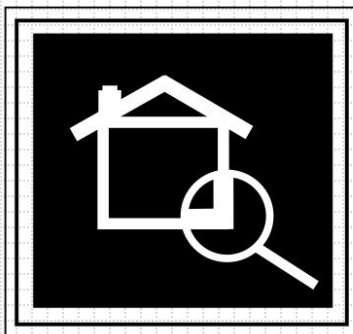




"CERTIFIED"
MANUFACTURED HOME INSPECTOR

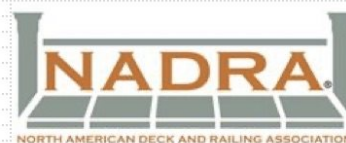
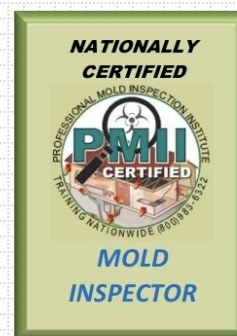


Certified Building Inspector

Professional

Inspection Services

Inspection Report



CERTIFIED FIREPLACE AND
CHIMNEY INSPECTOR



Address: 345 N 4th St Grover Beach, CA 93433

08/20/2026

Inspector: Taylor Vreeken, CCI

P.O. Box 415 Templeton, CA 93465 | O: 805.462.1978 C: 805.441.9727

CERTIFIED BUILDING INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys**. Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

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General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. Example: A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector dreamed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

1: Approx. Temperature: 71°F
2: Dry Today

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES

3: East

INSPECTION DATE

Thursday, August 20, 2026

START TIME

8:30 am

FINISH TIME ON-SITE

10:00 am

INSPECTOR

5: Taylor Vreeken, CCI, CMI

PROPERTY TYPE

6: Single Family Residence

INSPECTION TYPE

7: **Pre-Sale Listing Inspection** : This inspection is performed on behalf of the seller to provide a general overview of the property conditions as they existed at the time of inspection. The report focuses on the six primary systems: **Structural Integrity, Roofing, Electrical, Plumbing, Heating and Cooling, and the Fireplaces and Chimneys.** *Cosmetic conditions and non-permanent appliances are excluded.*

This report is informational only and does not reflect any repairs, upgrades made or conditions that have changed after the inspection date.

Buyer's Responsibility: *Any prospective buyer relying on this report is required to contact Professional Inspection Services, complete a report review, and execute a new inspection agreement, including payment of applicable fees. Any prospective buyer who relies on this report without complying with the required procedures does so knowingly, willingly, and thereby waives and forfeits any and all future claims. Failure to comply constitutes a complete and unconditional release of Professional Inspection Services and its inspectors from any and all liability, without exception.*

YEAR/ OCCUPANCY STATUS

8: Approx. Year Built: 1954

9: Occupied.

PRESENT DURING THE INSPECTION

10: Tenant

ADDITIONS

DS 11: **ADDITIONS or UPGRADES SUSPECTED**:

Some upgrades or additions were observed or suspected that may have required building permits. No determination is made regarding permit status. The client is advised to contact the local building department to verify whether proper permits and final approvals were obtained.

THE FOLLOWING ITEMS ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

DS 12: **OUTSIDE THE SCOPE OF THIS INSPECTION**:

Items listed below are outside the scope of this inspection and were not evaluated or inspected per standards. Client is advised to have these areas or components reviewed, inspected and tested by an appropriate and qualified trade professional familiar with applicable standards.

13: Notice: Building constructed prior to 1979 may contain asbestos and/or lead-based paint. Determining if drywall, flooring, attic insulation, acoustic ceilings or any other component in, or on the house that may contain asbestos or if the exterior and interior paint contains lead is beyond the scope of this inspection. If concerned have tested.

14: Solar Electric System

Disclosure: It is recommended to for the client meet on-site with the solar provider to learn fully about the system and its components, any maintenance requirements, and who to contact or what to do if a problem arises. (Areas of the roof below panels are not visible/ not inspected)

15: Sheds

Grounds

DRIVEWAY TYPE

16: Gravel

DRIVEWAY COMMENTS

SU 17: Areas of the driveway are uneven with potential trip hazards. Upgrades recommended.

DS 18: Disclosure: Areas of some minor ponding of water / poor drainage at areas of the driveway.

SIDEWALK / WALKWAY TYPE

19: Gravel Walkways

SIDEWALK / WALKWAY COMMENTS

SU 20: Areas of the walkways are uneven with potential trip hazards.

Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

21: Wood Framed

EXTERIOR WALL COVERINGS

22: Wood Siding

EXTERIOR WALL COMMENTS

DS 23: Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

MR 24: Areas of the exterior are not fully visible and not inspectable due to overgrown foliage and occupant's belongings. Conditions are behind the blockage are unknown. Client is advised to have the obstructions moved to have the areas reinspected.



EXTERIOR GENERAL

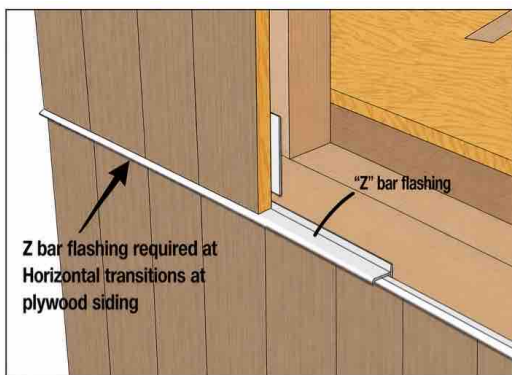
E&C 25: Some moisture and/or bug-type damage and deterioration found at areas of the exterior wood siding and/or trim. Refer to the termite report for additional comments, recommendations, locations and extent.



