

Cornerstone Inspection

Property Inspection Report



9040 Caleta Ln, 93422, Atascadero, CA 93422
Inspection prepared for: Chris Cucchiara
Real Estate Agent: Chris Cucchiara - Keller Williams

Date of Inspection: 8/26/2026 Time: 9:00 AM

Age of Home: 1990 Size: 2700

Weather: Clear

Order ID: 14165

Inspector: Peter Ruiz

CREIA #167160

P.O. Box 1511, Pismo Beach, 93449

Phone: 805-704-3147

Email: peter@cornerstonecentralcoast.com



Table Of Contents

REPORT SUMMARY	3-7
Site and Other Comments	8
Exterior	9-22
Foundation Comments	23
Roofing	24-28
Fireplace	29-30
Plumbing Components	31-37
Electrical Service Panels	38-39
Interior Space	40-44
Bedrooms	45-55
Kitchen	56-59
Bathrooms	60-68
Laundry	69-70
Heating & Air conditioning	71-74
Attics	75-76
Garages	77-81

INTRODUCTION

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. After you have reviewed your report, please give us a call if you have any questions you would like us to address. Remember, once the inspection is completed and the report is delivered, we will remain available to provide more information throughout the entire closing process.

The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, because we recognize that our clients' time is valuable, and do not wish to provide you with an unnecessarily lengthy report about components that are not in need of service.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report are intended to illustrate an example of the issue being reported. More issues or defects may exist that could be discovered by a licensed specialist retained to evaluate the specific issue.

Locations of various components identified within the report such as 'left', 'right', 'front', or 'rear' of the property are described from the perspective of facing the front door. Please use the photo on the cover page of this report to define the 'front' of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

REPORT SUMMARY

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct, or items to which I would like to draw extra attention. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report, as the summary alone does not explain all of the issues. All repairs should be done by a licensed and bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for any work done on the property.

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Exterior

Page 14 Item: 6	Electrical Components	6.4. Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this important safety feature. 6.5. One or more outlets at the rear are not secure and should be evaluated and serviced by a licensed electrical contractor. 6.6. An exterior light is not properly secured or is loosely installed and should be serviced. 6.7. There are one or more open junction boxes that should be sealed by a licensed electrical contractor.
Page 16 Item: 8	Sliding Glass Doors and Screens	8.3. The lock on the master bedroom sliding glass door is missing or broken and should be repaired.

Roofing

Page 26 Item: 2	Composition Shingle Observations	2.6. The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.
-----------------	----------------------------------	---

Plumbing Components

Page 35 Item: 4	Gas Water Heater Comments	4.15. The vent pipe on the roof is rusted or deteriorated, and should be serviced by a qualified tradesperson. 4.16. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.
-----------------	------------------------------	--

Interior Space

Page 40 Item: 1	Main Entry	1.2. The deadbolt on the exterior door does not engage, and should be repaired or replaced.
Page 40 Item: 2	Living Room	2.2. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor. 2.3. A window pane is cracked or broken and should be replaced.
Page 41 Item: 3	Dining Room	3.4. One or more outlets have an obstruction within, and should be evaluated and serviced by a licensed electrical contractor.
Page 42 Item: 5	Main Hallway	5.4. The smoke detector did not respond to the test button, and should be serviced. 5.5. The carbon monoxide detector did not respond to the test button, and should be serviced. 5.6. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.
Page 43 Item: 6	Hallway 2	6.4. There is no smoke detector, which is mandated in this jurisdiction and should be installed. 6.5. One or more outlet covers are cracked or broken and should be replaced. 6.6. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

Bedrooms

Page 46 Item: 1	Master Bedroom Observations	1.8. A smoke alarm in the bedroom did not respond to the test button, and should be serviced. 1.9. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor. 1.10. One or more outlets have a scorch mark, and should be evaluated and serviced by a licensed electrical contractor. 1.11. One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.
Page 50 Item: 2	Bedroom 2	2.9. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor. 2.10. One or more light switches are not secure, and should be evaluated and serviced by a licensed electrical contractor. 2.11. One or more outlet covers are missing and should be installed. 2.12. A window pane is cracked or broken and should be replaced.
Page 53 Item: 3	Bedroom 3	3.7. There is no smoke alarm, and although one may not be mandated it is strongly recommended. 3.8. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.
Page 54 Item: 4	Bedroom 4	4.8. A pre-wired smoke detector is missing and should be replaced. 4.9. One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor. 4.10. A GFCI outlet did not trip when activated and should be repaired or replaced by a licensed electrical contractor. 4.11. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

Kitchen

Page 57 Item: 4	Electrical Components	4.2. One or more of the outlets in the kitchen are not GFCI protected, which is mandated by current standards and is an important safety feature.
-----------------	-----------------------	--

Page 59 Item: 9	Gas Range & Cook Top	9.2. The range does not have an anti-tip bracket installed, which should be serviced. An anti-tip bracket is a safety device intended to prevent the range from tipping over if excessive weight is applied to an open oven door.
-----------------	----------------------	---

Bathrooms

Page 62 Item: 1	Master Bathroom Observations	1.29. One or more outlet covers are missing and should be installed.
Page 65 Item: 2	Hallway Bathroom	2.17. One or more bathroom sink outlets are damaged, and should be evaluated and serviced by a licensed electrical contractor. 2.18. One or more bathroom sink outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.
Page 68 Item: 3	1st Guest Bathroom	3.18. The toilet is loose, and should be secured, as this could be a safety hazard.

Laundry

Page 70 Item: 1	Laundry Room	1.11. A water supply pipe or fitting is leaking and should be evaluated and serviced by a qualified plumbing contractor. 1.12. There is no cap on the gas valve. The gas valve should be capped when not in use.
-----------------	--------------	---

Heating & Air conditioning

Page 72 Item: 1	Forced Air Furnace	1.8. The furnace is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue. We recommend that you have it serviced and evaluated by a qualified tradesperson. 1.9. The furnace was not tested due to a missing thermostat and should be evaluated and serviced by a licensed HVAC contractor. 1.10. The vent pipe on the roof is rusted or deteriorated, and should be serviced by a qualified tradesperson. 1.11. The flexible gas connector passes through the furnace cabinet sidewall. Current standards require the gas supply to be rigid pipe until it passes beyond the furnace cabinet, so it is not damaged by the metal cabinet sidewall. The gas supply should then have an approved flexible connector to the gas shutoff valve. The local utility gas company will likely repair this issue for free. 1.12. The thermostat is missing and should be replaced. 1.13. The drain pan is rusted or deteriorated, which indicates previous standing water in the pan, and we recommend an evaluation and service by a qualified tradesperson.
-----------------	--------------------	---

Garages

Page 78 Item: 1	Single Car Garage	1.10. The voids in the garage firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence. 1.11. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat. 1.12. Some of the garage outlets do not have ground-fault protection and should be upgraded to include this important safety component. 1.13. One or more outlets have an obstruction within, and should be evaluated and serviced by a licensed electrical contractor. 1.14. One or more outlet covers are missing and should be installed. 1.15. A window pane is cracked or broken and should be replaced.
-----------------	-------------------	---

Site and Other Comments

1. Site and General Information

Observations:

1.1. The clients were not present during the inspection.

1.2. The property was vacant during our inspection.

1.3. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.4. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer disclosure obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.5. We do not inspect window coverings as a part of our service. However, there are blinds present with pull cords that have been found to be a choke hazard, especially if small children occupy the home. These cords should be secured within the window sill area at a point where they can only be reached by an adult.

1.6. We do not evaluate auxiliary structures, such as storage buildings, as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.7. We prefer to have our clients present during or immediately following the inspection, so that we can elaborate on what may well be complicated or technical issues that may be challenging for the layperson to effectively communicate. Therefore, to avoid any misunderstandings or miscommunications, we strongly encourage anyone utilizing this report to read the entire report, not just the summary, and to consult with us directly regarding any questions or concerns. In addition, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others.

1.8. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.9. The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

1.10. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

1.11. The home includes a security system that we do not have the expertise to evaluate and typically requires a third party to activate.

Site and Other Comments (continued)

2. Environmental Comments

Observations:

2.1. There are no functional carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home, adjacent to the bedrooms, but not any closer than 10 feet (3.05 m) to a gas appliance.

2.2. It is recommended that smoke alarms older than 10 years old be replaced due to safety concerns, as the sensors may no longer be effective.

2.3. Some smoke alarms within the home are connected to the security system and were not tested. We recommend that you inquire with the security company regarding their performance as well as if they require you to activate their service to make the smoke detectors functional.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, as they provide the most effective barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principal cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may be hidden or difficult to detect without the proper conditions present. For example, we may discover leaking windows while it is raining that may not have been apparent otherwise.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason, the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation, hard surfaces, area drains, and full or partial gutters. We did not observe any evidence of moisture threatening the living space. However, the area drains must be kept clean or moisture intrusion could result.

2.3. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

2.4. The property is served by area drains that appear to be in acceptable condition. However, because it is impossible to see inside them, the seller should verify that the drains are functional. Surface water carries minerals and silt that is deposited inside the pipes and hardens in the summer months to the consistency of wet concrete, which can impede drainage and require the pipes to be cleared by a plumbing service.

Exterior (continued)

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with stucco siding.

3.2. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches (30 cm) away from the home.

3.3. The soil is too high against the home at various areas around the residence, which should be serviced.

3.4. The siding needs typical maintenance, such as sealing and painting. This should include caulking and filling gaps or openings such as small cracks or openings at hose bibs, and sealing with a proper primer-sealer, then one or two finish coats.

3.5. There are small cracks in the stucco, which are quite common, and which you should view for yourself. Most cracks result from movement, and are structural in that respect, but the vast majority of them have only a cosmetic significance. You may wish to have an evaluation by a specialist.

3.6. There are separations, gaps, cracks or openings on the siding that need to be serviced/sealed. This includes hose bibs, electrical or cable wires that enter the home, or cracks around the windows or doors.



Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches (30 cm) away from the home.



