

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

HOME VIEW INSPECTION SERVICE

REAL ESTATE INSPECTION REPORT

3018 JOLLEY DRIVE
BURBANK, CA 91504



Inspection Performed For: Grace Fogg Miranda

AREAS OF CONCERN

Exterior:

1. Home View recommends that all exterior surfaces be monitored during heavy rains to verify proper drainage.
2. Exterior planter boxes should be monitored to ensure that they do not allow rainwater to penetrate the crawl space.



3. Stagnant and contaminated water was found in the rear pond. Stagnant water is a health hazard, providing breeding environment for harmful insects.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

4. Rot and damages were visible on sections of the exterior wood surfaces. All wood surfaces should receive periodic water proofing and paint in order to avoid wood deterioration and rot. For further information regarding the condition of the wood materials, please refer to the termite inspection report.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

5. Cracks were visible on the exterior stucco siding of the home. These cracks should be monitored and patched as required to prevent water penetration.
6. The street number was not properly displayed on the exterior of the home.
7. Rodent trap was found on the exterior.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Gas Service:

1. Home View recommends that all appliances and fixtures relying on natural gas service be inspected by a gas company technician prior to use.
2. Partially exposed, capped and rusted gas pipe was found on the right side of the property.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Garage:

1. Due to the quantity and location of the homeowner's belongings, the garage could not be entered, and the floors, walls and wall fixtures could not be thoroughly inspected.



2. Water stains were visible on the roof structure, as viewed from the garage. This indicates water penetration.



Water Heater:

1. Lower portion of the exhaust pipe was missing. This was allowing harmful exhaust fumes to discharge in the enclose.



2. Gas supply pipe was missing sediment trap.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

3. Water and gas lines connected to the water heater were not bonded.
4. Water heater was missing the required expansion tank.
5. The required overflow pipe was missing.



6. Water heater was missing the required seismic restraints. The upper strap is not considered seismic restraint. Water heater of this size requires a proper seismic restraints one on the upper one-third of the tank and the other on the lower one-third.



7. Water heater was not placed on a platform.



8. The shutoff valve handle on the water heater cold water supply pipe was a full turn type valve. This type of valve is considered less reliable and may fail during operation due to internal wear or corrosion. It is recommended that the valve be replaced with a quarter-turn type shutoff valve, which is generally more dependable and easier to operate. Home View does not operate or test full-turn type valves.



9. Water heater was manufactured 34 years ago and was at the end of its useful life.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Roof:

1. Cracked, damaged, and shifted tiles were observed throughout the roof. The roof covering material was at the end of its useful life.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



Attic:

1. Home View recommends that the interior of the attic be inspected periodically during heavy rains to ensure that the roof is free of leaks.
2. Water staining was visible on portions of the roof structure as viewed from the attic space. This indicates rainwater penetration.



3. Rodent droppings and traps were visible in the attic space.



Note: The composition of the insulation could not be determined without testing the material. This inspection is a visual one, and no additional testing for services is performed. The buyer should consult with the relevant agencies if more information is desired.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

HVAC:

1. Filter in the air return register was soiled and needed to be replaced. The air return register was modified to properly hold the filter.



2. Furnace gas supply pipe was missing sediment trap.



3. Furnace was missing the required drip pan.



4. Air ducts in the attic were placed on the floor. Attic located air ducts must be suspended.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

5. The furnace exhaust pipe was too close to combustible (wood) material. Single wall exhaust pipes must have 6-inch clearance from combustible material and double wall exhaust pipes, 1-inch.



6. The furnace was manufactured approximately 30 years ago and was at the end of its useful life. It was tested and found to be non-functional.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

7. Wall furnace in the family room was not in operational state, as the pilot light was in the off position. In addition, flexible portion of the gas pipe consisted of obsolete brass type material. As this material ages, it would be prone to cracks and gas leaks.



Note: It is recommended to test the air ducts for leaks, as there may be hidden defects not fully visible at the time of the inspection.

Chimney and Fireplace:

1. Joints between the chimney and flashing needed to be sealed.

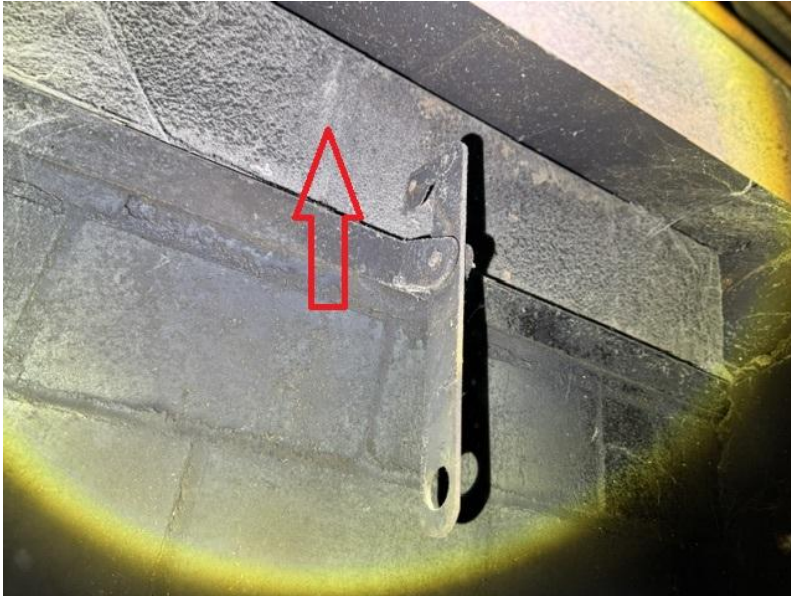


2. Chimney was missing rain cap.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

3. The fireplace damper was operational. Dampers in a gas-burning fireplace should be permanently locked in the “open” position to prevent the possible buildup of natural gas fumes.



4. Creosote buildup was visible in the firebox.



Note: For safety reasons, a fireplace and the chimney or pipe to which it is vented should be cleaned and re-inspected as there may be hidden defects, not fully visible at the time of the inspection.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Interior:

1. Due to the quantity and location of the occupant's belongings, the floors, walls and wall fixtures in the interior, closets, or cabinets could not be thoroughly viewed or inspected.
2. Crack, patchwork and paint peel/bubbling were visible on the ceiling of the kitchen.



3. Crack was visible on the surface of the kitchen countertop to the right of the sink.

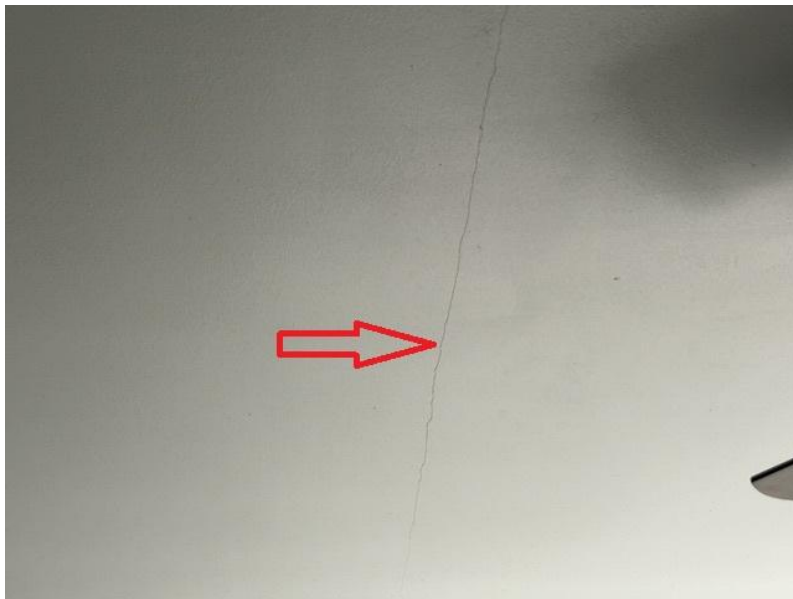


4. The washing machine was not equipped with a drip pan or dedicated drain system. Drip pan with a dedicated drain system is highly recommended to avoid damage in the event of water leak.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

5. Crack was observed on the ceiling of the right front bedroom.



Note: This inspection is visual only, and does not include testing for materials such as asbestos, lead, mold, radon, water and air quality, etc. If information about the presence of these is desired, relevant agencies must be contacted.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Appliances:

1. Right-rear burner of the cooktop was not functional.
2. Range hood filter was soiled.



3. The dishwasher drained from the air gap, indicating a clog in the primary drain (garbage disposal).



Windows and Doors:

1. Perimeter of the windows and exterior doors must be monitored and resealed as needed in order to prevent rainwater penetration.



2. Sections of the window sills were cracked.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

3. Window above the kitchen sink was not locking.
4. Family room pond facing sliding glass door was not sliding properly and the screen was damaged and not sliding.
5. One of the patio facing sliding glass doors of the family room was not sliding properly and the other was missing screen.
6. Living room sliding glass door was not sliding properly, and the screen was damaged.
7. The windows consisted of aged, sliding, single pane type.

Foundation, Crawl Space and Floor Structure:

1. Discoloration was visible on portions of the floor structure as viewed from the crawl space. For further information regarding the condition of the wood materials, please refer to the termite inspection report.
2. One of the structural beams was not inserted inside the foundation wall.