MR 26: Deteriorated paint at areas of the exterior.

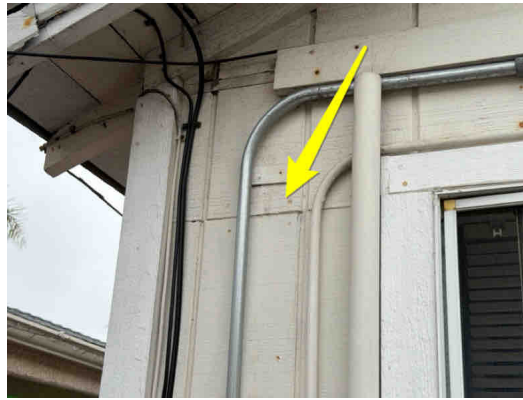


FI 27: Disclosure: No visible water shed / "Z" bar flashing at areas of some past exterior plywood wood siding repairs. Areas will need to be sealed and maintained regularly or removed and replaced with appropriate Z-bar flashing to help ensure water tightness.



'Z' Weather Strip Flashing





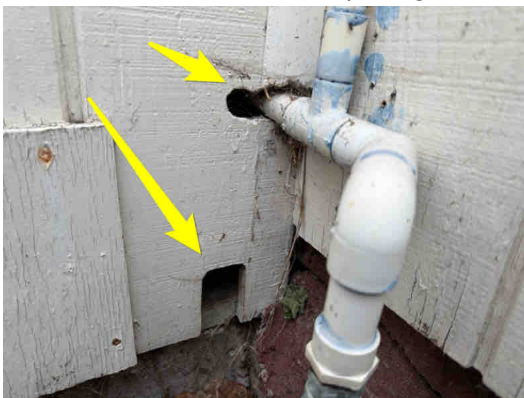
E&C FI 28: Several exterior fasteners found rusted and deteriorated.



DS 29: Areas of the house appear to have new siding over the old siding. Condition of the original siding is unknown. Buyer may wish to consult a professional for in-depth evaluation or contact the local building department for permits or architectural drawings/ engineering.

SEALING EXTERIOR

MR 30: Recommend sealing holes in exterior walls to prevent water intrusion around areas such as unused open holes in the exterior siding and trim, exterior light fixtures, around exterior electrical boxes and covers, and where utility pipes and/or wires pass through the exterior walls. Have a qualified painter or licensed professional evaluate the entire exterior and seal openings where needed.



EXTERIOR TRIM

31: TRIM TYPE: Wood

32: Appears serviceable. Refer to the Termite Report for additional comments and recommendations.

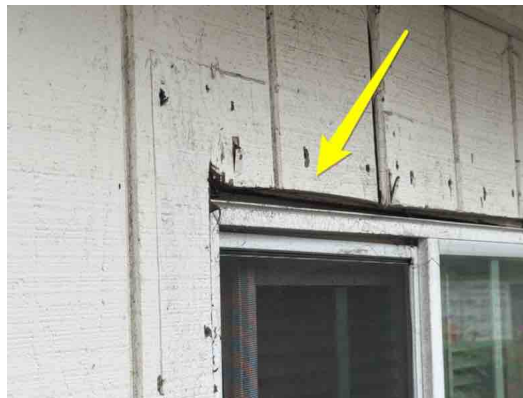
MR 33: Deteriorated, cracked, and separated caulking was observed at various exterior trim locations, including around doors, windows, fascia, and other exterior penetrations. Recommend maintenance and replacement of failed sealants to help prevent moisture intrusion.

MR 34: Deteriorated paint or finish at areas of the exterior.

E&C FI 35: Some loose, damaged or missing trim noted at some areas of the exterior. Contact an appropriate professional to correct all areas of the exterior as needed.



36: The North window in the bedroom is missing required exterior trim. Further evaluation and repairs warranted. Condition of waterproofing and wood framing around the window is Unknown.



Decks

LOCATION & TYPE

37: DECK LOCATION: **FRONT ENTRY DECK**

DECK TYPE: Wood Framed - Synthetic Planks



WOOD DECK COMMENTS

DS 38: *The underside of the FRONT ENTRY DECK deck was not visible or accessible due to at-grade construction. As a result, the condition of the deck framing and components could not be determined in concealed areas. Decks constructed at or near grade typically have reduced service life due to limited airflow, which can promote moisture retention and wood deterioration. Inspection was limited to visible surfaces only. Recommend further evaluation by a qualified licensed contractor.*

E&C 39: The FRONT ENTRY DECK does not meet minimum construction standards, has moderate moisture damage, and appears to be at the end of serviceable life. Contact a qualified contractor for evaluation and repairs or replacement.



Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

SITE SLOPE

40: **Minor Slope**

Determination of site stability, soil erosion potential, and water runoff from surrounding slopes, streets, and adjacent properties is outside the scope of this inspection and is not evaluated.

GRADING COMMENTS

MR **UPG** **41:** Evidence of ponding water was observed in areas of the property at and/or near the home in some planter areas. Recommend improving site drainage and landscape grading and/or adding proper underground drainage as needed to help direct water away from the structure and off the property.

MR **42:** Areas of insufficient slope of the soil away from the building along some areas of the perimeter foundation. A proper slope of the soil, patios and walkways should allow for water to flow freely away from the building, not allow water to flow against areas the foundation edges and water should not allow for ponding of water in areas near or at the foundation as this can cause erosion and/or settling of the foundation system.



