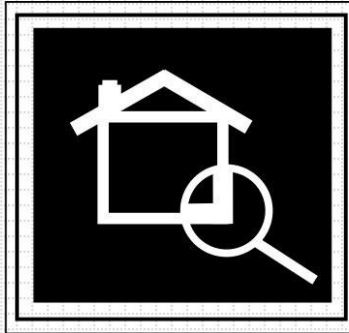
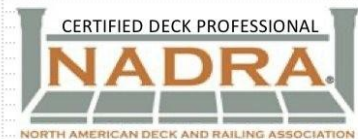
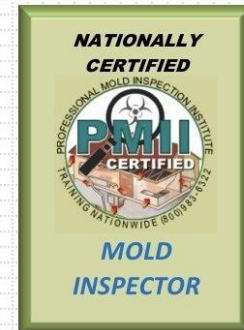




Professional

Inspection Services

Inspection Report



Address: 920 Walnut Dr Paso Robles, CA 93446

07/18/2026

Inspector: Keith Vreeken, MCI, FCI
P.O. Box 415 Templeton, CA 93465 O: 805.462.1978 C: 805.440.5050

MASTER INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys**. Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

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General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. Example: A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector deemed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

1: Approx. Temperature: 95°F

2: Dry Today

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES 3:

FRONT DOOR faces: North

INSPECTION DATE

Saturday, July 18, 2026

START TIME

12:30 pm

FINISH TIME ON-SITE

3:30 pm

INSPECTOR

5: Keith Vreeken, MCI

PROPERTY TYPE

6: Single Family Residence

YEAR/ OCCUPANCY STATUS

7: Approx. Year Built: 1989

8: Occupied.

PRESENT DURING THE INSPECTION

9: Buyer

10: Seller

THE FOLLOWING ITEMS ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

DS 11: **OUTSIDE THE SCOPE OF THIS INSPECTION:**

Items listed below are outside the scope of this inspection and were not evaluated or inspected per standards. Client is advised to have these areas or components reviewed, inspected and tested by an appropriate and qualified trade professional familiar with applicable standards.

12: Septic systems

Grounds

DRIVEWAY TYPE

13: Asphalt Driveway

DRIVEWAY COMMENTS

UPG 14: Some common and moderate cracks found in areas of the driveway. Client should investigate further the cause and correct.

MR DS 15: Surface drains and boxes noted in areas of the driveway. Drains are not tested, conditions of the underground piping and terminations are unknown. Recommend having drains cleaned and tested to determine proper flow and termination. Keep drains clean and free of debris regularly.



Surface drain warrants attention to Repair And maybe too small

FI DS 16: The asphalt driveway appears to be lifted slightly at the garage connection. This may allow water to collect against the garage vehicle door and considered a potential trip hazard.



Example location

F 17: The drain inlet provided for the driveway rain and water runoff appears to be undersized partially blocked. Recommend contacting a civil engineer to evaluate and to help ensure that water flows off the driveway and off the property properly.



SIDEWALK / WALKWAY TYPE

DS 18: Tiled Concrete Walkways
Some tiles when used at exterior walkways can be slippery when wet. Use caution.



SIDEWALK / WALKWAY COMMENTS

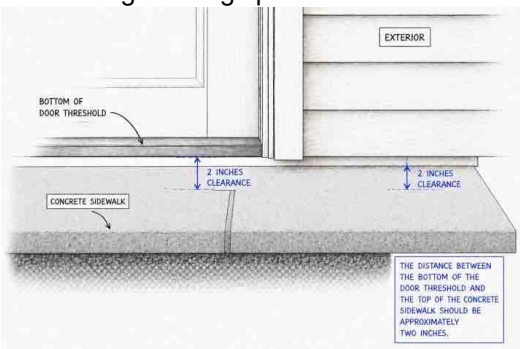
UPG 19: Some common and moderate cracks found at areas of the concrete walkways. Client should investigate further the cause and correct.

SU 20: Areas of the walkways are uneven with potential trip hazards.



Example

UPG DS 21: Areas of the exterior walkways found to be improperly installed high, at or above the exterior siding and/or the door threshold. This can allow for moisture or water to buildup and collect behind the exterior siding and trim and can potentially wick water into the wall framing and living spaces. This can also allow water to intrude into the framing or living spaces from under the door thresholds.



FI 22: Areas of the sidewalks appear to be settling and pulling away from the building. Client should investigate further until satisfied as to the cause, condition and potential future issues.



Example location



PATIO TYPE

23: Concrete Patios

PATIO COMMENTS

FI DS 24: Disclosure: Some typical and moderate cracks found at areas of the concrete patio areas.

MR UPG DS 25: Disclosure: Some surface drains noted in areas of the patio. Drains not tested. The condition of the underground piping and terminations are unknown. Recommend having drains and terminations cleaned, tested and inspected by a qualified landscape contractor to determine the proper flow. Keep drains clean and free of debris regularly.



FI 26: Areas of the patios are pulling away from the building. Client should have a civil engineer investigate until satisfied as to the cause, current condition and determine potential future issues.



PATIO / PORCH COVERS

SC 27: Some moisture damage found at the backyard patio cover. Refer to the Termite report for additional comments and recommendations.

SC 28: Areas of the wood framed BACK PATIO COVER do not meet minimum construction or engineering standards:

1. Improper installation of the heavy wood framed patio cover attached directly to the existing house roof overhang fascia board without appropriate connections and fasteners other required upgrades,
2. Improper beam size for the roof framing support.

Further evaluation by a licensed contractor familiar with minimum construction and engineering standards is recommended.



Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

29: Wood Framed

EXTERIOR WALL COVERINGS

30: Stucco

EXTERIOR WALL COMMENTS

31: Exterior walls appear in good condition

DS 32: Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

33: The North side Exterior areas are not visible and not accessible due to a "zero lot line" condition. This is where the exterior wall of the home is used as part of the neighbors property line separation or fence. Conditions in these areas are unknown as these areas are not accessible. Areas should be inspected for defects once permission has been granted to access the neighbors property.

34: All exterior ventilation fan terminations from bathrooms, laundry rooms, kitchen, etc., require screened termination caps. Proper upgrades or repairs recommended to help prevent critter intrusion.