The soil is too high against the home at various areas around the residence, which should be serviced.

Exterior (continued)



The siding needs typical maintenance, such as sealing and painting. This should include caulking and filling gaps or openings such as small cracks or openings at hose bibs, and sealing with a proper primer-sealer, then one or two finish coats.

4. Hard Surfaces

Observations:

- 4.1. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.2. There are one or more offsets in the driveway that could prove to be trip-hazards.
- 4.3. Asphalt driveways are not as durable as concrete ones and typically develop cracks.
- 4.4. We recommend periodically sealing and repairing the asphalt surface to extend its life and maintain appearance.
- 4.5. The driveway is damaged or has deteriorated and should be repaired.
- 4.6. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. There could be many causes for the cracks, such as by the lack of expansion joints, or a tree that is too close to the concrete decking.

Exterior (continued)



There are one or more offsets in the driveway that could prove to be trip-hazards.



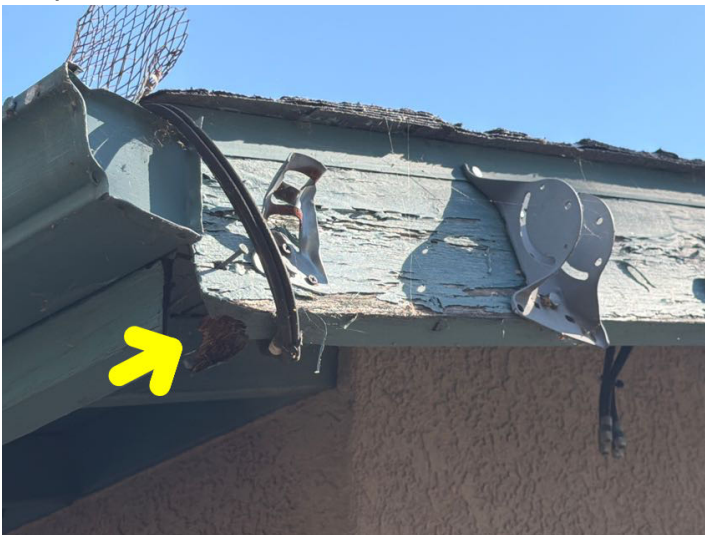
The driveway is damaged or has deteriorated and should be repaired.

5. Wood Trim, Facia and Eave

Observations:

5.1. Sections of the fascia, trim and/or eaves need maintenance type service, such as sealing and painting.

5.2. There is damage to the wood trim, fascia, and/or eaves that should be evaluated by a pest inspector.



There is damage to the wood trim, fascia, and/or eaves that should be evaluated by a pest inspector.



There is damage to the wood trim, fascia, and/or eaves that should be evaluated by a pest inspector.

Exterior (continued)



There is damage to the wood trim, fascia, and/or eaves that should be evaluated by a pest inspector.

6. Electrical Components

Observations:

6.1. Some of the exterior electrical outlets do not have a weather rated cover or the cover is damaged and should be serviced.

6.2. We were not able to activate some of the exterior lights. They may be operated on a timer, sensors, or have a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.

6.3. A light is missing its globe or cover and should be serviced.

6.4. Some of the exterior outlets do not have ground-fault protection, and should be upgraded to include this important safety feature.

6.5. One or more outlets at the rear are not secure and should be evaluated and serviced by a licensed electrical contractor.

6.6. An exterior light is not properly secured or is loosely installed and should be serviced.

6.7. There are one or more open junction boxes that should be sealed by a licensed electrical contractor.

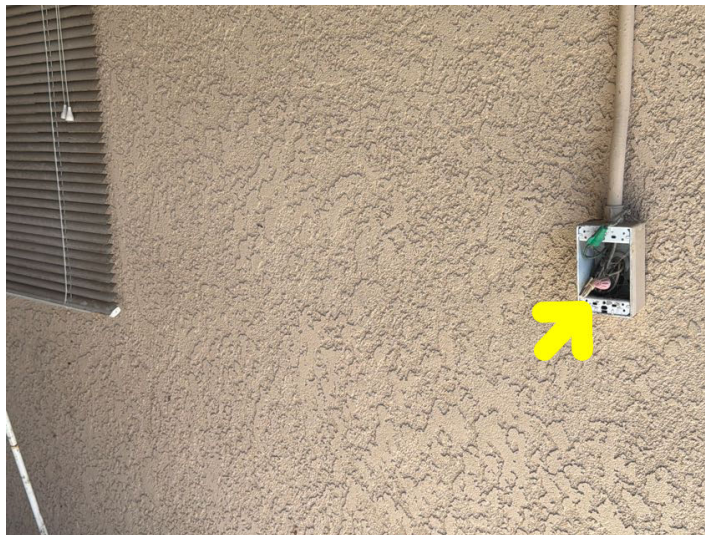
Exterior (continued)



One or more outlets at the rear are not secure and should be evaluated and serviced by a licensed electrical contractor.



An exterior light is not properly secured or is loosely installed and should be serviced.



There are one or more open junction boxes that should be sealed by a licensed electrical contractor.

7. Doors

Observations:

7.1. Damage was noted to an exterior door. There are many sizes and styles of exterior doors, many are no longer available and an exact match may not be possible. Refer to the pest report for further clarification.

Exterior (continued)



Damage was noted to the exterior door. There are many sizes and styles of exterior doors, many are no longer available and an exact match may not be possible. Refer to the pest report for further clarification.



Damage was noted to an exterior door. There are many sizes and styles of exterior doors, many are no longer available and an exact match may not be possible. Refer to the pest report for further clarification.

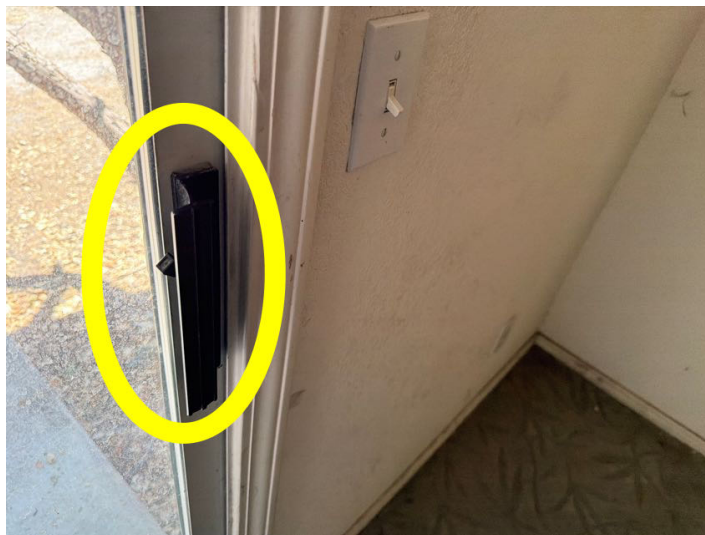
8. Sliding Glass Doors and Screens

Observations:

8.1. The master bedroom sliding glass door does not roll smoothly, and should be serviced, such as cleaning the track and/or adjusting the rollers.

8.2. A slider screen is missing, and you may wish to have it replaced.

8.3. The lock on the master bedroom sliding glass door is missing or broken and should be repaired.



The lock on the master bedroom sliding glass door is missing or broken and should be repaired.

Exterior (continued)

9. Windows

Observations:

9.1. In accordance with industry standards, we only test a representative sample of windows.

9.2. Dual-pane windows are present that include hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

9.3. There are one or more windows with a broken hermetic seal, identified within the report. Such windows should be replaced to improve energy efficiency. Hermetic seal failure is often difficult to identify. We recommend that an experienced window specialist evaluate all the windows, who may very well identify other defective windows.

9.4. One or more of the window screens are missing. Screens are often removed for aesthetic reasons, but you may wish to have them installed.

10. Stairs and Handrails

Observations:

10.1. The wood stairs need maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the stairs.

10.2. One or more steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven and three-quarter inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.

10.3. The railroad tie, wooden post, or natural stone steps are landscape components and would not conform to common standards requiring certain dimensions, handrails, guardrails, etcetera.

10.4. One or more handrails are not secure and should be serviced for optimal safety.

Exterior (continued)



One or more steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven and three-quarter inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.



The railroad tie, wooden post, or natural stone steps are landscape components and would not conform to common standards requiring certain dimensions, handrails, guardrails, etcetera.



The railroad tie, wooden post, or natural stone steps are landscape components and would not conform to common standards requiring certain dimensions, handrails, guardrails, etcetera.



One or more handrails are not secure and should be serviced for optimal safety.

Exterior (continued)

11. Fences and Gates

Observations:

11.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

11.2. The fences and gates have damage that is commensurate with their age, such as loose or missing boards, weathered boards and/or posts, which could be repaired but is not essential.

11.3. Sections of the fence are leaning or missing and should be repaired or replaced.

11.4. The fences have damage that you may wish to have repaired.

11.5. Portions of the fences are obscured by foliage or other material, which prevents a thorough inspection.

11.6. Portions of the fences or gates are dry rot or termite damaged, which should be evaluated by a termite inspector. However, you may wish to confirm that fences and gates are included in the termite inspection.

11.7. A gate needs typical maintenance-type service to open, close, or latch easily.



The fences have damage that you may wish to have repaired.

12. Yard and Retaining Walls

Observations:

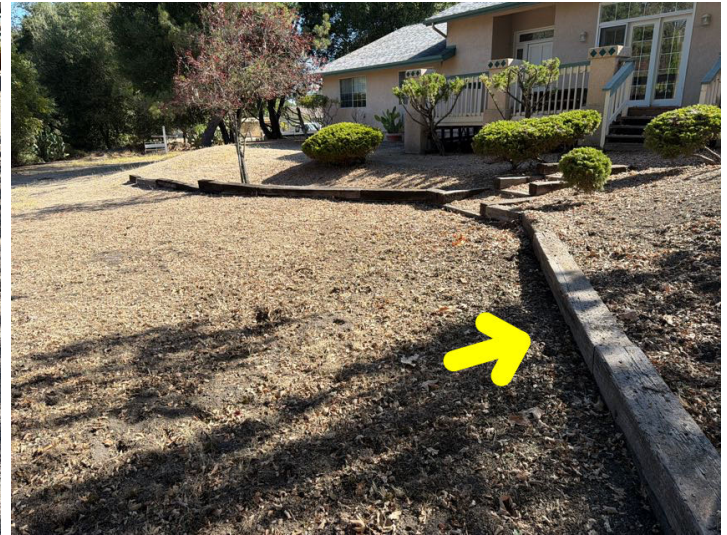
12.1. The yard walls may have some cosmetic damage but are functional.