E&C **MR** **43:** Soil levels were observed to be high at portions around the building perimeter adjacent to the foundation. Recommend maintaining a minimum clearance of 6 inches from the bottom of the interior floor level AND all wood wall and foundation framing - to the exterior grade (including soil, rock, mulch, or similar materials).

MR **44:** Plants and/or Trees touch the buildings exterior and/or the roof. Proper landscape maintenance needed.



MR 45: Earth-to-wood contact noted at areas of the exterior siding or trim. Proper landscape grading warranted.



FI 46: Areas of the exterior soil level/ grade appear to be above interior floor level with no visible waterproofing. Condition of waterproofing or past moisture intrusion is unknown. Buyer may wish to investigate further until satisfied as to current condition.

Foundation

Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

FOUNDATION TYPE

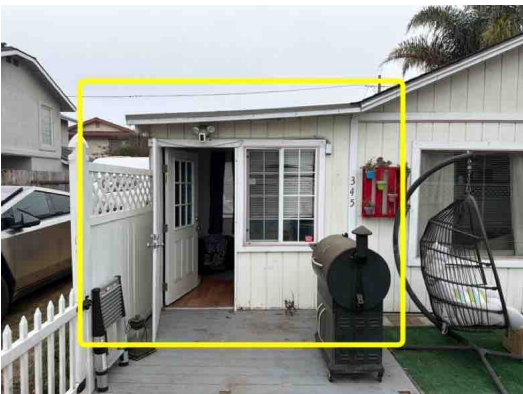
47: Concrete Slab

Disclosure: *The concrete slab is not visible due to furnishings and/or floor coverings. Cracks and conditions of the concrete under the flooring are not visible nor determined. Settling, cracking, moisture intrusion from under the slab and flooring or other defects cannot be determined and are outside the scope of this inspection.*

E&C 48: Concrete Slab: Some unusual sloping noted at areas under the flooring. Recommend additional review by qualified and licensed engineer to evaluate cause, current conditions and potential future issues.

RAISED FOUNDATION NOTES

49: The entry area lean-to structure appears to have no foundation and may consist of direct wood framing-on-dirt style construction. Moderate leaning and settlement of the small addition is visible and warrants further evaluation by a qualified foundation professional or engineer.





Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

ROOF -1

ROOF STYLE

50: Gable



51: Roof was walked

52: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

53: Asphalt Shingle

Average life expectancy of this roof material: 25-30 years

There is Approx. 5-10 +/- years of visible wear at areas of the roof.

ASPHALT COMPOSITION SHINGLE COMMENTS

E&C 54: ROOF CONDITION: The asphalt composition shingle roof material appears to be within its useful life.

However, areas of the asphalt composition roofing were found to be needing servicing and/or repairs.

Contact a qualified roofing professional to review the entire roof and correct all deficiencies and/or perform needed maintenance as needed.

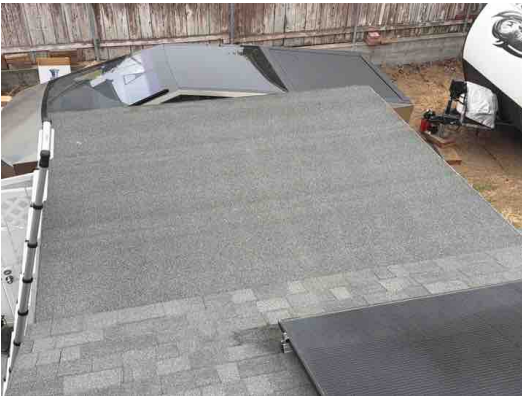
DS 55: Disclosure: Exposed fasteners noted at areas of the roof and/ or roof flashings.



ROOF -2

ROOF STYLE

56: Flat or Low Slope



57: Roof was walked

58: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

59: Rolled Composition

Average life expectancy of this roof material: 20-25 years

There is Approx. 5 years of visible wear

FLAT / LOW SLOPE ROOF COMMENTS

60: [ROOF CONDITION](#): The Rolled Composition roof appears serviceable, within useful life and in good condition.

However, this is not a warranty or guarantee that the roof does not leaks or other future conditions might exist. This is only a physical inspection of the visible areas of the roof system.

ROOF -3

ROOF STYLE

61: Single Slope



62: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

63: Asphalt Shingle

Average life expectancy of this roof material: 20 years

There is Approx. 25 +/- years of visible wear at areas of the roof.

ASPHALT COMPOSITION SHINGLE COMMENTS

E&C 64: The single slope composition roof over the laundry room, found improperly installed, heavily damaged, and is missing required metal roof flashings. Too many individual defects and locations to list. Recommend further evaluation and re-roofing by licensed roofing professional familiar with minimum codes and waterproofing standards.





Flashings

Roof flashings, transitions, and skylights are not water tested for leakage. This is a visual inspection of the roof and its components per CREIA standards. All roofs require continuous and ongoing maintenance. Recommend having the roof serviced regularly by a qualified professional. Contact a licensed roofing professional for recommendations.

ROOF FLASHING

65: ROOF FLASHING CONDITION: Exposed and visible areas of the roof flashings appear serviceable and in good condition.

NOTE: All roof flashing should be inspected and resealed approximately every 3 to 5 years to help maintain water tightness.

Gutters

RAIN GUTTERS

UPG 66: Disclosure: No Rain gutters installed. Recommend installing rain gutters in appropriate areas as an upgrade.

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

ATTIC ACCESS

67: ATTIC ACCESS LOCATION: BATHROOM

68: ATTIC VENTILATION: Appears Adequate. However, attic ventilation was not calculated but visually observed.

DS 69: Disclosure: Areas of the attic are not fully visible, not accessible and not inspected due to insulation and some areas are too small for physical access.

