

# ***Cornerstone Inspection***

## **Property Inspection Report**



***1870 S Elm St, Oceano, CA 93445***

***Inspection prepared for: Gil Martinelli***

***Real Estate Agent: Tony Schaar - GUIDE Real Estate***

***Date of Inspection: 8/22/2026 Time: 9:00 AM***

***Age of Home: 1985 Size: 1022***

***Weather: Clear***

***Order ID: 14144***

***Inspector: Peter Ruiz***

***CREIA #167160***

***P.O. Box 1511, Pismo Beach, 93449***

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## Table Of Contents

|                            |       |
|----------------------------|-------|
| REPORT SUMMARY             | 3-4   |
| Site and Other Comments    | 5     |
| Exterior                   | 6-12  |
| Foundation Comments        | 13    |
| Roofing                    | 14    |
| Plumbing Components        | 14-19 |
| Electrical Service Panels  | 20-21 |
| Interior Space             | 22-24 |
| Bedrooms                   | 25    |
| Kitchen                    | 26-27 |
| Bathrooms                  | 28-29 |
| Laundry                    | 30    |
| Heating & Air conditioning | 31-33 |
| Attics                     | 34-35 |
| Garages                    | 36-39 |

## INTRODUCTION

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. After you have reviewed your report, please give us a call if you have any questions you would like us to address. Remember, once the inspection is completed and the report is delivered, we will remain available to provide more information throughout the entire closing process.

The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, because we recognize that our clients' time is valuable, and do not wish to provide you with an unnecessarily lengthy report about components that are not in need of service.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report are intended to illustrate an example of the issue being reported. More issues or defects may exist that could be discovered by a licensed specialist retained to evaluate the specific issue.

Locations of various components identified within the report such as 'left', 'right', 'front', or 'rear' of the property are described from the perspective of facing the front door. Please use the photo on the cover page of this report to define the 'front' of the home.

**This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.**

## REPORT SUMMARY

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct, or items to which I would like to draw extra attention. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report, as the summary alone does not explain all of the issues. All repairs should be done by a licensed and bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for any work done on the property.

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

**Note:** If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

### Site and Other Comments

|                |                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|----------------|------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Page 6 Item: 2 | Environmental Comments | <p>2.2. There are no carbon monoxide detectors present on a sleeping level. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home, adjacent to the bedrooms, but not any closer than 10 feet (3.05 m) to a gas appliance.</p> <p>2.3. Current standards require at least one smoke alarm installed on every level of a home. One of the levels of the residence does not contain a functional smoke detector, which should be serviced.</p> |
|----------------|------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

### Exterior

|                  |       |                                                                                                                                                              |
|------------------|-------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Page 12 Item: 12 | Decks | 12.2. The ledger board that supports the deck has been improperly attached and should be lag-bolted, structurally screwed or attached per current standards. |
|------------------|-------|--------------------------------------------------------------------------------------------------------------------------------------------------------------|

### Plumbing Components

|                 |                           |                                                                                                                                                                                                                             |
|-----------------|---------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Page 18 Item: 4 | Gas Water Heater Comments | 4.15. The vent pipe is too close to combustible material, and should be serviced. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away. |
|-----------------|---------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

### Interior Space

|                 |                  |                                                                    |
|-----------------|------------------|--------------------------------------------------------------------|
| Page 23 Item: 4 | Upstairs Hallway | 4.2. A pre-wired smoke detector is missing and should be replaced. |
|-----------------|------------------|--------------------------------------------------------------------|