STUCCO

DS 35: Some typical-type cracking was observed at areas of the exterior stucco. These types of cracks are common and are often the result of normal shrinkage, thermal expansion, or minor building movement. At the time of inspection, no significant displacement or structural concerns were noted. However, the cracks should be monitored over time for signs of additional movement, widening, displacement, or the development of new cracks, which may indicate a more significant underlying condition requiring further evaluation.

FI 36: Some unusual visible cracks found in the exterior stucco siding along areas OUTSIDE THE DINING AREA WINDOWS which are open greater than 3/32", (thickness of a nickel). These cracks are open / separated more than normal indicate some unusual settlement or movement of the foundation or wall. framing.

Separations in the exterior stucco that are open / separated, (greater than 3/32"), are a potential concern for water intrusion as the underlayment, Tar Paper or Tyvek, can tear allowing moisture or water intrusion into the wall cavities. Buyer or seller should consult an appropriate Civil engineer to evaluate the cause, the current conditions, and the potential future issues that may arise if not addressed. Afterwards, they also should contact a stucco professional to evaluate and to address any concerns as to potential of water intrusion, and correct as needed.





Example location

MR 37: Some peeling of stucco color coat found at the fireplace stuccoed chimney chase. (Ongoing maintenance recommended).



SEALING EXTERIOR

MR 38: Recommend sealing holes in exterior walls to prevent water intrusion around areas such as unused open holes in the exterior sliding and trim, exterior light fixtures, around exterior electrical boxes and covers, and where utility pipes and/or wires pass through the exterior walls. Have a qualified painter or licensed professional evaluate the entire exterior and seal where needed.

EXTERIOR TRIM

39: TRIM TYPE: Wood

E&C 40: Some moisture and/or bug type damage & deterioration found at exterior areas such as eaves, fascia and/or trim. Refer to the termite report for locations and extent.

MR 41: Deteriorated, cracked, and separated caulking was observed at various exterior trim locations, including around doors, windows, fascia, and other exterior penetrations. Recommend maintenance and replacement of failed sealants to help prevent moisture intrusion.

MR 42: Deteriorated paint or finish at areas of the exterior.

FI 43: Some moderate to heavy rust deterioration and damage found at the exterior window flower boxes.



SPRINKLERS

44: *Disclosure: Sprinkler systems are outside the scope of this inspection and not tested or inspected. Comments made below are informational only and at the discretion of the inspector. The comments below do not in any way constitute a full inspection of the sprinklers or landscape watering systems. If concerned have system evaluated by landscape professional.*

MR 45: Recommend freeze protection at exposed sprinkler valves and/or pipes.

Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

SITE SLOPE

46: Level to Minor Slope

Determination of site stability, soil erosion potential, and water runoff from surrounding slopes, streets, and adjacent properties is outside the scope of this inspection and is not evaluated.

COMMENTS

E&C 47: Recommend some proper landscape grading and maintenance along areas of the exterior. This should help ensure the proper flow of site water away from the building(s) and off the property. This will also help ensure proper clearances from the interior floor level, exterior stucco, wood or other siding to the top of soil. Trim trees and bushes that are making contact with areas of the exterior.

FI 48: Evidence of differential movement and suspected soil-related settlement was observed affecting portions of the residence and site improvements, including the foundation, sidewalks, and driveway. The underlying cause and extent of movement cannot be determined by a visual inspection alone. Recommend evaluation by a licensed Civil Engineer to determine the cause of the movement, assess the current site conditions, evaluate the potential for future movement, and provide recommendations for any necessary corrective measures.

Retaining Walls

Inspection of retaining walls is only visual per CREIA standards. Engineering of retaining walls is not performed and is outside the scope of this inspection.

49: Type: Wood

Wood retaining walls have a limited lifespan and will eventually need to be repaired or replaced. Client is advised to continue to monitor and repair or replace as needed.

E&C 50: Some moisture damage, deterioration, with some leaning of the wood retaining wall(s). Sections of the wood retaining walls appear to be nearing the end of its structural life. *Be aware that wood retaining walls have a limited lifespan and will warrant eventual replacement. Monitor, replace or repair the wood retaining walls as needed.*



Foundation

Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

FOUNDATION TYPE

51: Concrete Slab

Disclosure: *The concrete slab is not visible due to furnishings and/or floor coverings. Cracks and conditions of the concrete under the flooring are not visible nor determined. Settling, cracking, moisture intrusion from under the slab and flooring or other defects cannot be fully determined and are outside the scope of this inspection.*

DS 52: Some typical and common cracks noted at the visible areas of the concrete perimeter foundation. However, the perimeter foundation is not fully visible. Client is advised to monitor cracks to help determine if future movement or other conditions occur over time.



53: Concrete Slab: Some unusual sloping noted at areas under the flooring, Ex. Kitchen. Recommend additional review by qualified and licensed engineers to evaluate cause, current conditions and potential future issues.

Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

ROOF STYLE

54: Gable

55: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

56: Concrete Tile - (roof is approx. 37 years old)

Average life expectancy of a tile roof is approx. 50 years. However, the roof tarpaper under the tile starts to deteriorate and breakdown after about 30 +/- years and could begin to leak.

Proper ongoing inspection of the tiles, tar paper and maintenance, every few years, is important and typically includes a visual inspection, replacement of broken or slipped tiles, maintaining sealants at tile intersections and flashings, keeping roof, valleys and drainage areas clean and free of debris.

TILE ROOF COMMENTS



57: ROOF CONDITION: Evidence of some past roof leakage, suspected currently leakage with a poor or improper original installation. **Recommend additional review of the entire roof by a qualified roofing professional familiar with tile roofs.** Roof should be repaired, replaced or upgraded as needed. Suspected deteriorated or damage to portions of the roof tar paper.



58: Evidence of past roof leakage was observed at the roof overhang area, including visible moisture staining and/or damage: **Example - at the Roof valley termination off the back of the laundry room .** These conditions indicate a failure of roofing components and possible concealed damage. Recommend further evaluation by a qualified roofing contractor to determine the source, full extent of damage, and to perform necessary repairs.