SU DS 70: The current attic framing is older and does not meet current structural or seismic standards; however, it appears to be in generally serviceable condition at the time of inspection for its age.

71: Attic Photographs



TYPE OF INSULATION FOUND IN THE ATTIC

E&C 72: Missing insulation in the areas attic. Some of the attic Insulation in has been moved, displaced or was not originally installed for reasons unknown.



73: Blown Cellulose: Approx. Depth 4-6 +/- Inches

ATTIC COMMENTS

FI DS 74: Some moderate and typical moisture stains noted in areas throughout the attic. All water stains should be investigated by a licensed roofer. Refer to termite report for additional comments and/or recommendations.

E&C MR 75: Some damaged attic gable vent screens found on areas of the exterior. Repair or replacement recommended to help prevent critter intrusion into attic areas.



E&C 76: Unprotected openings into the attic or confined spaces from the exterior should be sealed or screened per standards to help keep rodents out of the attic.



Plumbing

This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

77: Main water supply shut-off location : Exterior - Southwest Corner . *Main water shut-off valve not tested.*

1. *Pressure Regulator Installed: NO*

2. *An Automatic Leak Detection Device installed on the main water supply: NO.*



E&C 78: Excessive water pressure (above the maximum of 80-psi, **currently at: 90-psi**). Recommend the installation of a pressure regulator.



TYPE OF WATER PIPING

79: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time):

80: Copper

81: Galvanized

82: CPVC Plastic

83: PVC plastic

Note: PVC plastic pipe should not be used within the building envelope. This includes crawlspaces, attics and garage as it is fragile and not UV rated piping. Contact a qualified plumber to evaluate and make recommendations for upgrades or replacement.

WATER SUPPLY PIPING

84: *The condition of the Plumbing Pipe inside walls, under insulation in the attic, underground, under the slab, and in all inaccessible areas which are not readily visible are not evaluated or inspected. Conditions cannot be judged. Water pipe leak detection or pressure testing is not performed.*

UPG DS 85: Disclosure: *The White Plastic PVC pipe used above ground for faucet, sprinkler or supply piping is fragile, not UV rated, and can break easily. Upgrades are recommended to help prevent future damage or water leakage.*

E&C 86: Active water leak found at NORTHWEST EXTERIOR HOT WATER SUPPLY LINE OUTSIDE THE KITCHEN. Recommend further evaluation and repairs by qualified plumbing professional.



E&C 87: Improper use of PVC as a water supply piping inside the envelope of the building.

88: An excessive amount of plumbing defects discovered, too many to accurately describe. Recommended further review and correction of the entire plumbing system and its components as needed by a licensed electrical contractor.

NOTE: *Not all defects of the plumbing system defects have been noted in this report due to the excessive amount, as this inspection is to determine and give an opinion as to the general overall condition of the plumbing systems and its components. This inspection of the plumbing system is not intended to be technically exhaustive per California standards. Be aware that additional defects may be discovered during a more comprehensive evaluation and/or repairs.*

FI DS 89: Be advised that a few small areas of galvanized water supply piping are still present. Galvanized supply piping has an average life expectancy of approximately 50 years. +/- . Rust Discoloration or sediment in the water may be a sign of deteriorated galvanized water supply piping. Recommend further evaluation and opinion by a licensed plumbing professional.

HOSE FAUCETS

90: The evaluated exterior hose faucets operated when tested.

WASTE PIPING TYPE

91: Type(s) of waste water drain piping that could be seen at the time of the inspection. Other piping materials may be present or used in areas which are not visible at this time due to concealment.

92: ABS and PVC

93: Galvanized

WASTE/SEWER PIPE CONDITION

FI 94: Note: Due to the age of the building and the use of older galvanized, cast iron and/or other type of piping used for the waste and sewer systems, the piping may be nearing or at the end of its useful life and may have some defects or damage. The average life expectancy of these types of piping systems is approx. 50 +/- years and can fail without warning. Some visible and/or suspected corrosion, deterioration and/or flow restriction of the old waste piping systems is believed to exist.

Recommend additional review and video scoping of the waste and sewer piping to verify conditions.

Disclosure: *Waste and sewer pipes are not fully visible. Pipe conditions inside walls, inaccessible areas, under the ground or slab cannot be judged or determined.*

E&C 95: Improper plumbing waste vent pipe termination: WEST SIDE LAUNDRY AREA AND KITCHEN

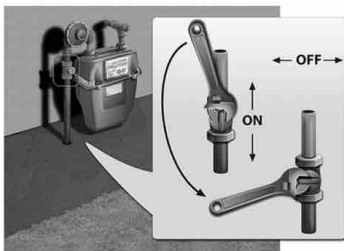


Fuels

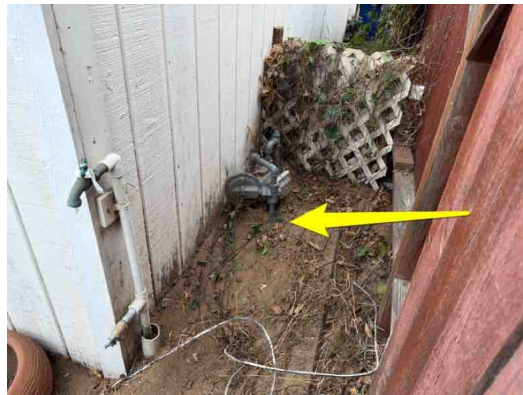
FUEL TYPE

96: Natural Gas. Location of main Gas shut-off : Exterior - Northeast Corner

Client is advised to have All fuel-burning appliances (such as furnaces, water heaters, boilers, fireplaces, and gas dryers, etc.) inspected and serviced at least once per year by a qualified technician or the local gas utility provider. Regular inspection helps ensure proper combustion, safe venting, and detection of potential gas leaks or carbon monoxide hazards, and helps maintain safe and efficient operation of the equipment.