3. Water stains were visible on sections of the soil.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

4. Efflorescence buildup and spalling was visible on portions of the foundation walls, indicating water penetration.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

5. Damaged concrete pier was found in the crawl space.



6. Abandoned exhaust pipe in the crawl space consisted of possible asbestos type material.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

7. Rodent droppings were visible in the crawl space.



Note: The foundation walls and floor structure had not been retrofitted and appear to conform to the building standards in effect at the time of construction.

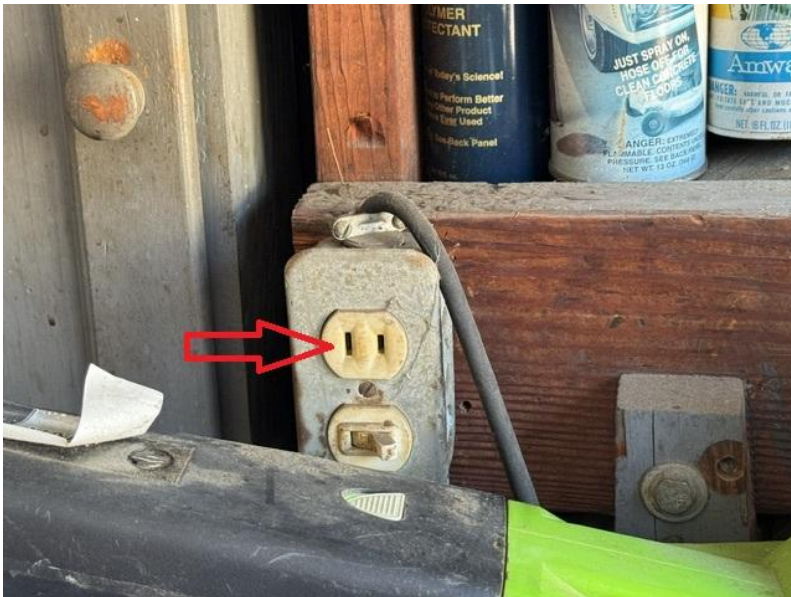
File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Electrical:

1. Receptacle on the front exterior wall of the garage was not GFCI type and was without power.

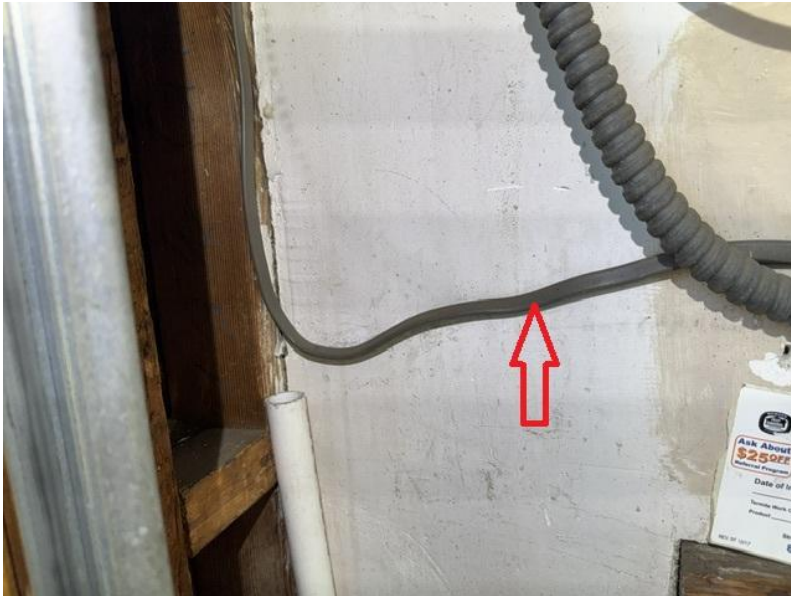


2. Visible garage wall receptacle was not GFCI type and was obsolete two prong type.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

3. Exposed electrical wires were observed in the garage. All exposed electrical wires must be inserted in proper type conduits.



4. Receptacle on the deck wall was not GFCI type. In addition, the receptacle was in continuous use and contained standard type protective cover. Continuously, used exterior wall receptacles require bubble type protective covers.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

5. One of the GFCI receptacles adjacent to the pond was open ground, and the other had hot and neutral wires reversed. These receptacles would not trip under load. In addition, the receptacles were missing bubble type protective cover, and were exposed to the elements.

