



W W W . E 2 D S G N . C O M

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION. UNLESS THE REPRODUCTION INCLUDES THE NAME OF THE ARCHITECT, ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. PROJECT DOCUMENTS DESCRIBE DESIGN INTENT OF WORK AND ARE NOT A REPRESENTATION OF AS-BUILT OR EXISTING CONDITIONS. ARCHITECT AND ITS CONSULTANTS MAKE NO REPRESENTATIONS CONCERNING THE ACCURACY OF DOCUMENTS AND ARE NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND THE EXISTING CONDITIONS.

PROJECT:
**MOUNTAIN VIEW
APT.**

2439 MOUNTAIN VIEW AVE.,
EL MONTE, CA

[illegible]

SHEET TITLE

SITE PLAN

Project No.

Date 4/9/2023

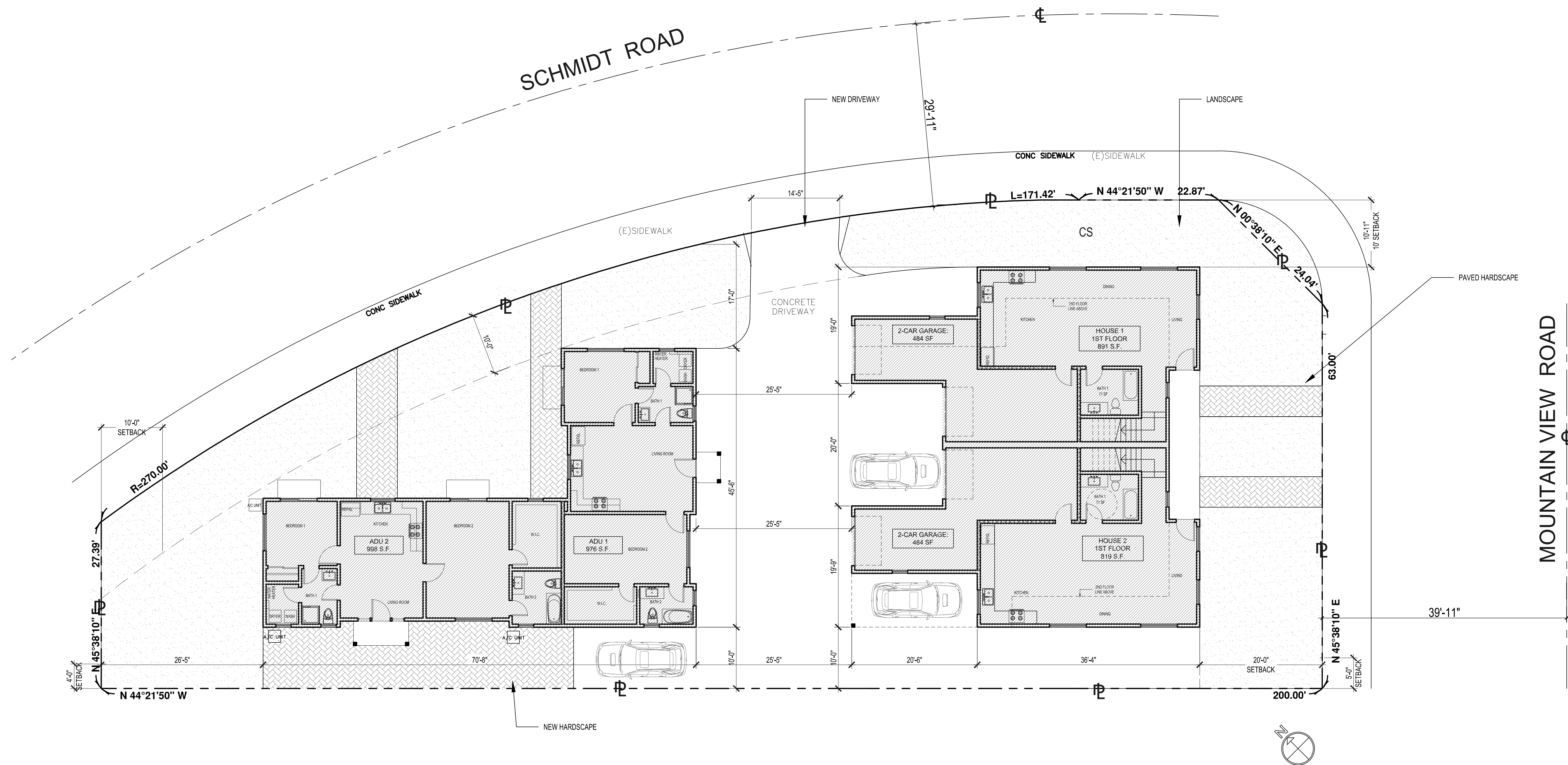
Drawn by

Checked by

Scale 1" = 10'-0"

