee that balcony surfaces will not leak, because their waterproof membrane is concealed and cannot be examined. Therefore, you may wish to ask the sellers if the balcony surface has ever leaked.

13.2. The balcony floor has been covered, which conceals any damage or deterioration that might be present.

13.3. The balcony guardrail is an adequate height and in acceptable condition. However, standards for guardrails are not uniform. Nonetheless, common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade. Also, guardrail pickets should be no more than 4 inches apart for child safety.



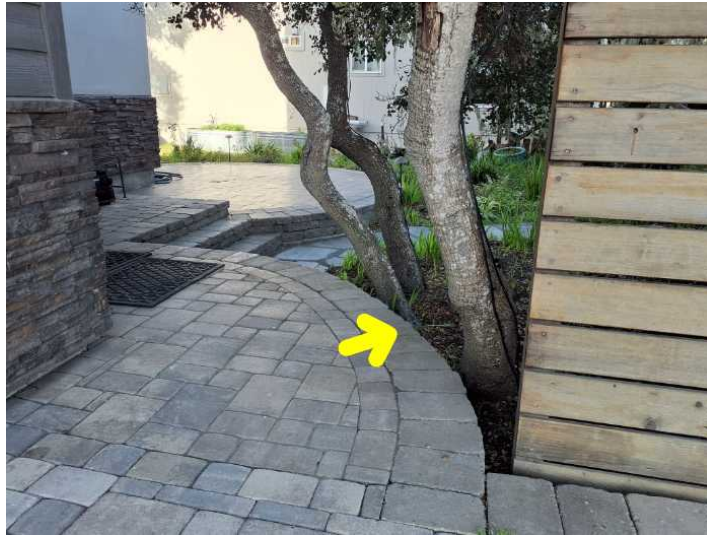
The balcony floor has been covered, which conceals any damage or deterioration that might be present.

14. Guardrails

Observations:

14.1. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. Where there are walk-offs less than 30 inches with no guardrail, appropriate precautions should be taken to safeguard children and the elderly.

Exterior (continued)



There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. Where there are walk-offs less than 30 inches with no guardrail, appropriate precautions should be taken to safeguard children and the elderly.

Foundation Comments

1. Slab Foundation

Observations:

1.1. This residence has a slab foundation. Such foundations vary considerably, from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both of these improvements. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture nor lift carpeting and/or padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built (or move) out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, under which most authorities regard being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4 inch and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage. If they are not sealed they can allow moisture to enter a residence, particularly if the residence is surcharged by a hill or slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but our recommendation should not deter you from seeking the opinion of any such expert, and we would be happy to refer one.

1.2. We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

1.3. The slab is typical with no visible structural abnormalities.

Roofing

1. Roof Gutters

Observations:

1.1. The roof gutters appear to be in acceptable condition. However, without water in them it is difficult to judge whether they are correctly pitched to direct water into the downspouts, but they appear as if they will function as they were intended.

1.2. Some of the gutters need to be cleaned to drain properly.

1.3. We recommend that you install gutter guards to restrict leaves and other debris from entering the gutter system, which could restrict proper drainage.

Roofing (continued)

2. Metal Roof Observations

Observations:

2.1. There are different types of metal roofs, but the most common ones consist of ribbed, interlocking panels, or tiles that have been coated with a mineral compound that are warranted for as long as fifty years. They tend to be maintenance-free, and many can be walked on, but some can be damaged by careless foot-traffic, and it is essential for service personnel to wear soft shoes and to tread directly in the pan and not across the tile. As with other pitched roofs, many metal roofs are dependant on the waterproof membrane that is concealed beneath them and cannot be examined, and this is why our service does not include a guarantee against leaks.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The roof is in acceptable condition, but this is not a guarantee against leaks. For a guarantee, you would need to have a roofing company perform a water-test and issue a roof certification.

2.4. One or more of the roof flashings need to be sealed or serviced. They are comprised of metal that seals valleys, vents, and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashings on a layered roof, which are covered by the roofing material and are even more susceptible to leaks.

Plumbing Components

1. General Plumbing Comments

Observations:

1.1. The residence is equipped with fire sprinklers, which we are not qualified to evaluate and specifically disclaim in our agreement. Several brands however, such as Omega, Central, Star, and Gem, have been alleged to be defective and subject to litigation or voluntary recall. Therefore, you may wish to have the system evaluated by a fire sprinkler contractor and certified as being functional.

2. Water Supply Comments

Observations:

2.1. The main water shut-off valve is located at the left side of the home, unit, or building.

2.2. A functional pressure regulator is in place on the plumbing system.

2.3. The residence is served by both copper and Cross-Linked Polyethylene, also known as PEX. The visible potable water pipes are in satisfactory condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls, and we can only view the pipes as they exit the walls.

2.4. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls, and we can only view the pipes as they exit the walls.

Plumbing Components (continued)



The main water shut-off valve is located at the left side of the home, unit, or building.



A functional pressure regulator is in place on the plumbing system.

3. Gas Service Information

Observations:

3.1. Natural gas is odorized in the manufacturing process. Should you smell the distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shut off the gas at the main and clear the area. Immediately call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

3.2. The gas main shut-off is located adjacent to the street.

3.3. The local gas shut-off is located on the right side of the home, unit or building.

3.4. The visible portions of the gas pipes appear to be in acceptable condition.



The gas main shut-off is located adjacent to the street.



The local gas shut-off is located on the right side of the home, unit or building.

Plumbing Components (continued)

4. Irrigation and Hose Bibb Information

Observations:

4.1. We do not evaluate sprinkler systems, which should be demonstrated as functional by the sellers.

4.2. The hose bibs that we tested are functional, but we may not have located and tested every hose bib on the property.

5. Tankless Water Heater

Observations:

5.1. Tankless water heaters provide virtually endless hot water, if properly sized and provided proper fuel. They require little maintenance beyond periodic flushing to descale mineral deposits. Some manufacturers recommend they be flushed yearly in hard water areas and as little as every 5 years with soft water. They should be monitored for leaks, which is to be anticipated with any water heater.

5.2. The residence is served by a tankless water heater located in the utility room.

5.3. The water heater is functional and there were no leaks at the time of our inspection.

5.4. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and are susceptible to damage due to the lack of use.

5.5. The gas control valve and its connector at the water heater is presumed to be functional.

5.6. The vent pipe is functional.

5.7. The water heater is equipped with a mandated pressure & temperature relief valve.

5.8. The drain valve of the gas water heater is in place and presumed to be functional.

5.9. The water heater appears to have adequate combustion-air vents.

Plumbing Components (continued)



The residence is served by a tankless water heater located in the utility room.

6. Waste and Drain Systems

Observations:

6.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

6.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

6.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

6.4. A clean-out is located at the right side.

Plumbing Components (continued)



A clean-out is located at the right side.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weather proof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 200 amp main electrical panel, located at the exterior of the office unit.

1.3. A photovoltaic solar system has been installed, which we do not have the expertise to evaluate. We recommend the sellers provide information regarding its installation, operation, and maintenance history. You may also wish to have it evaluated by a qualified specialist.

1.4. 12 Panels on the roof

1.5. The exterior cover for the main electrical panel is in acceptable condition.

1.6. The interior cover for the main electrical panel is in acceptable condition.

1.7. The main panel and its components have no visible deficiencies.

Electrical Service Panels (continued)



The residence is served by a 200 amp main electrical panel, located at the exterior of the office unit.



A photovoltaic solar system has been installed, which we do not have the expertise to evaluate. We recommend the sellers provide information regarding its installation, operation, and maintenance history. You may also wish to have it evaluated by a qualified specialist.



