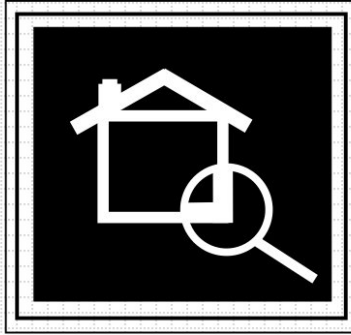




Professional

Inspection Services

Inspection Report



**CERTIFIED FIREPLACE AND
CHIMNEY INSPECTOR**

**BUILDING AND INSPECTING
SWIMMING POOL
FOR OVER 30 YEARS**

Address: 2630 La Mirada Los Osos, CA

09/08/2026

Inspector: Keith Vreeken, MCI, FCI
P.O. Box 415 Templeton, CA 93465 O: 805.462.1978 C: 805.440.5050

MASTER INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys**. Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

Table of Contents

General Information.....	4
Grounds.....	6
Exterior.....	8
Exterior Stairs.....	9
Grading.....	10
Retaining Walls.....	12
Foundation.....	13
Roof.....	16
Flashings.....	18
Gutters.....	19
Attic.....	19
Plumbing.....	20
Fuels.....	22
Water Heater.....	22
Kitchen.....	25
Laundry.....	28
Bathrooms	30
Interior.....	33
Heating.....	37
Electrical.....	40
Electrical Sub-Panel.....	44
Detectors.....	46
Garage.....	46
Fireplace.....	49

General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. Example: A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector dreamed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

- 1: Approx. Temperature: 75°F
- 2: Dry Today

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES

- 3: FRONT DOOR faces: West

INSPECTION DATE

Tuesday, September 8, 2026

START TIME

8:30 am

FINISH TIME ON-SITE

12:00 pm

INSPECTOR

5: Keith Vreeken, MCI

PROPERTY TYPE

6: Single Family Residence

INSPECTION TYPE

7: **Pre-Sale Listing Inspection**: This inspection is performed on behalf and for the seller specifically, to provide a general overview of the property conditions as they existed at the time of inspection. This report focuses on the six primary systems: **Structural Integrity, Roofing, Electrical, Plumbing, Heating and Cooling, and the Fireplaces and Chimneys**. *Cosmetic conditions and non-permanent appliances are excluded.*

This report is informational only and does not reflect any repairs, upgrades made or conditions that have changed after the inspection date.

Buyer's Responsibility: *Any prospective buyer relying upon this report is required to contact Professional Inspection Services, complete a report review, execute a new inspection agreement, and pay all applicable fees. Any prospective buyer who relies upon this report without completing these requirements does so knowingly and voluntarily and thereby waives and releases any and all claims against Professional Inspection Services and its inspectors arising from or related to such reliance. Failure to comply with these requirements constitutes a complete and unconditional release of Professional Inspection Services and its inspectors from liability associated with the unauthorized use of or reliance upon this report.*

YEAR/ OCCUPANCY STATUS

8: Approx. Year Built: {Year Built}

9: Occupied.

PRESENT DURING THE INSPECTION

10: Seller

ADDITIONS

DS 11: ADDITIONS or UPGRADES SUSPECTED:

Some upgrades or additions were observed or suspected that may have required building permits. No determination is made regarding permit status. The client is advised to contact the local building department to verify whether proper permits and final approvals were obtained.

THE FOLLOWING ITEMS ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

DS 12: OUTSIDE THE SCOPE OF THIS INSPECTION:

Items listed below are outside the scope of this inspection and were not evaluated or inspected per standards. Client is advised to have these areas or components reviewed, inspected and tested by an appropriate and qualified trade professional familiar with applicable standards.

13: Exterior Lighting: Exterior lighting for the yard, walkways, driveways, and landscaping are not evaluated and are specifically excluded from the scope of this inspection per standards.

14: Sheds and Outbuildings



Grounds

DRIVEWAY TYPE

15: Concrete Driveway

16: Asphalt Driveway

DRIVEWAY COMMENTS

UPG 17: Some common and moderate cracks found in areas of the driveway. Client should investigate further the cause and correct.

MR 18: Sealant and general maintenance recommended at the asphalt driveway to help to preserve the overall life.

FI **MR** 19: Eroded or damaged asphalt found in some areas of the driveway. Maintenance or repairs are recommended.



Example

DS 20: Disclosure: Due to the slope and height of the driveway at the garage connection, some water intrusion into the garage may occur during certain weather.



SIDEWALK / WALKWAY TYPE

21: Concrete Walkways

22: Brick Paver Walkways

SIDEWALK / WALKWAY COMMENTS

23: Walkways appear serviceable

24: Some typical and common cracks found at areas of the walkways.

PATIO TYPE

25: Brick Paver Patios

PATIO COMMENTS

DS 26: Areas of poor drainage, some ponding of water at areas of the BACKYARD PAVER PATIO.

SU 27: Areas of the patio are raised, settled and/or uneven with potential trip hazards.

CARPORT

28: The Carport Appears serviceable and in good condition.



Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value, if installed, is not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

29: Wood Framed

EXTERIOR WALL COVERINGS

30: Painted Stucco.

Disclosure: The painted stucco will require continuous and ongoing maintenance, such as repainting approximately every 7 to 10 years depending on the quality of paint.

EXTERIOR WALL COMMENTS

31: Exterior walls appear in good condition

STUCCO

DS 32: Some typical-type cracking was observed at areas of the exterior stucco. These types of cracks are common and are often the result of normal shrinkage, thermal expansion, or minor building movement. At the time of inspection, no significant displacement or structural concerns were noted. However, the cracks should be monitored over time for signs of additional movement, widening, displacement, or the development of new cracks, which may indicate a more significant underlying condition requiring further evaluation.

EXTERIOR GENERAL

SU 33: Disclosure: Evidence of bird and/or bat type nesting on areas of the exterior and/or roof. Contact a qualified pest control company to evaluate and make recommendations if concerned.

EXTERIOR TRIM

34: TRIM TYPE: Wood

Exterior Stairs

Exterior stairway # 1

EXTERIOR STAIRS

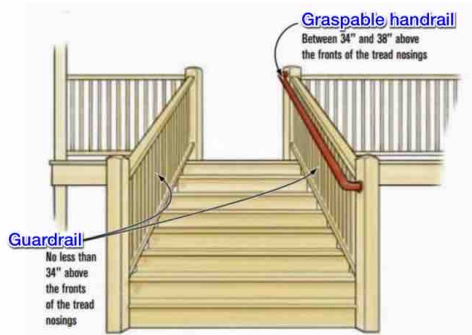
35: Type & Location: Concrete Exterior Stairway: OFF THE FRONT ENTRY



36: Exterior stairs are serviceable and in good condition.

EXTERIOR STAIRWAY RAILINGS

SC 37: Missing the proper / required graspable handrail at the exterior stairway OFF THE FRONT ENTRY.