CAUTION: If you turn off your natural gas at the meter, leave it off. Do not turn it back on yourself.



FUEL SYSTEM

E&C SC 97: Gas meter main shut off found buried or partially buried in the soil. Corrections warranted.



MR **UPG** **98:** The Gas meter and/or shutoff valve found to be improperly in contact with ground or soil. Deterioration has or may occur. Maintenance or upgrades are needed to help prevent deterioration or damage.



Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

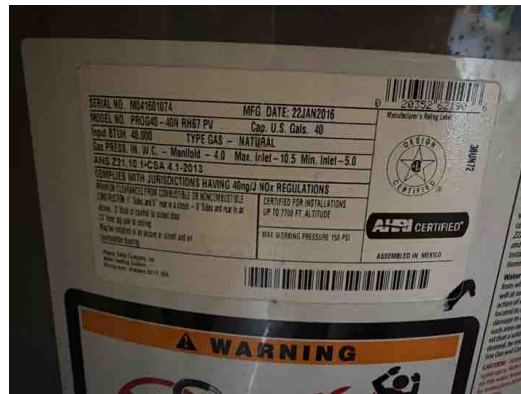
WATER HEATER INFORMATION

99: Water Heater Location: LAUNDRY ROOM

Date: 2016

Size: 40 Gallons

Fuel Type: Natural Gas



WATER HEATER CONDITION

100: Water Heater Operated when tested.

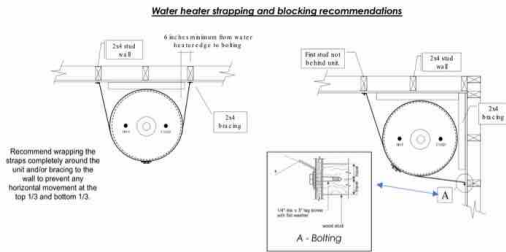
DS 101: Disclosure: The average life of a Water heater is +/- 10 years. This water heater is **10 years old** and may be nearing the end of its useful life. Monitor often.

COMBUSTION AIR

102: Proper amount of combustion air.

STRAPPING

E&C 103: The Water heater is loosely strapped & not secured well - moves when pushed . Recommend adding BRACING OR BLOCKING to the wall to properly secure the tank per Uniform Plumbing Code and State Architect Requirements.



TPR PIPING

104: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. *TPR Valve not tested.*

SC 105: Water heater TPR (Temperature Pressure Relief) pipe found improperly terminating into the water heater catch pan drain. This is considered a safety concern and warrants correction per minimum standards. Must terminate downward at the exterior at 6 to 24 inches from the ground.

VENT PIPING

106: Visible areas of the water heater vent flue pipe are serviceable.

PLATFORM ENCLOSURE

107: The visible areas of the Water heater enclosure and/or platform appears serviceable.

FI 108: Disclosure: Dry Moisture stains noted at areas around the water heater at the platform and/or enclosure.

GAS PIPING

109: The water heater gas piping appears within useful life with no physical damage.

WATER HEATER GENERAL COMMENTS

UPG 110: Missing the insulation on areas of the Hot and Cold water supply piping at the water heater.

Energy Code (Title 24, Part 6)

California's energy standards require insulation on the first 5 feet of cold and ALL the hot water piping from the water heater, to reduce heat loss and sweating (condensation).

SHUTOFF

111: Cold Water heater shutoff valve installed. *Valve not tested.*

DRIP PAN

112: Water Heater Drip pan installed.

Kitchen

LOCATION

113: Kitchen photos:



SINK

114: The kitchen sink appears serviceable with typical wear for its age.

115: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 116: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*

FI 117: Some corrosion found at the water supply shutoff valves under the Kitchen sink / evidence of past leaking. Client should investigate further until satisfied as to the cause, condition and potential future issues. Correction Recommended.



DISPOSAL

118: Disclosure: No disposal installed at the kitchen sink.

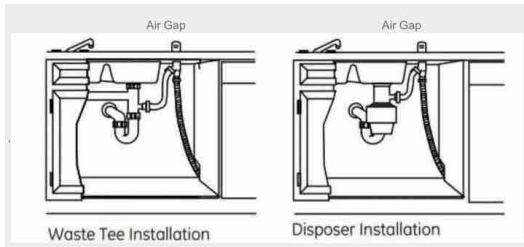
DISHWASHER

119: Dishwasher operated when tested.

Disclosure: *Unable to determine if dishwasher is leaking in areas not visible.*

120: Doors, seals and racks appears serviceable.

SU 121: Improper installation of the dishwasher drain hose. Missing the Air Gap Device at the dishwasher drain per minimum codes and standards (California does not allow for high-loop methods or direct waste connections). {CPC 801.2}



E&C 122: The Dishwasher is not **properly** mounted / loose in the cabinet. Correction needed.

COOKTOP

123: The cooktop is Natural Gas and operated when tested

OVEN

124: The GAS OVEN operated when tested

Disclosure: The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.

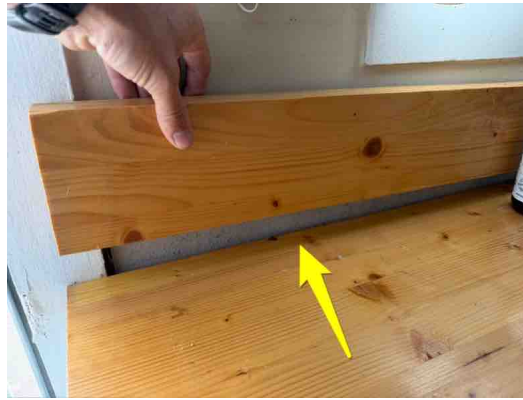
COOKTOP HOOD

125: Kitchen cooktop hood, exhaust fan and light operated when tested.