12 Panels on the roof

Electrical Service Panels (continued)

2. Sub Panel Observations

Observations:

- 2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.
- 2.2. The sub panel is located at the left exterior side of the home.
- 2.3. The electrical sub panel has no visible deficiencies.
- 2.4. The exterior cover for the electrical sub panel is in acceptable condition.
- 2.5. The interior cover for the electrical sub panel is in acceptable condition.
- 2.6. The wiring in the sub panel has no visible deficiencies.
- 2.7. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.
- 2.8. The circuit breakers have no visible deficiencies.
- 2.9. The grounding system in the sub panel is correct.



The sub panel is located at the left exterior side of the home.

Electrical Service Panels (continued)

3. Sub Panel #2 Observations

Observations:

3.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

3.2. The sub panel is located at the left exterior side of the home.

3.3. Various circuits within the sub-panel are not labeled, and this condition should be serviced by a qualified electrical contractor so that the appropriate load calculations and breaker sizes can be determined.

3.4. The wiring in the sub panel has no visible deficiencies.

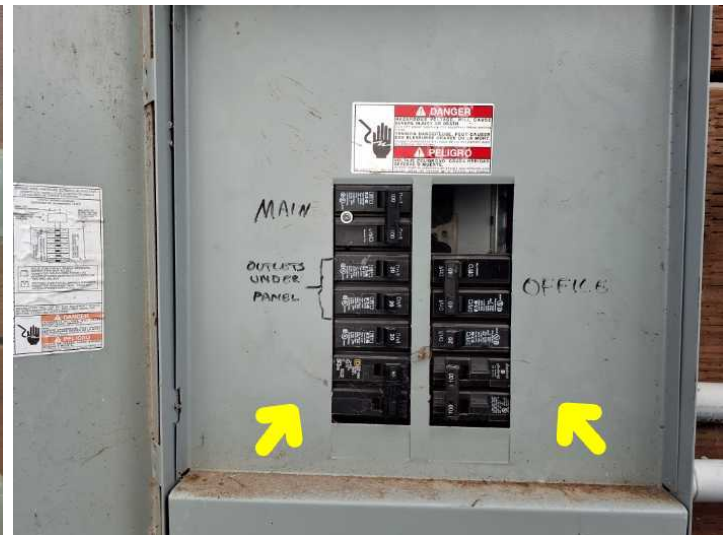
3.5. The circuit breakers have no visible deficiencies.

3.6. The grounding system in the sub panel is correct.

3.7. There are voids or open knockouts in the cover of the electrical sub panel that should be covered.



The sub panel is located at the left exterior side of the home.



Various circuits within the sub-panel are not labeled, and this condition should be serviced by a qualified electrical contractor so that the appropriate load calculations and breaker sizes can be determined.

Electrical Service Panels (continued)



There are voids or open knockouts in the cover of the electrical sub panel that should be covered.

Interior Space

1. Main Entry

Observations:

- 1.1. The front door is functional.
- 1.2. There is no doorbell and you may wish to have one installed.
- 1.3. The combo smoke detector/carbon monoxide detector responded to the test button, but should be checked periodically.

2. Living Room

Observations:

- 2.1. The living room is located adjacent to the kitchen.
- 2.2. The lights are functional.
- 2.3. The ceiling fan is functional but slightly out of balance and should be serviced so the fan operates smoothly.

Interior Space (continued)



The ceiling fan is functional but slightly out of balance and should be serviced so the fan operates smoothly.

3. Dining Room

Observations:

- 3.1. The dining room is located adjacent to the living room.
- 3.2. We have evaluated the dining room, and found it to be in acceptable condition.
- 3.3. The smoke detector responded to the test button, but should be checked periodically.

4. Family Room

Observations:

- 4.1. The family room is located at the top of the stairs.
- 4.2. We have evaluated the family room, and found it to be in acceptable condition.
- 4.3. The combo smoke detector/carbon monoxide detector responded to the test button, but should be checked periodically.

5. Main Hallway

Observations:

- 5.1. This hallway leads to the master bedroom and Bedroom 2.
- 5.2. The combo smoke detector / carbon monoxide detector is functional but should be checked periodically.
- 5.3. The lights are functional.
- 5.4. The door striker plate needs to be adjusted for the striker pin to engage.

Interior Space (continued)

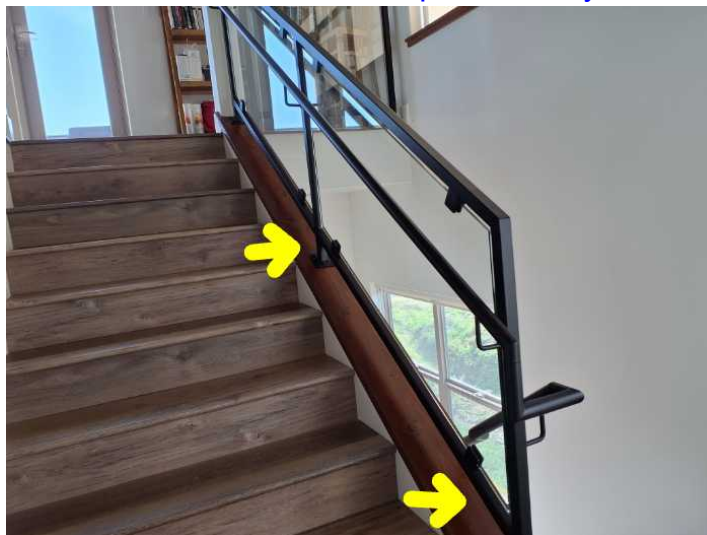


The door striker plate needs to be adjusted for the striker pin to engage.

6. Stairs

Observations:

6.1. The handrail is loose and should be secured for optimal safety.



The handrail is loose and should be secured for optimal safety.

Bedrooms

1. Master Bedroom Observations

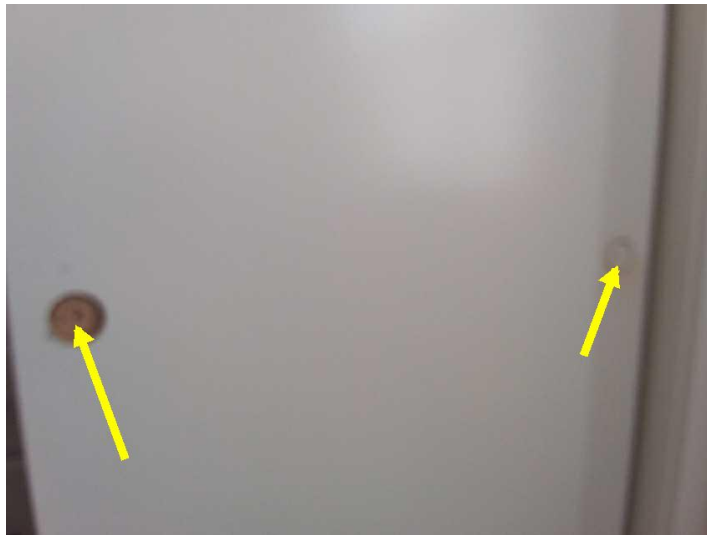
Observations:

- 1.1. This bedroom is located at the 2nd bedroom door on the right going down the hallway.
- 1.2. The smoke alarm responded to the test button, but should be checked and tested periodically.
- 1.3. It would be prudent to add a door stop at the door to protect the wall that it opens into.

2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the 1st bedroom door on the right going down the hallway.
- 2.2. The smoke alarm responded to the test button, but should be checked and tested periodically.
- 2.3. It would be prudent to add a door stop at the door to protect the wall that it opens into.
- 2.4. The closet door pull-hardware is missing and you may wish to have them installed.
- 2.5. A ceiling fan is functional but noisy when changing speeds and you may wish to have it evaluated.



The closet door pull-hardware is missing and you may wish to have them installed.

3. Bedroom 3

Observations:

- 3.1. This bedroom is located adjacent to the garage.
- 3.2. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

1.2. The kitchen includes a reverse osmosis or water filtration system that we do not have the expertise to evaluate. We recommend the seller demonstrate its operation and maintenance history and procedures.