Exterior Stairway # 2

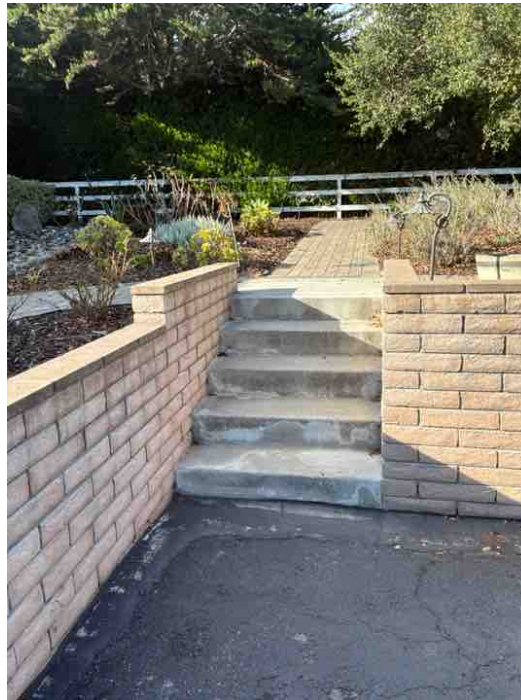
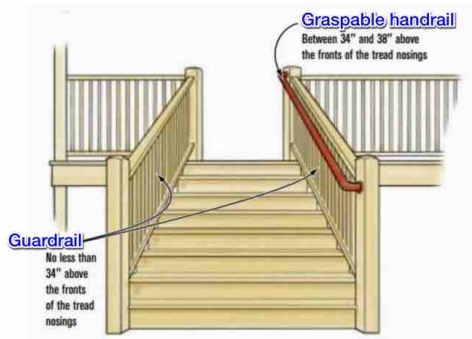
EXTERIOR STAIRS

38: Type & Location: Concrete Exterior Stairway: OFF THE DRIVEWAY PARKING AREA



EXTERIOR STAIRWAY RAILINGS

SC 39: Missing the proper / required graspable handrail at the exterior stairway OFF THE DRIVEWAY PARKING AREA.



Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

SITE SLOPE

40: Minor Slope

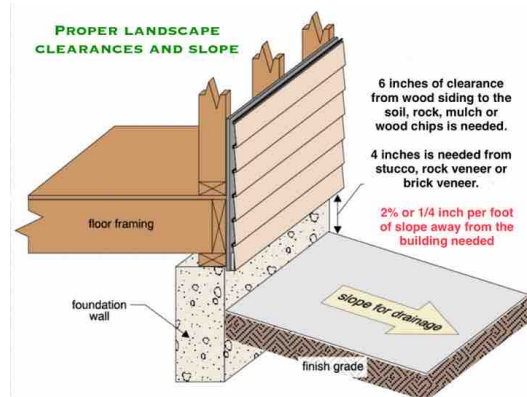
Determination of site stability, soil erosion potential, and water runoff from surrounding slopes, streets, and adjacent properties is outside the scope of this inspection and is not evaluated.

GRADING COMMENTS

E&C 41: Recommend some proper landscape grading and maintenance along areas of the exterior. This should help ensure the proper flow of site water away from the building(s) and off the property. This will also help ensure proper clearances from the interior floor level, exterior stucco, stone or brick veneer, wood or other sidings to the top of soil. Trim trees and bushes that are making contact with areas of the exterior.

MR 42: Areas of insufficient slope of the soil away from the building along some areas of the perimeter foundation. A proper slope of the soil, patios and walkways should allow for water to flow freely away from the building, not allow water to flow against areas the foundation edges and water should not allow for ponding of water in areas near or at the foundation as this can cause erosion and/or settling of the foundation system.

E&C MR 43: Soil level found high at areas of the foundation. (Recommend 4 inches from the bottom of the exterior stucco siding to dirt, rock, mulch or wood chips).



Example



Example

MR 44: Plants and/or Trees touch the buildings exterior and/or the roof. Proper landscape maintenance needed.



Retaining Walls

Inspection of retaining walls is only visual per CREIA standards. Engineering of retaining walls is not performed and is outside the scope of this inspection.

45: Type: Masonry



46: Type: Wood

Wood retaining walls have a limited lifespan and will eventually need to be repaired or replaced. Client is advised to continue to monitor and repair or replace as needed.



47: The retaining walls appear serviceable.

DS 48: Disclosure: Some common cracks noted at areas of the masonry, stuccoed and/or concrete retaining walls.

DS 49: Disclosure: Areas of the retaining walls are not visible due to foliage/ landscaping. Conditions at areas where walls are not visible are unknown.

E&C 50: Some heavy moisture damage, with leaning of the wood retaining wall(s). Sections of the wood, retaining walls appear to be nearing the end of its structural life. *Be aware that wood retaining walls have a limited lifespan and will warrant eventual replacement. Monitor, replace or repair the wood retaining walls as needed.*



Foundation

Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

FOUNDATION TYPE

DS 51: Raised Foundation with CrawlSpace

Disclosure: Be aware that some crawlspaces may contain toxins from current or past animal or critter intrusion, molds, fungus or other issues arising from past moisture or water intrusion which may negatively affect the overall air quality within the crawlspace and living spaces. Determining the air quality inside the home and crawlspace is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces.



DS 52: Disclosure: Some typical and common cracks noted at visible areas of the perimeter foundation. Client is advised to measure and monitor cracks to determine if future movement occurs.

DS 53: Some typical cracks noted at areas of the concrete perimeter foundation system. Areas of cracks on the exterior should be documented and monitored as additional future movement may occur. If client or perspective homeowner has specific concerns as to cause, the current conditions and potential future issues, a licensed civil engineer should evaluate, document and provide information with regard to future potential conditions.

54: CRAWLSPACE CONDITION: No visible significant defects noted in the crawlspace area.

Note: Not all areas of the crawlspace may be visible or accessible due to conditions such as insulation or lack of access. Refer to the Termite report for additional comments and/or recommendations.

55: CRAWLSPACE VENTILATION: Appears adequate.

Determining the precise quantity of crawlspace ventilation openings is not calculated and is outside the scope of this inspection. The determination of adequate ventilation is by visually inspecting the overall condition throughout the visible and accessible areas of the crawlspace. This would include inspecting the metal components within the crawlspace for excessive rusting or if there is an unusual moisture condition, such as high humidity, mold, an inordinate amount of fungus growth on the wood framing not from a water leak, or other issues related to an excessive moisture condition caused by the inadequate amount of ventilation in the crawlspace.

56: ANCHOR BOLTS: Some Foundation anchor bolts noted in areas of the crawlspace. *Anchor bolts not fully visible.*

57: Some foundation cripple wall framing identified in areas of the crawlspace or basement.

58: Installed in areas of the foundation system: Wood Posts on Concrete base



59: Disclosure: Areas of the crawlspace are not fully visible, not fully accessible and not inspected due to insulation, HVAC ducting and HVAC unit.

DS 60: Foundation and stem walls are poured concrete. *Common cracks visible in the concrete foundation. Foundation perimeter is not fully visible.*

INSULATION

61: Insulation is installed only in a small area in the crawlspace: (approx.) 4-6 inches thick

Note: *Crawlspace framing is not fully visible due to the insulation. A full evaluation for moisture and/or bug type damage is warranted / recommended by a licensed Termite Inspection Co.*

SU 62: The Insulation that is installed in the crawlspace was found to be installed upside-down. The paper on the insulation should be towards the living space.



RAISED FOUNDATION NOTES

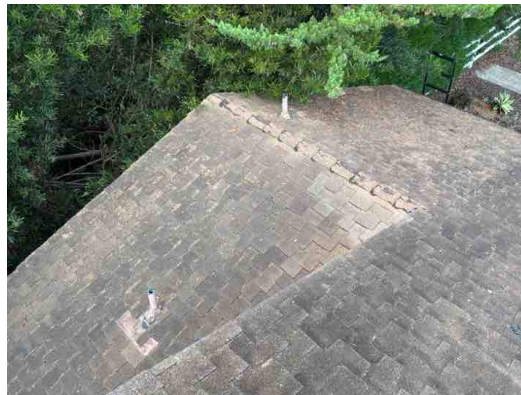
SU 63: Evidence of past rodents or other critters living in the crawlspace and/or other areas (visible droppings). Contact a qualified pest control professional for additional comments and recommendations. Determining if condition is old or active is outside the scope of this inspection.

Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

ROOF STYLE

64: Gable





ROOF MATERIAL TYPE

65: Asphalt Shingle

Average life expectancy of this roof material: 50 years

There is Approx. 20-25 +/- years of visible wear at areas of the roof.



ASPHALT COMPOSITION SHINGLE COMMENTS

MR 66: Debris covers portions of the roof and/or roof flashings. This may cause deterioration and/or a roof leak. Areas of the roof are not fully visible. Clean and inspect regularly.



E&C 67: Some damaged and missing roof ridge shingles at areas of the roof. Corrections are needed. Contact a qualified roofer to evaluate the roof and make the appropriate recommendations and repairs as needed.



Flashings

Roof flashings, transitions, and skylights are not water tested for leakage. This is a visual inspection of the roof and its components per CREIA standards. All roofs require continuous and ongoing maintenance. Recommend having the roof serviced regularly by a qualified professional. Contact a licensed roofing professional for recommendations.

ROOF FLASHING

E&C MR 68: ROOF FLASHING CONDITION: Some roof flashing were found to be needing maintenance, servicing and/or repair. Contact a qualified roofing professional to review all roof flashings and provide maintenance and/or repairs as needed.

MR 69: Resealing of the roof flashings is recommended as part of needed maintenance.

MR 70: Deteriorated sealant at some roof flashings, around the roof penetrations. Maintenance recommended to help prevent water intrusion into areas of the attic. Have roofer evaluate the roof flashings and correct as needed.

SKYLIGHTS

MR 71: Skylight(s) appears to be in good physical condition - *Skylights are not water tested, visual inspection only.*



Gutters

RAIN GUTTERS

72: Type: Full rain gutter installation.

RAIN GUTTER COMMENTS

MR 73: Recommend some typical rain gutter maintenance. This should consist of cleaning, sealing and refastening of the rain gutters and downspouts and cleaning the under ground piping and terminations.

MR DS 74: Underground Roof Rain Gutter Drains are Installed: Some of the roof rain gutter downspouts enter into an underground piped drainage system. *The conditions of the underground pipe and there terminations are not visible, not inspected - nor tested during this inspection. Additional inspecting, cleaning and testing the underground piping is recommended to determine proper flow and termination. Service underground drains regularly.*

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Repot for additional comments and recommendations.

ATTIC ACCESS

75: **ATTIC ACCESS LOCATION:** Primary Bedroom Closet



76: **VISIBLE ATTIC FRAMING:** No noted framing defects found in the accessible and visible areas of the attic.

77: **ATTIC VENTILATION:** Appears Adequate. *However, attic ventilation was not calculated but visually observed.*

DS 78: Disclosure: Areas of the attic are not fully visible, not accessible and not inspected due to insulation and some areas are too small for physical access.

TYPE OF INSULATION FOUND IN THE ATTIC

79: **Blown Fiberglass:** Approx. Depth 4-6 +/- Inches

ATTIC COMMENTS

SU 80: Evidence of rodents living in the areas of the building in the attic and/or other areas. Some visible rodent droppings. Contact a qualified pest control professional for additional comments and recommendations. Determining if condition are old or active is outside the scope of this inspection. Recommend proper clean up and prevention for sanitary purposes.

Plumbing

This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

81: Main water supply shut-off location : Exterior - Southwest Corner . *Main water shut-off valve not tested.*

Water Pressure - *Is At Approx. 95+/- PSI. Optimal water pressure is between 40 and 80 PSI .*

1. *Pressure Regulator Installed:* **NO**
2. *An Automatic Leak Detection Device installed on the main water supply:* **NO.**



E&C 82: Excessive water pressure (above the maximum of 80-psi, **currently at: 95-psi**). Recommend the installation of a pressure regulator.



TYPE OF WATER PIPING

83: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time):

84: Copper

WATER SUPPLY PIPING

85: The visible areas of the water supply piping appears to be within useful life. *Pipes are not fully visible.*

86: *The condition of the Plumbing Pipe inside walls, under insulation in the attic, underground, under the slab, and in all inaccessible areas which are not readily visible are not evaluated or inspected. Conditions cannot be judged. Water pipe leak detection or pressure testing is not performed.*

WASTE PIPING TYPE

87: Type(s) of waste water drain piping that could be seen at the time of the inspection. Other piping materials may be present or used in areas which are not visible at this time due to concealment.

88: ABS and PVC

WASTE/SEWER PIPE CONDITION

89: The visible waste piping and type installed in this building appears to be within its useful life expectancy. However, waste pipes are not fully visible. Pipe conditions inside walls, inaccessible areas, under the insulation and under the ground or slab cannot be judged or determined. Water testing not performed.

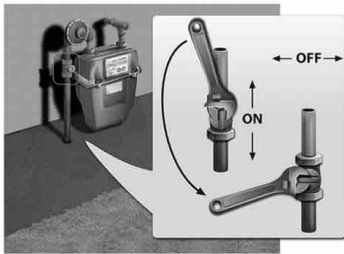
Note: Buildings should have the underground waste and sewer lines scoped by a plumber to determine condition as part of the inspection process.

Fuels

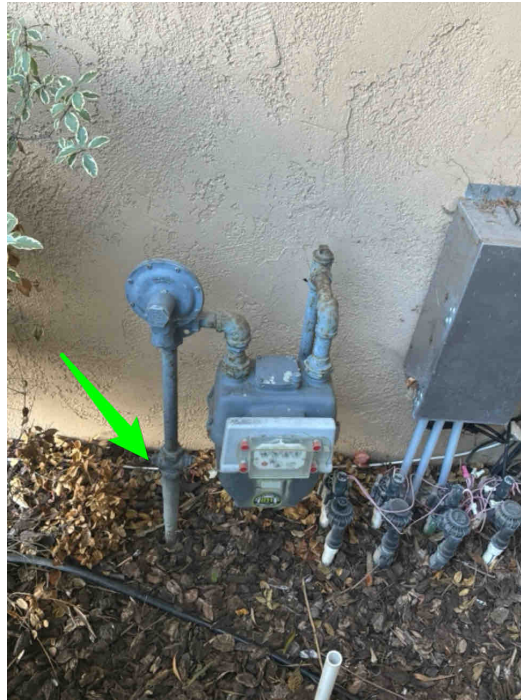
FUEL TYPE

90: Natural Gas. Location of main Gas shut-off : Exterior - Southwest Corner

Client is advised to have All fuel-burning appliances (such as furnaces, water heaters, boilers, fireplaces, and gas dryers, etc.) inspected and serviced at least once per year by a qualified technician or the local gas utility provider. Regular inspection helps ensure proper combustion, safe venting, and detection of potential gas leaks or carbon monoxide hazards, and helps maintain safe and efficient operation of the equipment.



CAUTION: If you turn off your natural gas at the meter, leave it off. Do not turn it back on yourself.



Main gas shut off valve

91: Gas shut-off appears serviceable.

Disclosure: Gas piping and valves not tested during this inspection (visual inspection only).

Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

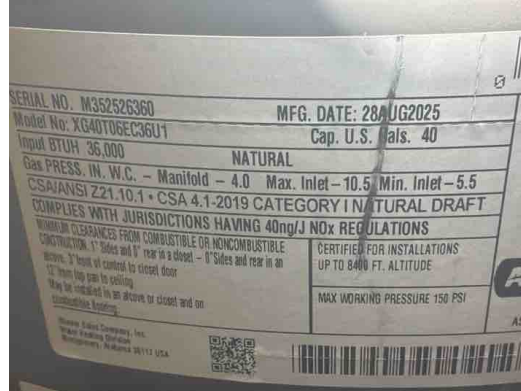
WATER HEATER INFORMATION

92: Water Heater Location: KITCHEN HALLWAY

Size: 40 Gallons

Fuel Type: Natural Gas

Date: 2025: *The average lifespan of this type of water heater is approximately 10 years. This water heater is approximately 1 years old. Water heaters can fail without warning and should be monitored and inspected regularly for leaks, corrosion, and other signs of deterioration.*



WATER HEATER CONDITION

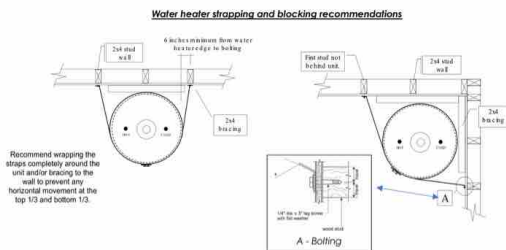
93: Water Heater Operated when tested.

COMBUSTION AIR

94: Proper amount of combustion air.

STRAPPING

E&C 95: The Water heater is loosely strapped & not secured well - moves when pushed . Recommend adding BRACING OR BLOCKING to the wall to properly secure the tank per Uniform Plumbing Code and State Architect Requirements.



TPR PIPING

96: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. *TPR Valve not tested.*

VENT PIPING

SC 97: Water heater vent pipe found rusted, damaged and cracked. Recommend replacement of the upper section of the vent pipe.



SC 98: Water heater vent connector pipe (single wall) is not properly fastened at all connections with the required 3 fasteners at each connection, including the draft hood per standards. The use of Aluminum tape is not an acceptable alternative to using screws.



PLATFORM ENCLOSURE

99: The visible areas of the Water heater enclosure and/or platform appears serviceable.

GAS PIPING

100: The water heater gas piping appears within useful life with no physical damage.

WATER HEATER GENERAL COMMENTS

UPG 101: Missing the insulation on areas of the Hot and Cold water supply piping at the water heater.

Energy Code (Title 24, Part 6)

California's energy standards require insulation on the first 5 feet of cold and ALL the hot water piping from the water heater, to reduce heat loss and sweating (condensation).



SHUTOFF

102: Cold Water heater shutoff valve installed. *Valve not tested.*

DRIP PAN

103: Water Heater Drip pan installed.

Kitchen

LOCATION

104: Kitchen photos:





SINK

105: The kitchen sink appears serviceable with typical wear for its age.

106: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 107: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*



MR 108: Recommend sealing the kitchen sink at counter connection.

UPG 109: Some Dry Moisture stains below kitchen sink.

DISPOSAL

110: Operated when tested.

DISHWASHER

MR 111: Disclosure: Some rusting and deterioration of the metal racks in dishwasher.

FI 112: Dishwasher found non-operational.

E&C 113: Missing the required hose clamp at the dishwasher air gap / drain hose connection under the kitchen sink. This can allow the drain hose to dislodge and cause flooding.



The air gap under the kitchen sink

COOKTOP

114: The cooktop is Natural Gas and operated when tested



OVEN

115: The *ELECTRIC OVEN* operated when tested.

Disclosure: *The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.*

COOKTOP HOOD

SC 116: Improper installation and use of a non-fire rated flexible pipe through the kitchen cabinet and/or attic above the cook top for the cook top exhaust vent pipe. A rigid fire-rated metal duct is required for fire safety. Contact a qualified HVAC professional to correct as needed.



CABINETS & COUNTERS

117: Appear serviceable.

DS 118: Disclosure: The areas behind the kitchen cabinetry, refrigerator, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 119: Kitchen counters & cabinets have typical wear.

DS 120: Disclosure: Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.

Laundry

LAUNDRY:

121: Photo of the Laundry Location



LAUNDRY TYPE

122: Gas and Electric 240 volt provided for laundry dryer.

DS 123: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

124: Laundry dryer vent provided.

However, vent system is not fully visible or tested. It is recommended that the laundry dryer vent system, vent pipe and cap be cleaned regularly to avoid excessive lint buildup, which is a potential fire hazard.

LAUNDRY COMMENTS

125: Disclosure: *The laundry washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the laundry machines are being transferred with the sale of the property, client should perform due diligence to ensure the proper and safe operation of the washer and dryer within the clients inspection period.*

DS 126: Area behind and under the laundry machines is not fully visible and not inspected at this time due to laundry machines themselves. Conditions are not fully known. Client should inspect area and satisfy themselves as to the overall condition prior to the close of escrow once the laundry machines have been moved out.

DS 127: Unable to test or verify proper operation of the laundry 240 volt outlet due to occupant's belongings and/or laundry machines. Client should verify proper and safe operation prior to close escrow.

E&C 128: An insufficient amount of make-up air provided in the laundry enclosure (a minimum of TWO 100 in.² openings are required. One at the upper area of the enclosure and the other at the lower area of the enclosure). Recommend louvered doors or installing the minimum appropriate 200 in.² vent openings in the enclosure or other approved corrections. Recommend corrections by a qualified HVAC professional familiar with the minimum installation requirements.

The California Mechanical Code Section 504.4.1 (1964 UBC - 2022 CMC) states:

"Closets and compartments containing dryers (rooms less than 11'x12.5'x8') shall be provided with sufficient air for combustion and ventilation. Openings for make-up air shall be provided at the top and bottom of the enclosure, **each** having a free area of not less than 100 square inches."

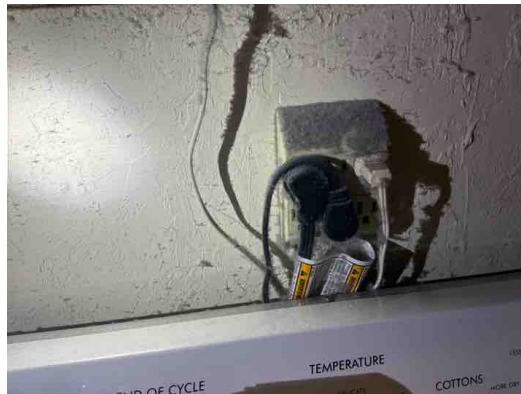
A standalone exhaust fan, which sucks the air out of the laundry room and is provide to reduce moisture and odor buildup, does not meet the CMC make up air requirements.

- 100 square inches is equal to an opening of a minimum of two 6"x 9" openings or one 10"x10" opening.

DRYER VENTING

MR 129: Recommend cleaning and servicing the laundry dryer vent system, pipe and cap, for safety as part of typical ongoing maintenance.

SC 130: The current laundry dryer vent pipe is leaking lint and exhaust air into the areas behind the laundry dryer. Additional review and correction is needed.



Bathrooms

BATHROOM LOCATIONS

131: PRIMARY BEDROOM BATHROOM



132: HALL BATHROOM



TOILETS

133: Operated when tested.

SINKS

134: Bathroom sink faucet and drain operated when tested.

Disclosure: The operation and condition of the sink drain stoppers are outside the scope of this inspection and are not tested. Any and all comments made regarding sink drain stoppers are informational only and may only be specific to a single sink.

DS 135: Disclosure: Restricted view in the bathroom cabinets and countertop due to occupant's belongings. Check areas carefully once areas are evacuated and cleaned. If defects are found contact our office to evaluate and document condition.

MR 136: Disclosure: Drain stoppers do not operate, are missing or do not operate well at some bathroom sinks. General maintenance recommended.