12.2. The railroad-tie or wooden yard walls, though functional, have no structural value as retaining walls and will need to be periodically monitored for movement.

Exterior (continued)



The railroad-tie or wooden yard walls, though functional, have no structural value as retaining walls and will need to be periodically monitored for movement.



The railroad-tie or wooden yard walls, though functional, have no structural value as retaining walls and will need to be periodically monitored for movement.

13. Landscaping

Observations:

13.1. There are oak trees on this property, which we do not have the expertise to evaluate. However, there may be local ordinances that prevent some of them from being removed or significantly pruned without a permit, and you may wish to have them examined by an arborist.

13.2. There are trees on this property that we do not have the expertise to evaluate, and you may wish to have them examined by an arborist.

13.3. There are tree limbs over growing the residence that should be trimmed or monitored to ensure that they do not impact or damage the roof or its components.

13.4. Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.

Exterior (continued)



There are tree limbs over growing the residence that should be trimmed or monitored to ensure that they do not impact or damage the roof or its components.



There are tree limbs over growing the residence that should be trimmed or monitored to ensure that they do not impact or damage the roof or its components.

14. Decks

Observations:

14.1. One or more decks need maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the decks.

14.2. There is damage to one or more decks that should be evaluated by the pest inspector.



There is damage to one or more decks that should be evaluated by the pest inspector.

Exterior (continued)

15. Guardrails

Observations:

15.1. One or more guardrails do not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade. Also, guardrail pickets should be no more than 4 inches apart for child safety.

15.2. One or more guardrails are not secure, and should be serviced by a qualified specialist.

15.3. Sections of the guardrail need maintenance type service such as sealing, staining and/or painting.

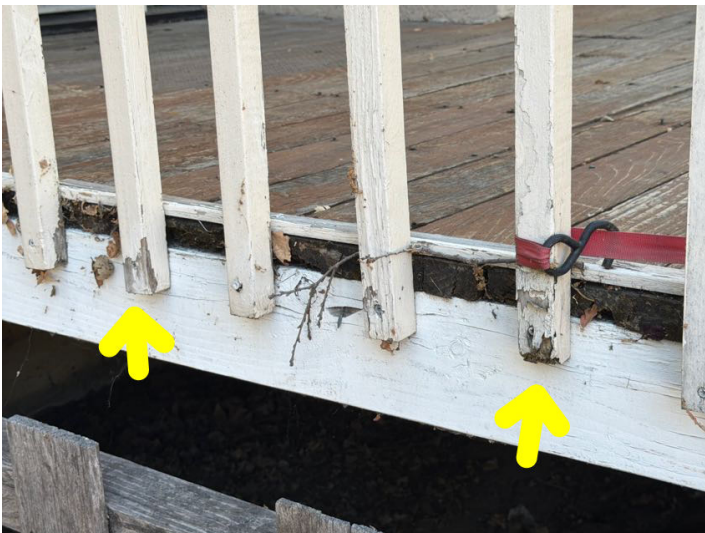
15.4. There is damage to one or more guardrails that should be evaluated by a pest inspector.



One or more guardrails do not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade. Also, guardrail pickets should be no more than 4 inches apart for child safety.



One or more guardrails are not secure, and should be serviced by a qualified specialist.



There is damage to one or more guardrails that should be evaluated by a pest inspector.



There is damage to one or more guardrails that should be evaluated by a pest inspector.

Exterior (continued)

16. Carport

Observations:

16.1. The carport is in acceptable condition.

17. Exterior Sink Comments

Observations:

17.1. The exterior sink is plumbed with cold water only.

17.2. The faucet is loose or does not fully swivel and should be secured.



The faucet is loose or does not fully swivel and should be secured.

Foundation Comments

1. Slab Foundation

Observations:

1.1. This residence has a slab foundation. Such foundations vary considerably, from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both of these improvements. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture nor lift carpeting and/or padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built (or move) out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, under which most authorities regard being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4 inch and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage. If they are not sealed they can allow moisture to enter a residence, particularly if the residence is surcharged by a hill or slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but our recommendation should not deter you from seeking the opinion of any such expert, and we would be happy to refer one.

1.2. We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

1.3. The slab is typical with no visible structural abnormalities.

Roofing

1. Roof Gutters

Observations:

1.1. The gutters need to be cleaned to drain properly.

1.2. It would be prudent to have splash blocks installed at the bottom of the downspouts, to divert water away from the house and its foundation.

1.3. We recommend that you install gutter guards to restrict leaves and other debris from entering the gutter system, which could restrict proper drainage.

1.4. A downspout is physically restricted where the water exits and should be fully opened to prevent debris from backing up the gutter system.

Roofing (continued)



A downspout is physically restricted where the water exits and should be fully opened to prevent debris from backing up the gutter system.

Roofing (continued)

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The most common of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors, including the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. It does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks, many of which only become evident after they have caused other damage. Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. We observed repairs done to the roof. You should have the sellers disclose the reason that the repairs were completed, as well as any documentation of any warranty or guarantee from the roofer.

2.4. One or more of the roof flashings need to be sealed or serviced. They are comprised of metal that seals valleys, vents, and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashings on a layered roof, which are covered by the roofing material and are even more susceptible to leaks.

2.5. There is/was a satellite dish that was installed on the roof without flashing, and the area will need to be sealed regularly to prevent moisture from entering during rains.

2.6. The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.

Roofing (continued)



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.

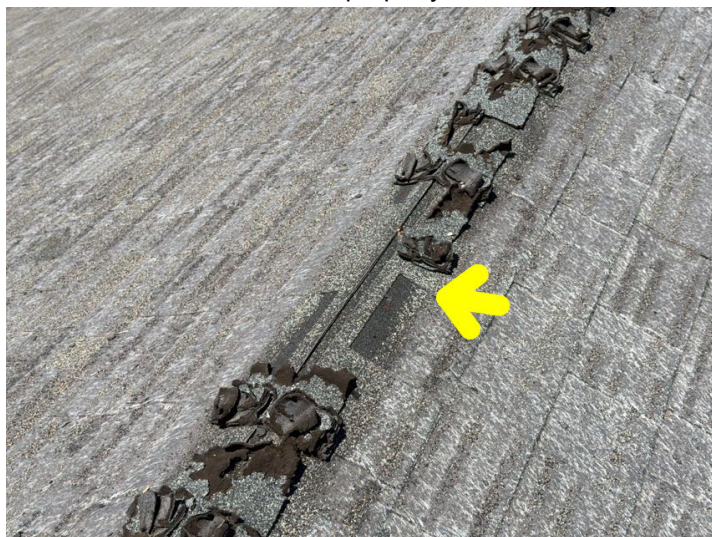
Roofing (continued)



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.



The roof is at the end of its serviceable life, and should be evaluated by a licensed roofing contractor, because it could leak and the cost of replacing it could affect your evaluation of the property.

Roofing (continued)



We observed repairs done to the roof. You should have the sellers disclose the reason that the repairs were completed, as well as any documentation of any warranty or guarantee from the roofer.



We observed repairs done to the roof. You should have the sellers disclose the reason that the repairs were completed, as well as any documentation of any warranty or guarantee from the roofer.



There is/was a satellite dish that was installed on the roof without flashing, and the area will need to be sealed regularly to prevent moisture from entering during rains.

Fireplace

1. Family Room Fireplace

Observations:

1.1. The chimney is a pre-fabricated chimney, which is constructed on site with approved components. We perform a competent inspection of them, but we are not specialists, and our inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and we cannot guarantee that any particular component is the one stipulated for use by the manufacturer.

1.2. The firebox is in acceptable condition.

1.3. A damper-stop is recommended as a safety feature of the gas log fire, which prevents it from being fully closed.

1.4. The gas log starter in the fireplace is functional.

1.5. The chimney flue is due for cleaning. The chimney flue need to be periodically cleaned to prevent the possibility of chimney fires. However, the complex variety of deposits that form within chimneys are not easily understood. They range from pure carbon, which does not burn, to tars that can ignite. All of these deposits are commonly described as creosote, but creosote has many forms, ranging from crusty carbon deposits that can be easily brushed away, to a tar-glazed creosote that requires chemical cleaning. These deposits should be identified and treated or cleaned by a specialist.

1.6. The fireplace glass doors are functional.

1.7. The fireplace hearth is in acceptable condition.

1.8. The fireplace mantle is in acceptable condition.

1.9. The sheet metal chase cover, which is designed to seal the chimney wall and shed rainwater, is damaged, deteriorated, or rusted and should be serviced by a certified fireplace specialist.

1.10. A functional spark arrestor and a weather-cap in place on the chimney.

1.11. The chimney walls appear to be in acceptable condition.

1.12. The chimney flashings are in acceptable condition.

Fireplace (continued)



The sheet metal chase cover, which is designed to seal the chimney wall and shed rainwater, is damaged, deteriorated, or rusted and should be serviced by a certified fireplace specialist.