2. Cabinets

Observations:

2.1. The cabinets are functional, and do not have any significant damage.

3. Countertop

Observations:

3.1. The counter top is functional.

4. Electrical Components

Observations:

4.1. The outlets that were tested are functional and include ground-fault protection from breaker in sub panel.

4.2. The lights are functional.

5. Sink and Faucet

Observations:

5.1. The sink is functional.

5.2. The sink faucet is functional.

5.3. The valves and connector below the sink are functional.

5.4. The trap and drain are functional.

6. Garbage Disposal Comments

Observations:

6.1. The garbage disposal is functional.

Kitchen (continued)

7. Dishwasher Comments

Observations:

7.1. The dishwasher is functional but discharges without a mandated anti-siphon valve, which is contrary to the installation instructions, and which also creates a potential drainage problem and a health hazard. However a "high-loop" installation is present which is an accepted alternate practice.

8. Exhaust Fan

Observations:

8.1. The exhaust fan or downdraft is functional.

9. Gas Range & Cook Top

Observations:

9.1. The gas range is functional, but was neither calibrated nor tested for its performance.

9.2. The gas cook top is functional.

Bathrooms

1. Master Bathroom Observations

Observations:

- 1.1. This bathroom is a three-quarter and is located adjacent to the master bedroom.
- 1.2. The cabinets are in acceptable condition.
- 1.3. The sink countertop is functional.
- 1.4. The sink is functional.
- 1.5. The sink faucet, reverse osmosis, and its components are functional.
- 1.6. The trap and drain are functional.
- 1.7. The outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the electrical sub panel.
- 1.8. The lights are functional.
- 1.9. The exhaust fan is functional but should be cleaned to be effective.
- 1.10. The toilet is functional.
- 1.11. The toilet is identified as being a low flush type. 1.28gpf
- 1.12. The toilet seat is loose or otherwise damaged and should be serviced.
- 1.13. The shower is functional and the showerhead is 1.75 gpm.
- 1.14. We do not pressure test shower pans, which can be performed by a licensed plumber or leak detection company. Some termite/pest control operators do this test on a single-story home, but you should inquire them to verify this.
- 1.15. The door striker plate needs to be adjusted for the striker pin to engage.



The door striker plate needs to be adjusted for the striker pin to engage.

Bathrooms (continued)

2. Hallway Bathroom

Observations:

- 2.1. The hallway bathroom is a three-quarter and is located adjacent to the hallway.
- 2.2. The cabinets are in acceptable condition.
- 2.3. The sink countertop is functional.
- 2.4. The sink is functional.
- 2.5. The sink faucet and its components are functional.
- 2.6. The trap and drain are functional.
- 2.7. The outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the electrical sub panel.
- 2.8. The lights are functional.
- 2.9. The exhaust fan is functional.
- 2.10. The toilet is functional.
- 2.11. The toilet is identified as being a low-flush type. 1.28gpf
- 2.12. The shower is functional and the showerhead is 1.75 gpm.
- 2.13. We do not pressure test shower pans, which can be performed by a licensed plumber or leak detection company. Some termite/pest control operators do this test on a single-story home, but you should inquire them to verify this.

Bathrooms (continued)

3. 1st Guest Bathroom

Observations:

- 3.1. The 1st guest bathroom is a three-quarter and is located adjacent to bedroom 3.
- 3.2. The cabinets are in acceptable condition.
- 3.3. The sink countertop is functional.
- 3.4. The bathroom sinks are functional.
- 3.5. A mechanical sink stopper will need to be adjusted to engage.
- 3.6. The trap and drain are functional.
- 3.7. The outlets are ground-fault protected which is included or controlled from a GFCI outlet/breaker in sub panel #1.
- 3.8. The lights are functional.
- 3.9. The exhaust fan is functional.
- 3.10. The toilet is functional.
- 3.11. The toilet is identified as a low-flush type, and is a dual flush rated at 0.8/1.28 GPF.
- 3.12. The shower is functional and the showerhead is 1.75 gpm.
- 3.13. We do not pressure test shower pans. This can be performed by a licensed plumber or a leak detection company. Some termite/pest control operators will do this test on a single-story home, and you may wish to check with them for availability.
- 3.14. It would be prudent to add door stops at the doors to protect the walls into which they open.
- 3.15. The urinal is functional.

Laundry

1. Laundry Area

Observations:

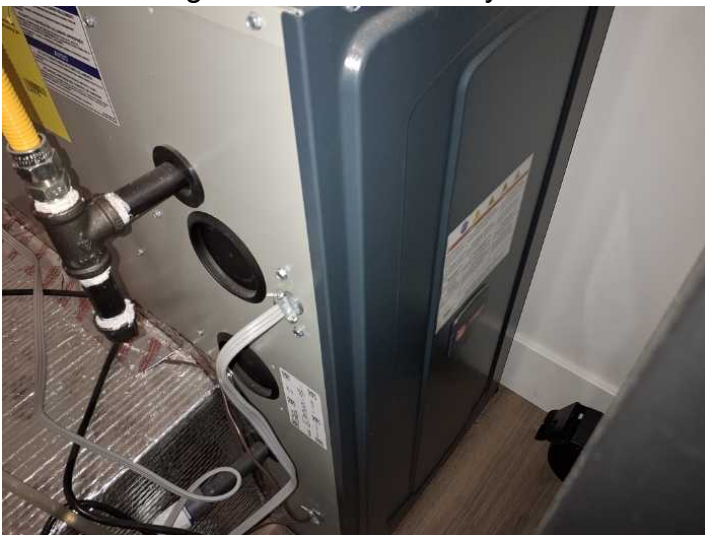
- 1.1. The laundry area is located within the dining room.
- 1.2. Most if not all of the components behind the washer/ dryer were obstructed from view and were not inspected.
- 1.3. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 1.4. A dryer vent is provided and appears serviceable. It should be cleaned 1-2 times per year to prevent lint build-up which can be highly flammable.
- 1.5. The gas line and its components were obstructed from view and were not inspected.
- 1.6. The outlets that were tested are functional.
- 1.7. There is no visible 220 outlet for electric dryers. One may be able to be installed and you should consult with a licensed electrician regarding this issue if a 220 outlet is needed.
- 1.8. The lights are functional.

Heating & Air conditioning

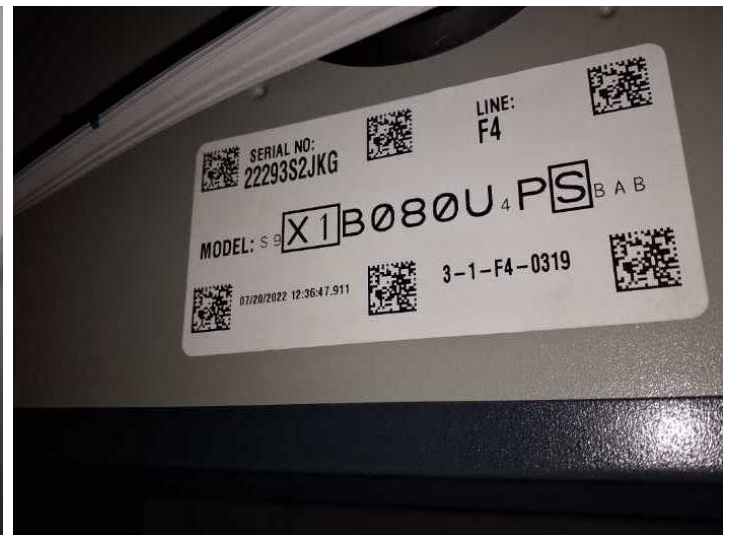
1. Forced Air Furnace

Observations:

- 1.1. Central heat is provided by a forced-air furnace that is located in the utility room.
- 1.2. Serial Number 22293S2JKG - Manufactured 2022
- 1.3. The furnace is functional. We recommend that the furnace be serviced before each heating season and you may want to ask the sellers when the furnace was last serviced.
- 1.4. The vent pipe is functional.
- 1.5. The gas valve and connector are in acceptable condition.
- 1.6. The combustion-air vents for the gas furnace are functional.
- 1.7. The return air filter is dirty and should be changed soon and every two or three months thereafter. If filters are not changed regularly, the ducts can become contaminated.
- 1.8. The circulating fan is clean and functional.
- 1.9. The thermostat is functional.
- 1.10. The ducts are a modern flexible type that have no visible deficiencies. They are comprised of a clear inner liner and an outer plastic shell that encapsulates fiberglass insulation.
- 1.11. Significant portions of the supply ducts are concealed and cannot be viewed.
- 1.12. The registers are reasonably clean and functional.