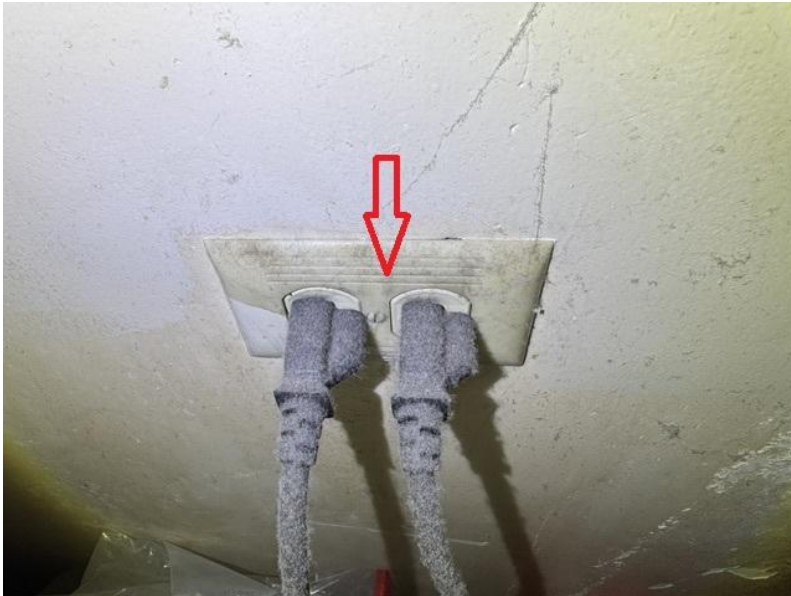


6. Rust was found in the interior of the electrical service panel.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

7. Kitchen wall receptacles were not GFCI type.
8. Receptacle powering the washing machine was not GFCI type.



9. Purpose of two switches on the family room wall adjacent to the deck sliding glass door was not known.



10. Significant portion of the interior wall receptacles were obsolete two prong type. This also indicates presence of aged and obsolete branch circuit wires.



11. Receptacles in the bathrooms were not GFCI type. The three-quarter bathroom receptacle had hot and neutral wires reversed.
12. A functional electric wall heater was found in the full bathroom. Because of its age, this unit should be removed or rendered permanently non-functional, as it represents a safety hazard.



13. Closet lighting fixtures require outer protective covers.



14. The accessible receptacle in the right front bedroom was damaged.

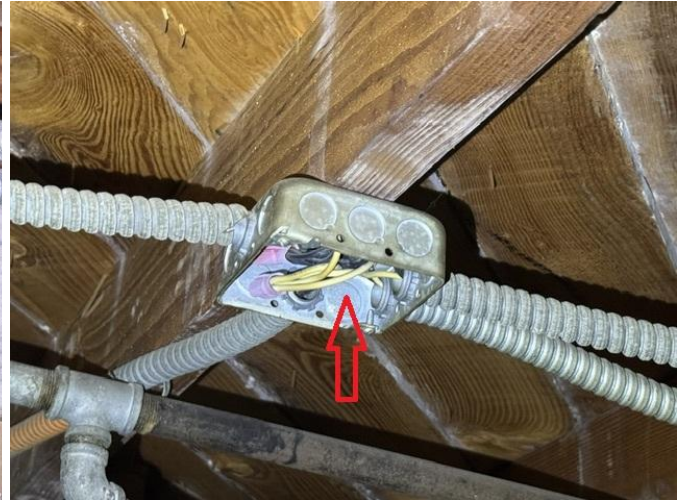


File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

15. Receptacle strip in the left front bedroom was open ground.

16. Purpose of the three switches on the rear facing wall of the living room was not known.

17. Junction boxes in the crawl space were missing cover plates, exposing the wires.



Plumbing:

1. The main water shutoff valve handle was a full turn type valve. This type of valve is considered less reliable and may fail during operation due to internal wear or corrosion. It is recommended that the valve be replaced with a quarter-turn type shutoff valve, which is generally more dependable and easier to operate. Home View does not operate or test full-turn type valves.



2. Counterweight for the kitchen faucet needed to be adjusted.
3. Chips were visible on the surface of the kitchen sink.



4. Corrosion was visible on the drainpipe beneath the kitchen sink.



5. Perimeter of the full bathroom tub needed to be resealed properly.



6. Water leak was visible from the cold water handle of the full bathroom tub.



7. Diverter of the full bathroom tub was not functioning properly. Water was simultaneously running from the spout and shower.



8. Full bathroom sink was detached from the wall. In addition, it did not contain a backsplash.



9. Toilets in both bathrooms were not low flushing type.



10. Bases of both toilets needed to be sealed.



11. Perimeter of the three-quarter bathroom shower floor pan was heavily sealed, and chips were observed on the surface.



12. Drainpipes consisted of aged/rusted cast-iron and galvanized type, as viewed from the crawl space. These pipes were at the end of their useful lives.