Plumbing Components

1. Water Supply Comments

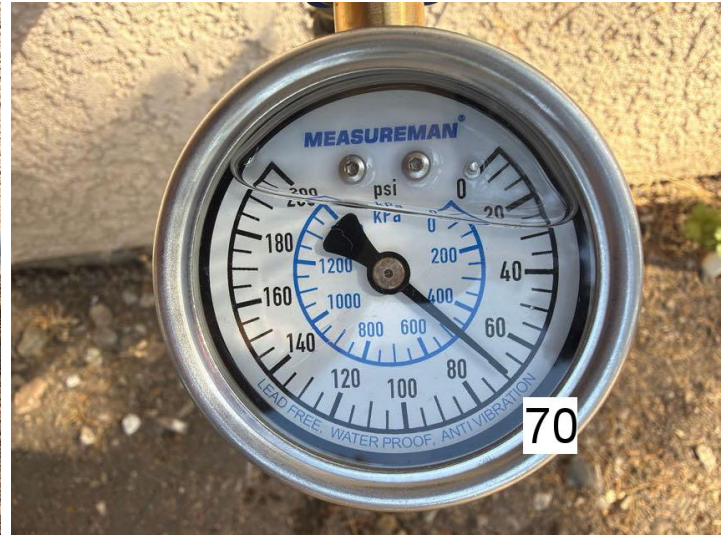
Observations:

- 1.1. The main water shut-off valve is located at the right side of the home, unit, or building.
- 1.2. The water pressure entering the residence is under 80 PSI and a regulator is not required on the plumbing system.
- 1.3. The main water shutoff valve is an older 'Gate' style valve. This older valve may no longer properly function. We recommend it be upgraded to a newer 'Ball' valve.
- 1.4. The residence is served primarily by copper potable water pipes. The visible copper water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls, and we can only view the pipes as they exit the walls.
- 1.5. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls, and we can only view the pipes as they exit the walls.

Plumbing Components (continued)



The main water shut-off valve is located at the right side of the home, unit, or building.



The water pressure entering the residence is under 80 PSI and a regulator is not required on the plumbing system.



The main water shutoff valve is an older 'Gate' style valve. This older valve may no longer properly function. We recommend it be upgraded to a newer 'Ball' valve.

Plumbing Components (continued)

2. Gas Service Information

Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell the distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shut off the gas at the main and clear the area. Immediately call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

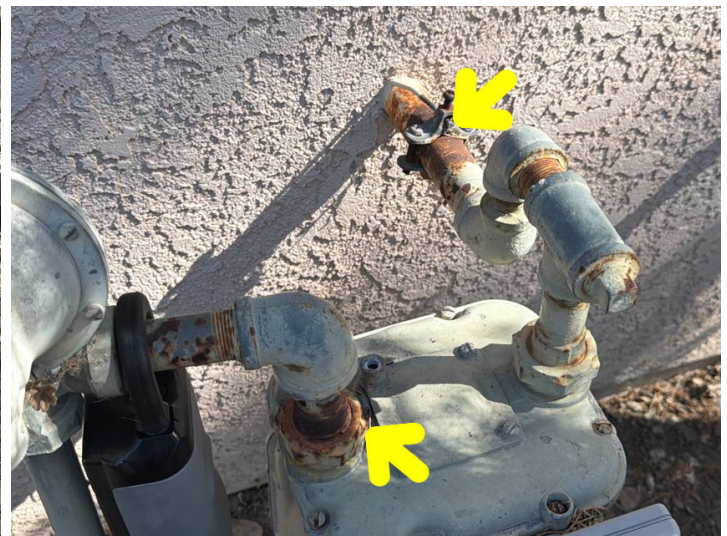
2.2. The gas main shut-off is located on the right side of the home, unit or building.

2.3. We recommend that a wrench, designed to fit the gas shut-off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.

2.4. One or more of the gas pipes at the meter are rusted and should be painted to prevent further corrosion.



The gas main shut-off is located on the right side of the home, unit or building.



One or more of the gas pipes at the meter are rusted and should be painted to prevent further corrosion.

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested do not include anti-siphon valves. These valves are relatively inexpensive, and are required by current standards. However, we may not have located and tested every hose bib on the property.

3.3. A hose bib on the right side is not fully secured and should be serviced by a qualified plumbing contractor.

3.4. A hose bib on the rear is not functional or has been abandoned.

Plumbing Components (continued)



A hose bib on the right side is not fully secured and should be serviced by a qualified plumbing contractor.



A hose bib on the rear is not functional or has been abandoned.



A hose bib on the rear is not functional or has been abandoned.

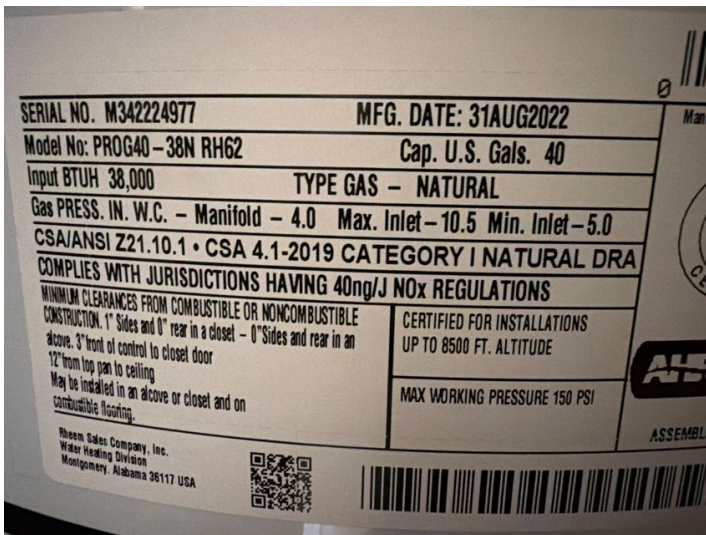
Plumbing Components (continued)

4. Gas Water Heater Comments

Observations:

- 4.1. Hot water is provided by a 40 gallon gas water heater that is located in a hallway 2 closet.
- 4.2. The water heater is functional and there were no leaks at the time of our inspection.
- 4.3. The water heater is about 4 years old.
- 4.4. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and are susceptible to damage due to the lack of use.
- 4.5. The water heater system includes a recirculating pump that we do not have the expertise to evaluate. We recommend having the seller disclose its operation, maintenance history, and relevant documentation.
- 4.6. The gas control valve and its connector at the water heater are presumed to be functional.
- 4.7. The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.
- 4.8. The discharge pipe from the pressure relief valve has been incorrectly plumbed uphill. We recommend an evaluation by a licensed plumber.
- 4.9. The drain valve at the gas water heater has been capped, which could imply that the valve leaks and may need to be serviced.
- 4.10. The water heater is equipped with a drip pan, which is designed to minimize water damage from a leak, but does not include a visible drainpipe to the exterior. Therefore, the water heater should be monitored periodically for signs of a leak.
- 4.11. We recommend adding a moisture sensor to the pan, which will alert to the presence of a water leak. Many of the sensors are wireless and can be controlled with home automation systems or virtual assistant apps.
- 4.12. The water heater appears to have adequate combustion-air.
- 4.13. The water heater is seismically secured.
- 4.14. There is a moisture stain on the wall or ceiling that should be explained or explored further.
- 4.15. The vent pipe on the roof is rusted or deteriorated, and should be serviced by a qualified tradesperson.
- 4.16. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

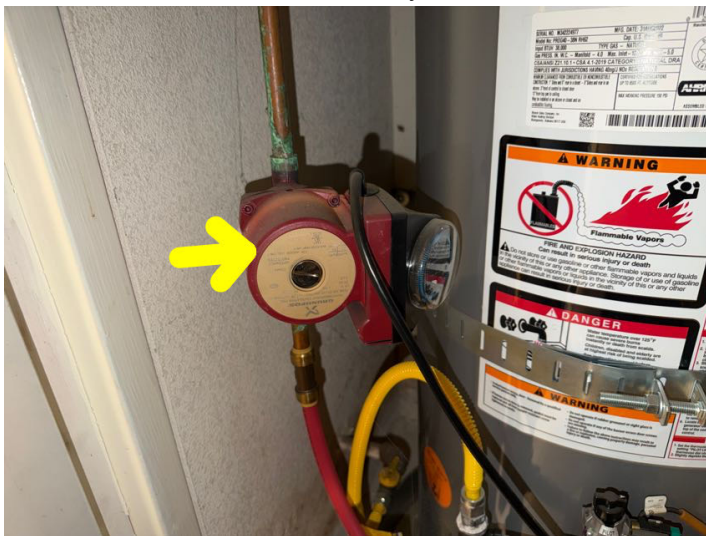
Plumbing Components (continued)



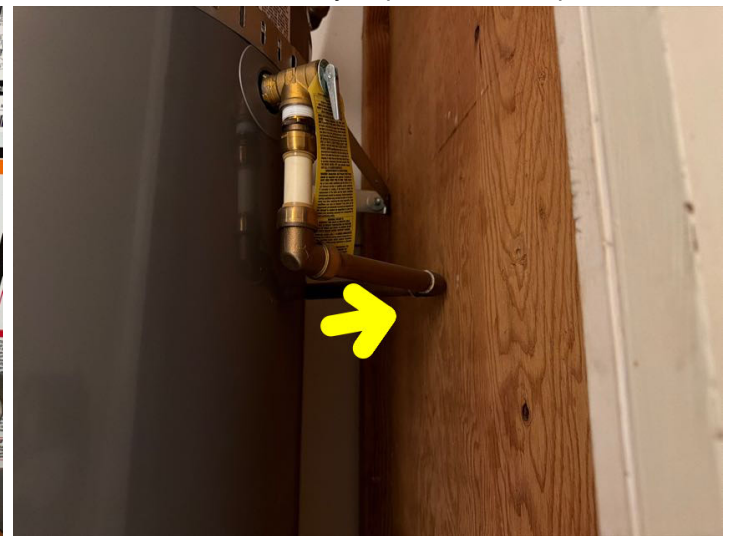
Hot water is provided by a 40 gallon gas water heater that is located in a hallway 2 closet.



The vent pipe on the roof is rusted or deteriorated, and should be serviced by a qualified tradesperson.