SHEET No. _____

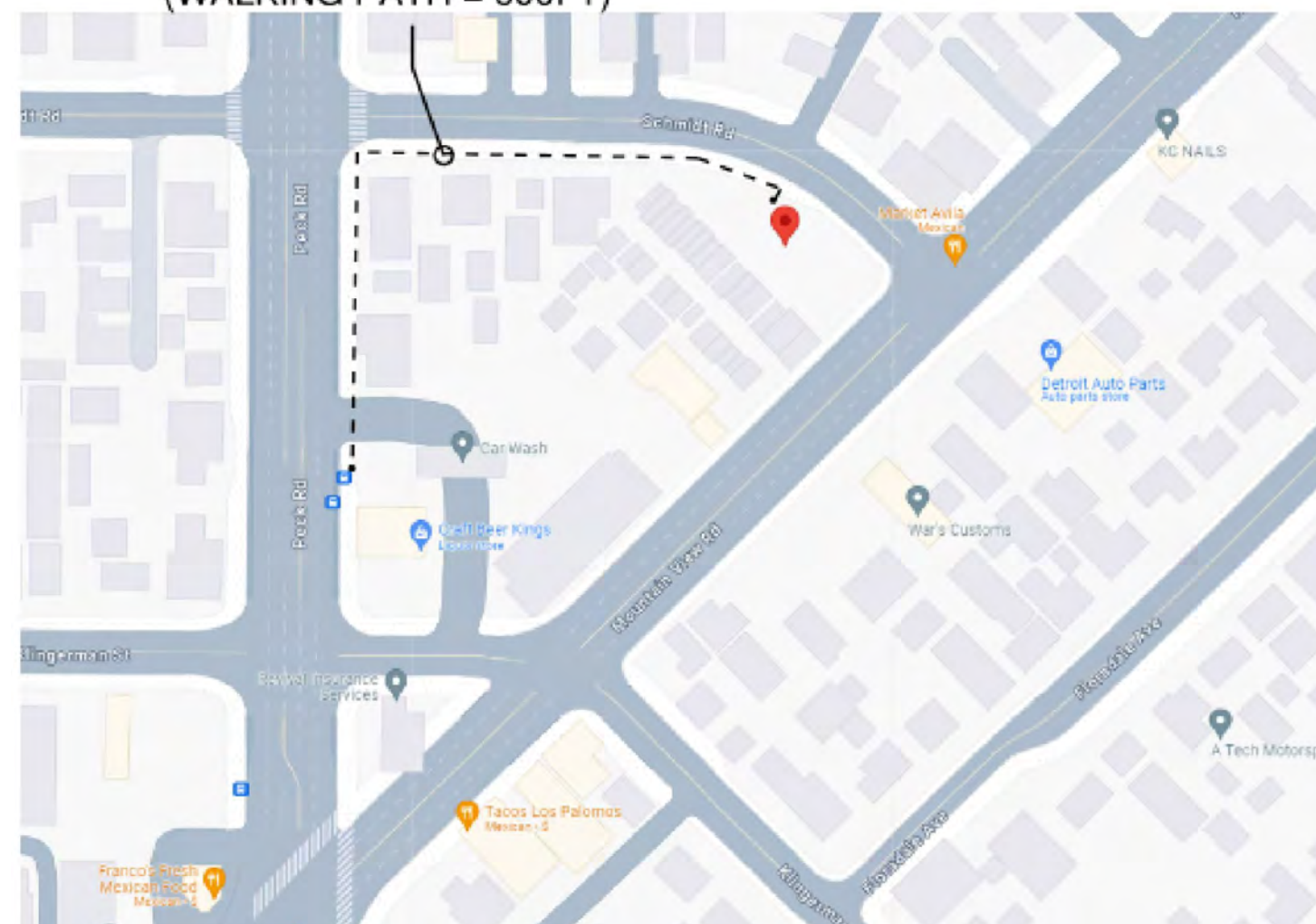
A-1.1



1 OVERAL SITE PLAN
1" = 10'-0"

VICINITY MAP

(WALKING PATH = 600FT)



SHEET INDEX

ARCHITECTURAL		
1.	A-1.1	SITE PLAN
2.	A-2.1	HOUSE 1 FLOOR PLAN
3.	A-2.2	HOUSE 2 FLOOR PLAN
4.	A-2.3	ADU 1 & ADU 2 FLOOR PLANS
5.	A-5.1	HOUSE ELEVATIONS
6.	A-5.2	ADU ELEVATIONS
7.	A-5.3	3D VIEWS

PROJECT TEAM

OWNER: BOON CHAN
2439 MOUNTAIN VIEW RD.
EL MONTE, CA 91733
626.215.8044

ARCHITECT: E2 DESIGN GROUP
199 W. HILLCREST DRIVE
THOUSAND OAKS, CA 91360
805.719.2223
ROBERT@LIUARCHITECTS.COM

HOUSE 1 FLOOR AREA:	
1ST FLOOR	891 S.F.
2ND FLOOR	1,068 S.F.
TOTAL FLOOR AREA	1,959 S.F.

HOUSE 2 FLOOR AREA:	
1ST FLOOR	819 S.F.
2ND FLOOR	1,167 S.F.
TOTAL FLOOR AREA	1,986 S.F.

ADU 1	998 S.F.
ADU 2	976 S.F.
PARKING PROVIDED	7 (4 ENCLOSED)

PROJECT INFORMATION

DEVELOPMENT STANDARDS	CODE SECTION	ZONING REQUIREMENTS	REQUIRED	PROVIDED	NOTES
LOT SIZE		13,000 S.F.			
BUILDING TYPE		MEDIUM-DENSITY MULTIPLE-FAMILY			
ZONING	17.24	R-3			
PARCEL NUMBER		8105-017-007			
TYPE OF CONSTRUCTION				V-N	
OCCUPANCY GROUP				R-3/U	
FIRE SPRINKLER				YES	
DENSITY	13,078 S.F.	<100 FT. OF FRONTAGE	1 UNIT/4,356 SQ. FT.	2 UNITS	13,000/4,356=3 UNITS
MAX. FLOOR AREA RATIO	17.24.050 ≥ 3 UNITS	0.40	5200 + 390 + 520 + 130 = 6,240	UNIT 1 = 1,959 S.F UNIT 2 = 1,986 S.F. ADU 1 = 976 S.F. ADU 2 = 998 s.f.	FAR Bonus 0.10 (R3) = 520 .075 (MASSING) = 390 .025 (ENVIRO #7 = 130
LOT COVERAGE	17.24.050	40%	5,231.2 S.F.	4,652 S.F.	
MAX. BUILDING HT.	17.24.050	2 STORIES & 30 FT		2 STORIES & 24.6 FT	
FRONT YARD SETBACK (1ST STORY FRONT)	17.24.050	20 FT	20 FT	20 FT	
UPPER STORY FRONT	17.24.050	AN ADDITIONAL 5 FT. FROM THE 1ST FLOOR BUILDING WALL LINE.	5'	5'	
1ST STORY STREET SIDE	17.24.050	10 FT	10'	10 FT	
UPPER STORY STREET SIDE	17.24.050	AN ADDITIONAL 5 FT. FROM THE 1ST FLOOR BUILDING WALL LINE.	5'	5'	
1ST STORY INTERIOR SIDE	17.24.050	5 FT		10 FT	
UPPER STORY INTERIOR SIDE	17.24.050	10 FT		10 FT	
OPEN SPACE	17.24.050	500 SF + 150	1,500 SF + 150 EA. UNIT	150 S.F. BALCONY	
LANDSCAPE	17.24.050			3,088 S.F. / 3 = 1,029 SF EA. UNIT	
HARDSCAPE	17.24.050			8,612 S.F.	



199 W. HILLCREST AVE.
THOUSAND OAKS, CA 91362
PHONE: 805.719.2223

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION, AND UNLESS THE REPRODUCTION CARRIES THE NAME OF THE ARCHITECT. ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. PROJECT DOCUMENTS DESCRIBE DESIGN INTENT OF WORK AND ARE NOT A REPRESENTATION OF AS-BUILT OR EXISTING CONDITIONS. ARCHITECT AND ITS CONSULTANTS MAKE NO REPRESENTATIONS CONCERNING THE ACCURACY OF DOCUMENTS AND ARE NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND THE EXISTING CONDITIONS.