E&C MR 59: Some loose roof tiles needing repair or maintenance found missing the required approved fastener, nail, or batten extender at areas of the tile roof. Recommend further review of the roof by a qualified / licensed roofing contractor to determine quantity of repair or maintenance needed.



Flashings

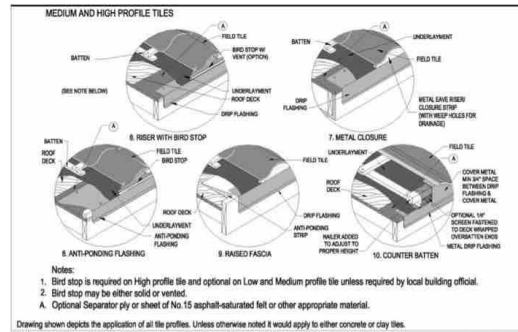
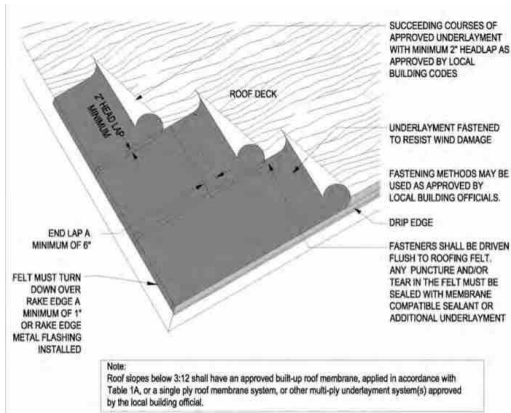
Roof flashings, transitions, and skylights are not water tested for leakage. This is a visual inspection of the roof and its components per CREIA standards. All roofs require continuous and ongoing maintenance. Recommend having the roof serviced regularly by a qualified professional. Contact a licensed roofing professional for recommendations.

ROOF FLASHING

E&C MR 60: Roof flashing were found to be needing servicing and/or repairs. Contact a qualified roofing professional to review and correct all deficiencies and/or perform needed maintenance as described below.

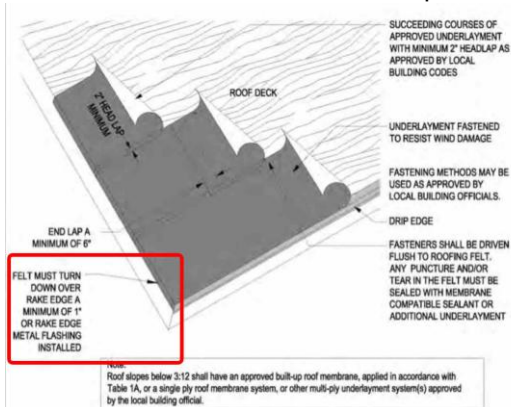
TILE SPECIFIC

E&C MR 61: Improper or poor installation of the tar paper along the roof lower edges. Some deteriorated and damage tar paper. Recommend the installation of a proper metal roof drip edge flashings, a proper tile lifter, chamfer strip and the proper extension of the tar paper. See installation requirements in the photos below. Current condition can/is causing puddling of water on the back side of the fascia board and does not allow the roof to properly drain.



Example

E&C 62: Areas found where the roof tar paper was not properly folded over the rake edges along the fascia. Contact a licensed roofer to evaluate and repair as needed. Refer to the manufacturer's requirements.



Gutters

RAIN GUTTERS

63: Type: Full rain gutter installation.

MR UPG 64: Underground Roof Rain Gutter Drains are Installed: Some of the roof rain gutter downspouts enter into an underground piped drainage system. The conditions of the underground pipe and there terminations are not visible, not inspected - nor tested during this inspection. Additional inspecting, cleaning and testing the underground piping is recommended to determine proper flow and termination. Service underground drains regularly.

RAIN GUTTER COMMENTS

MR 65: Recommend some typical rain gutter maintenance. This should at minimum consist of cleaning, sealing, and re-fascinating of loose gutters and downspouts.

E&C



66: Loose, hanging and separated roof rain gutters needing maintenance or repairs.

Exterior on the back of the house at the southwest corner

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

ATTIC ACCESS

67: **ATTIC ACCESS LOCATION:** Bedroom Hallway and Entry Hallway Closet

68: **VISIBLE ATTIC FRAMING:** No noted framing defects found in the accessible and visible areas of the attic.

69: **ATTIC VENTILATION:** Appears Adequate. *However, attic ventilation was not calculated but visually observed.*

DS 70: Disclosure: Areas of the attic are not fully visible, not accessible and not inspected due to insulation, ducting, HVAC unit and some areas are too small for physical access.

TYPE OF INSULATION FOUND IN THE ATTIC

71: **Fiberglass Batts:** Approx. Depth 8-10 +/- Inches

ATTIC COMMENTS

FI **DS** 72: Some moisture stains noted in areas throughout the attic. All water stains should be investigated by a licensed roofer. Refer to termite report for additional comments and/or recommendations.

E&C **MR** 73: Some damaged or missing attic eave vent screens on areas of the exterior at the roof overhangs. Repair or replacement of the damaged or missing vent screens is recommended to help prevent critter intrusion into attic areas.



Unprotected openings can lead to bird or bat intrusion

Plumbing

This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

74: **Main water supply shut-off location** : **not located**. Main water shut-off valve not tested.

Water Pressure - Is At Approx. **65 +/- PSI**. Optimal water pressure is between 40 and 80 PSI.