Central heat is provided by a forced-air furnace that is located in the utility room.



Serial Number 22293S2JKG - Manufactured 2022

Attics

1. Attic

Observations:

- 1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.
- 1.2. The attic can be accessed through a hatch located in the main hallway ceiling.
- 1.3. We evaluated the attic from the access due to the small size of the attic.
- 1.4. The electrical components that are fully visible appear to be in acceptable condition.
- 1.5. The visible roof framing consists of a factory-built truss system that is in acceptable condition. It is composed of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord, to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.
- 1.6. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.
- 1.7. The visible portions of the exhaust ducts are functional.
- 1.8. The visible portions of the water pipes are in acceptable condition, but should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.
- 1.9. The drainpipe vents that are fully visible are in acceptable condition.
- 1.10. The attic floor is well insulated with approximately nine inches or more of fiberglass batt insulation.

Garages

1. Double-Car Garage

Observations:

- 1.1. The main house entry door striker plate needs to be adjusted for the striker pin to engage.
- 1.2. The slab floor has been covered, which conceals any damage or deterioration that might be present.
- 1.3. There are no ventilation ports to vent exhaust fumes. Therefore, vehicle engines should not be left running with the garage door closed or carbon monoxide poisoning could result.
- 1.4. The firewall separating the garage from the residence is functional.
- 1.5. The walls are sheathed and in acceptable condition.
- 1.6. The lights are functional, and do not need service at this time.
- 1.7. The garage door and its hardware are functional.
- 1.8. The garage door opener is functional.
- 1.9. The house entry doors are not self-closing and latching and should be serviced for optimal safety.
- 1.10. The outlets that were tested are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

Cornerstone Inspection

Property Inspection Report



1301 Los Osos Valley Rd, Los Osos, CA 93402

Inspection prepared for: Todd Davidson

Real Estate Agent: David Cohune - Richardson Sotheby's International Realty

Date of Inspection: 1/30/2026 Time: 9:00 AM

Age of Home: 1952 Size: 4276

Order ID: 13104

Inspector: Greg Hines

CREIA #166634

P.O. Box 1511, Pismo Beach, CA 93449

Email: greg@cornerstonecentralcoast.com

CORNERSTONE
INSPECTION

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

On this page you will find, in **RED**, a brief summary of any critical concerns of the inspection, as they relate to Health & Safety, or could be costly to repair. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report. Basic maintenance or recommended upgrade items will be in **BLUE**.

Informational comments will be in typical black lettering. Be sure to read your entire report.

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the home has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist. Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** systems or safety concerns with this property at the time of inspection.

Site and Other Comments

Page 7 Item: 2	Environmental Comments	2.2. Current standards require at least one smoke alarm be installed at every level of a home. There is not a smoke alarm installed on one or more of the levels which should be serviced.
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Exterior

Page 7 Item: 1	General Comments and Disclaimers	1.5. There is a pond in the yard that could prove to be dangerous to small children however our service does not include evaluations of ponds or their equipment.
Page 12 Item: 6	Electrical Components	6.5. Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this modern safety feature. 6.6. An outlet at the right side and left side has an open-ground and should be evaluated and serviced by a licensed electrical contractor. 6.7. There's exposed romex electrical cable that should be protected inside conduit. A licensed electrician should evaluate and service this issue.

Plumbing Components

Page 22 Item: 4	Gas Water Heater Comments	4.14. The water heater is equipped with a mandated pressure & temperature relief valve. Current standards call for the discharge pipe to terminate at the exterior. We were unable to determine the termination point for the TPR valve which should be evaluated and serviced by a licensed specialist. 4.15. The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.
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Electrical Service Panels

Page 26 Item: 2	Sub Panel Observations	2.9. The neutral and ground wires are together on the same buss bar and should be separate. The ground wires should be bonded to the panel and the neutral wires should be separate and "floating" from the panel. We recommend that a licensed electrician evaluate and service the sub panel.
Page 27 Item: 3	Sub Panel #2 Observations	3.10. We have noted that single-strand aluminum or tin wire is present in the home, which is suspect because it does not conduct current as efficiently as copper wire, and can create a fire-hazard. Therefore, you should seek the counsel of a licensed electrician who is familiar with this issue or who performs copulum crimping.

Interior Space

Page 29 Item: 1	Main Entry	1.9. One or more outlets has an open-ground, and should be evaluated and serviced by a licensed electrical contractor. 1.10. There is exposed romex that should be protected in conduit and should be repaired by a licensed electrician.
Page 32 Item: 2	Office	2.10. One or more outlets has an open-ground, and should be evaluated and serviced by a licensed electrical contractor. 2.11. There is exposed romex or electrical wires that should be protected in conduit and should be repaired by a licensed electrician. 2.12. One or more of the single-hung windows will need to be serviced to function properly. Single-hung windows are typically designed so that the lower panel opens. The hardware needs to be serviced as the window will not properly stay in place when opened.

Kitchenette

Page 36 Item: 4	Electrical Components	4.4. An outlet has an open ground, and should be serviced. 4.5. One or more outlet covers is missing or broken and should be serviced. 4.6. There is exposed romex that should be protected by installing the romex inside the wall cavity, or properly wired into conduit.
Page 37 Item: 7	Walls/Ceilings & Doors	7.4. A single-hung window will need service such as adjusting or replacing the hardware to open and close smoothly and safely.

Bathrooms

Page 38 Item: 1	1st Guest Bathroom	1.14. One or more outlets are functional, but should be upgraded to have ground-fault protection. 1.15. The bathroom wall outlet has an open-ground, and should be evaluated and serviced by a licensed electrical contractor.
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Site and Other Comments

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report may only illustrate an example of the issue being reported. More issues or defects may exist that will be discovered by a specialist retained to evaluate the specific issue.

Locations of various components identified within the report such as "left" or "right" side, "front" or "rear" of the property are described from the perspective of facing the front door. Please use the photo, if one, on the cover page of this report to define the "front" of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

Site and Other Comments (continued)

1. Site and General Information

Observations:

1.1. The clients were present during the inspection.

1.2. The residence is furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.3. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.4. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.5. The home includes a security system that we do not have the expertise to evaluate and typically requires a third-party to activate.

1.6. We do not evaluate auxiliary structures, such as storage buildings as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.7. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately at (805) 619-5092 to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.8. The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

1.9. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

Site and Other Comments (continued)

2. Environmental Comments

Observations:

2.1. Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before 1978 should not be assumed to be free from these and other well-known contaminants. Regardless, we do not have the expertise or the authority to detect the presence of environmental contaminants, but if this is a concern, you should consult with an environmental hygienist, and particularly if you intend to remodel any area of the residence.

2.2. Current standards require at least one smoke alarm be installed at every level of a home. There is not a smoke alarm installed on one or more of the levels which should be serviced.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have been apparent otherwise.

1.2. The landscaping includes pre-cast concrete accessories, such as benches, fountains, bird-baths, large pots, or statuary. Although we disclaim an evaluation of all such items, many consist of heavy, stacked or balanced, components that can represent a safety hazard, particularly to children. Therefore, you should verify that such components are adequately anchored or otherwise safe.