CABINETS & COUNTERS

126: The kitchen appears to have incomplete finish work, including areas of missing backsplash tile, missing kick-plates, and unfinished countertop/backsplash components, Etc. Recommend buyer awareness that additional work and repairs will be needed to complete the kitchen finishes.





KITCHEN SPECIAL FEATURES

127: Microwave operated when tested.

MR 128: The kitchen sink water purification system, reverse osmosis, operated when tested. *Reverse osmosis system filters should be changed and serviced annually.*

Laundry

LAUNDRY:

129: Photo of the Laundry Location



LAUNDRY TYPE

DS 130: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

131: Gas available for laundry dryer

LAUNDRY COMMENTS

132: Disclosure: *The laundry washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the laundry machines are being transferred with the sale of the property, client should perform due diligence to ensure the proper and safe operation of the washer and dryer within the clients inspection period.*

DS 133: Area behind and under the laundry machines is not fully visible and not inspected at this time due to laundry machines themselves. Conditions are not fully known. Client should inspect area and satisfy themselves as to the overall condition prior to the close of escrow once the laundry machines have been moved out.

134: Disclosure: **No visible 240-volt outlet found or provided for laundry .**

E&C 135: Some corrosion / past leaking found at the HOT and COLD water supply valve at laundry.

DRYER VENTING

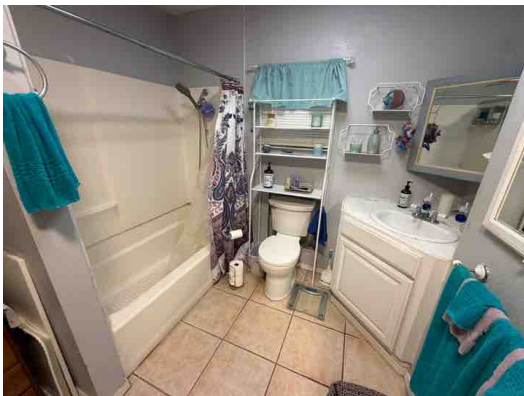
E&C 136: The laundry dryer vent system found damaged and improperly installed. Too many individual defects to list. Contact a licensed plumbing professional for evaluation and reinstallation of a properly installed dryer venting system.



Bathrooms

BATHROOM LOCATIONS

137: BATHROOM PHOTO:



TOILETS

138: Operated when tested.

SINKS

139: Bathroom sink faucet and drain operated when tested.

Disclosure: *The operation and condition of the sink drain stoppers are outside the scope of this inspection and are not tested. Any and all comments made regarding sink drain stoppers are informational only and may only be specific to a single sink.*

DS 140: Disclosure: *Restricted view in the bathroom cabinets and countertop due to occupant's belongings. Check areas carefully once areas are evacuated and cleaned. If defects are found contact our office to evaluate and document condition.*

FI 141: Some corrosion found at waste pipe connections under the bathroom sink / evidence of past leaking.



E&C 142: Improper waste piping found under the bathroom sink where waste piping is improperly vented allowing for vapor lock or through siphoning. Corrections or installation of an air admittance valve is recommended.



VENTILATION

143: Appears adequate.

BATHTUBS

144: Tub faucet and drain operated when tested.

MR 146: Tub spout found loose and not sealed well at the shower wall connection.



SHOWERS

147: Showers operated when tested.

Determining the water tightness and integrity of the shower pans and walls, determining conditions behind tile or enclosures at the tubs and showers is outside the scope of this inspection as areas not visible or readily accessible. Unable to verify or determining if the tile or enclosures were installed per manufacturer's installation instructions.

E&C 148: Shower diverter found non-operational at tub spout.



Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/ or window-door coverings are not able to be fully inspected.

FRONT ENTRY DOOR

FI DS 149: The front entry door appears to be out of alignment and not sitting properly in the frame. Further evaluation/corrections recommended.



EXTERIOR DOORS

E&C 150: Moisture damage noted at the LAUNDRY ROOM exterior door. Refer to termite report.



INTERIOR DOORS

151: Operated when tested.

WINDOWS

152: WINDOWS: A sampling of the accessible windows operated when tested.

Note: Windows with blinds or shades or other coverings are not tested. All windows should be serviced by a qualified window specialist to ensure windows operate smoothly and properly and to ensure water tightness. Have all deteriorated weatherstripping replaced. Window blinds, shades, drapes or other window coverings are not inspected and are outside the scope of this inspection. Client should provide their own due diligence and evaluate all window coverings.

MR 153: Some windows found a little difficult to operate. Maintenance or upgrades to the windows are recommended.

FI 154: Moisture stains, damage, and/or evidence of prior drywall repairs were observed at some interior window sills. These conditions may be indicative of past or ongoing moisture intrusion. All observed staining, damage, and repairs should be further evaluated by a licensed contractor to determine the cause, extent, and current conditions. In addition, refer to the seller disclosures, or other available documentation for information regarding the history of the existing issues.

E&C 155: Moisture and bug type damage noted at wood windows. Refer to termite report for extent and location.



FLOORING

156: *Disclosure: Furnishings, rugs and occupants' belongings are examples item that prevent the full inspection of the flooring. Conditions in areas not visible are unknown. Do a careful check prior to closing.*

DS 157: Some moderate and heavy deterioration and/or damage noted at areas of the interior flooring.