SC FI 137: Some moisture stains and/or damage with visible mold growth on the drywall and/or cabinetry in PRIMARY BEDROOM BATHROOM. Recommend further review and cleanup by a qualified mold remediation professional.



VENTILATION

138: Appears adequate.

SU 139: A bathroom exhaust fan is recommended for better ventilation in all bathrooms where not currently installed.

BATHTUBS

MR 140: The original tub drain stopper is non-operational: HALLWAY BATHROOM

E&C 141: Some Moisture stains and damage to floor outside tub: HALLWAY BATHROOM.



SHOWERS

E&C 142: Shower diverter did not operate properly, found difficult to operate at tub spout: HALLWAY BATHROOM

LOS OSOS - LOW FLOW COMPLIANCE

143: **HALLWAY BATHROOM** - Does NOT meet the minimum water saving requirements

Toilet gpm: The existing 1.28 gpf toilet meets the Los Osos requirements

#of sinks: 1

Bathroom Sink faucet gpm: @ 1.5 gpm. The + 1.0 gpm bathroom sink faucet and does not meet the San Luis Obispo County Title-8 / Los Osos requirement for bathroom sinks .

Shower Head gpm: @ 1.8 gpm. The + 1.5 - Does not meet the minimum San Luis Obispo County / Los Osos water restriction requirements.

144: **PRIMARY BEDROOM BATHROOM** - Does NOT meet the minimum water saving requirements

Toilet gpm: The existing 1.28 gpf toilet meets the Los Osos requirements

#of sinks: 1

Bathroom Sink faucet gpm: @ 1.2 gpm. The + 1.0 gpm bathroom sink faucet and does not meet the San Luis Obispo County Title-8 / Los Osos requirement for bathroom sinks.

Shower Head gpm: @ 1.75 gpm. The + 1.5 - Does not meet the minimum San Luis Obispo County / Los Osos water restriction requirements.

Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/ or window-door coverings are not able to be fully inspected.

FRONT ENTRY DOOR

145: Operated when tested.

146: Weather stripping appears serviceable.

147: Door hardware operated when tested.

MR 148: A loose, unsupported and unsealed threshold found at the FRONT entry door. Maintenance and/or upgrades recommended.

EXTERIOR DOORS

149: Operated when tested

150: Latching hardware operated and appears serviceable.

MR UPG 151: Loose exterior door threshold found at the KITCHEN HALLWAY EXTERIOR DOOR TO THE GARAGE BREEZEWAY. This could damage the threshold and/or create a water leak.



SU 152: It is considered unsafe to use of a double-keyed deadbolt at exterior doors which may be used as and exit in an emergency. Upgrades are recommended for proper egress safety.

First, let's define a double-keyed deadbolt. It's a deadbolt that locks from the inside *and* the outside with a key. This means if the door is locked, there's no getting in or out without a key.

Double-keyed deadbolt



Single-keyed deadbolt
aka thumb-latch type



SLIDING GLASS DOOR

E&C 153: Exterior sliding glass door found difficult to operate. Adjustment or repair recommended: DINING AREA

INTERIOR DOORS

154: Operated when tested.

MR 155: Some interior doors rub and stick on the flooring. Corrections recommended.

MR 156: Interior door knob found damaged: PRIMARY BEDROOM CLOSET POCKET DOOR



WINDOWS

157: WINDOW TYPES:

158: Aluminum / Single-Pane Glass

159: Sliding

160: WINDOW CONDITIONS:

161: WINDOWS: A sampling of the accessible windows operated when tested.

Note: *Windows with blinds or shades or other coverings are not tested. All windows should be serviced by a qualified window specialist to ensure windows operate smoothly and properly and to ensure water tightness. Have all deteriorated weatherstripping replaced. Window blinds, shades, drapes or other window coverings are not inspected and are outside the scope of this inspection. Client should provide their own due diligence and evaluate all window coverings.*

MR 162: Disclosure: Missing and/or damaged screens found at some windows.

FLOORING

163: TYPE: Tile

164: TYPE: Vinyl / Linoleum

165: TYPE: Carpet

CEILING TYPE

166: Drywall

167: Drywall with Acoustic Spray

Notice: *Determining if the wall or ceiling drywall, acoustic ceilings, flooring, attic insulation, insulation around the heating ducting, cementous vent piping or any other component in the house contains asbestos is beyond the scope of this inspection. If concerned have tested.*

WALL TYPE

168: Drywall

WALLS AND CEILINGS

169: The general overall physical condition of the interior walls and ceilings appear to be good with some typical and common cracks.

Note: Determining the indoor air quality is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces to determine if it is within your own personal acceptable levels.

DS 170: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor the cracks as future or additional movement may occur. Contact a qualified drywall professional for additional information and recommendations on how to repair.

171: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

172: Disclosure: *Furnishings, window coverings (such as drapes shades and shutters) and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

FI 173: Evidence of visible mold growth on wall areas in the PRIMARY BEDROOM CLOSET. Recommend appropriate cleanup of the mold on the drywall.

FI 174: Evidence of past moisture stains & damage at ceiling area in the IN THE LIVING ROOM ABOVE THE FIREPLACE CHIMNEY. Recommend further review of the water stains to determine the cause, the current condition and if repairs are needed.



Example



Example

FI 175: Evidence of past moisture stains & damage at ceiling and walls in IN THE BEDROOM-3 CLOSET. Recommend further review of the water stains to determine the cause, the current condition and if repairs are needed.



Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified HVAC professional. Be aware that additional defects may be discovered during a more comprehensive evaluation by an appropriate professional.

GENERAL INFO

176: LOCATION: CRAWLSPACE

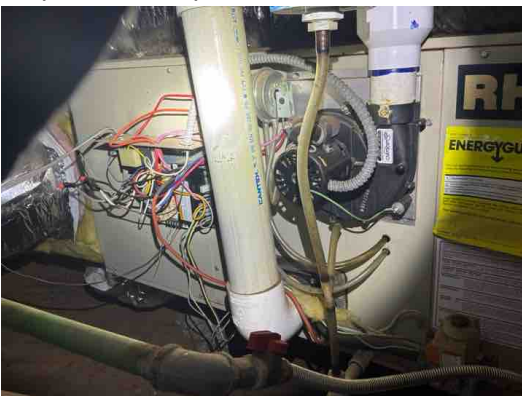
Approx. BTU RATING: 100,000

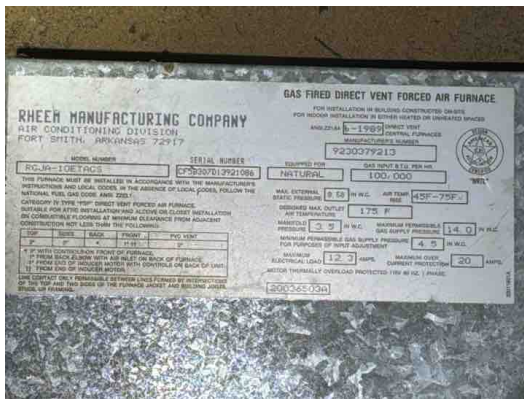
FUEL TYPE: Natural Gas

FURNACE TYPE: Gas Forced Air

DATE: 1992 The average life of this type of furnace is +/- 30-35 years. This furnace is approximately 34 years old .

Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.





177: Heater Type: Electric Wall Heater did not operate:

1. BEDROOM-3
2. ENTRY HALLWAY
3. BEDROOM-2



CONDITION

178: HEATING SYSTEM CONDITION: The heating system operated when tested.

FURNACE FLAME

DS 179: Unable to inspect the furnace flame or burner chamber. Unit has a inclosed burner system.