1.3. We do not evaluate ponds or water features as a part of our inspection.

1.4. There is a BBQ on the property that we do not evaluate, unit should be demonstrated as functional by the sellers.

1.5. There is a pond in the yard that could prove to be dangerous to small children however our service does not include evaluations of ponds or their equipment.

Exterior (continued)



We do not evaluate ponds or water features as a part of our inspection.



There is a BBQ on the property that we do not evaluate, unit should be demonstrated as functional by the sellers.



There is a pond in the yard that could prove to be dangerous to small children however our service does not include evaluations of ponds or their equipment.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage on this property is solely dependant on soil-percolation and hard surfaces. There are no roof gutters or area drains. Such conditions are not ideal, and water may pond at various points during prolonged rains. Therefore, you may wish to have a specialist evaluate. We did not see any evidence of moisture contaminating the living space.

2.3. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with a combination of wooden and concrete masonry siding.

3.2. The house walls consist of CMU's, or concrete masonry units, which are more seismically vulnerable than conventional wood-framed walls.

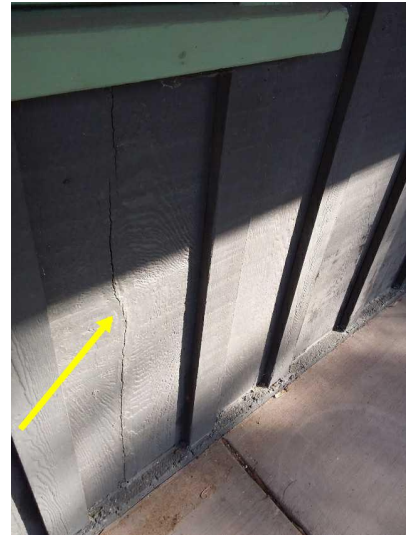
3.3. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.

3.4. The siding needs typical maintenance such as sealing and painting.

Exterior (continued)



Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.



The siding needs typical maintenance such as sealing and painting.

4. Hard Surfaces

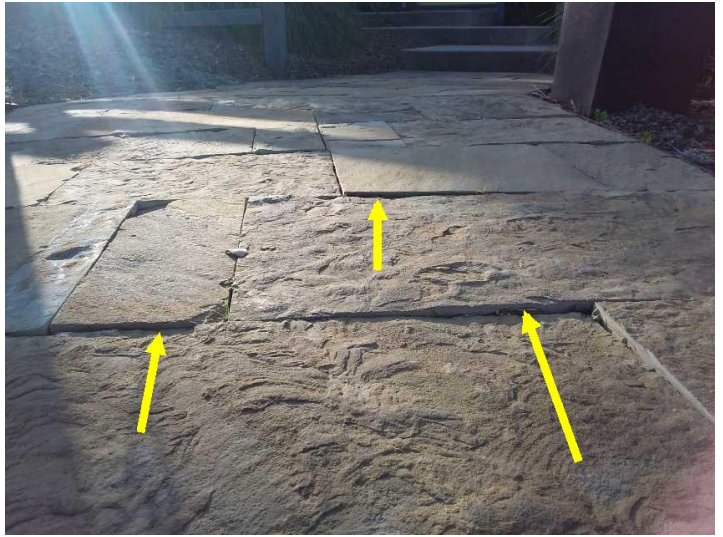
Observations:

- 4.1. The driveway is in acceptable condition.
- 4.2. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.3. Asphalt driveways are not as durable as concrete ones and typically develop cracks.
- 4.4. The driveway is shared or part of an easement. Refer to disclosures on responsibilities of maintenance cost.
- 4.5. The walkways are in acceptable condition.
- 4.6. The patio surface is in acceptable condition.
- 4.7. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. The cracks could be caused by the lack of expansion joint, or a tree that is too close to the concrete decking.
- 4.8. There is one or more offsets in the walkways that could prove to be trip-hazards.
- 4.9. The paver patio or walkway has multiple offsets. This may be due to unsuitable soil below the pavers.

Exterior (continued)



The paver patio or walkway has multiple offsets. This may be due to unsuitable soil below the pavers.



There is one or more offsets in the walkways that could prove to be trip-hazards.



There is one or more offsets in the walkways that could prove to be trip-hazards.

5. Wood Trim, Facia and Eave

Observations:

5.1. Sections of the fascia, trim and eave need maintenance type service such as sealing and painting.

Exterior (continued)

6. Electrical Components

Observations:

6.1. Some outlets are functional and include ground-fault protection.

6.2. We were not able to activate some of the exterior lights which may be operated on a timer, sensors, or a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.

6.3. The lights outside the doors of the residence are functional.

6.4. We do not evaluate low-voltage or decorative lights, such as Malibu lights, which you may wish to have the sellers demonstrate.

6.5. Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this modern safety feature.

6.6. An outlet at the right side and left side has an open-ground and should be evaluated and serviced by a licensed electrical contractor.

6.7. There's exposed romex electrical cable that should be protected inside conduit. A licensed electrician should evaluate and service this issue.



An outlet at the right side has an open-ground and should be evaluated and serviced by a licensed electrical contractor.



There's exposed romex electrical cable that should be protected inside conduit. A licensed electrician should evaluate and service this issue.

Exterior (continued)



Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this modern safety feature.



An outlet at the right side and left side has an open-ground and should be evaluated and serviced by a licensed electrical contractor.

7. Doors

Observations:

7.1. The finish on some of the exterior doors are weathered, and should be refinished or monitored.

8. Sliding Glass Doors and Screens

Observations:

8.1. The slider screen is damaged, and you may wish to have it replaced.

9. Windows

Observations:

9.1. In accordance with industry standards, we only test a representative sample of windows.

9.2. Most of the windows appear to be the same age as the home and will not necessarily function or operate as smoothly as modern windows. However we do test every unrestricted window in every bedroom to ensure that they facilitate an emergency exit.

9.3. This home has older and probably original Double-hung, single pane wood windows. Double-hung windows are typically designed so that both the upper and lower panels open. Since older windows rarely function as intended, one or more of these windows in this area will need to be serviced to fully function, such as sanding and hardware service to the sash and or weights., which should be performed by specialists familiar with this type of window.

Exterior (continued)

10. Fences and Gates

Observations:

10.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

10.2. The fences and gates have damage that is commensurate with their age such as loose or missing boards, weathered boards, and or posts which could be repaired but is not essential.

10.3. Portions of this property are not fenced or otherwise enclosed, to provide security for children or animals.

10.4. Removing the soil from the bottom of the fences will extend their life.

11. Yard and Retaining Walls

Observations:

11.1. The yard walls may have some cosmetic damage but are functional.

11.2. There are typical cracks in the stucco covering the yard walls which you should view for yourself. There are no structural issues causing the cracks.

12. Landscaping

Observations:

12.1. There are trees on this property that we do not have the expertise to evaluate, but which you may wish to have them examined by an arborist.

12.2. Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.

13. Guardrails

Observations:

13.1. If small children occupy or visit this residence, suitable precautions should be taken to safeguard them.

13.2. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. While there are walk off's less than 30 inches, appropriate precautions should be taken to safeguard children and the elderly.

Exterior (continued)



There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. While there are walk offs less than 30 inches, appropriate precautions should be taken to safeguard children and the elderly.



There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. While there are walk offs less than 30 inches, appropriate precautions should be taken to safeguard children and the elderly.

14. Exterior Sink Comments

Observations:

14.1. The sink is functional.

14.2. The sink faucet is not functional and should be evaluated and serviced or demonstrated as functional.

Foundation Comments

1. Slab Foundation

Observations:

1.1. This residence has a slab foundation. Such foundations vary considerably from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if the residence is surcharged by a hill or even a slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert, and we would be happy to refer one.