CEILING TYPE

158: Drywall

159: Plaster

WALL TYPE

160: Drywall

161: Plaster

WALLS AND CEILINGS

DS 162: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor the cracks as future or additional movement may occur. Contact a qualified drywall professional for additional information and recommendations on how to repair.

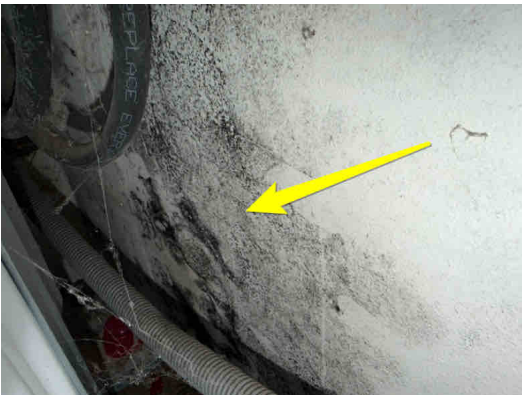
163: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

164: **Disclosure:** *Furnishings, window coverings (such as drapes shades and shutters) and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

FI DS 165: Evidence of past ceiling and wall repairs found throughout. Client should investigate further to satisfy themselves as to the cause and current conditions.

E&C 166: Several cracks noted throughout interior drywall indicative of moderate structural movement.

SC FI 167: Evidence of past moisture stains & damage with some visible mold growth on areas of the drywall: LAUNDRY ROOM. Recommend additional review by a qualified remediation professional. Recommend further review to determine if stains are current or old and if repairs are needed.



168: Evidence of termites in the areas of the building. Contact a qualified termite professional for additional comments and recommendations. Determining if condition are old or active is outside the scope of this inspection. Recommend proper clean up and prevention for sanitary purposes.



FI 169: The ceiling in the LIVING ROOM NEAR THE HEATER found sagging. Cause and condition is unknown. Client may wish to investigate further until satisfied as to cause and current condition.



FRAMING/ STRUCTURE

E&C FI 170: The wood framing at the added laundry room structure does not meet minimum construction standards and show signs of sagging and separation/pulling away from the building. Too many individual defects to list. Contact a licensed contractor for evaluation and repairs.



Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified HVAC professional. Be aware that additional

defects may be discovered during a more comprehensive evaluation by an appropriate professional.

GENERAL INFO

171: LOCATION: LIVING ROOM

DATE: 2013

Approx. BTU RATING: 25,000

FUEL TYPE: Natural Gas

FURNACE TYPE: Gas Wall Heater

Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.



CONDITION

FI **172: FURNACE CONDITION:** **The Furnace did not respond to normal controls.** Recommend further review, cleaning, servicing and certification by a licensed HVAC contractor.

DUCTING/DISTRIBUTION

SU DS **173:** A Loose grill(s) found at the wall furnace which is considered a potential hazard.

COMBUSTION AIR

174: Appears to be the appropriate amount and in the appropriate locations.

THERMOSTAT/CONTROLS

E&C **175:** The Furnace thermostat found non-operational.

Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL-1

176: Electrical Service Type: **Overhead** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **Exterior - Southwest Corner**

Main Electrical Panel Ampacity: **100**

Panel Voltage: **240 volt**

Branch Wire Type: Copper

Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.





177: MAIN ELECTRICAL PANEL CONDITION: *No visible wiring defects in the MAIN ELECTRICAL PANEL.

*Determining the load capacity of the installed circuits is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.

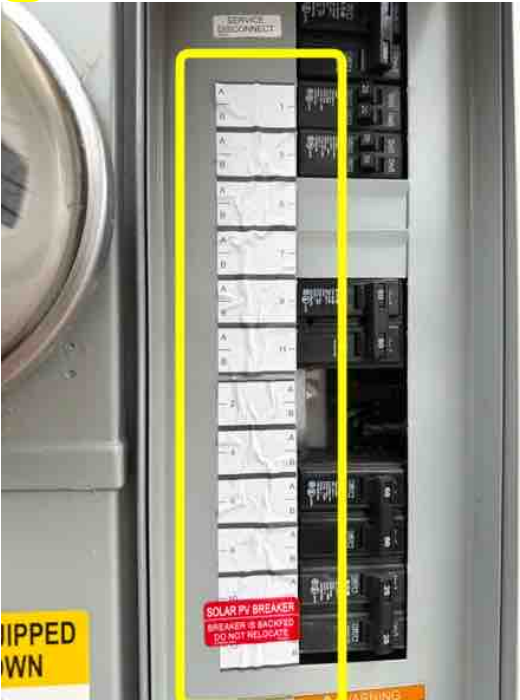
178: PANEL BONDING / GROUND: The visible portions of the panel bond, earth grounding, inside the MAIN ELECTRICAL PANEL is present and properly connected to the metal panel.
All grounding and bonding of the electrical panels and the wiring systems are not tested and are not fully visible. Only the visible areas of the ground clamp and its connections are inspected but not tested per standards.

PANEL COMMENTS

179: Openings in the electrical panel dead front cover were not properly sealed with approved filler plates. Unprotected openings are considered a safety hazard and may allow accidental contact with energized components



SU 180: Breaker panel is not fully or properly labeled per standards: MAIN ELECTRICAL PANEL.



WIRING/CONDUIT

181: A sampling of the switches, light fixtures and outlets operated when tested.