PROJECT:
**MOUNTAIN VIEW
APT.**

2439 MOUNTAIN VIEW AVE.,
EL MONTE, CA



2 HOUSE 1 - SECOND FLOOR PLANS
1/4" = 1'-0"

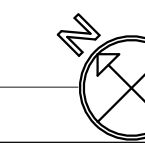
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		
		

HOUSE 1 FLOOR PLANS

SHEET No. _____

A-2.1


$$1/4'' = 1'-0''$$

$$1/4'' = 1'-0''$$




W W W . E 2 D S G N . C O M

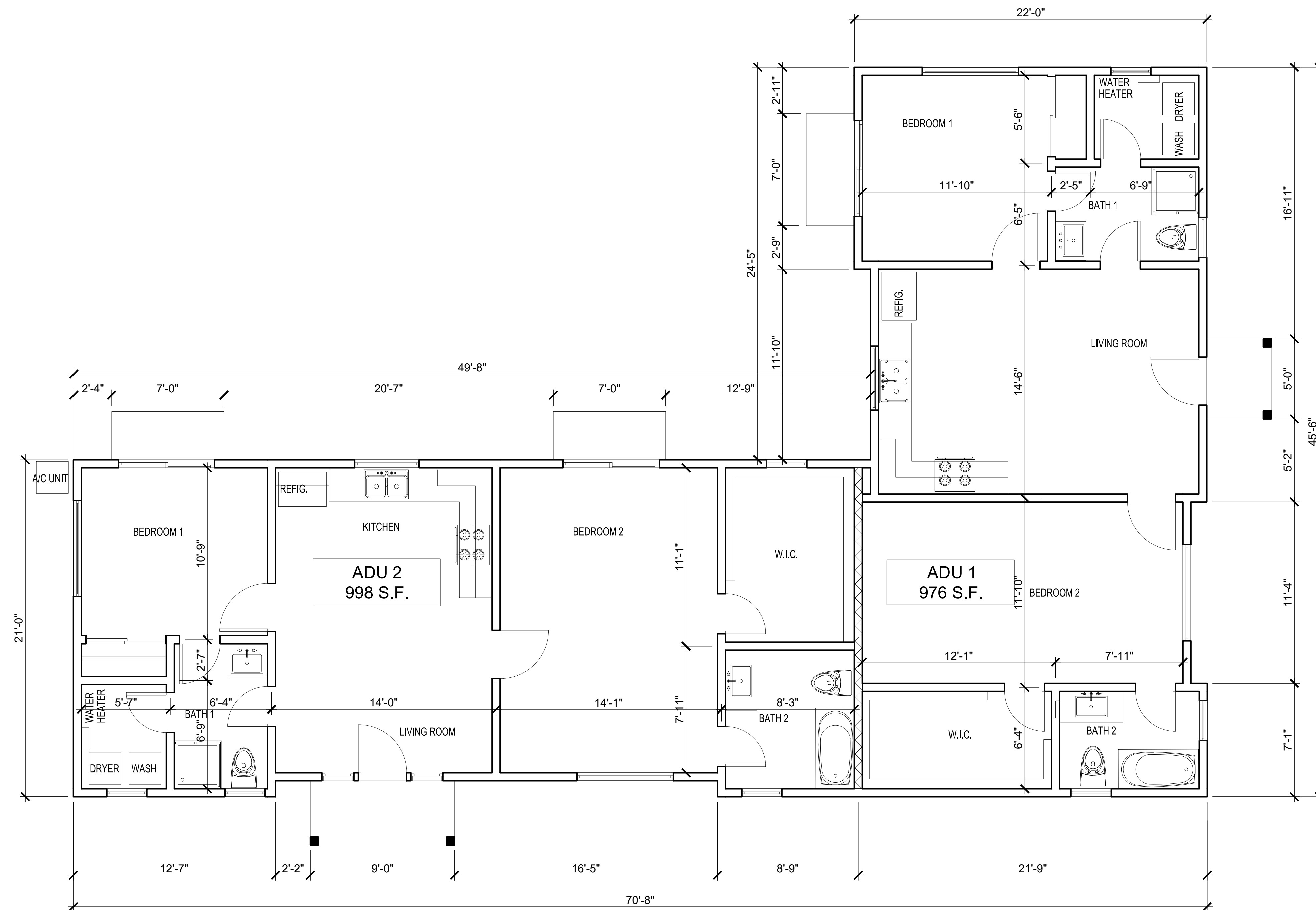
PROJECT:
MOUNTAIN VIEW
APT.

[illegible]

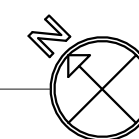
ADU 1 &
ADU 2
FLOOR PLANS

SHEET No.