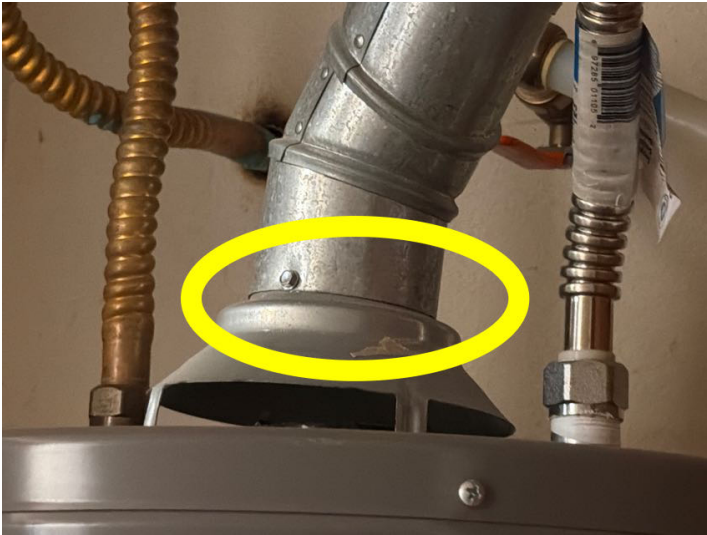


The water heater system includes a recirculating pump that we do not have the expertise to evaluate. We recommend having the seller disclose its operation, maintenance history, and relevant documentation.



The discharge pipe from the pressure relief valve has been incorrectly plumbed uphill. We recommend an evaluation by a licensed plumber.

Plumbing Components (continued)



The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.



The drain valve at the gas water heater has been capped, which could imply that the valve leaks and may need to be serviced.



There is a moisture stain on the wall or ceiling that should be explained or explored further.

Plumbing Components (continued)

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

5.4. A clean-out is located at the rear.



A clean-out is located at the rear.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weather proof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 100 amp main electrical panel, located at the right side of the home or unit.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior panel cover is missing one or more of its fasteners or screws and should be serviced.

1.5. Various circuits within the main electrical panel are not labeled, and this condition should be serviced by a qualified electrical contractor so that the appropriate load calculations and breaker sizes can be determined.

1.6. The main conductor lines are underground, or contained in what is described as a lateral service entrance. This is characteristic of a modern electrical service but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of our service.

1.7. The wiring in the main electrical panel has no visible deficiencies.

1.8. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.9. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.10. The main electrical panel is grounded to a water pipe.

1.11. We could not determine the point at which the electrical panel is secondarily grounded. Typically, this ground would be to a water pipe located at the main, at a water heater, or to a hose bib, but we could not find it at any of these locations. However, a water pipe ground may have been removed when the house was re-plumbed in copper. Therefore, it should be traced by an electrician or the panel should be re-grounded.

Electrical Service Panels (continued)



The residence is served by a 100 amp main electrical panel, located at the right side of the home or unit.



The interior panel cover is missing one or more of its fasteners or screws and should be serviced.

Interior Space

1. Main Entry

Observations:

- 1.1. It would be prudent to add a door stop at the door to protect the wall into which it opens.
- 1.2. The deadbolt on the exterior door does not engage, and should be repaired or replaced.

2. Living Room

Observations:

- 2.1. The living room is located adjacent to the main entry.
- 2.2. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.
- 2.3. A window pane is cracked or broken and should be replaced.

Interior Space (continued)



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.



A window pane is cracked or broken and should be replaced.

3. Dining Room

Observations:

3.1. The dining room is located adjacent to the kitchen.

3.2. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

3.3. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.

3.4. One or more outlets have an obstruction within, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets have an obstruction within, and should be evaluated and serviced by a licensed electrical contractor.



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

Interior Space (continued)

4. Family Room

Observations:

4.1. The family room is located adjacent to the kitchen.

4.2. The ceiling fan is functional but out of balance and should be serviced so the fan operates smoothly.

4.3. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

4.4. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.

4.5. The floor is worn or cosmetically damaged, which you should view for yourself.



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

5. Main Hallway

Observations:

5.1. This hallway leads to the master bedroom and bedrooms 2 and 3.

5.2. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.

5.3. The floor is worn or cosmetically damaged, which you should view for yourself.

5.4. The smoke detector did not respond to the test button, and should be serviced.

5.5. The carbon monoxide detector did not respond to the test button, and should be serviced.

5.6. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.

Interior Space (continued)



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.

6. Hallway 2

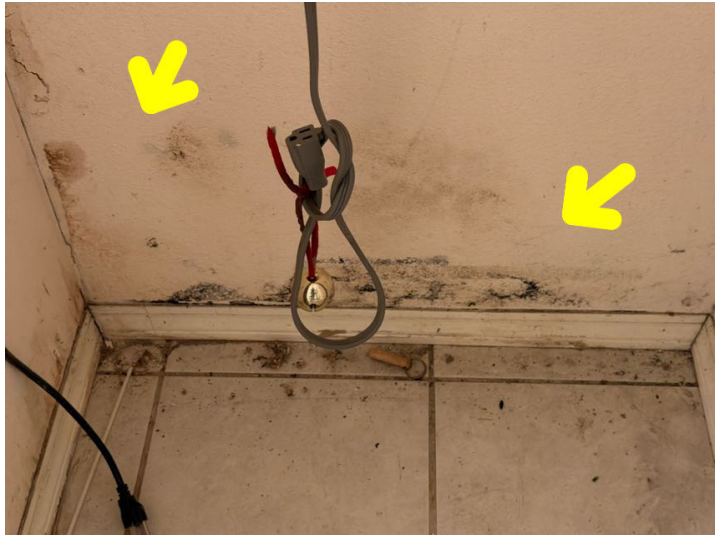
Observations:

- 6.1. This hallway leads to bedroom 4.
- 6.2. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.
- 6.3. There is a moisture stain on the wall or ceiling that should be explained or explored further.
- 6.4. There is no smoke detector, which is mandated in this jurisdiction and should be installed.
- 6.5. One or more outlet covers are cracked or broken and should be replaced.
- 6.6. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

Interior Space (continued)



There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.



There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.



There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.



One or more outlet covers are cracked or broken and should be replaced.

Interior Space (continued)



There is a moisture stain on the wall or ceiling that should be explained or explored further.

Bedrooms

1. Master Bedroom Observations

Observations:

- 1.1. This bedroom is located at the end of the main hallway to the right.
- 1.2. It would be prudent to add door stops at the doors to protect the walls into which they open.
- 1.3. The entry door is damaged and should be serviced.
- 1.4. One or more of the windows do not roll smoothly and will need service, such as cleaning, lubricating or adjusting the hardware.
- 1.5. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.
- 1.6. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.
- 1.7. There is a moisture stain on the wall or ceiling that should be explained or explored further.
- 1.8. A smoke alarm in the bedroom did not respond to the test button, and should be serviced.
- 1.9. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.
- 1.10. One or more outlets have a scorch mark, and should be evaluated and serviced by a licensed electrical contractor.
- 1.11. One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.

Bedrooms (continued)



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets have a scorch mark, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.

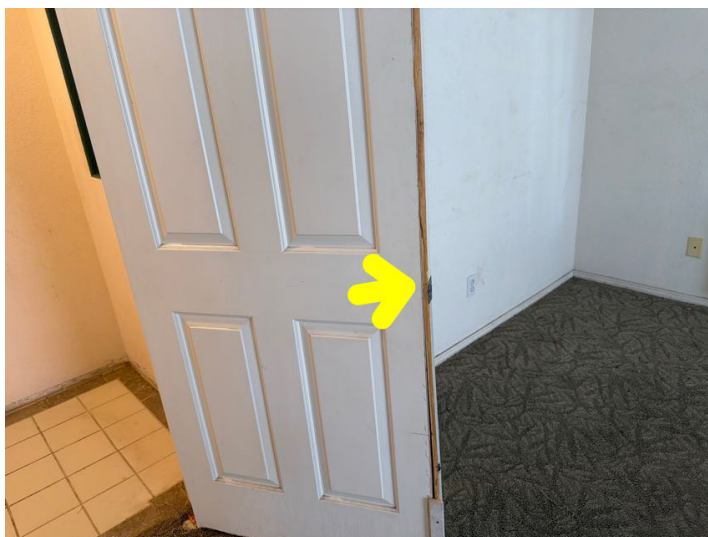


One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.

Bedrooms (continued)



The entry door is damaged and should be serviced.



The entry door is damaged and should be serviced.



There is a moisture stain on the wall or ceiling that should be explained or explored further.



One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.

Bedrooms (continued)



There is a moisture stain on the wall or ceiling that should be explained or explored further.



There is a moisture stain on the wall or ceiling that should be explained or explored further.



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

Bedrooms (continued)

2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the end of the main hallway to the left.
- 2.2. The smoke alarm responded to the test button, but should be checked and tested periodically.
- 2.3. The entry door handle and hardware are missing and should be serviced.
- 2.4. The closet door knob is loose and needs to be serviced to work smoothly.
- 2.5. The ceiling fan is damaged and should be serviced.
- 2.6. One or more of the windows do not roll smoothly and will need service, such as cleaning, lubricating or adjusting the hardware.
- 2.7. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.
- 2.8. There is a moisture stain on the wall or ceiling that should be explained or explored further.
- 2.9. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.
- 2.10. One or more light switches are not secure, and should be evaluated and serviced by a licensed electrical contractor.
- 2.11. One or more outlet covers are missing and should be installed.
- 2.12. A window pane is cracked or broken and should be replaced.



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.

Bedrooms (continued)



One or more light switches are not secure, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlet covers are missing and should be installed.



A window pane is cracked or broken and should be replaced.



The entry door handle and hardware are missing and should be serviced.

Bedrooms (continued)



The ceiling fan is damaged and should be serviced.



There is a moisture stain on the wall or ceiling that should be explained or explored further.



There is a moisture stain on the wall or ceiling that should be explained or explored further.



There is a moisture stain on the wall or ceiling that should be explained or explored further.

Bedrooms (continued)

3. Bedroom 3

Observations:

3.1. This bedroom is located at the 1st bedroom door on the left going down the main hallway.

3.2. The door guides for the bypass closet doors are missing. The doors can become scratched and damaged without the guides.