VENTING

180: The visible areas of the furnace vent piping appears serviceable. *However, the furnace vent pipe is not fully visible.*

DUCTING/DISTRIBUTION

181: Appears serviceable at visible areas.

Disclosure: Conditions inside the ducting are not visible and are unknown. Be advised that certain dirty ducting systems have been known to have some biohazards and/or carcinogens inside the ducting. Cleaning, resealing and servicing of HVAC system and ducting is recommended every few years.

MR 182: Recommend cleaning and sealing inside the floor registers as part of typical ongoing maintenance.

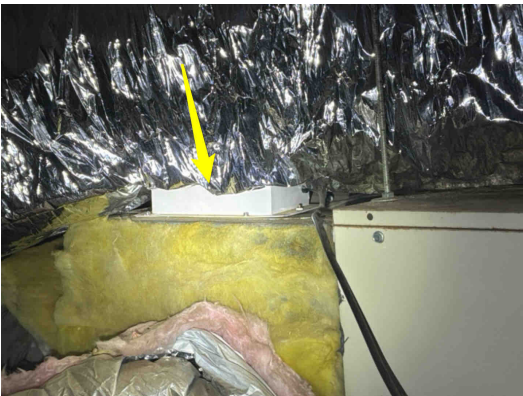
E&C 183: Some of the heating ducting as it passes through the crawlspace was not properly supported or has broken or damaged supports and needs some maintenance and upgrades. Contact the qualified HVAC contractor to evaluate and correct as needed.

AIR FILTERS

MR 184: Dirty Heating air filter found in the return air grill(s). Recommend cleaning or changing the furnace air filters as part of ongoing maintenance.



MR DS 185: An ultraviolet light air purification system is installed at the furnace plenum. Unable to determine if the UV light is currently functioning due to the type of system installed. Recommend additional review and certification of proper and safe operation by a licensed HVAC contractor.



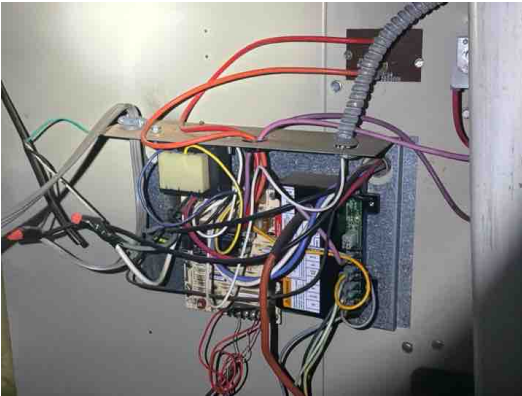
COMBUSTION AIR

186: Appears to be the appropriate amount and in the appropriate locations.

THERMOSTAT/CONTROLS

187: Operated when tested.

E&C 188: The cover is loose, not installed and missing fasteners on the electrical and wiring connections at the furnace located in the crawlspace. The cover is needing to be proper fastened to the unit for safety and help prevent critter intrusion or damage.



CONDENSATE

189: Disclosure: The visible areas of the heating system condensate piping appear serviceable and in good condition. However, the condensate drip piping is not fully visible as they pass-through confined spaces, under attic insulation, inside walls, etc. The condensate drip system is not tested.

Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL-1

190: Electrical Service Type: **Underground** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **EXTERIOR - ON THE BACK OF THE GARAGE**

Main Electrical Panel Ampacity: **200**

Panel Voltage: **240 volt**

Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.



PANEL COMMENTS

SC 191: Missing and Oversized bushing clamp as wires are passing into the TOP of the MAIN ELECTRICAL PANEL. Wires are improperly rubbing on the sharp metal edge of the electrical panel as they pass through. Proper bushing clamps are needed to help stabilize wires and prevent critter intrusion..



WIRING/CONDUIT

192: A sampling of the switches, light fixtures and outlets operated when tested.

Disclosure: *Occupant's belongings and furniture are not moved for testing of outlets and switched. Receptacles which are in use or are blocked by child tamper barriers are not tested. If house is occupied or any restricted conditions exist, additional testing is recommended. Additional inspection fees may apply. Astronomical clock-type lighting controls, photocells associated with exterior lighting are outside scope of this inspection and are not tested.*

DS 193: *Disclosure: Furnishings, appliances and occupants' belongings prevent testing of every outlet and switch. Have all outlets and switches tested once home is vacant.*

SU 194: Recommend the installation of GFCI and AFCI outlet protection, Vacancy Sensors and Humidistat switches in all locations as a safety upgrade per California current standards.

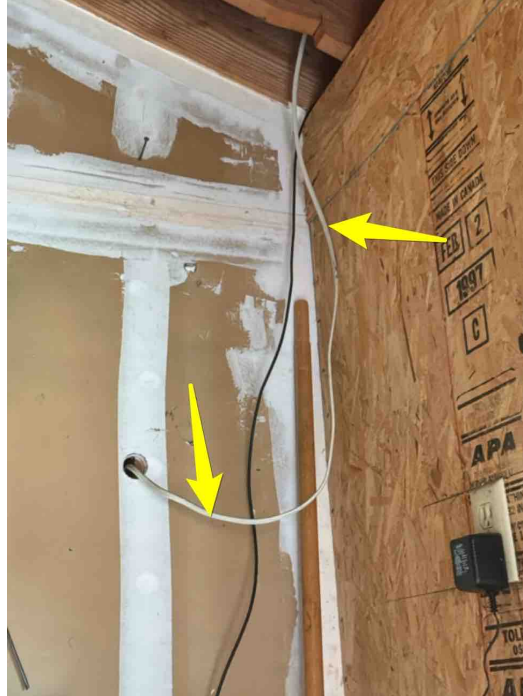
a. Vacancy Sensor light switch: A Vacancy Sensors is a light switches that detect when a space such as a bathroom, garage, laundry room is unoccupied and will automatically turns OFF the lights after a certain amount of time, thereby saving energy.

b. Humidistat Fan Switch: A humidistat is a switch which controls a bathroom exhaust fan and turns the fan on automatically when there is a high level of moisture from the shower, reducing the overall humidity level in the bathroom.

c. GFCI (Ground-Fault Circuit Interrupter) Protection : A GFCI device continuously monitors electrical current flow and automatically shuts off power when a ground fault or electrical leakage is detected. GFCI protection significantly reduces the risk of electrical shock and electrocution, particularly in areas where water may be present such as kitchens, bathrooms, garages, laundry rooms, exterior locations, and crawlspaces.

d. AFCI (Arc-Fault Circuit Interrupter) Protection : An AFCI device monitors electrical circuits for dangerous arcing conditions caused by damaged wiring, loose electrical connections, deteriorated cords, overloaded circuits from plugging too many devices into a single outlet or circuit, and other electrical defects. AFCI protection automatically disconnects power when hazardous arcing is detected, helping to reduce the risk of electrical fires within concealed wall, ceiling, and floor assemblies.

SC 195: Improper exposed electrical wiring, "Romex" improperly installed subject to physical damage, not in a conduit or raceway per standards: IN AREAS OF THE GARAGE



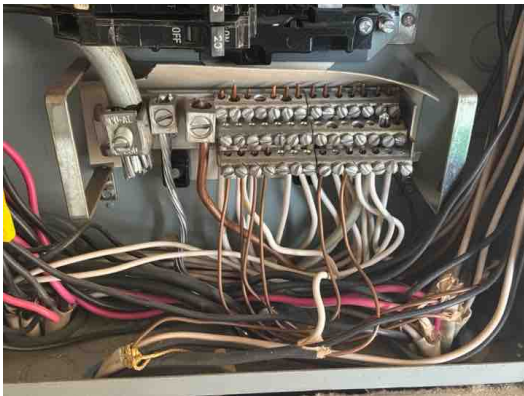
DOOR BELL

196: Doorbell operated when tested.