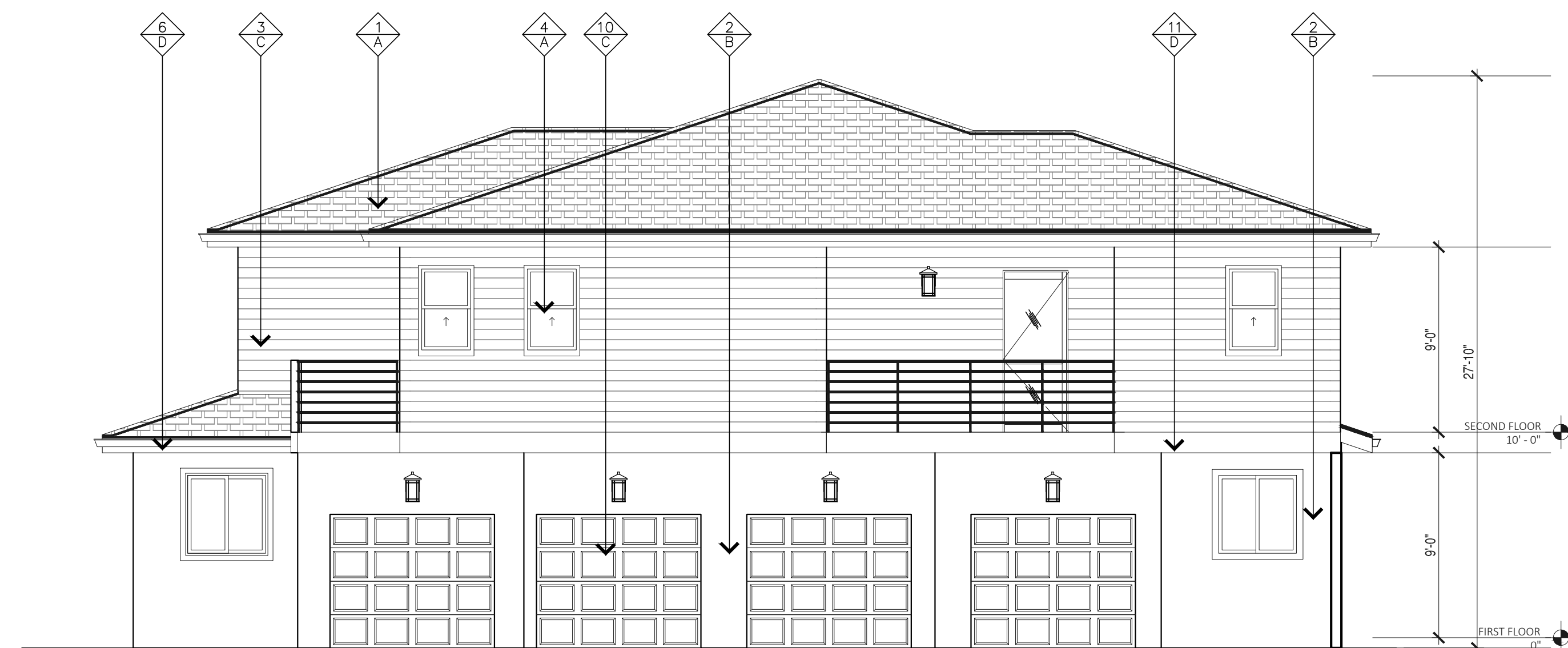
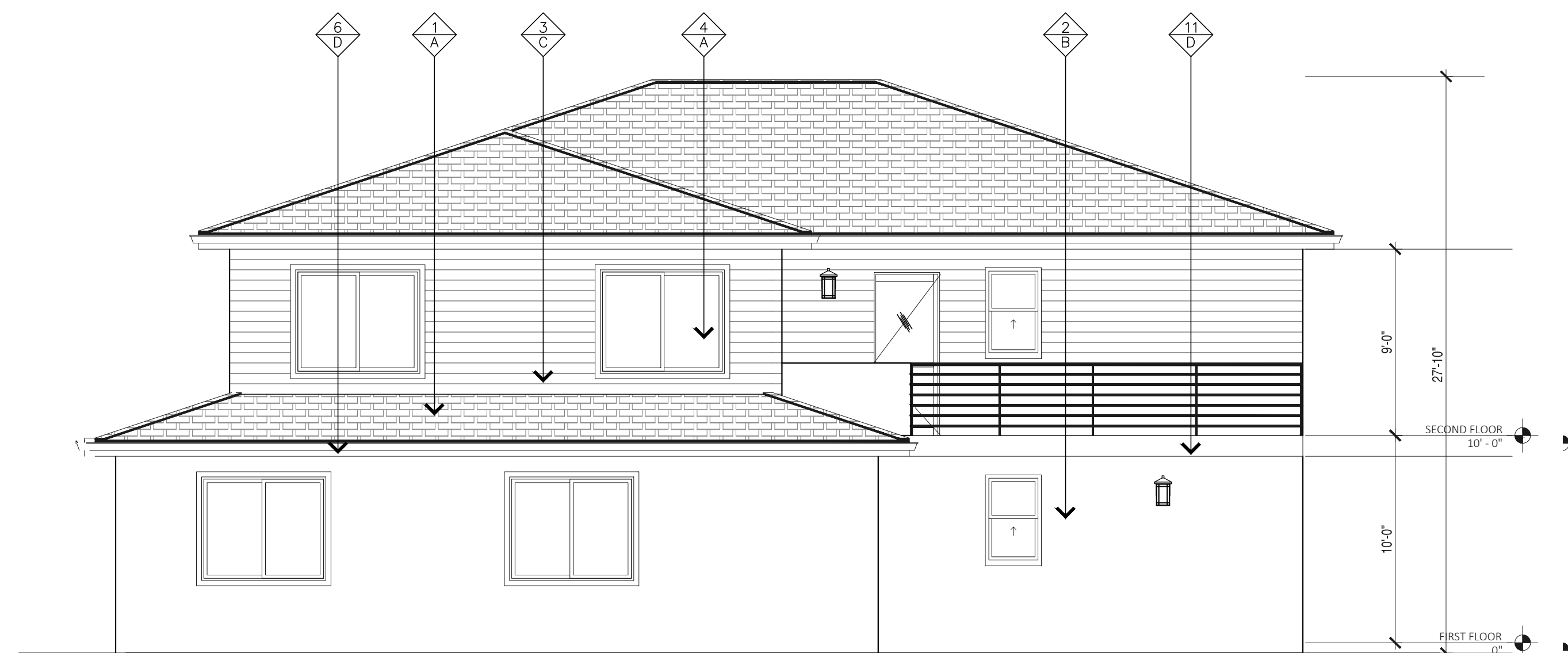