1.2. We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

1.3. The slab is typical with no visible structural abnormalities.

1.4. Given the homes age, the slab is presumed to be bolted foundation with no visible or significant abnormalities.

Roofing

1. Roof Gutters

Observations:

1.1. There are no gutters on the home which are recommended for the maintenance of the foundation and for good grading and drainage.

Roofing (continued)

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.4. We observed repairs done to the roof that should be explained by the sellers as to why these repairs were needed.

2.5. The shingles are losing granules but would not need to be replaced at this time.

2.6. The roof flashings are in acceptable condition.

2.7. The roof includes one or more skylights, which are notoriously problematic and a common point of leaks. There are different methods of installing them and, although opinions will vary, some methods are better than others. Therefore, it will be important to keep the area around them clean and to monitor them for evidence of leaks.

Roofing (continued)



We observed repairs done to the roof that should be explained by the sellers as to why these repairs were needed.



The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

Fireplace

1. Living Fireplace Comments

Observations:

1.1. The chimney/fireplace appears to be an older unlined chimney. Unlined chimneys, or those without flue liners, are suspect. Although such flues include a plaster coat of mortar, the corrosive effect of flue gases and the elements can deteriorate the mortar. In fact, the Chimney Safety Institute of America reported in 1992 that "all unlined chimneys, irrespective of fuel used, are very liable to become defective through disintegration of the mortar joints." For this reason, we recommend that all unlined chimneys be evaluated by a specialist or video scanned before the close of escrow.

1.2. The fireplace is a thermostatically controlled heat rated appliance. The fireplace is the heat source for the residence. It is controlled by a remote control or manual controls at the bottom of the fireplace

1.3. The fireplace has been modified with an insert that we do not have the expertise to evaluate. We recommend you consult with the sellers if the insert was professionally installed, or if a permit was acquired.

1.4. The ornamental gas log fire is functional.

1.5. We were unable to view any part of the flue because of an installed insert.

1.6. The fireplace glass is functional.

1.7. The fireplace hearth is in acceptable condition.

1.8. The fireplace mantle is in acceptable condition.

1.9. The crown which is designed to seal the space between the flue liner and the chimney wall and shed rainwater, is in acceptable condition.

1.10. A functional spark arrestor and a weather-cap are in place on the chimney.

1.11. The chimney walls appear to be in acceptable condition.

1.12. The chimney flashings are in acceptable condition.

Plumbing Components

1. Water Supply Comments

Observations:

1.1. There is no apparent shut-off valve at the residence to facilitate an emergency shut-off of the water. This means that the water would have to be turned off at the street with a large specialized tool called a plumbers key.

1.2. The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

1.3. The visible copper water pipes are in acceptable condition and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls and we can only view the pipes as they exit walls.

1.4. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are inside walls which we can only view the pipes as they exit walls.



The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

Plumbing Components (continued)

2. Gas Service Information

Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

2.2. The gas main shut-off appears to be located on front of the home, unit or building.

2.3. The gas meter and shut off are located at the street.

2.4. The visible portions of the gas pipes appear to be in acceptable condition.

2.5. We recommend that a wrench, designed to fit the gas shut off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.



The gas main shut-off appears to be located on front of the home, unit or building.



The gas meter and shut off are located at the street.

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems beyond the sprinkler valves, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

Plumbing Components (continued)

4. Gas Water Heater Comments

Observations:

- 4.1. Hot water is provided by a 29 gallon gas water heater that is located in the office closet.
- 4.2. The water heater is functional and there were no leaks at the time of our inspection.
- 4.3. The water heater is about 9 years old.
- 4.4. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.
- 4.5. The gas control valve and its connector at the water heater is presumed to be functional.
- 4.6. There is no drip leg which is required by today's standards.
- 4.7. The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.
- 4.8. The discharge pipe from the relief valve should be extended beyond the exterior closet, so that if it activates water will not contaminate the closet walls.
- 4.9. The drain valve of the gas water heater is in place and presumed to be functional.
- 4.10. The water heater is not equipped with a drip pan or overflow pipe, which is a recommended upgrade, and which is designed to prevent or minimize water damage from a leak.
- 4.11. There may not be adequate combustion air vents to support proper combustion. We recommend that a licensed plumbing contractor evaluate and make any required corrections.
- 4.12. The seismic straps are loose and should be properly secured.
- 4.13. The water heater closet has dust/debris within it that should be cleaned to prevent a possible fire hazard as the water heater contains a flame that could ignite a dusty environment.
- 4.14. The water heater is equipped with a mandated pressure & temperature relief valve. Current standards call for the discharge pipe to terminate at the exterior. We were unable to determine the termination point for the TPR valve which should be evaluated and serviced by a licensed specialist.
- 4.15. The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.

Plumbing Components (continued)



The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are an older cast-iron, with some newer PVC pipes which is more dependable than the cast-iron drainpipes.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roter service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

5.4. A clean-out is located at the front.

Plumbing Components (continued)



A clean-out is located at the front.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by twin 200 amp main panels located on the right side.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior cover for the main electrical panel is in acceptable condition.

1.5. The main panel and its components have no visible deficiencies.

1.6. The panel is not an original installation. Therefore, you should request documentation from the sellers, which will confirm that the installation was made with permit and by a licensed contractor.

1.7. The main conductor lines are underground, or contained in what is described as a lateral service entrance. This is characteristic of a modern electrical service but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of service.

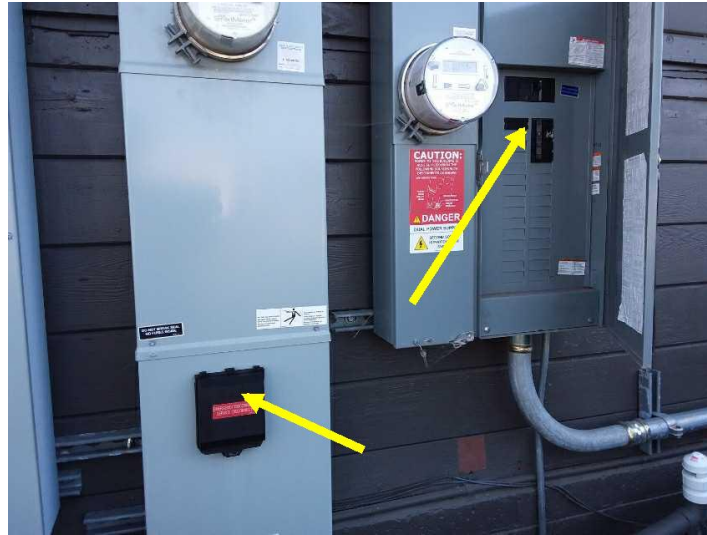
1.8. The wiring in the main electrical panel has no visible deficiencies.

1.9. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.10. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.11. We could not determine the point at which the electrical panel is grounded. Typically, this ground would be to a water pipe located at the main, at a water heater, or to a hose bib, but we could not find it at any of these locations.

Electrical Service Panels (continued)



The residence is served by twin 200 amp main panels located on the right side.

2. Sub Panel Observations

Observations:

2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

2.2. The sub panel is located at the right exterior side of the home.

2.3. Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

2.4. The exterior cover for the electrical sub panel is in acceptable condition.

2.5. The interior cover for the electrical sub panel is in acceptable condition.

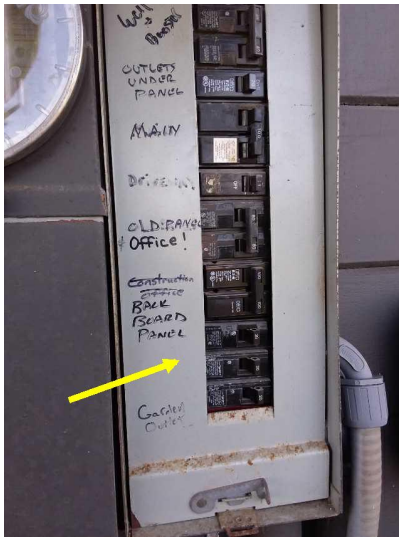
2.6. There are no visible deficiencies with the electrical wiring in the sub panel.