TYPE OF WATER PIPING

75: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time): **76: Copper**

WATER SUPPLY PIPING

77: The visible areas of the water supply piping appears to be within useful life. *Pipes are not fully visible.*

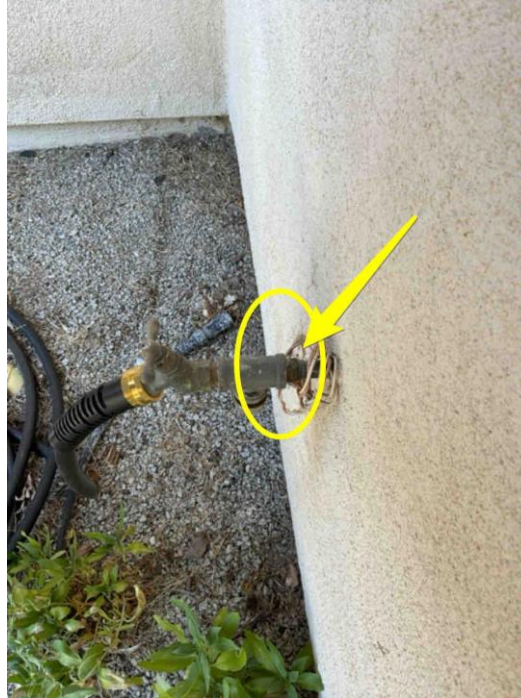
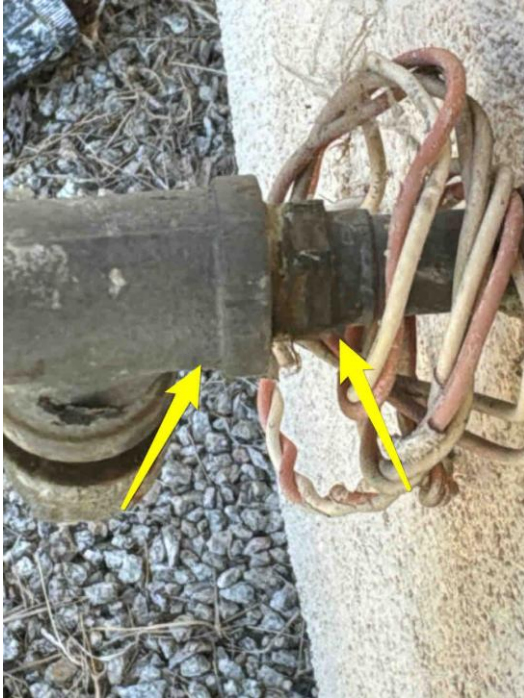
78: *The condition of the Plumbing Pipe inside walls, under insulation in the attic, underground, under the slab, and in all inaccessible areas which are not readily visible are not evaluated or inspected. Conditions cannot be judged. Water pipe leak detection or pressure testing is not performed.*

MR UPG 79: Exposed exterior water supply pipes subject to freezing are not insulated, not insulated well or have damaged or deteriorated insulation installed. Upgrades are recommended.

E&C

80: An improper copper to galvanized pipe cross connection. This can cause electrolysis and damage the piping. Recommend repairs by a certified or licensed plumbing professional familiar with minimum standards.

1. AT MUTUAL EXTERIOR HOSE FAUCETS.



WATER SOFTENER/FILTER

E&C

SU

81: Water softener installed in the Garage. **Power is off unit NOT in Bypass mode**

Water quality not tested. Water softeners require continuous and ongoing maintenance. Please read owner's manual for recommendations. Water softener not tested for operation.

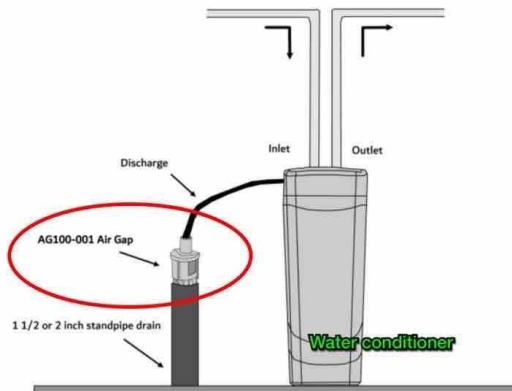


MR **UPG** **82:** Recommend servicing water softener. Water softener found out of salt and dirty.

UPG **83:** The Water softener system should be strapped and braced to prevent falling, causing breakage of the water piping during seismic activity or other potential physical contact. Upgrade recommended.



SC 84: Improper installation of the water softener drain hose. Missing the required air gap at water softener drain hose at waste connection. Refer to the manufacturer's installation requirements and plumbing code. California Plumbing Code (CPC) §801.2.1



WASTE PIPING TYPE

85: Type(s) of waste water drain piping that could be seen at the time of the inspection (other piping materials may be present or used underground which are not visible at this time): **86: ABS and PVC**

WASTE/SEWER PIPE CONDITION

87: The visible waste piping and type installed in this building appears to be within its useful life expectancy. However, waste pipes are not fully visible. Pipe conditions inside walls, inaccessible areas, under the insulation and under the ground or slab cannot be judged or determined. Water testing not performed.

Note: Buildings should have the underground waste and sewer lines scoped by a plumber to determine condition as part of the inspection process.

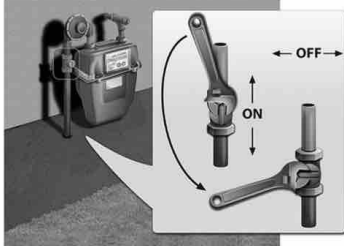
FI 88: **Note:** Due to the age of the building, certain conditions or other defects may be present which can cause a negative impact on the flow of waste water through underground waste and sewer piping to the street. *Recommend additional review by video scoping the waste and sewer piping to verify conditions.*

Fuels

FUEL TYPE

89: Natural Gas. **Location of main Gas shut-off :** EXTERIOR - ON THE BACK OF THE GARAGE

Client is advised to have All fuel-burning appliances (such as furnaces, water heaters, boilers, fireplaces, and gas dryers, etc.) inspected and serviced at least once per year by a qualified technician or the local gas utility provider. Regular inspection helps ensure proper combustion, safe venting, and detection of potential gas leaks or carbon monoxide hazards, and helps maintain safe and efficient operation of the equipment.



CAUTION: If you turn off your natural gas at the meter, leave it off. Do not turn it back on yourself.



Main gas shut off valve

90: Gas shut-off appears serviceable.

Disclosure: Gas piping and valves not tested during this inspection (visual inspection only).

FUEL SYSTEM

SC 91: The GAS CO. has determined that an uncoated brass gas flex connector needs to be replaced for safety at the: FAMILY ROOM GAS FIREPLACE ARTIFICIAL LOG APPLIANCE.



Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

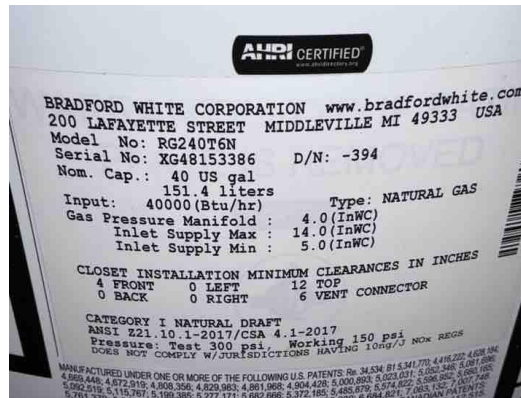
WATER HEATER INFORMATION

92: **Water Heater Location:** GARAGE

Size: 40 Gallons

Fuel Type: Natural Gas

Date: 2021: The average lifespan of this type of water heater is approximately 10 years. This water heater is approximately 5 years old. Water heaters can fail without warning and should be monitored and inspected regularly for leaks, corrosion, and other signs of deterioration.



WATER HEATER CONDITION

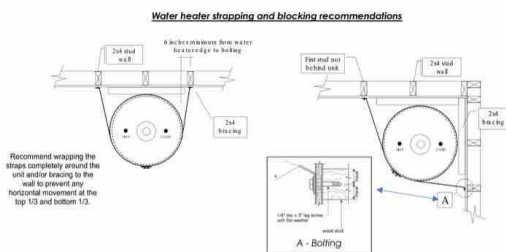
93: Water Heater Operated when tested.

COMBUSTION AIR

94: Proper amount of combustion air.

STRAPPING

E&C 95: Water heater is improperly and loosely strapped & not secured well - moves when pushed . Recommend adding the proper STRAPPING which wraps at least once completely around the tank and/or adding BRACING OR BLOCKING to the wall to properly secure the tank per Uniform Plumbing Code and State Architect Requirements. Recommend further review and repairs by a certified or licensed professional familiar with the minimum installation requirements.



TPR PIPING

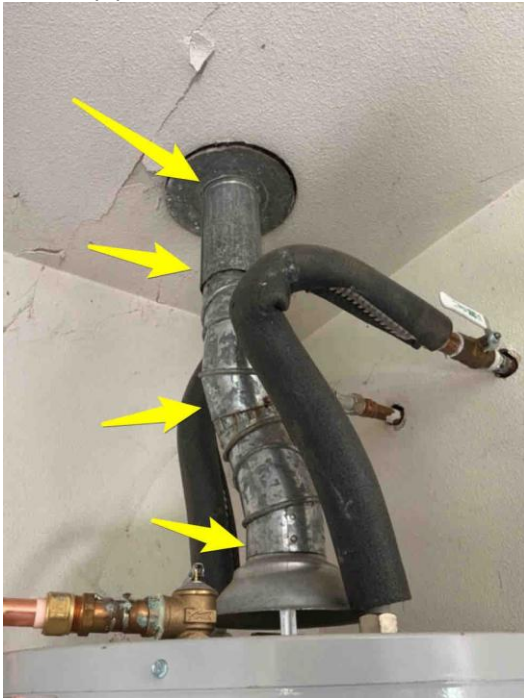
SU 96: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. TPR Valve not tested. Recommend terminating downward at the exterior.

VENT PIPING

E&C 97: Improper installation of the water heater vent pipe. Recommend further review repairs by a licensed plumbing contractor familiar with the minimum installation requirements.

1. Missing the proper required three fasteners at each vent connector connection including draft hood

2. Vent pipe found disconnected.



Missing the required three fasteners



Connector pipe found disconnected

PLATFORM ENCLOSURE

SC FI 98: Moisture stains and damage at the drywall areas of the water heater platform and/or enclosure. Some visible mold growth noted on areas of the drywall. Recommend additional review and clean up by a qualified mold remediation professional. Refer to Termite report for additional comments and recommendations.



GAS PIPING

99: The water heater gas piping appears within useful life with no physical damage.

WATER HEATER GENERAL COMMENTS

SU 100: The Hot water temperature from the water heater found to be too hot and above the recommended safe temperature. Currently above +/- 130°F. This can cause scolding / burning of the skin. Recommend turning the temperature down at the water heater to at/or below 120°F for safety.

SHUTOFF

101: Cold Water heater shutoff valve installed. *Valve not tested.*

DRIP PAN

E&C 102: Missing / recommend a drip pan under the water heater. A drip pan is needed to help prevent damage if a leak were to occur per California plumbing codes and standards. [CPC 507.5]



Kitchen

LOCATION

103: Kitchen photos:



KITCHEN SINK

SC FI 104: Moisture stains and damage in the cabinets below and/or next to the kitchen sink. Some visible mold growth noted on areas of the drywall and/or cabinetry. Recommend additional review by a qualified remediation professional.



DISHWASHER

105: Dishwasher is old and nearing or at the end of its useful life. Dishwasher is not tested per seller.

CABINETS & COUNTERS

106: Appear serviceable.

DS 107: Disclosure: The areas behind the kitchen cabinetry, refrigerator, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 108: Kitchen counters & cabinets have typical wear.

DS 109: Disclosure: Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.

MR 110: Disclosure: Some cracked tiles noted at the kitchen counter.



E&C 111: Deteriorated, cracked and damaged grout founded areas of the kitchen tiled countertops.



DISPOSAL

112: Operated when tested.

COOKTOP HOOD

SC 113: The kitchen cooktop hood exhaust vent pipe termination found to have its screen clogged or partially blocked. Proper cleaning, maintenance is needed.



COOKTOP

SC 114: Deteriorated labeling of the kitchen cooktop knobs. Deteriorated labeling at kitchen cooktop knobs, in some cases, can be considered a safety hazard as an occupant may not know where the actual or proper OFF is located which can lead the occupant to accidentally leave the cooktop on.

SC 115: Cooktop FRONT LEFT COOK TOP BURNER CONTROL Did not operate properly. Spins continuously.

E&C 116: The TWO FRONT Cook top burners did not operate or ignite properly when tested. Recommend cleaning / servicing.



OVEN

117: Both of the *ELECTRIC OVENS* operated when tested.

Disclosure: The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.

E&C 118: The lower oven door handle is broken.



Laundry

LAUNDRY:

119: Photo of the Laundry Location



LAUNDRY TYPE

120: Gas and Electric 240 volt provided for laundry dryer.

DS 121: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

122: Laundry dryer vent provided.