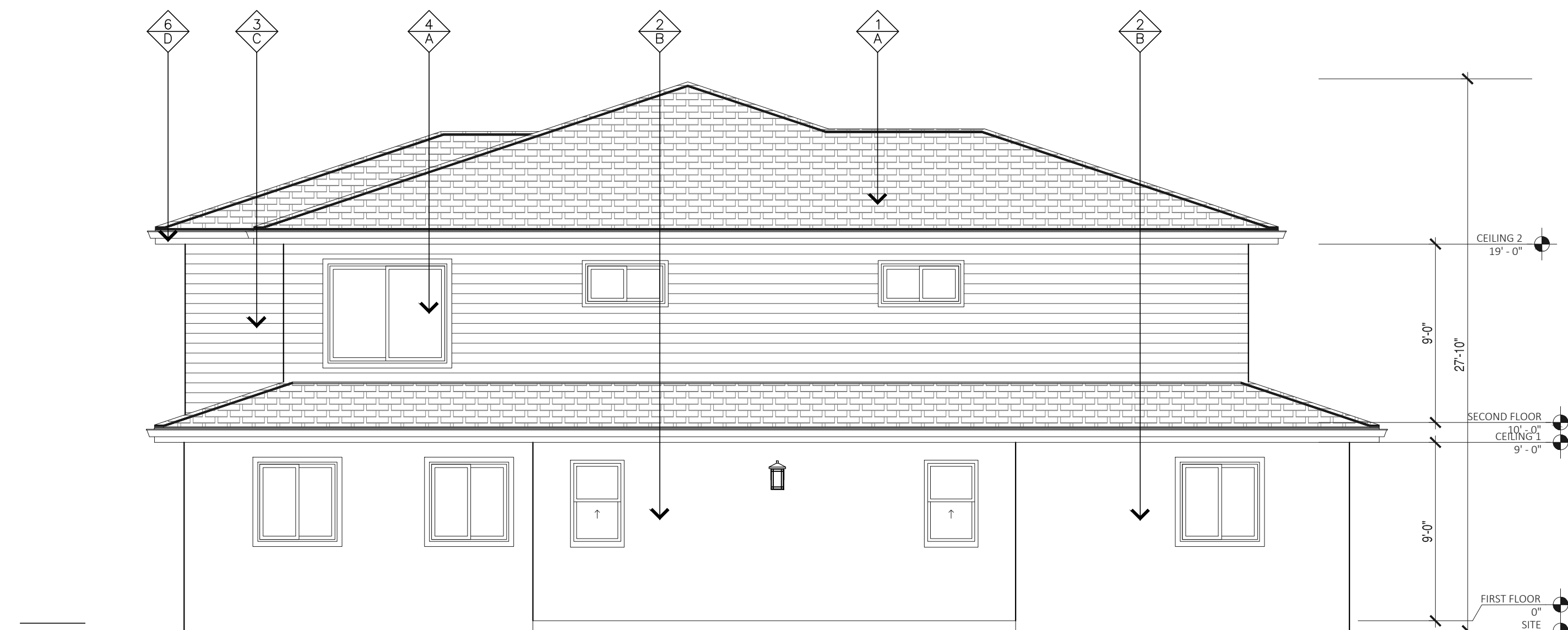
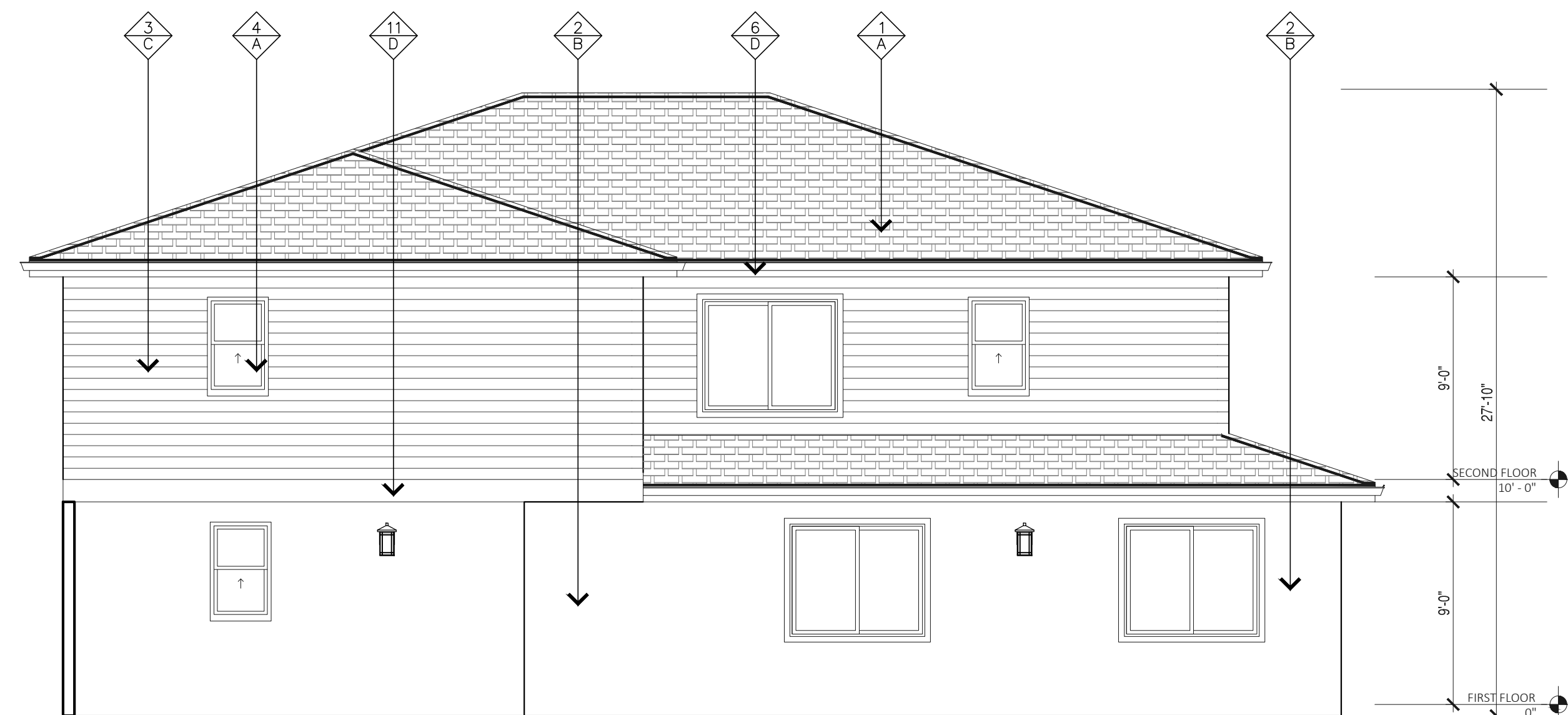
A-2.3