13. Sections of the water supply pipes, as viewed from the exterior, consisted of aged galvanized type.



14. Abandoned galvanized water supply pipes in the crawl space should be removed.



15. Rust was visible on the underside of the tub, as viewed from the crawl space, and corrosion on the drainpipe.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Note: The full turn shutoff valves/angle stops beneath sinks and behind toilets were not handled/tested. Due to prolonged non-operation, these valves can potentially leak or break when doing so. Home View recommends these be replaced with quarter turn type.



Note: The main sewer pipe could not be viewed. This pipe must be scoped with a camera in order to determine its condition.

Note: Please verify with your local municipality regarding water conservation regulations.

Smoke/Carbon Monoxide Alarm:

1. There were no smoke or carbon monoxide alarms in the home. Functional smoke alarms must be installed in the bedrooms, and functional smoke and carbon monoxide alarm in the hallway space accessing the bedrooms.

HOME INSPECTION REPORT

GENERAL DESCRIPTION:

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street. The term "major visual defect" is defined in the Home Inspection Agreement, the terms of which are incorporated into this report. The Home View inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., is not addressed. All conditions are reported as they existed at the time of the inspection.

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects as defined in the Home Inspection Agreement. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

The photos, if present, complement the written report and do not document the entire defects found in the property. The written report must be relied upon for such items.

The inspector is not required to determine whether items, materials, conditions and components are subject to recall, controversy, litigation, product liability, and other adverse claims and conditions.

Regardless of the age of the building, Home View recommends inquiring about any permits and inspection records with final signatures for the building and for any changes, remodels or additions that may have been made. Non-permitted additions or conversions are not within the scope of this inspection.

The inspected property consisted of a one story wood-framed structure with wood and stucco siding that was occupied at the time of the inspection. There were visual defects on the visible portions of the siding. The approximate temperature at the time of the inspection was 100-105 degrees Fahrenheit, and the weather was sunny and clear. The utilities were on at the time of the inspection.

The home was situated on a level pad over a lightly sloped lot. The general grade around the home did not appear to be adequate to direct rainwater away from the foundation. The age of the home was said to be 74 years old.

There was a concrete walkway leading to a concrete entryway in the front of the home. There were no major visual defects observed in the walkway or the entryway.

There was a cement paver driveway on the left side of the home which led to the detached garage. There were no major visual defects observed on the surface of the driveway.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

GARAGE:



The detached garage was designed for two cars with access provided by one overhead style door. The electric garage door opener was tested and found to be functional. The automatic safety reverse on the garage door was tested and found to be functional. The concrete floor could not be viewed. Due to the amount of stored belongings, the interior of the garage could not be properly viewed or inspected.

PATIO:



There was a cement paver patio located on the right side of the home. There were no major visual defects observed to the patio.

PATIO COVER:

There was an open framework cover over the patio. There were visual defects observed on the patio cover.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

DECKS:



There was a composite deck located on the left side of the home. There did not appear to be significant deterioration of the material. A deck should be cleaned and sealed regularly to prevent deterioration. There were no major visual defects observed on the visible portions of the deck or support structure.

ROOF STRUCTURE:



The roof was a gable and valley design covered with composite tiles. Observation of the roof surfaces and flashing was performed from the roof. The age of the roof covering was not known. Several damaged, cracked, and shifted tiles were found on the roof. These conditions indicate the roof tiles were at the end of their useful life.

This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use. There were visual defects detected on the exterior of the roof.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

There was one chimney. Observation of the chimney exterior was made from the ground and roof. There were no major visual defects observed on the exterior.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

FOUNDATION:



The foundation was constructed of poured concrete and slab on grade. The home was anchored to the foundation walls. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly.

Spalling was visible on sections of the foundation walls.

CRAWL SPACE:



The crawl space was accessible at the time of the inspection, and was dry. Evidence of water penetration was visible. Because of its configuration, it was not possible to inspect all areas of the crawl space. A crawl space should be adequately vented at all times. There were no major visual defects observed in the crawl space.

FLOOR STRUCTURE:

The visible floor structure consisted of wood plank subfloor, supported by two-inch by six-inch wood joists spaced 16-inches on center. There were 4x6-inch wood center beams and 4x6-inch wood posts or piers for load bearing support. There were no major visual defects observed in the visible portions of the floor structure.

PLUMBING:

The visible water supply lines throughout the home were copper and galvanized pipe. The water was supplied by a public water supply. The visible waste lines consisted of cast-iron and galvanized pipe. The home was connected to a public sewer system. All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. There were visual defects observed in the visible portions of the plumbing system.