However, vent system is not fully visible or tested. It is recommended that the laundry dryer vent system, vent pipe and cap be cleaned regularly to avoid excessive lint buildup, which is a potential fire hazard.

SU **123:** Recommend an exhaust fan in the laundry room as an upgrade / not required.

LAUNDRY COMMENTS

124: Disclosure: *The laundry washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the laundry machines are being transferred with the sale of the property, client should perform due diligence to ensure the proper and safe operation of the washer and dryer within the clients inspection period.*

DS **125:** Area behind and under the laundry machines is not fully visible and not inspected at this time due to laundry machines themselves. Conditions are not fully known. Client should inspect area and satisfy themselves as to the overall condition prior to the close of escrow once the laundry machines have been moved out.

FI **126: Evidence of past water stains and visible mold growth on the drywall behind the laundry machines behind the baseboards.** Recommend additional review and repair by licensed Mold remediation Contractor. Client should investigate further as to the cause, current condition, potential future issues and correct if needed.

DRYER VENTING

SC **127:** Damaged and unsafe laundry dryer vent termination. The dryer vent cap sleeve found damaged or disconnected inside the wall cavity and dryer vent cap missing flapper. Recommend replacement or repairs.



Bathrooms

BATHROOM LOCATIONS

128: PRIMARY BEDROOM BATHROOM



129: HALL BATHROOM



TOILETS

130: Operated when tested.

FI 131: Moisture stains and/or damage at the flooring in the: HALLWAY BATHROOM and PRIMARY BEDROOM BATHROOM.

SINKS

MR 132: **Disclosure:** Drain stoppers do not operate, are missing or do not operate well at some bathroom sinks. General maintenance recommended.

FI 133: Some dry moisture stains and damage found at the bathroom cabinet in the: HALLWAY BATHROOM



SC **FI** 134: Some moisture stains and/or damage with visible mold growth on the drywall and/or cabinetry in HALLWAY BATHROOM. Recommend further review and cleanup by a qualified mold remediation professional.



SC FI 135: Some moisture stains and/or damage with visible mold growth on the drywall and/or cabinetry in PRIMARY BEDROOM BATHROOM. Recommend further review and cleanup by a qualified mold remediation professional.



E&C 136: The HOT and COLD are reversed at the bathroom sink faucet: HALLWAY BATHROOM

FI 137: The HOT and COLD water found non-operational at the LEFT SIDE bathroom sink faucet: PRIMARY BEDROOM BATHROOM



E&C 138: Active leaking from the bathroom sink plumbing: HALLWAY BATHROOM



VENTILATION

139: Appears adequate.

BATHTUBS

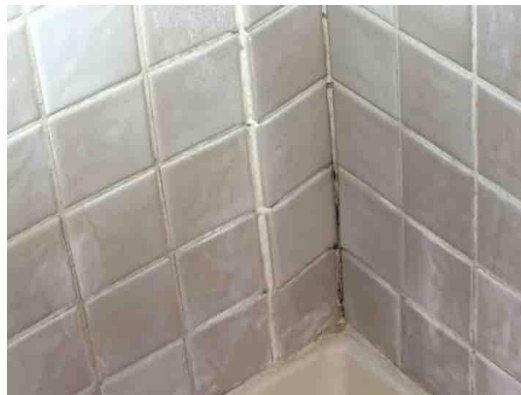
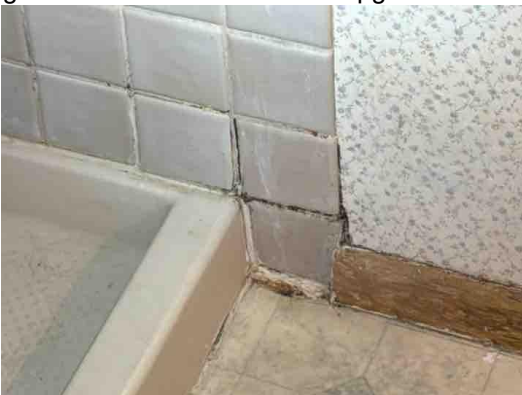
140: Tub faucet and drain operated when tested.

SHOWERS

141: Showers operated when tested.

Determining the water tightness and integrity of the shower pans and walls, determining conditions behind tile or enclosures at the tubs and showers is outside the scope of this inspection as areas not visible or readily accessible. Unable to verify or determining if the tile or enclosures were installed per manufacturer's installation instructions.

UPG 142: Deteriorated and or moldy grout found in the PRIMARY BEDROOM BATHROOM shower enclosure. Some general maintenance and/or upgrades are recommended.



MR 143: Shower diverter leaks from the tub spout when shower is on (a little): HALLWAY BATHROOM

FI 144: Some loose, separated and uneven tiles found PRIMARY BEDROOM BATHROOM SHOWER.



Damaged grout

Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/or window-door coverings are not able to be fully inspected.

FRONT ENTRY DOOR

145: Operated when tested.

146: Weather stripping appears serviceable.

147: Door hardware operated when tested.

EXTERIOR DOORS

148: Operated when tested

149: Latching hardware operated and appears serviceable.

SLIDING GLASS DOOR

E&C 150: Exterior sliding glass door found difficult to operate. Adjustment or repair recommended: PRIMARY BEDROOM

MR 151: Disclosure: Missing screens at some exterior sliding glass doors.

E&C MR



152: Damaged weatherstripping at the exterior sliding glass doors.

Example

INTERIOR DOORS

- 153:** Operated when tested.
MR 154: Interior door rubs & sticks. Adjustment or repair recommended: PRIMARY BEDROOM BATHROOM **155:**
UPG Disclosure: Missing doorstop at some interior doors. Maintenance and/or upgrades recommended.

- E&C 156:** Interior door found damaged: BEDROOM-2

WINDOWS

- 157:** WINDOW TYPES:
158: Aluminum / Double-Pane glass
159: Sliding
160: WINDOW CONDITIONS:
MR 161: WINDOWS: A sampling of the accessible windows operated when tested.

Note: Windows with blinds or shades or other coverings are not tested. All windows should be serviced by a qualified window specialist to ensure windows operate smoothly and properly and to ensure water tightness. Have all deteriorated weatherstripping replaced. Window blinds, shades, drapes or other window coverings are not inspected and are outside the scope of this inspection. Client should provide their own due diligence and evaluate all window coverings.