1 ADU 1 & ADU 2 - FLOOR PLANS



COLORS		DESCRIPTION	
	Manufacture Condition		ROOF - DOUBLE EAGLE PONDEROSA - CHARCOAL RANGE
	Sherwin Williams - Ancient Marble SW 6162		EXTERIOR PLASTER
	Sherwin Williams - Jasper Stone SW 9133		LAP SIDING
	Sherwin Williams - Roycroft Pewter SW 2848		DOUBLE GLAZING WINDOW
			DOUBLE GLAZING DOOR
			Fascia Board
			Handrail
			Trim
			Knee Bracing
			Garage Door
			Hardie Trim
			Stone Veneer - Stacked Stone - Pagosa Springs



COLORS		DESCRIPTION	
	Manufacture Condition		ROOF - DOUBLE EAGLE PONDEROSA - CHARCOAL RANGE
	Sherwin Williams - Ancient Marble SW 6162		EXTERIOR PLASTER
	Sherwin Williams - Jasper Stone SW 9133		LAP SIDING
	Sherwin Williams - Roycroft Pewter SW 2848		DOUBLE GLAZING WINDOW
			DOUBLE GLAZING DOOR
			Fascia Board
			Handrail
			Trim
			Knee Bracing
			Garage Door
			Hardie Trim
			Stone Veneer - Stacked Stone - Pagosa Springs

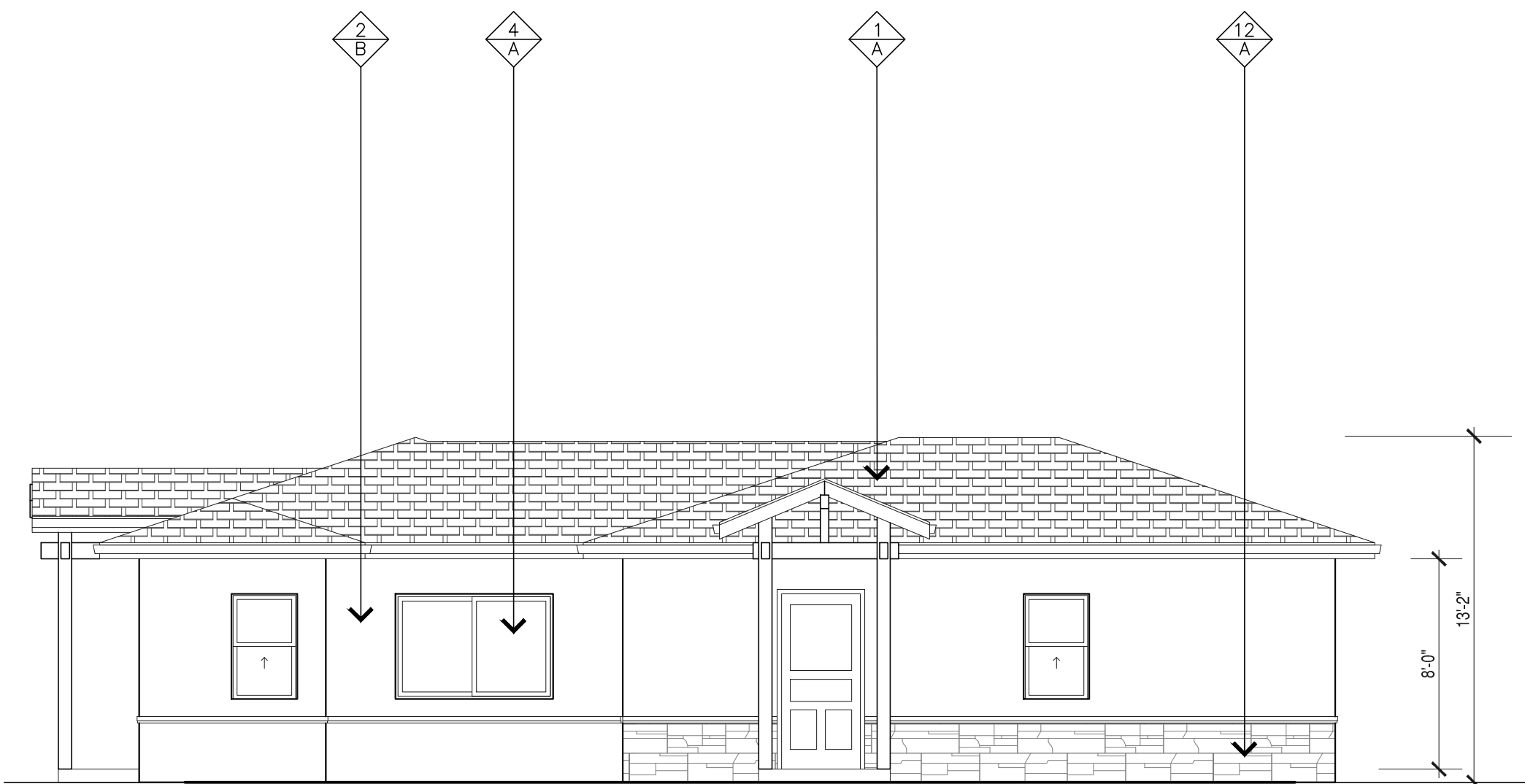

199 W. HILLCREST AVE.
THOUSAND OAKS, CA 91362
PHONE: 805.719.2223

WWW.E2DSGN.COM

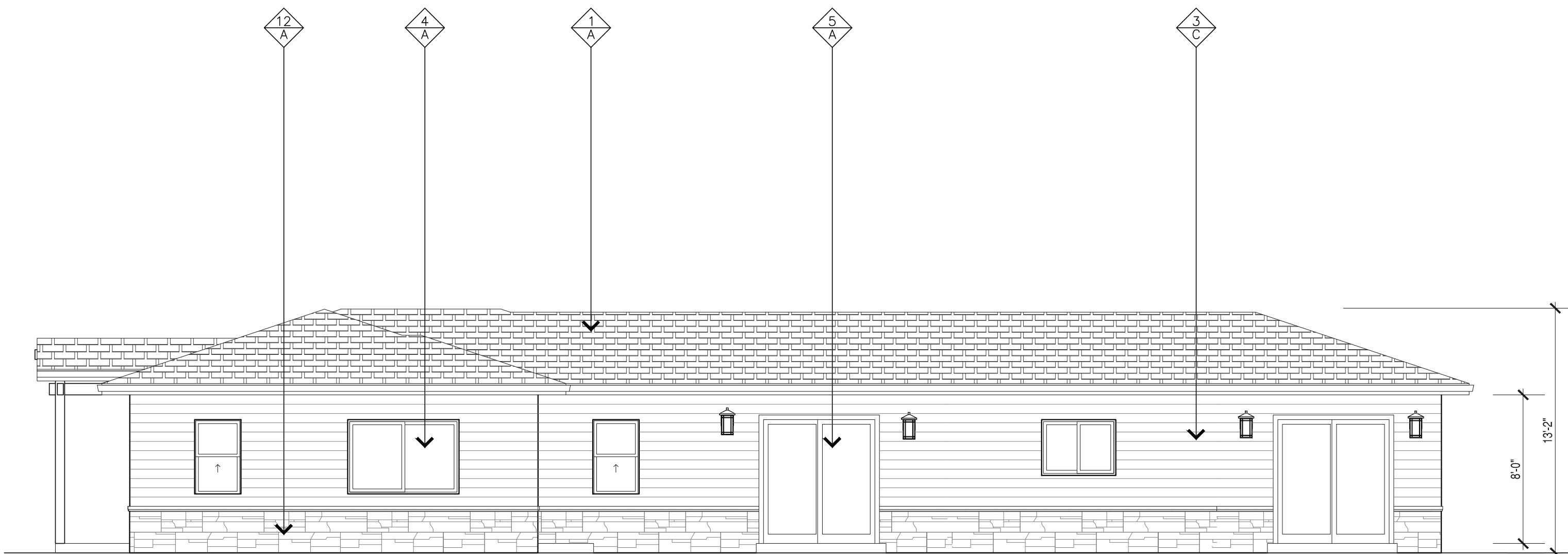
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE NAME OF THE ARCHITECT. ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. PROJECT DOCUMENTS DESCRIBE DESIGN INTENT OF WORK AND ARE NOT A REPRESENTATION OF AS-BUILT OR EXISTING CONDITIONS. ARCHITECT AND ITS CONSULTANTS MAKE NO REPRESENTATIONS CONCERNING THE ACCURACY OF DOCUMENTS AND ARE NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND THE EXISTING CONDITIONS.