2.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

2.8. The circuit breakers have no visible deficiencies.

2.9. The neutral and ground wires are together on the same buss bar and should be separate. The ground wires should be bonded to the panel and the neutral wires should be separate and "floating" from the panel. We recommend that a licensed electrician evaluate and service the sub panel.

Electrical Service Panels (continued)



Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.



The neutral and ground wires are together on the same buss bar and should be separate. The ground wires should be bonded to the panel and the neutral wires should be separate and "floating" from the panel. We recommend that a licensed electrician evaluate and service the sub panel.

3. Sub Panel #2 Observations

Observations:

3.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

3.2. The sub panel is located at the rear exterior of the home.

3.3. Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

3.4. The exterior cover for the electrical sub panel is in acceptable condition.

3.5. The interior cover for the electrical sub panel is in acceptable condition.

3.6. There are no visible deficiencies with the electrical wiring in the sub panel.

3.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

3.8. The circuit breakers have no visible deficiencies.

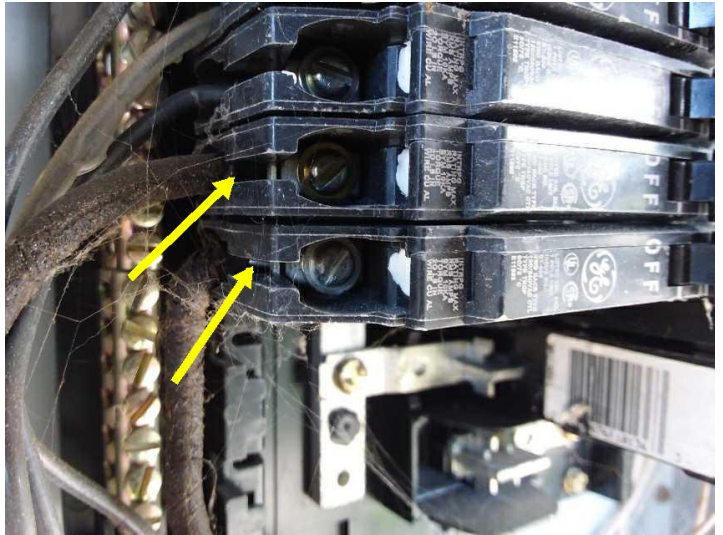
3.9. The grounding system in the sub panel is correct.

3.10. We have noted that single-strand aluminum or tin wire is present in the home, which is suspect because it does not conduct current as efficiently as copper wire, and can create a fire-hazard. Therefore, you should seek the counsel of a licensed electrician who is familiar with this issue or who performs copulum crimping.

Electrical Service Panels (continued)



Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.



We have noted that single-strand aluminum or tin wire is present in the home, which is suspect because it does not conduct current as efficiently as copper wire, and can create a fire-hazard. Therefore, you should seek the counsel of a licensed electrician who is familiar with this issue or who performs copulum crimping.

Interior Space

1. Main Entry

Observations:

- 1.1. The front and rear door are functional but not fully weather sealed.
- 1.2. The window panes are not tempered or safety glass which is required by current standards.
- 1.3. There are one or more offsets which could be a trip hazard that you may wish to have serviced.
- 1.4. The lights are functional.
- 1.5. The windows sills are cosmetically damaged which you should view for yourself.
- 1.6. Walls/ceilings have cosmetic damage that you should view for yourself.
- 1.7. There is a moisture stain on the ceiling that should be explained or explored further.
- 1.8. The floor is worn or cosmetically damaged, which you should view for yourself.
- 1.9. One or more outlets has an open-ground, and should be evaluated and serviced by a licensed electrical contractor.
- 1.10. There is exposed romex that should be protected in conduit and should be repaired by a licensed electrician.



The front door is functional but not fully weather sealed.



The window panes are not tempered or safety glass which is required by current standards.

Interior Space (continued)



There is a moisture stain on the ceiling that should be explained or explored further.



The windows sills are cosmetically damaged which you should view for yourself.

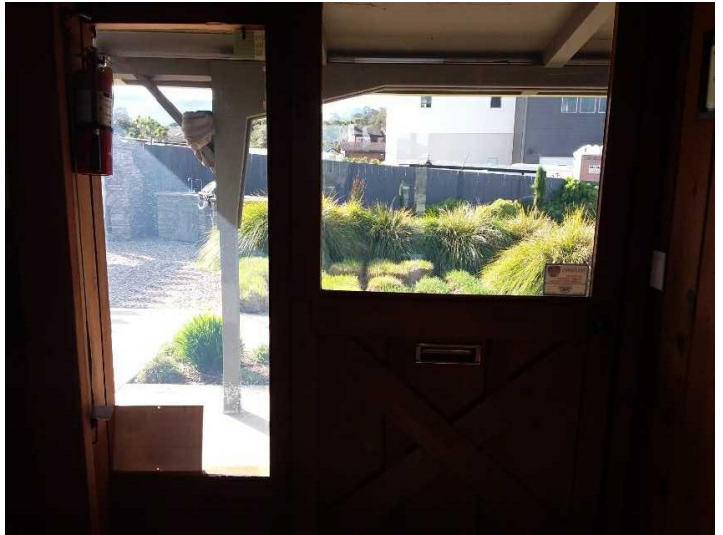


There is exposed romex that should be protected in conduit and should be repaired by a licensed electrician.

Interior Space (continued)



The front and rear door are functional but not fully weather sealed.



The window panes are not tempered or safety glass which is required by current standards.

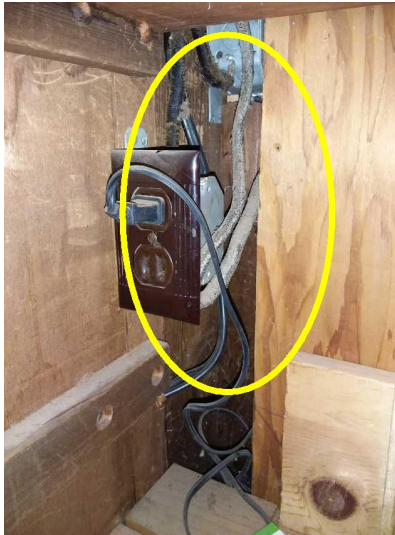


There is a moisture stain on the ceiling that should be explained or explored further.



There are one or more offsets which could be a trip hazard that you may wish to have serviced.

Interior Space (continued)



There is exposed romex that should be protected in conduit and should be repaired by a licensed electrician.

2. Office

Observations:

- 2.1. The Office is located adjacent to the main entry.
- 2.2. The lights are functional.
- 2.3. The windows sills are cosmetically damaged which you should view for yourself.
- 2.4. Walls/ceilings have cosmetic damage that you should view for yourself.
- 2.5. There is a moisture stain on the ceiling that should be explained or explored further.
- 2.6. The floor is worn or cosmetically damaged, which you should view for yourself.
- 2.7. The floor has cosmetic damage or cracks which you should view for yourself
- 2.8. The door rubs and needs to be serviced to open and close smoothly.
- 2.9. The door handle needs to be serviced to work smoothly.
- 2.10. One or more outlets has an open-ground, and should be evaluated and serviced by a licensed electrical contractor.
- 2.11. There is exposed romex or electrical wires that should be protected in conduit and should be repaired by a licensed electrician.
- 2.12. One or more of the single-hung windows will need to be serviced to function properly. Single-hung windows are typically designed so that the lower panel opens. The hardware needs to be serviced as the window will not properly stay in place when opened.