The water meter was located in the front sidewalk. The main water shutoff valve for the home was located adjacent to the water service entry point on the front exterior wall.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

The gas meter was located on the right exterior wall. Although no actual testing was performed to detect the presence of gas fumes, there was no noticeable odor of gas detected at the time of the inspection. Seismic gas shutoff valve was not present.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

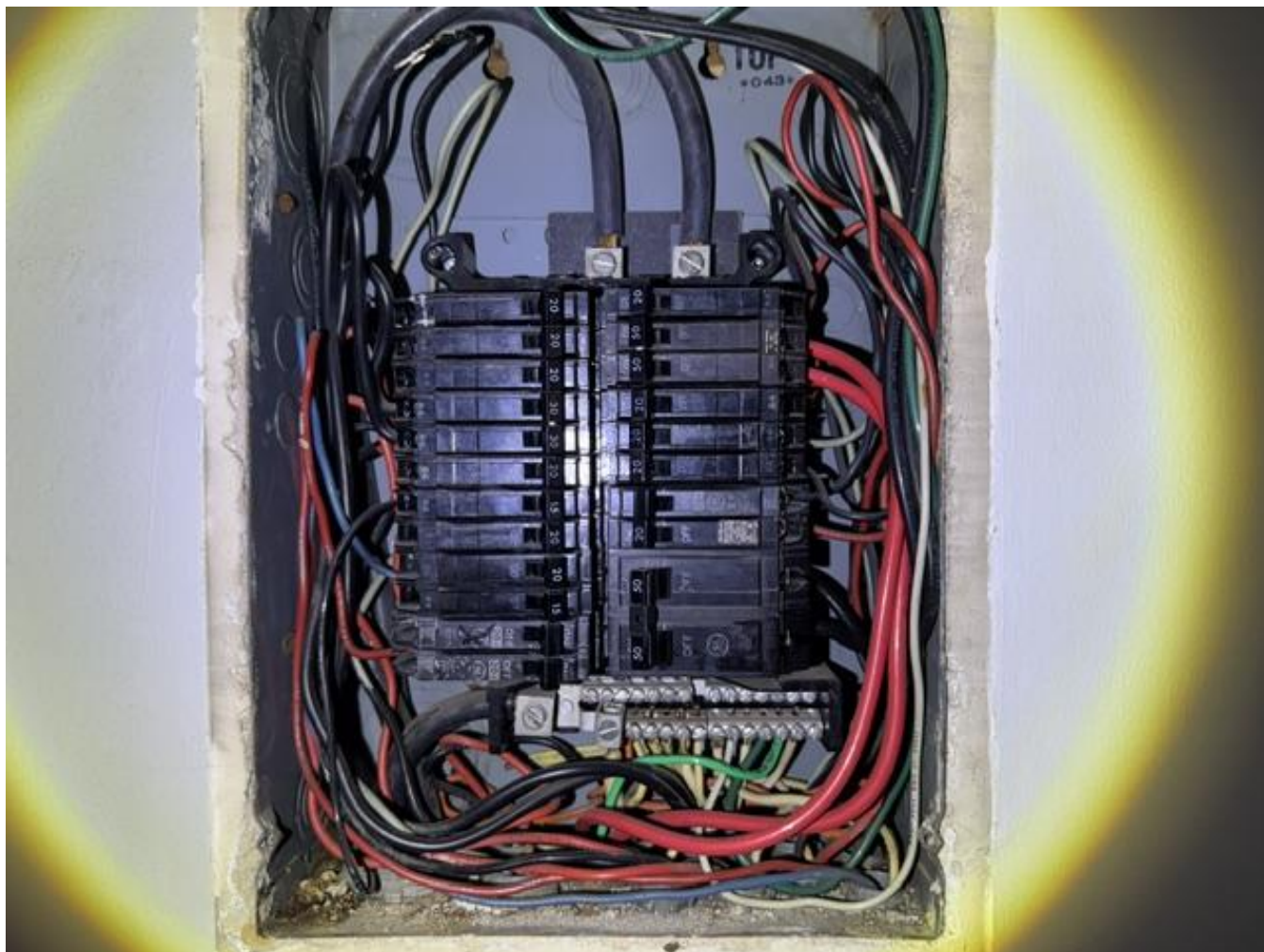
There was a 40-gallon capacity, natural gas water heater located in the exterior metal enclosure. The water heater was manufactured by Nautilus. Information on the water heater indicated that it was manufactured 34 years ago. A temperature and pressure relief valve (T & P) was present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow leg was not present. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. The required seismic restraints were missing. The water heater was functional.