PROJECT:
**MOUNTAIN VIEW
APT.**

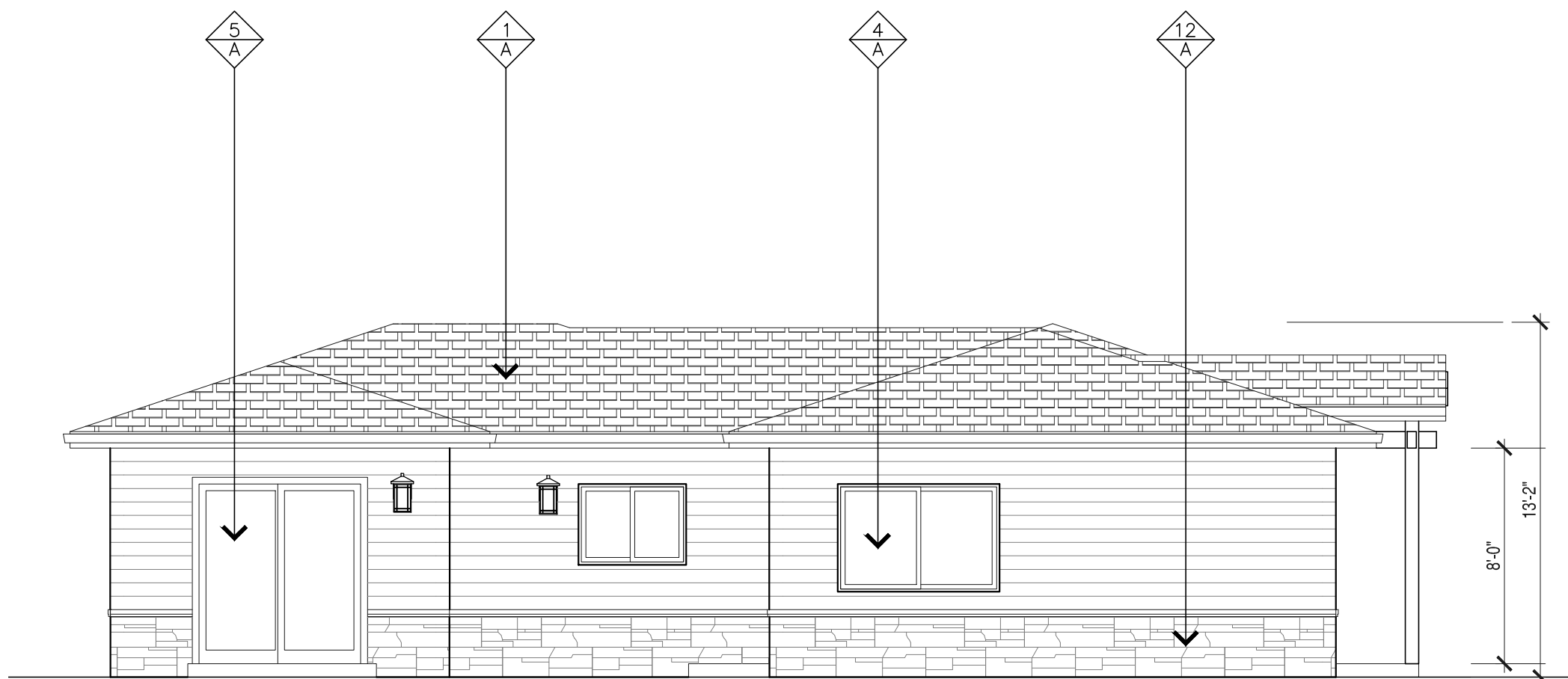
2439 MOUNTAIN VIEW AVE.,
EL MONTE, CA



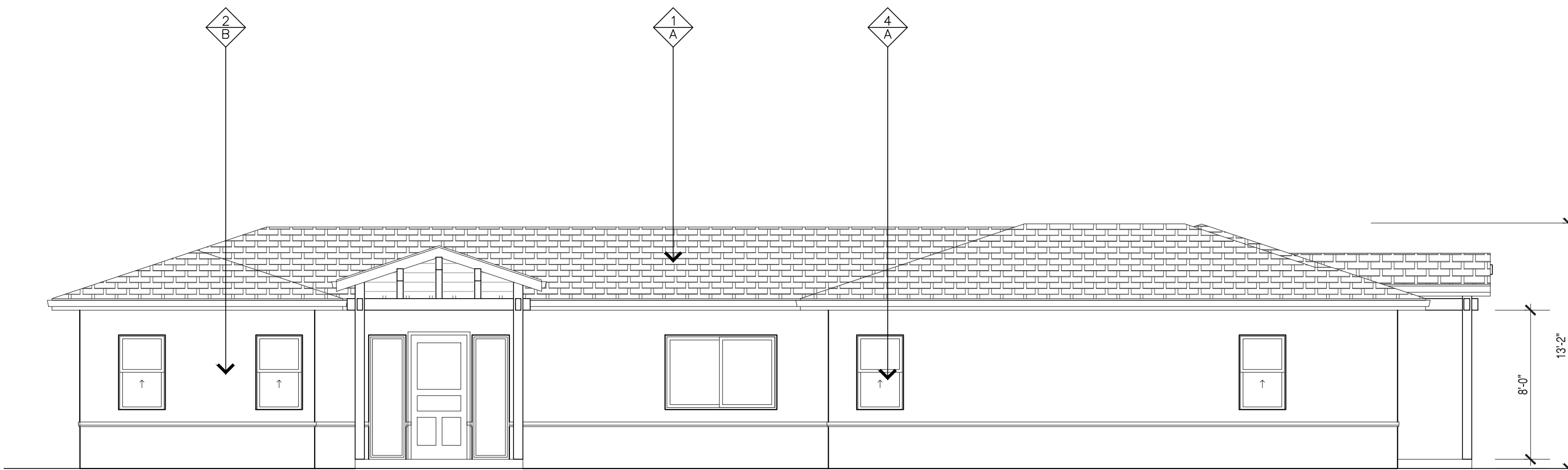
2 S / E - SIDE ELEVATION
3/16" = 1'-0"