Interior Space (continued)



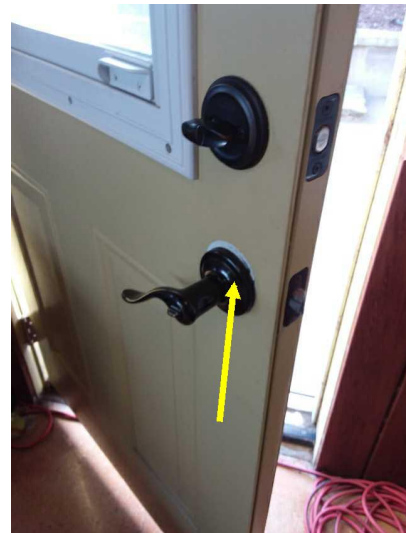
One or more of the single-hung windows will need to be serviced to function properly. Single-hung windows are typically designed so that the lower panel opens. The hardware needs to be serviced as the window will not properly stay in place when opened.



There is a moisture stain on the ceiling that should be explained or explored further.

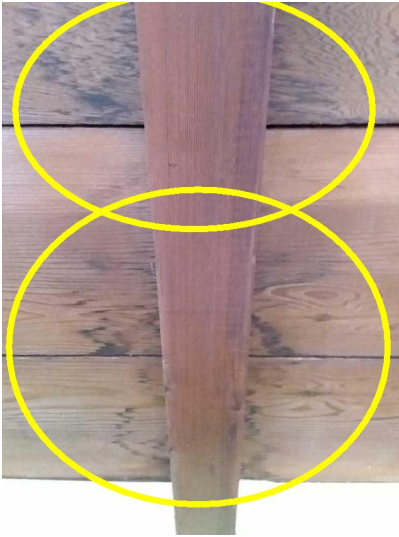


There is a moisture stain on the ceiling that should be explained or explored further.



The door handle needs to be serviced to work smoothly.

Interior Space (continued)



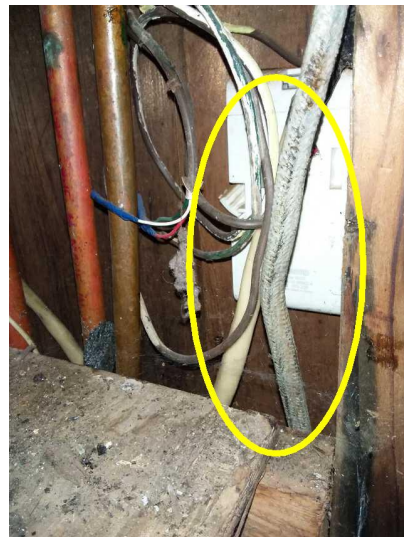
There is a moisture stain on the ceiling that should be explained or explored further.



There is exposed romex or electrical wires that should be protected in conduit and should be repaired by a licensed electrician.



There is exposed romex or electrical wires that should be protected in conduit and should be repaired by a licensed electrician.



There is exposed romex or electrical wires that should be protected in conduit and should be repaired by a licensed electrician.

3. Main Hallway

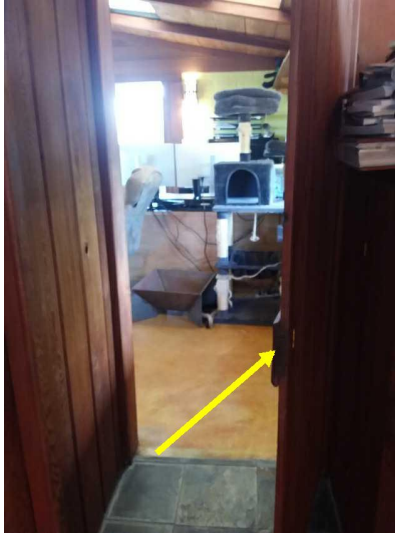
Observations:

3.1. This hallway leads to the rear entry.

3.2. The lights are functional.

3.3. The door rubs and needs to be serviced to open and close smoothly.

Interior Space (continued)



The door rubs and needs to be serviced to open and close smoothly.

Kitchenette

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

3. Countertop

Observations:

3.1. The counter top has typical damage such as small cracks or scuffs which your should view for yourself. .

Kitchenette (continued)

4. Electrical Components

Observations:

4.1. The countertop outlets that were tested are functional and include ground-fault protection.

4.2. The 220 outlet was not functional.

4.3. The lights are functional.

4.4. An outlet has an open ground, and should be serviced.

4.5. One or more outlet covers is missing or broken and should be serviced.

4.6. There is exposed romex that should be protected by installing the romex inside the wall cavity, or properly wired into conduit.



An outlet has an open ground, and should be serviced.



There is exposed romex that should be protected by installing the romex inside the wall cavity, or properly wired into conduit.

5. Sink and Faucet

Observations:

5.1. The sink is functional.

5.2. The sink faucet is functional.

5.3. The valves and connector below the sink are functional.

5.4. The trap and drain are functional.

6. Garbage Disposal Comments

Observations:

6.1. The garbage disposal is functional.

Kitchenette (continued)

7. Walls/Ceilings & Doors

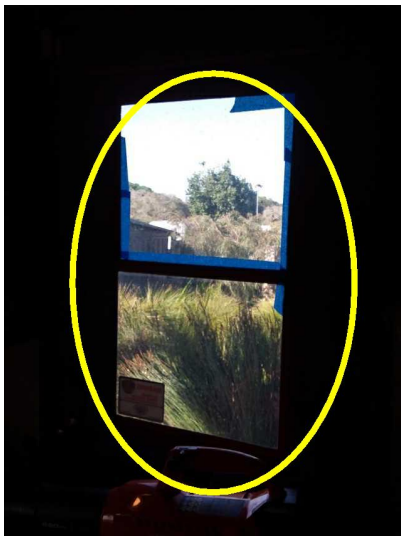
Observations:

7.1. A window is stuck, taped, or painted shut, and should be serviced.

7.2. The walls in the kitchenette have cosmetic damage that you should view for yourself.

7.3. There is a moisture stain on the ceiling that should be explained or explored further.

7.4. A single-hung window will need service such as adjusting or replacing the hardware to open and close smoothly and safely.



A window is stuck, taped, or painted shut, and should be serviced.



A single-hung window will need service such as adjusting or replacing the hardware to open and close smoothly and safely.



There is a moisture stain on the ceiling that should be explained or explored further.

Kitchenette (continued)

8. Flooring

Observations:

8.1. The floor is worn or has cosmetic damage, which you should view for yourself.

Bathrooms

1. 1st Guest Bathroom

Observations:

1.1. This bathroom is a half and is located adjacent to the rear entry and main hallway.

1.2. The cabinets have typical, cosmetic damage.

1.3. The sink countertop is functional.

1.4. The sink is functional.

1.5. A mechanical sink stopper is incomplete and should be serviced.

1.6. The trap and drain are functional.

1.7. The sink drain is slow or partially blocked and should be serviced, to ensure that the blockage has not progressed beyond the trap and involved the main waste line.

1.8. The sink outlet is functional and includes ground-fault protection.

1.9. The lights are functional.

1.10. The exhaust fan is functional.

1.11. The toilet is functional.

1.12. The toilet is identified as being a low-flush type. 1.28gpf

1.13. The walls have cosmetic damage that is commensurate with time and use, which you should view for yourself.

1.14. One or more outlets are functional, but should be upgraded to have ground-fault protection.

1.15. The bathroom wall outlet has an open-ground, and should be evaluated and serviced by a licensed electrical contractor.

Bathrooms (continued)



The bathroom wall outlet has an open-ground, and should be evaluated and serviced by a licensed electrical contractor.



The sink drain is slow or partially blocked and should be serviced, to ensure that the blockage has not progressed beyond the trap and involved the main waste line.

Heating & Air conditioning

1. Forced Air Furnace

Observations:

1.1. There is no conventional heat installed at this residence, which you may wish to have installed.