3.3. The ceiling fan is functional but rocks at high speeds and should be serviced so the fan operates smoothly.

3.4. One or more of the windows do not roll smoothly and will need service, such as cleaning, lubricating or adjusting the hardware.

3.5. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

3.6. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.

3.7. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

3.8. One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlets have an open-neutral, and should be evaluated and serviced by a licensed electrical contractor.

Bedrooms (continued)



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

4. Bedroom 4

Observations:

- 4.1. This bedroom is located at the end of hallway 2.
- 4.2. The door knob is loose and needs to be serviced to work smoothly.
- 4.3. An exterior door has moisture damage, and should be evaluated by a pest inspector.
- 4.4. The door guides for the bypass closet doors are missing. The doors can become scratched and damaged without the guides.
- 4.5. The ceiling fan is functional but rocks at high speeds and should be serviced so the fan operates smoothly.
- 4.6. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.
- 4.7. The floor slopes and was probably once an exterior surface, such as that of a porch or patio.
- 4.8. A pre-wired smoke detector is missing and should be replaced.
- 4.9. One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.
- 4.10. A GFCI outlet did not trip when activated and should be repaired or replaced by a licensed electrical contractor.
- 4.11. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

Bedrooms (continued)



A pre-wired smoke detector is missing and should be replaced.



One or more outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.



A GFCI outlet did not trip when activated and should be repaired or replaced by a licensed electrical contractor.



There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

Bedrooms (continued)



The walls or ceiling have cosmetic damage, which you may wish to view for yourself.



An exterior door has moisture damage, and should be evaluated by a pest inspector.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The cabinets will need service to work well, such as replacing or adjusting drawer glides, pull latches, hinges, catches, etc.

3. Countertop

Observations:

3.1. The counter top has damage such as small cracks or scuffs which you should view for yourself.

3.2. A typical separation between the kitchen counter top and the backsplash should be grouted or caulked to forestall moisture intrusion.

3.3. An open seam between the sink and the counter top needs to be caulked or re-grouted to forestall moisture intrusion.

Kitchen (continued)



The counter top has damage such as small cracks or scuffs which you should view for yourself.



A typical separation between the kitchen counter top and the backsplash should be grouted or caulked to forestall moisture intrusion.



An open seam between the sink and the counter top needs to be caulked or re-grouted to forestall moisture intrusion.

4. Electrical Components

Observations:

4.1. A ceiling light panel is missing or broken and you may wish to have it replaced.

4.2. One or more of the outlets in the kitchen are not GFCI protected, which is mandated by current standards and is an important safety feature.

Kitchen (continued)



One or more of the outlets in the kitchen are not GFCI protected, which is mandated by current standards and is an important safety feature.



One or more of the outlets in the kitchen are not GFCI protected, which is mandated by current standards and is an important safety feature.



A ceiling light panel is missing or broken and you may wish to have it replaced.

5. Sink and Faucet

Observations:

- 5.1. The sink is functional.
- 5.2. The sink faucet is functional.
- 5.3. The valves and connector below the sink are functional.
- 5.4. The trap and drain are functional.

Kitchen (continued)

6. Garbage Disposal Comments

Observations:

6.1. The garbage disposal is functional.

7. Dishwasher Comments

Observations:

7.1. The dishwasher does not progress through its cycles, and should be demonstrated as functional or evaluated.

8. Exhaust Fan

Observations:

8.1. The exhaust fan or downdraft is functional.

9. Gas Range & Cook Top

Observations:

9.1. The gas range is functional, but was neither calibrated nor tested for its performance.

9.2. The range does not have an anti-tip bracket installed, which should be serviced. An anti-tip bracket is a safety device intended to prevent the range from tipping over if excessive weight is applied to an open oven door.

10. Walls/Ceilings/Windows & Doors

Observations:

10.1. One or more of the windows do not roll smoothly and will need service, such as cleaning, lubricating or adjusting the hardware.

10.2. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

10.3. Walls/ceilings have cosmetic damage that you should view for yourself.

10.4. There is a moisture stain on the ceiling that should be explained or explored further.

Kitchen (continued)



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.



There is a moisture stain on the ceiling that should be explained or explored further.

Bathrooms

1. Master Bathroom Observations

Observations:

- 1.1. The master bathroom is a full and is located adjacent to the master bedroom.
- 1.2. The cabinet hardware needs maintenance-type service, such as that to latches, knobs, catches, hinges, or drawer glides.
- 1.3. The sink countertop has cosmetic damage you should view for yourself, such as cracks, chips, or missing grout.
- 1.4. There is a separation between the sink and the countertop, which should be sealed to forestall moisture intrusion.
- 1.5. The bathroom sinks are functional.
- 1.6. The bathroom sink has rusted at the drain or overflow inlet. It is not leaking, but will obviously be susceptible to leaks.
- 1.7. The mechanical sink stoppers are incomplete and should be serviced.
- 1.8. The sink faucets emit a low volume of water flow, and should be evaluated by a licensed plumbing contractor.
- 1.9. The trap and drain are functional.
- 1.10. The outlets are functional and include ground-fault protection.
- 1.11. The lights are functional.
- 1.12. There is no exhaust fan and although there are operable windows, we recommend one be installed.
- 1.13. The toilet is functional.
- 1.14. The toilet is identified as a low flush type, and is rated at 1.28 GPF.
- 1.15. The shower is functional and the showerhead is 2.0 gpm.
- 1.16. We do not pressure test shower pans. This can be performed by a licensed plumber or a leak detection company. Some termite/pest control operators will do this test on a single-story home, and you may wish to check with them for availability.
- 1.17. One or more open seams in the shower area need to be caulked or re-grouted to forestall moisture intrusion.
- 1.18. The shower valve handle is loose and should be serviced.
- 1.19. The shower door seal is missing or damaged, and should be serviced.
- 1.20. The tub is functional.

Bathrooms (continued)

1.21. One or more open seams in the tub area need to be caulked or re-grouted to forestall moisture intrusion.

1.22. There is moisture damaged drywall adjacent to the tub or shower, which is not uncommon but should be repaired.

1.23. There is a moisture stain on the ceiling that should be explained by the sellers or further evaluated as to its cause.

1.24. There has been a drywall repair that should be explained by the seller.

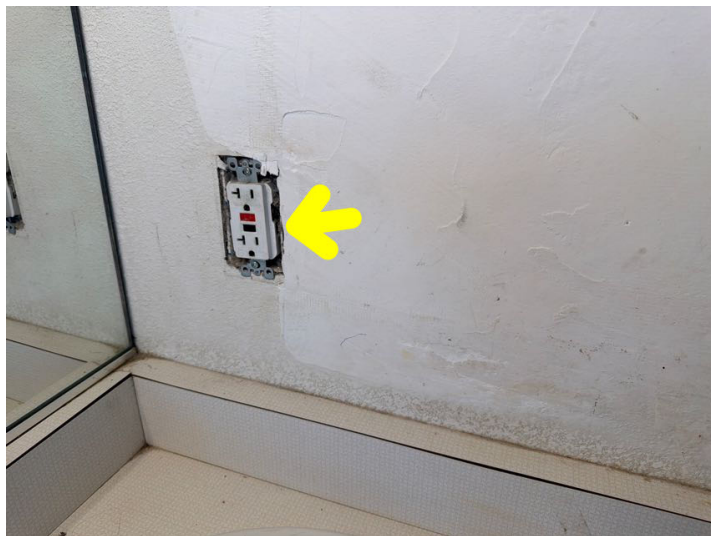
1.25. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.

1.26. One or more of the windows do not roll smoothly and will need service, such as cleaning, lubricating or adjusting the hardware.

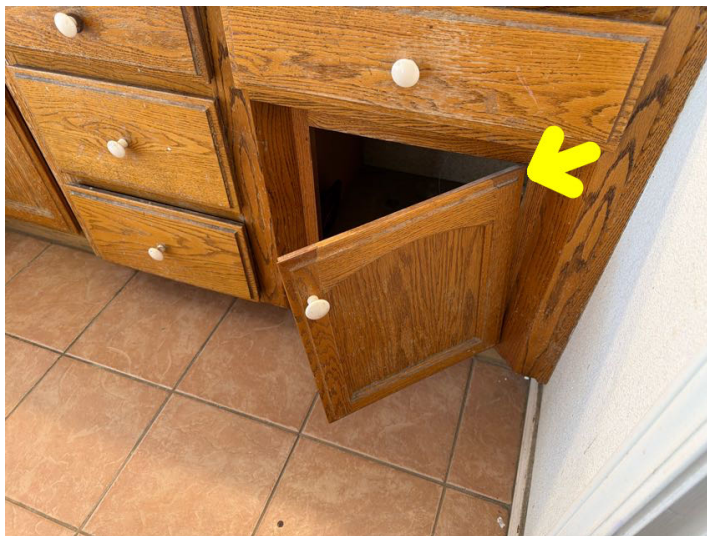
1.27. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

1.28. It would be prudent to add a door stop at the door to protect the wall into which it opens.

1.29. One or more outlet covers are missing and should be installed.



One or more outlet covers are missing and should be installed.



The cabinet hardware needs maintenance-type service, such as that to latches, knobs, catches, hinges, or drawer glides.

Bathrooms (continued)



The bathroom sink has rusted at the drain or overflow inlet. It is not leaking, but will obviously be susceptible to leaks.



There is a separation between the sink and the countertop, which should be sealed to forestall moisture intrusion.



The shower valve handle is loose and should be serviced.



The shower door seal is missing or damaged, and should be serviced.

Bathrooms (continued)



There is a moisture stain on the ceiling that should be explained by the sellers or further evaluated as to its cause.



There has been a drywall repair that should be explained by the seller.



There has been a drywall repair that should be explained by the seller.