1 N / E - FRONT ELEVATION
3/16" = 1'-0"



4 N / W - SIDE ELEVATION
3/16" = 1'-0"



3 S / W - REAR ELEVATION
3/16" = 1'-0"

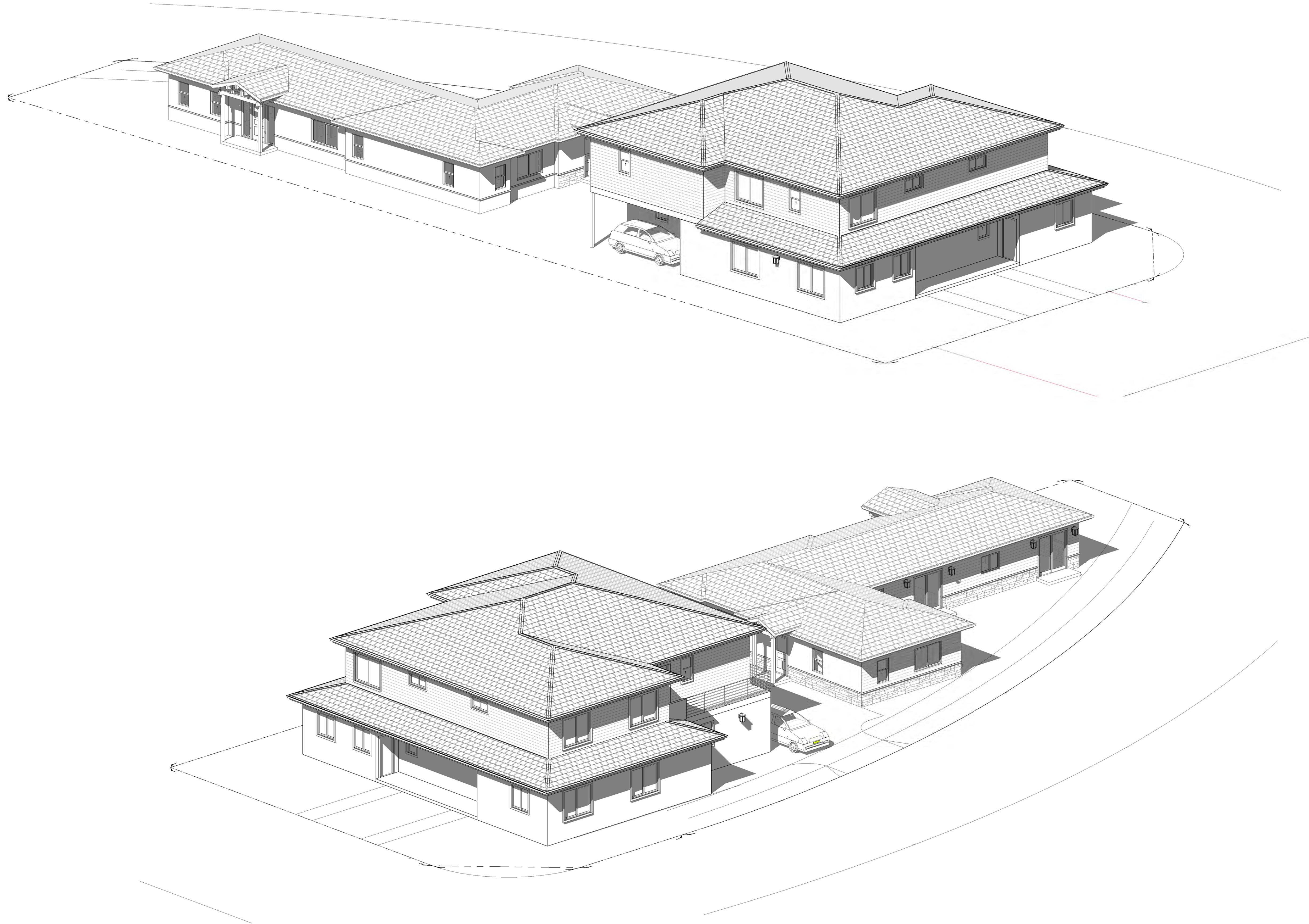
No. By Date Revision

SHEET TITLE
**ADU
ELEVATIONS**

Project No.
Date
Drawn by
Checked by
Scale 3/16" = 1'-0"
SHEET No.

A-5.2



199 W. HILLCREST AVE.
THOUSAND OAKS, CA 91362
PHONE: 805.719.2223

WWW.E2DSGN.COM

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE NAME OF THE ARCHITECT. ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWING ARE FOR USE ON THE SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT. PROJECT DOCUMENTS DESCRIBE DESIGN INTENT OF WORK AND ARE NOT A REPRESENTATION OF AS-BUILT OR EXISTING CONDITIONS. ARCHITECT AND ITS CONSULTANTS MAKE NO REPRESENTATIONS CONCERNING THE ACCURACY OF DOCUMENTS AND ARE NOT RESPONSIBLE FOR ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND THE EXISTING CONDITIONS.

PROJECT:
**MOUNTAIN VIEW
APT.**

2439 MOUNTAIN VIEW AVE.,
EL MONTE, CA

No.	By	Date	Revision
-----	----	------	----------

△			
△			
△			
△			
△			
△			
△			
△			
△			
△			
△			
△			
△			
△			

SHEET TITLE
3D VIEWS

Project No.
Date
Drawn by
Checked by
Scale

SHEET No.

A-5.3