Stand pipes, outdoor sprinkler systems, laundry equipment and associated plumbing systems and centralized fire suppression systems are not within the scope of our inspection, and should be inspected (if required and if present) by the appropriate agencies.

It is not required of the inspector to determine if the sewer system is public or private. It will be assumed public unless informed otherwise. It is the responsibility of the buyer and the buyer's representative to determine the nature of the sewer system through the available public records and inform the inspector. Septic system, if present, is not within the scope of this inspection.

ELECTRIC SERVICE:



The overhead electric service wire entered the home on the left side. The electric meter was located on the exterior. The service wire entered a GE service panel, located on the family room wall with 100 amps and 120/240 volt rated capacity. The branch circuits within the panel were copper. These branch circuits and the circuit breakers to which they were attached appeared to be appropriately matched. The visible house wiring consisted primarily of the flexible conduit, romex and possible obsolete cloth type.

A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits on the property.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

The electrical service appeared to be serviceable with obsolete components. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. There were visual defects observed in the electrical system.

SMOKE AND CARBON MONOXIDE ALARMS:

There were no smoke or carbon monoxide alarms in the home.

WINDOWS, DOORS, WALLS AND CEILINGS:

A representative number of accessible windows and doors were inspected. The primary windows were constructed of aluminum, sliding style, with single pane glass. All exterior doors were operated and found to be functional. The exterior door locks should be changed or re-keyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted.

The interior wall and ceiling surfaces were finished with lath and plaster. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. There were no major visual defects observed in the interior walls or ceilings.

LIVING LEVEL:

The living level consisted of (TYPE IN ROOMS). The Home View inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., are not addressed. There were no major visual defects observed on the living level.

The visible portions of the cabinets and counter tops were in serviceable condition. The appliances were turned on to check operational function only. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components. The kitchen contained the following appliances:

The Whirlpool electric built-in ovens were inspected and did appear to be functional. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

The electric cooktop was inspected and did appear to be functional.

The Dacor range hood was inspected and did appear to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.

The Whirlpool refrigerator was inspected and did appear to be functional. The temperature setting and ice maker, if present, are not within the scope of the inspection.

The Whirlpool dishwasher was observed through a complete cycle and did appear to be functional when set on the "wash" and "drain" cycle.

The ISE disposal was inspected and did appear to be functional. The efficiency rating is not within the scope of the inspection.

Note: Washer and dryer are not considered built-in appliance, and were not tested. In addition, the plumbing system connected to it could not be tested.

FIREPLACE:



There was one fireplace in the home. The visual condition at the time of the inspection is indicated as follows.

A gas-log fireplace was located in the family room. The damper was functional. There was visual evidence of creosote buildup in the firebox. There were no cracks observed in the firebox or visible portions of the chimney.

For safety reasons, a fireplace and the chimney or pipe to which it is vented should be cleaned and re-inspected as there may be hidden defects, not fully visible at the time of the inspection. The fireplace was not tested for operation or function.

ATTIC STRUCTURE:

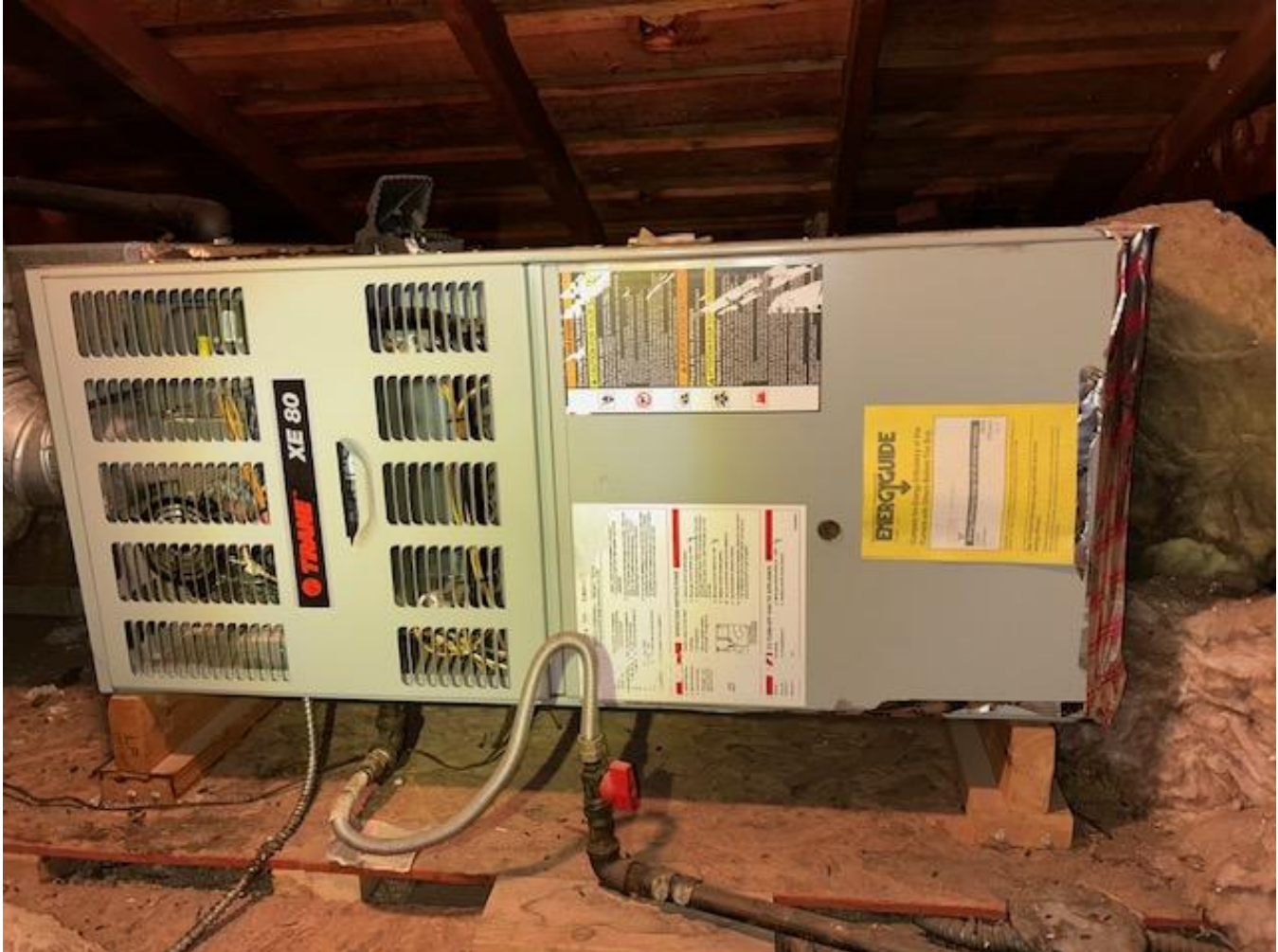


The attic was accessed through a scuttle in the hallway. The attic above the living space was insulated with loose insulation. Ventilation throughout the attic was provided by roof, gable, and soffit vents. The roof structure consisted of two-inch by four-inch wood rafters spaced 24-inches on center and plywood sheathing.

Because of the configuration of the framing, which limited access, it was not possible to inspect all areas of the attic. There was no moisture visible in the attic space. The absence of visible indications of moisture is not necessarily conclusive evidence that the roof is free from leaks. The only way to be sure a roof does not leak is to inspect the underside of the roof during a heavy rain. There were no major visual defects observed in the attic or roof structure.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

HVAC INSPECTION REPORT:



The heating, ventilating and air conditioning systems were tested for operational integrity only. Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life.

The home was heated by a Trane natural gas forced air furnace, which was 30 years old. The unit was located in the attic of the home. It has an approximate net heating capacity of 80,000 BTUH.

NOTE: Without removing the burners to gain complete access, and with the limited viewing area of the heat exchanger, a thorough inspection is not possible.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

Termination of HVAC condensate line were raised above the floor drain or drain inlet. The primary condensate line was trapped. HVAC condensate lines must be trapped and not in contact with wet drain inlets to prevent the possible migration of bacteria and mold into the air-handling system.

The heating system was found to be non-functional.

The natural gas wall heater in the family room was not operational.



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

AIR CONDITIONER:



The electric outdoor air conditioning condensing unit was a Trane. The unit was located on the right side of the home. This unit was approximately 30 years old with a net cooling capacity of 4 tons. Periodic preventive maintenance is recommended to keep this unit in good working condition.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

The cooling system was found to be functional. The temperature of the incoming air was found to be 61- 63 degrees.



The cooling capacity of this unit was adequate for a fifteen degree temperature differential between the return and supply air.

There will be normal temperature variations from room to room.

DUCTWORK:

Airflow throughout the home may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers.

It is recommended to test the air ducts for leaks, as there may be hidden defects not fully visible at the time of the inspection.

FILTER TYPE:

The air return register was located on the ceiling of the hallway.

The filter should be replaced/cleaned on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

CONTROLS:

The control for the heating and air conditioning system was a 24-volt thermostat located on the hallway wall of the home. The thermostat was manufactured by Honeywell and was found to be in working order.

File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

THE HOME IN PICTURES



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**



File Number: **0926-204-650**
Address of Inspection: **3018 Jolley Drive**
Date of Inspection: **9/10/26**