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

Bathrooms (continued)

2. Hallway Bathroom

Observations:

- 2.1. The hallway bathroom is a full and is located adjacent to the hallway.
- 2.2. The cabinets have typical, cosmetic damage, or that which is commensurate with age.
- 2.3. There is a separation between the sink and the countertop, which should be sealed to forestall moisture intrusion.
- 2.4. The bathroom sinks are functional.
- 2.5. The sink faucets leak around the stem while in use, and should be repaired.
- 2.6. The trap and drain are functional.
- 2.7. The lights are functional.
- 2.8. The exhaust fan is functional but noisy. You may wish to consider upgrading it for a quieter one.
- 2.9. The toilet is functional.
- 2.10. The toilet is identified as a low-flush type, and is a dual flush rated at 1.1/1.6 GPF.
- 2.11. The tub-shower is functional and the showerhead is 2.5 gpm.
- 2.12. One or more open seams in the tub/shower area need to be caulked or re-grouted to forestall moisture intrusion.
- 2.13. There is moisture damaged drywall/baseboard adjacent to the tub or shower, which is not uncommon but should be repaired.
- 2.14. There has been a drywall repair that should be explained by the seller.
- 2.15. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.
- 2.16. It would be prudent to add a door stop at the door to protect the wall into which it opens.
- 2.17. One or more bathroom sink outlets are damaged, and should be evaluated and serviced by a licensed electrical contractor.
- 2.18. One or more bathroom sink outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.

Bathrooms (continued)



One or more bathroom sink outlets are damaged, and should be evaluated and serviced by a licensed electrical contractor.



One or more bathroom sink outlets are not secure, and should be evaluated and serviced by a licensed electrical contractor.



The sink faucets leak around the stem while in use, and should be repaired.



The sink faucets leak around the stem while in use, and should be repaired.

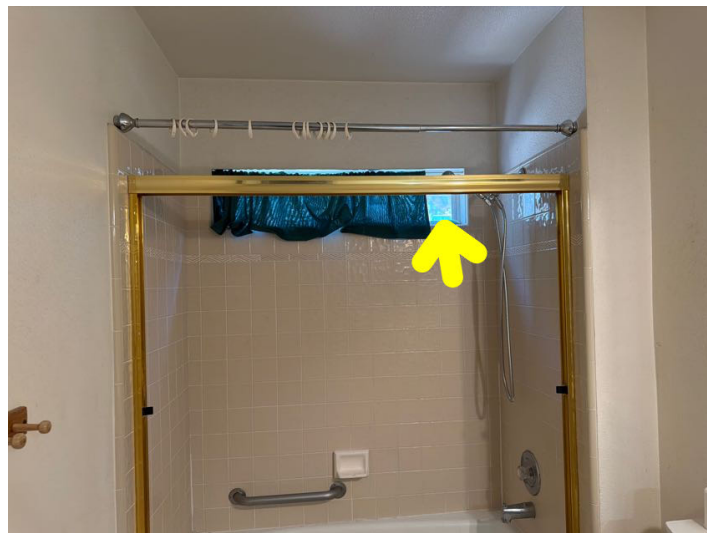
Bathrooms (continued)



There has been a drywall repair that should be explained by the seller.



There has been a drywall repair that should be explained by the seller.



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

Bathrooms (continued)

3. 1st Guest Bathroom

Observations:

- 3.1. The 1st guest bathroom is a three-quarter and is located adjacent to hallway 2.
- 3.2. The cabinets have typical, cosmetic damage, or that which is commensurate with age.
- 3.3. There is a separation between the sink countertop and the back-splash, which should be sealed to forestall moisture intrusion between the cabinet and the wall.
- 3.4. The sink is functional.
- 3.5. A mechanical sink stopper is incomplete and should be serviced.
- 3.6. The trap and drain are functional.
- 3.7. The outlets are functional and include ground-fault protection.
- 3.8. The lights are functional.
- 3.9. There is no exhaust fan and although there are operable windows, we recommend one be installed.
- 3.10. The toilet is identified as a low-flush type, and is rated at 1.6 GPF.
- 3.11. The shower is functional and the showerhead is 2.5 gpm.
- 3.12. We do not pressure test shower pans. This can be performed by a licensed plumber or a leak detection company. Some termite/pest control operators will do this test on a single-story home, and you may wish to check with them for availability.
- 3.13. There is moisture damaged drywall adjacent to the tub or shower, which is not uncommon but should be repaired.
- 3.14. There has been a drywall repair that should be explained by the seller.
- 3.15. One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.
- 3.16. The door handle does not include a functional privacy lock, which you may wish to have installed.
- 3.17. The door handle is loose and needs to be serviced to work smoothly.
- 3.18. The toilet is loose, and should be secured, as this could be a safety hazard.

Bathrooms (continued)



There is a separation between the sink countertop and the back-splash, which should be sealed to forestall moisture intrusion between the cabinet and the wall.



There has been a drywall repair that should be explained by the seller.



One or more windows may have a broken hermetic seal, which you may wish to have replaced. This is evident from fogging or condensation forming between the panes of glass, which implies that the seal has failed.

Laundry

1. Laundry Room

Observations:

1.1. The laundry room is located adjacent to hallway 2.

1.2. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.

1.3. The dryer vent appears to vent vertically. The lint trap must be kept clean because trapped lint can eventually turn into a fire hazard.

1.4. The outlets that were tested are functional.

1.5. The 220 volt receptacle is functional.

1.6. The 220 volt receptacle is a 3 prong type. New electric dryers have a 4 prong appliance cord and you may need to upgrade or adapt to this connection.

1.7. An exhaust fan is missing its cover and should be serviced.

1.8. The cabinets have typical, cosmetic damage, or that which is commensurate with their age.

1.9. It would be prudent to add a door stop at the door to protect the wall into which it opens.

1.10. There has been a drywall/plaster repair that should be explained by the seller.

1.11. A water supply pipe or fitting is leaking and should be evaluated and serviced by a qualified plumbing contractor.

1.12. There is no cap on the gas valve. The gas valve should be capped when not in use.



A water supply pipe or fitting is leaking and should be evaluated and serviced by a qualified plumbing contractor.



There is no cap on the gas valve. The gas valve should be capped when not in use.

Laundry (continued)



An exhaust fan is missing its cover and should be serviced.



There has been a drywall/plaster repair that should be explained by the seller.

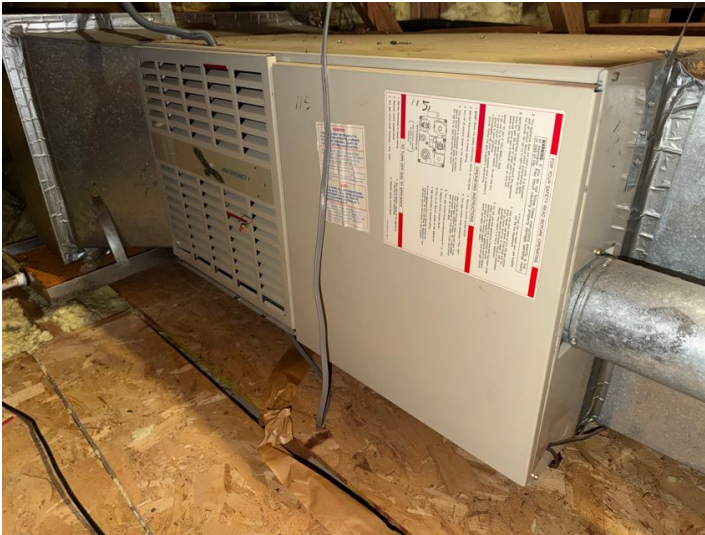
Heating & Air conditioning

1. Forced Air Furnace

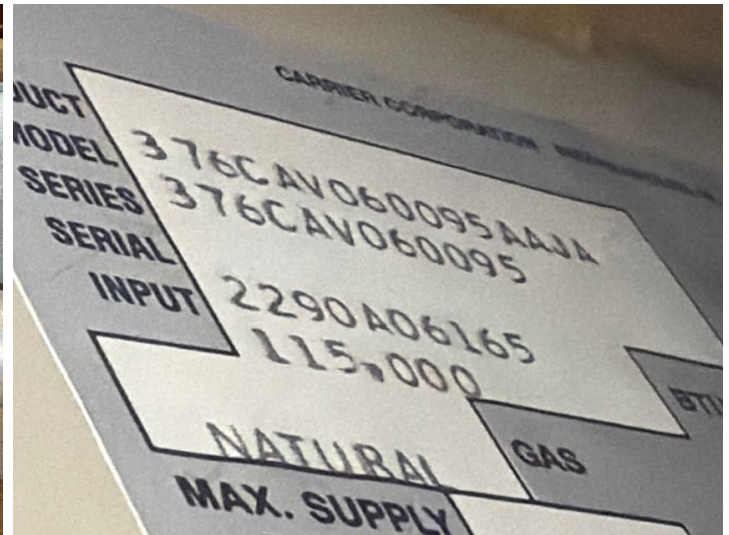
Observations:

- 1.1. Central heat is provided by a forced-air furnace that is located in the attic.
- 1.2. Serial Number 2290A06165 - Manufactured 1990
- 1.3. The combustion-air vents for the gas furnace are functional.
- 1.4. The return air filter is dirty and should be changed soon and every two or three months thereafter. If filters are not changed regularly, the ducts can become contaminated.
- 1.5. Some ducts are a fairly modern flexible type that are comprised of a clear inner liner and an outer plastic shell that contains fiberglass insulation. However, the outer shell has been found to be susceptible to ultra-violet contamination, which causes the outer shell to deteriorate and, therefore, should be monitored.
- 1.6. Sections of outer shell of the flexible ducting have been damaged by ultra-violet contamination, which has caused the outer shell to deteriorate, and therefore should be evaluated by a licensed HVAC contractor with a view toward replacement.
- 1.7. Some ducts are a rigid metal type that are insulated with fiberglass.
- 1.8. The furnace is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue. We recommend that you have it serviced and evaluated by a qualified tradesperson.
- 1.9. The furnace was not tested due to a missing thermostat and should be evaluated and serviced by a licensed HVAC contractor.
- 1.10. The vent pipe on the roof is rusted or deteriorated, and should be serviced by a qualified tradesperson.
- 1.11. The flexible gas connector passes through the furnace cabinet sidewall. Current standards require the gas supply to be rigid pipe until it passes beyond the furnace cabinet, so it is not damaged by the metal cabinet sidewall. The gas supply should then have an approved flexible connector to the gas shutoff valve. The local utility gas company will likely repair this issue for free.
- 1.12. The thermostat is missing and should be replaced.
- 1.13. The drain pan is rusted or deteriorated, which indicates previous standing water in the pan, and we recommend an evaluation and service by a qualified tradesperson.