- MR 162:** Some windows found a little difficult to operate. Maintenance or upgrades to the windows are recommended.

- DS 163:** Some of the dual-pane window seals have failed and are visibly fogged or have a defective UV film. If concerned have all windows tested by a licensed or certified window company professional to determine exact locations and quantity of defective windows.

FLOORING

- 164:** TYPE: Wood
165: TYPE: Vinyl / Linoleum

166: TYPE: Carpet



167: Some significant water stains and damage to the flooring and wall found in areas of BEDROOM-2 along the exterior walls. Client is advised to have a licensed contractor removed the baseboards, flooring and drywall to determine the cause and conditions inside the wall cavity. **Suspected mold growth** in confined areas of the wall.



CEILING TYPE

168: Drywall

WALL TYPE

169: Drywall

170: Wallpaper

WALLS AND CEILINGS

171: The general overall physical condition of the interior walls and ceilings appear to be good with some typical and common cracks.

Note: Determining the indoor air quality is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces to determine if it is within your own personal acceptable levels.



172: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor the cracks as future or additional movement may occur. Contact a qualified drywall professional for additional information and recommendations on how to repair.

173: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

174: Disclosure: *Furnishings, window coverings (such as drapes shades and shutters) and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

FI 175: Evidence of past moisture stains & damage at wall area in the PRIMARY BEDROOM CLOSET. Recommend further review of the water stains to determine the cause, the current condition and if repairs are needed.



SC FI 176: Evidence of past moisture stains & damage with some visible mold growth on areas of the drywall: HALL BATHROOM. Recommend additional review by a qualified remediation professional. Recommend further review to determine if stains are current or old and if repairs are needed.



SC 177: Evidence of past moisture stains & damage with some visible mold growth on areas of the drywall: PRIMARY BEDROOM BATHROOM. Recommend additional review by a qualified remediation professional. Recommend further review to determine if stains are current or old and if repairs are needed.





FI 178: Evidence of some unusual cracks and/or tearing of the drywall. The visible movement appears more than normal: IN AREAS OF THE GARAGE. This appears to be from some type of movement or settlement of the framing and/or foundation system. It is advised to have a licensed engineer evaluate the cause, current condition and potential future issues.



Example. In the garage over the water heater



Example. In the garage over the water heater

Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have

DUCTING/DISTRIBUTION

184: Appears serviceable at visible areas.

Disclosure: Conditions inside the ducting are not visible and are unknown. Be advised that certain dirty ducting systems have been known to have some biohazards and/or carcinogens inside the ducting. Cleaning, resealing and servicing of HVAC system and ducting is recommended every few years.

AIR FILTERS

MR 185: Furnace air filter is missing. The installation of a new filter is needed.

COMBUSTION AIR

186: Appears to be the appropriate amount and in the appropriate locations.

THERMOSTAT/CONTROLS

E&C 187: The Furnace thermostat found non-operational.

Cooling

LOCATION

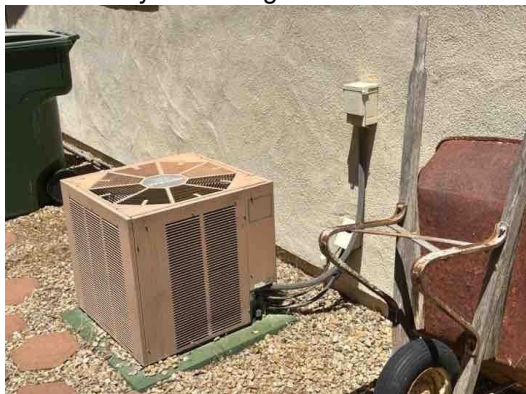
188: Location: WEST SIDE- Exterior

Condenser Size, Minimum Current Ampacity, Maximum Current Ampacity and date are Unknown due to a damaged and missing placard.

Current Ampacity: 40 Amps (per the breaker in the electrical panel)

Refrigerant Type: R-22. The phasing out of R-22 began in 2010, when manufacturers were no longer able to produce new equipment designed with it. In 2020 and the ban expanded to only allow the use of recycled or previously stockpiled Freon to service existing air conditioner

The average life of this type of air conditioner condenser is +/- 20-25 years. This air conditioner condenser appears old and maybe nearing or at the end of a useful life.



TYPE OF COOLING SYSTEM

189: Electrical Disconnect Provided at or near the Equipment per standards.



AIR CONDITIONING SYSTEM OPERATION

190: [AIR CONDITIONER CONDITION](#): The air conditioner operated properly when tested. The Air Temperature Differential is: 15°F.

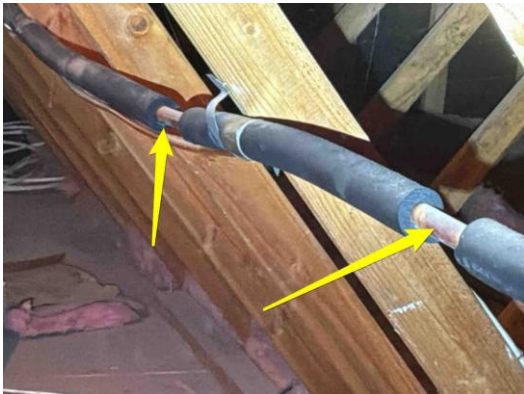
The air temperature differential for a properly functioning air conditioner should be between 15°F and 25°F.

COMMENTS

E&C 191: Insulation damaged or missing at areas of the Air Conditioner refrigerant piping in the attic at multiple locations. This allows water to condensate and drip causing water stains and/or damage. Repairs or additional insulation needed.



Example



Example

CONDENSATE

E&C 192: Missing a secondary safety overflow catch pan under the Air Conditioner coil in the attic to help prevent water damage to the ceiling below if a leak were to occur per standards. Recommended repairs by a certified or licensed HVAC professional familiar with the minimum installation requirements.



Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL-1

193: Electrical Service Type: **Underground** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **EXTERIOR - ON THE BACK OF THE GARAGE**

Main Electrical Panel Ampacity: **200**

Panel Voltage: **240 volt**

Branch Wire Type: Copper

Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.