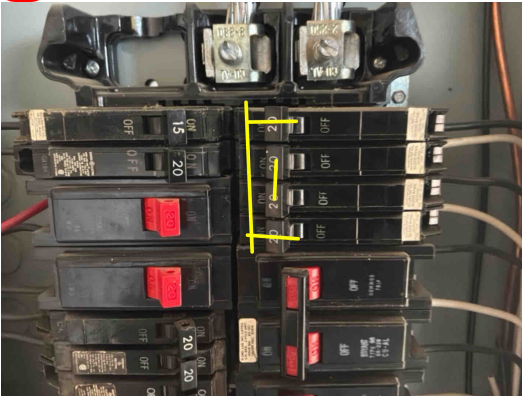


PANEL COMMENTS

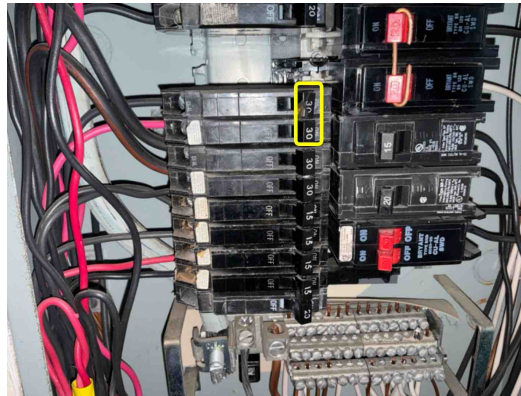
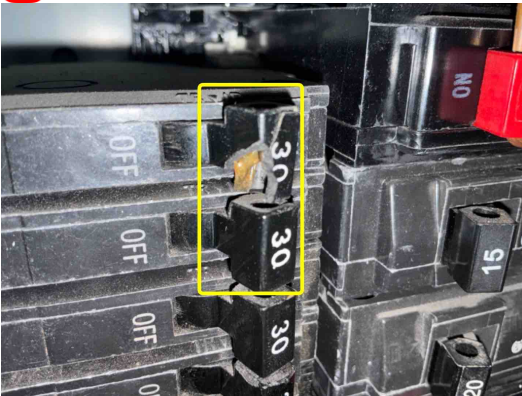
SC 199: Improper electrical wiring and connection of the Neutrals and Grounds in the ELECTRICAL SUB PANEL with no main disconnect. **The electrical sub panel is not bonded** due to the improper connection of the ground wires on the floating buss bar. The white or neutrals wires must be separated from the green or naked ground wires in the metal panel. The white wires must be installed on a floating buss bar and the ground wires must be installed on a separate buss bar attached directly to the metal panel box.



SC 200: Missing the required split-branch coupler at a 240-volt breaker in the: ELECTRICAL SUB PANEL.



SC 201: Missing / BROKEN split-branch coupler at a 240-volt breaker in the: ELECTRICAL SUB PANEL.



Detectors

SC 202: The INSTALLED SMOKE DETECTORS appear to be over 10 years old and should be replaced for safety per the current California standards.

The inspection of the placement of the detectors is not a warranty as to the effectiveness of the detectors, only that the detectors are installed in the appropriate locations per California law. Owner is responsible for testing detectors monthly and replace detectors over 10 years old.

SC 203: Carbon Monoxide detector missing at the required location: BEDROOM HALLWAY

Garage

The conditions inside walls, behind occupants' belongings, and areas not visible cannot be determined. Do a careful check during final walkthrough.

Determining the condition of the waterproofing on interior below grade walls is outside the scope of this inspection. Interior walls are visually inspected for stains and damage in accessible areas that are not blocked or covered by occupants' belongings.

FLOORS

204: Visible areas of the garage floor appears serviceable.

DS 205: Common cracks found in the concrete garage floor.

DS 206: The garage floor and walls are not fully visible due to occupants' belongings and/or cabinetry. *Areas of the garage is not accessible, visible nor inspected. A re-inspection is recommended once full access is made available.*

DS 207: *Due to an excessive amount of stored items and/or cabinetry in the garage, the majority of the garage walls and/or floor, is not accessible, not visible, nor inspected. A re-inspection is recommended once access is made available.*



WALLS & CEILINGS

208: Visible areas of the garage walls and ceiling appear acceptable.

If the garage is occupied, areas of the floor, walls, ceilings and attic may not be visible during original inspection due to occupant's belongings or cabinetry. If the garage is occupied during this inspection, client should have garage reinspected once garage is vacant.

DS 209: *The conditions inside walls, behind occupants' belongings, and areas not visible, cannot be determined. Do a careful check during final walkthrough.*

DS 210: Walls not fully visible due to occupants' belongings and/or cabinetry.

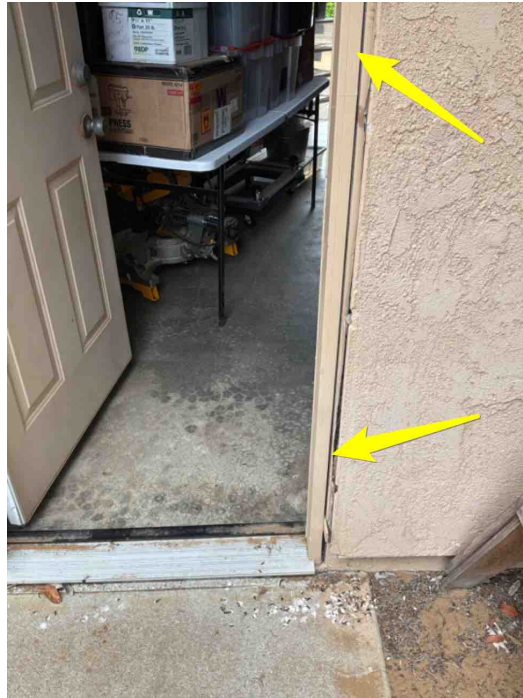
PEDESTRIAN DOOR

MR 211: The Exterior garage pedestrian door to the breezeway rubs and sticks. Maintenance or repair is recommended.

MR 212: Missing the metal strike plate at the doorframe at the Garage Pedestrian door.



E&C 213: Missing the exterior trim and waterproofing around the garage exterior pedestrian door to the backyard. Contact a qualified contractor to review and correct.



VEHICLE DOOR TYPE

214: Roll-up

VEHICLE DOOR

215: The garage vehicle door(s) operated when tested.

216: Proper safety springs installed on the garage vehicle door.

MR 217: *Note: It is recommended to lubricate the hinges, rollers and auto opener annually as part of typical ongoing maintenance.*

VEHICLE DOOR OPENER

SU 218: The installed garage vehicle door opener(s) operated when tested.

The garage vehicle door auto opener is old and does not have the newer electric eye safety reverse feature nor does it have a battery backup feature. Upgrades are recommended but not required.

Fireplace

Fireplace # 1

FIREPLACE LOCATION

219: DINING AREA



FIREPLACE TYPE

220: Fireplace Type: **Freestanding**

221: Fuel Type: **Wood Burning**

222: Chimney Type: **Metal Chimney Pipe**

FREESTANDING FIREPLACE

223: Cleaning and sweeping the DINING AREA freestanding fireplace metal chimney pipe by a qualified and licensed chimney sweep.



224: The freestanding fireplace door and door gasket appear serviceable and are in good condition.

MR UPG 225: Evidence of water intrusion with stains and rust at and around the flue pipe and inside the freestanding fireplace. Additional review and corrections are needed by a qualified fireplace professional prior to use.