Heating & Air conditioning (continued)



The furnace is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue. We recommend that you have it serviced and evaluated by an HVAC contractor prior to the close of the inspection period.



Serial Number 2290A06165 - Manufactured 1990



The vent pipe on the roof is rusted or deteriorated, and should be serviced by a qualified tradesperson.



The flexible gas connector passes through the furnace cabinet sidewall. Current standards require the gas supply to be rigid pipe until it passes beyond the furnace cabinet, so it is not damaged by the metal cabinet sidewall. The gas supply should then have an approved flexible connector to the gas shutoff valve. The local utility gas company will likely repair this issue for free.

Heating & Air conditioning (continued)



The drain pan is rusted or deteriorated, which indicates previous standing water in the pan, and we recommend an evaluation and service by a qualified tradesperson.



Sections of outer shell of the flexible ducting have been damaged by ultra-violet contamination, which has caused the outer shell to deteriorate, and therefore should be evaluated by a licensed HVAC contractor with a view toward replacement.

2. Air Conditioning

Observations:

- 2.1. Central heat and air-conditioning are provided by a single split-system, consisting of a furnace with an evaporator coil that is located in the attic and a condensing coil that is located on the exterior.
- 2.2. The electrical disconnect at the condensing coil is present and presumed to be functional.
- 2.3. The air conditioning unit was not tested due to a missing thermostat and should be evaluated and serviced by a licensed HVAC contractor.
- 2.4. The fins of the condensing coil have been eroded by animal urine. We recommend an evaluation by a qualified tradesperson and service as necessary.
- 2.5. Insulation is missing from the refrigerant lines at the evaporator coil, which will allow condensation to form and drip, and should be installed.

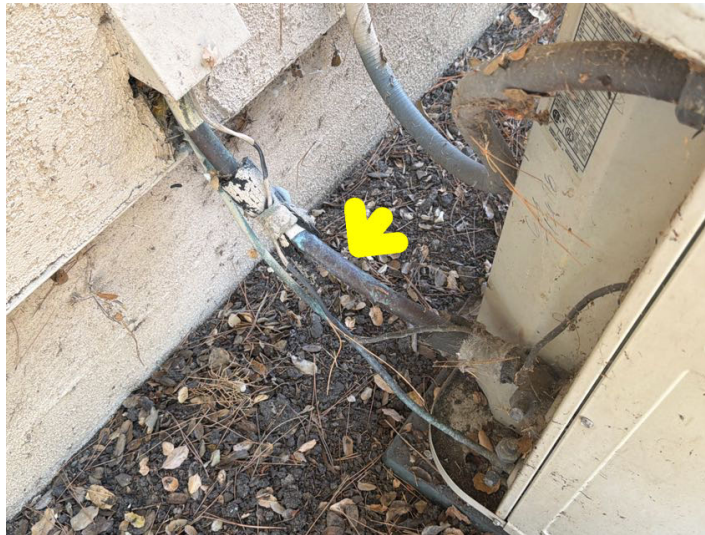
Heating & Air conditioning (continued)



Central heat and air-conditioning are provided by a single split-system, consisting of a furnace with an evaporator coil that is located in the attic and a condensing coil that is located on the exterior.



The fins of the condensing coil have been eroded by animal urine. We recommend an evaluation by a qualified tradesperson and service as necessary.



Insulation is missing from the refrigerant lines at the evaporator coil, which will allow condensation to form and drip, and should be installed.

Attics

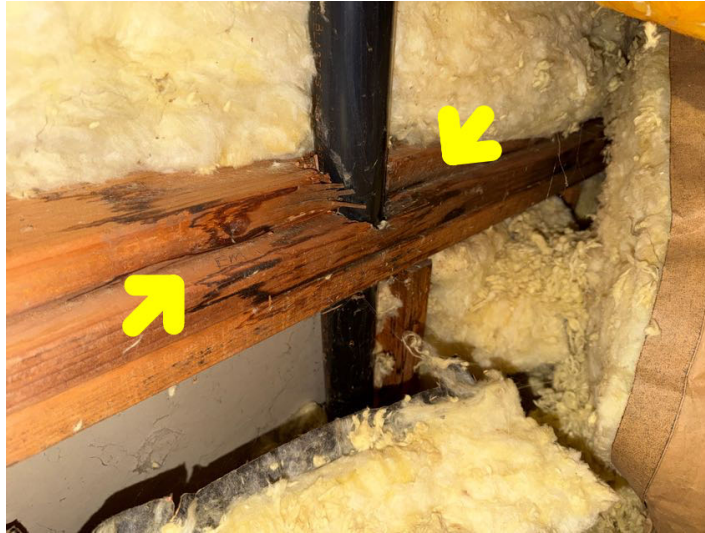
1. Attic

Observations:

- 1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.
- 1.2. The attic can be accessed through a hatch located in the master bedroom closet ceiling.
- 1.3. We evaluated the attic by direct access.
- 1.4. We were unable to access the entire attic due to the amount of insulation, conditions of clearance, and/or obstructions. We were able to access approximately 70% of the attic.
- 1.5. There are moisture stains on the attic ceiling at a roof penetration, which indicates a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current or occurred in the past. In any case, we recommend that it be further investigated or explained by the seller.
- 1.6. The lights are functional.
- 1.7. The electrical components that are fully visible appear to be in acceptable condition.
- 1.8. The visible roof framing consists of a factory-built truss system that is in acceptable condition. It is composed of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord, to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.
- 1.9. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.
- 1.10. The visible portions of the exhaust ducts are functional.
- 1.11. The heat vents appear to be functional.
- 1.12. The visible portions of the water pipes are in acceptable condition, but should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.
- 1.13. The drainpipe vents that are fully visible are in acceptable condition.

Attics (continued)

1.14. The attic is well insulated with approximately nine inches or more of blown-in insulation, which meets or is close to current standards. Some types of this insulation, which were manufactured and installed prior to 1979, consist of shredded paper and are flammable. However, we do not categorically recommend removing and replacing the older type of insulation, because this is a personal decision that is best made by the owners or the occupants.



There are moisture stains on the attic ceiling at a roof penetration, which indicates a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current or occurred in the past. In any case, we recommend that it be further investigated or explained by the seller.

Garages

1. Single Car Garage

Observations:

1.1. The house entry door is solid core, or fire-rated, and self-closes in conformance with fire-safety regulations.

1.2. The slab floor is in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence expansive soils, but are not structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.

1.3. There are no ventilation ports to vent exhaust fumes. Therefore, vehicle engines should not be left running with the garage door closed or carbon monoxide poisoning could result.

1.4. There is a moisture stain on the garage ceiling, the cause of which should be explained or explored further. However, we not unable to confirm that is being caused by an active leak.

1.5. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.

1.6. A ceiling light does not respond, and should be serviced.

1.7. The garage door has structural damage that should be evaluated by a garage door specialist.

1.8. The garage door and its hardware could not be tested because it was damaged and off the tracks, and should be demonstrated as functional by the sellers or serviced as necessary.

1.9. The garage door opener does not respond and should be serviced.

1.10. The voids in the garage firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.

1.11. There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

1.12. Some of the garage outlets do not have ground-fault protection and should be upgraded to include this important safety component.

1.13. One or more outlets have an obstruction within, and should be evaluated and serviced by a licensed electrical contractor.

1.14. One or more outlet covers are missing and should be installed.

1.15. A window pane is cracked or broken and should be replaced.

Garages (continued)



The voids in the garage firewall must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.



One or more outlets have an obstruction within, and should be evaluated and serviced by a licensed electrical contractor.



One or more outlet covers are missing and should be installed.



There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.

Garages (continued)



There is a mold-like substance present, which should be evaluated by a specialist and serviced as necessary. All molds flourish in a damp environment and many are commonplace, but some are toxic and may represent a health threat.



A window pane is cracked or broken and should be replaced.

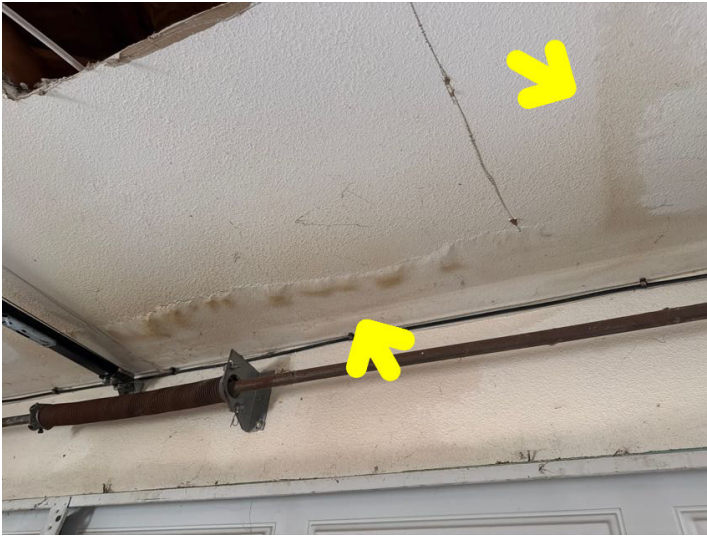


A window pane is cracked or broken and should be replaced.



There is a moisture stain on the garage ceiling, the cause of which should be explained or explored further. However, we not unable to confirm that is being caused by an active leak.

Garages (continued)



There is a moisture stain on the garage ceiling, the cause of which should be explained or explored further. However, we not unable to confirm that is being caused by an active leak.



The garage door and its hardware could not be tested because it was damaged and off the tracks, and should be demonstrated as functional by the sellers or serviced as necessary.