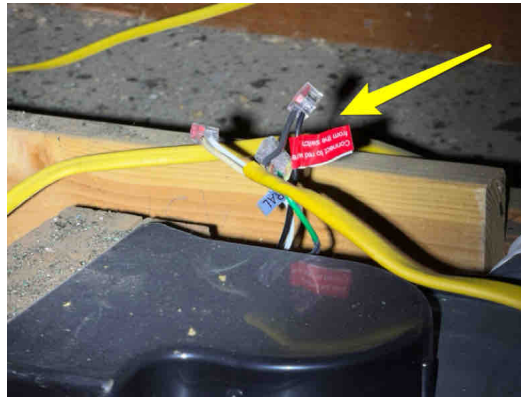
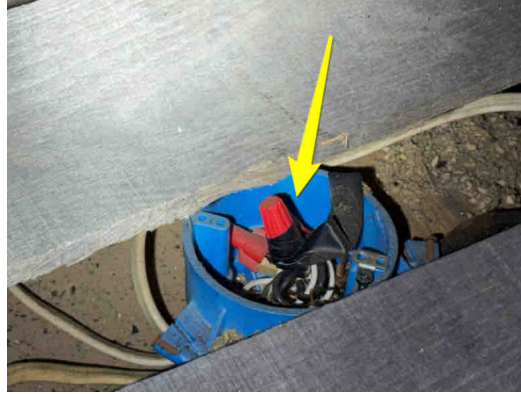
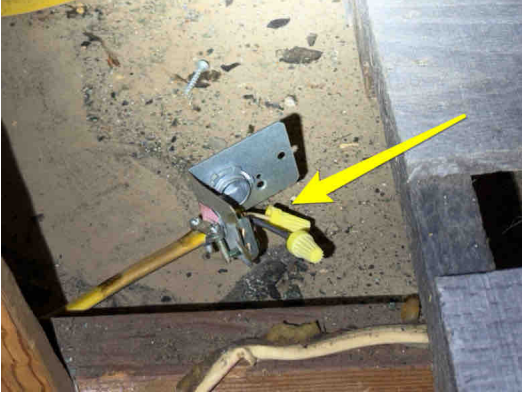
Disclosure: Occupant's belongings and furniture are not moved for testing of outlets and switched. Receptacles which are in use or are blocked by child tamper barriers are not tested. If house is occupied or any restricted conditions exist, additional testing is recommended. Additional inspection fees may apply. Astronomical clock-type lighting controls, photocells associated with exterior lighting are outside scope of this inspection and are not tested.

DS 182: Disclosure: Furnishings, appliances and occupants' belongings prevent testing of every outlet and switch. Have all outlets and switches tested once home is vacant.

SC 183: Improper exposed electrical wiring, "Romex" improperly installed subject to physical damage, not in a conduit or raceway per standards: THROUGHOUT THE LAUNDRY AREA
NEC 334.15(B)
NEC 300.4

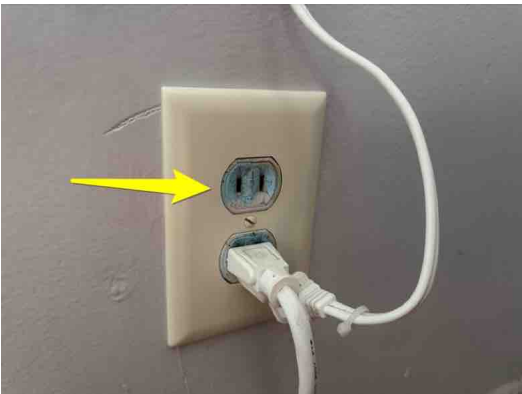


SC 184: Improper electrical wiring. Exposed electrical wires and/or splices not protected in a box with a cover:
MULTIPLE THROUGHOUT THE ATTIC



OUTLETS

SC UPG 185: Some electrical circuits and outlets throughout the home are ungrounded with 2-prong outlets installed. This type of wiring is considered outdated and unsafe by today's standards due to specific requirements of today's newer appliances. Recommend review and safety upgrades to all ungrounded circuits, outlets and lights by a licensed electrical contractor.



SC 186: Miswired electrical outlet (Reverse polarity) found at the EXTERIOR AND INTERIOR AT THE ENTRY AREA. Have electrician check all outlets and correct as needed.



SC 187: Some three-prong electrical outlets did not test properly grounded. Recommended further review and repair or upgrade of all defective outlets once furnishings and occupant's belongings have been removed by a certified or licensed electrical professional.



GFCIS/ AFCIS

188: Disclosure: Recommend adding GFCI and AFCI circuit or outlet protection at all currently required locations, as an upgrade.

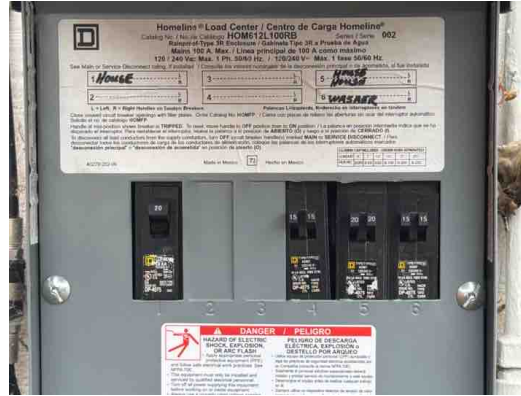
Electrical Sub-Panel

SUBPANEL

189: Location: **NORTHWEST EXTERIOR**

Amps: **Unknown**

Branch Wire Type: **Copper**



Detectors

190: **SMOKE DETECTORS** and **CARBON MONOXIDE DETECTORS** are installed at the required locations.

Disclosure: This is not a warranty as to the effectiveness of the detectors, only that the detectors are installed in the appropriate locations per California law. Owner is responsible for testing detectors monthly and replace detectors every 10 years.