PANEL COMMENTS

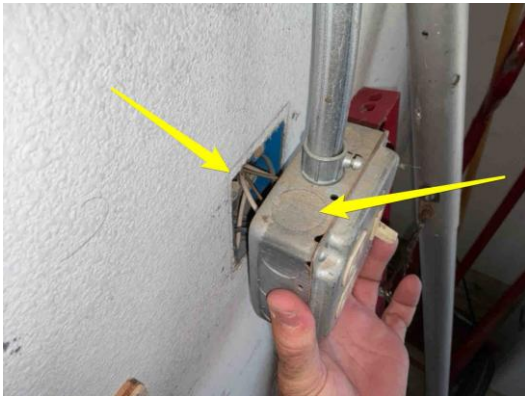
SU 194: Breaker panel is not fully or properly labeled per standards: MAIN ELECTRICAL PANEL.

SU 195: Unprotected / unused opening(s) through the BOTTOM of the MAIN ELECTRICAL PANEL needing to be sealed for safety per standards. This will help prevent critter intrusion into the electrical panel.



WIRING/CONDUIT

SC 196: Improper and unsafe electrical wiring AT THE ADDED ELECTRICAL OUTLET AND LIGHT SWITCH IN THE GARAGE.



SC 197: Improper and unsafe electrical wiring / no outlet provided for the water softener in the garage. Water softener cord is passing through the garage wall.

DOOR BELL

198: Doorbell operated when tested.

LIGHTING

FI DS 199: Some electrical switches do not operate anything visible, (purpose unknown).

FI 200: Some lights found to be non-operational (check bulbs if still found non-operational contact a qualified electrician to evaluate and repair or replace defective fixtures and/or switches).

E&C 201: Lens at light fixture is missing: KITCHEN PANTRY

E&C 202: Light fixture is damaged: EXTERIOR FRONT ENTRY LIGHT



Detectors

SC 203: The INSTALLED SMOKE DETECTORS appear to be over 10 years old and should be replaced for safety per the current California standards.

The inspection of the placement of the detectors is not a warranty as to the effectiveness of the detectors, only that the detectors are installed in the appropriate locations per California law. Owner is responsible for testing detectors monthly and replace detectors over 10 years old.

SC 204: Smoke detector missing at required location : INSIDE EACH BEDROOMS

SC 205: Carbon Monoxide detector missing at the required location: BEDROOM HALLWAY

Garage

The conditions inside walls, behind occupants' belongings, and areas not visible cannot be determined. Do a careful check during final walkthrough.

Determining the condition of the waterproofing on interior below grade walls is outside the scope of this inspection. Interior walls are visually inspected for stains and damage in accessible areas that are not blocked or covered by occupants' belongings.

FLOORS

206: Visible areas of the garage floor appears serviceable.

DS 207: Common cracks found in the concrete garage floor.

DS 208: The garage floor and walls are not fully visible due to occupants' belongings and/or cabinetry. Areas of the garage is not accessible, visible nor inspected. A re-inspection is recommended once full access is made available.

WALLS & CEILINGS

DS 209: The conditions inside walls, behind occupants' belongings, and areas not visible, cannot be determined. Do a careful check during final walkthrough.

DS 210: Walls not fully visible due to occupants' belongings and/or cabinetry.

FIRE DOOR

SC 211: Self-closer did not fully close and latch the garage fire door to the living space properly.

PEDESTRIAN DOOR

UPG 212: Operated when tested. However, doors slightly out of square.

MR 213: Recommend weatherstripping at garage pedestrian door to help prevent water intrusion during certain weather conditions. Upgrades recommended.

VEHICLE DOOR TYPE

214: Roll-up

VEHICLE DOOR

215: The garage vehicle door(s) operated when tested.

216: Proper safety springs installed on the garage vehicle door.

MR 217: *Note: It is recommended to lubricate the hinges, rollers and auto opener annually as part of typical ongoing maintenance.*

VEHICLE DOOR OPENER

SU 218: **The installed garage vehicle door opener(s) operated when tested.**

The garage vehicle door auto opener is old and does not have the newer battery backup feature. Upgrades are recommended but not required.

SU 219: The garage vehicle door auto opener Auto Reverse electric eye sensors should be installed no higher than six inches from floor per standards.

Fireplace

FIREPLACE LOCATION

220: **FAMILY ROOM**



FIREPLACE TYPE

221: Fireplace Type: **Prefabricated**

222: Fuel Type: **Wood Burning fireplace with a Gas Log Appliance currently installed.**

Note: Some conditions inside of the fireplace are not fully known and are not fully accessible or not inspected due to the installation of the gas log appliance.

Gas fireplaces can potentially backdraft or back-vent combustion gases under certain conditions, which may allow carbon monoxide to enter the interior of the home. The fireplace and venting system should be inspected and serviced by a qualified gas fireplace technician of the Gas Utility Company annually. Also a properly installed carbon

monoxide detector should be installed in the same room as the gas fireplace to help provide early warning if an unsafe carbon monoxide issue were to occur.

223: Chimney Type: **Metal Chimney Pipe**

PREFABRICATED WOOD FIREPLACE

224: The refractory plates, back and side walls, inside the pre-fabricated wood-burning fireplace appear serviceable with no major or significant damage.

DS **225:** **Disclosure:** The interior of the fireplace is not fully visible due to installation of the added artificial log appliance. *This may be hiding defects which are not visible at this time. Recommend additional evaluation.*

SC **226:** **Missing the required damper-lock on the FAMILY ROOM FIREPLACE.** A damper lock is required lock the damper in the full open position and prevent closure of the damper due to the installation of a gas log appliance installed in a wood-burning fireplace. This is considered a **safety hazard** as a closed fireplace chimney damper can back-vent large amounts of carbon monoxide in the living space and should be corrected prior to using the fireplace.

MR **227:** The screen at the face of the pre-fabricated fireplace appears serviceable and operated when tested.

228: The log grate is serviceable and in good condition

229: The Fireplace hearth extension is serviceable and in good condition.

MR DS **230:** Fireplace glass doors do not operate properly at the FAMILY ROOM fireplace. Maintenance or repair recommended.

231: Gas valve at the fireplace operated when tested.