METAL CHIMNEY

226: The DINING AREA fireplace chimney.



227: The DINING AREA Metal fireplace chimney is needing servicing or repair. The inner pipe at the metal fireplace Chimney appears to be loose, possibly disconnected and offset. Contact a qualified fireplace and chimney sweep to perform appropriate repairs, upgrades or needed maintenance.



The chimney pipe appears to be loose and or disconnected

SC 228: Metal Chimney Cap atop the DINING AREA Fireplace found to be improperly installed, covering the cooling air vent opening at the top of the double wall chimney pipe. Chimney cap installed too low.

229: Deteriorated sealant DINING AREA FREESTANDING FIREPLACE metal Chimney pipe at the storm collar connection. Maintenance is recommended, needed to help prevent water intrusion.



Fireplace # 2

FIREPLACE LOCATION

230: **LIVING ROOM**



FIREPLACE TYPE

231: Fireplace Type: **Masonry with a prefabricated metal firebox.**



SC 232: Fuel Type: **Wood Burning fireplace with a Gas Log Appliance currently installed.**

Note: Some conditions inside of the fireplace are not fully known and are not fully accessible or not inspected due to the installation of the gas log appliance.

Gas fireplaces can potentially backdraft or back-vent combustion gases under certain conditions, which may allow carbon monoxide to enter the interior of the home. The fireplace and venting system should be inspected and serviced by a qualified gas fireplace technician of the Gas Utility Company annually. Also a properly installed carbon monoxide detector should be installed in the same room as the gas fireplace to help provide early warning if an unsafe carbon monoxide issue were to occur.

233: Chimney Type: **Clay Liner**

MASONRY FIREPLACE

SC 234: Evidence of poor drafting / back-venting of smoke from the LIVING ROOM fireplace into the living space. Recommend contacting a qualified fireplace professional to review the cause and what upgrades or repairs can be performed to help improve the drafting of the fireplace.

DS 235: **Disclosure:** Firebox was not fully visible due to an artificial log appliance.

236: Gas valve operated when tested.

237: The fireplace face and wood mantle at the masonry fireplace appears serviceable and in good condition.

SC 238: Missing the required damper-lock on the LIVING ROOM FIREPLACE damper . A damper lock is required to prevent closure of the damper due to the installation of a gas log appliance installed in a wood-burning fireplace. This is considered a safety hazard as a closed fireplace chimney damper can back-vent large amounts of carbon monoxide in the living space and should be corrected prior to using the fireplace.

239: The log grate found to be in a good serviceable condition.

240: The fireplace hearth extension appears serviceable and in good condition.

SC 241: Missing / recommend a screen at the face of the LIVING ROOM masonry fireplace. Safety upgrades recommended.

MASONRY CHIMNEY

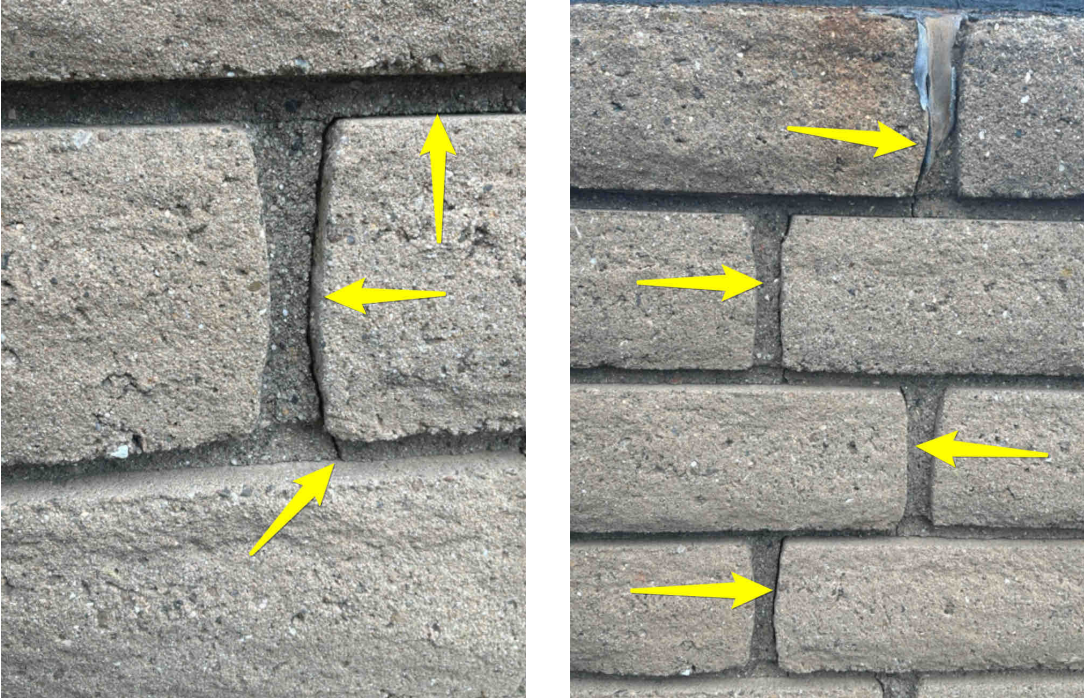
242: Photo of the LIVING ROOM Masonry Chimney



243: Mortar crown appears serviceable and in good condition.

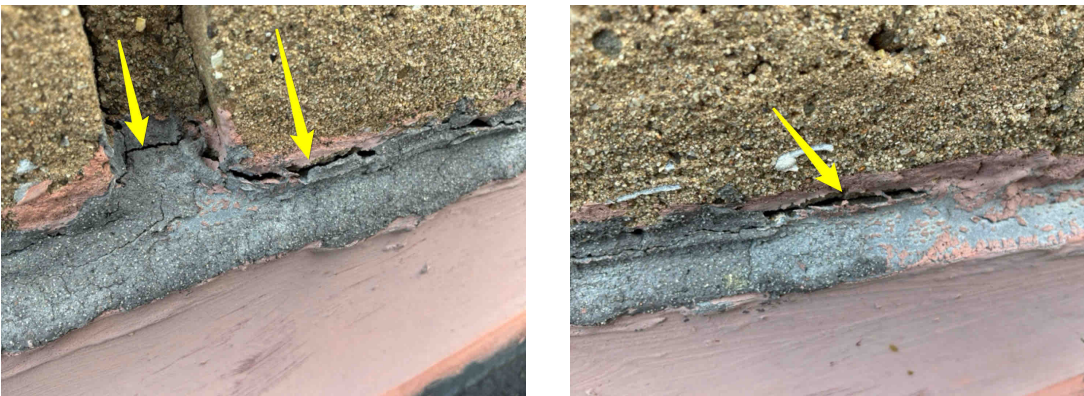
244: The fireplace chimney cap and screen appears serviceable and in good condition.

SC FI 245: Evidence of thermal shock cracking at the exterior of the LIVING ROOM fireplace masonry chimney. This is an indication that some damaged or excessive deterioration has occurred at the fireplace chimney flue liners, throat and/or firebox. Recommend scoping chimney with a camera to determine condition. (Fireplace should not use until proper corrections are performed).



SC 246: Some visible cracking noted at areas of the LIVING ROOM chimney flue liners. This can allow for the super heated fireplace exhaust to escape through the cracks into confined areas of the chimney and make contact with wood framing. Potential Fire hazard.

MR 247: Deteriorated caulking, cracks and/or separations noted at the LIVING ROOM masonry chimney at its roof flashings. General maintenance such as caulking and resealing the fireplace roof flashings is needed. Contact a qualified roofer for maintenance recommendations.





Example