|                                       |                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|---------------------------------------|-----------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Page 24 Item: 5                       | Downstairs Hallway    | 5.2. There is no smoke detector, which is mandated in this jurisdiction and should be installed.                                                                                                                                                                                                                                                                                                                                               |
| <b>Kitchen</b>                        |                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Page 27 Item: 4                       | Electrical Components | 4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.                                                                                                                                                                                                                                                                 |
| <b>Heating &amp; Air conditioning</b> |                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Page 32 Item: 1                       | Forced Air Furnace    | 1.12. The furnace could not be fully inspected due to a missing thermostat, and the unit should be evaluated by a qualified tradesperson and serviced as necessary.<br><br>1.13. The thermostat is missing and should be replaced.                                                                                                                                                                                                             |
| <b>Attics</b>                         |                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Page 35 Item: 1                       | Attic                 | 1.12. There is no separation between the units within the attic, which is required by current standards, and you may wish to have it added for optimal safety.                                                                                                                                                                                                                                                                                 |
| <b>Garages</b>                        |                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| Page 37 Item: 1                       | Single Car Garage     | 1.14. The house entry door is not self-closing and latching and should be serviced for optimal safety.<br><br>1.15. The keyed door handle or deadbolt on the house entry door could prevent or impede an emergency exit, and should be replaced with a latch type for optimal safety.<br><br>1.16. One or more outlet covers are missing and should be installed.<br><br>1.17. A light fixture is broken or not secure and should be serviced. |

# Site and Other Comments

## 1. Site and General Information

### Observations:

1.1. The clients were present during the inspection.

1.2. The residence is furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.3. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.4. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.5. We do not inspect window coverings as a part of our service. However, there are blinds present with pull cords that have been found to be a choke hazard, especially if small children occupy the home. These cords should be secured within the window sill area at a point where they can only be reached by an adult.

1.6. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.7. The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

1.8. Because this is a condominium inspection, we do not evaluate or report on the roof, the foundation, grading and drainage, or components beyond the unit, the maintenance of which are the responsibility of the association. Therefore, you should review the homeowner's association 'Pro Forma Operating Budget', which should include a 'Reserve Study' as required by California Civil Code Section 1365. The operating budget should also include a statement of existing funds and a funding strategy to cover major repair and replacement costs.

# Site and Other Comments (continued)

## 2. Environmental Comments

Observations:

2.1. It is recommended that smoke alarms older than 10 years old be replaced due to safety concerns, as the sensors may no longer be effective.

2.2. There are no carbon monoxide detectors present on a sleeping level. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home, adjacent to the bedrooms, but not any closer than 10 feet (3.05 m) to a gas appliance.

2.3. Current standards require at least one smoke alarm installed on every level of a home. One of the levels of the residence does not contain a functional smoke detector, which should be serviced.

## Exterior

### 1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, as they provide the most effective barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principal cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may be hidden or difficult to detect without the proper conditions present. For example, we may discover leaking windows while it is raining that may not have been apparent otherwise.

### 2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason, the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation, hard surfaces, and full or partial gutters. Such conditions may be acceptable but are not ideal. You may wish to have an evaluation by a specialist. We did not see any evidence of moisture threatening the living space.

2.3. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

## Exterior (continued)

### 3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with cement-fiber siding.

3.2. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches (30 cm) away from the home.

3.3. There are separations, gaps, cracks or openings on the siding that need to be serviced/sealed. This includes hose bibs, electrical or cable wires that enter the home, or cracks around the windows or doors.

3.4. Portions of the siding have dry rot or are moisture damaged, and should be evaluated by a pest inspector.



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## Exterior (continued)



Portions of the siding have dry rot or are moisture damaged, and should be evaluated by a pest inspector.



Portions of the siding have dry rot or are moisture damaged, and should be evaluated by a pest inspector.

### 4. Hard Surfaces

#### Observations:

- 4.1. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.2. Asphalt driveways are not as durable as concrete ones and typically develop cracks.
- 4.3. We recommend periodically sealing and repairing the asphalt surface to extend its life and maintain appearance.
- 4.4. The driveway is shared or part of an easement. Please refer to disclosures on any responsibilities of maintenance cost or operation.
- 4.5. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. There could be many causes for the cracks, such as by the lack of expansion joints, or a tree that is too close to the concrete decking.
- 4.6. The natural stone patio or walkway has one or more offsets that may prove to be trip-hazards. This may be by design or due to unsuitable soil below the stone.

## Exterior (continued)



The natural stone patio or walkway has one or more offsets that may prove to be trip-hazards. This may be by design or due to unsuitable soil below the stone.

### 5. Wood Trim, Fascia and Eave

Observations:

5.1. Sections of the fascia, trim and/or eaves need maintenance type service, such as sealing and painting.

5.2. There is damage to the wood trim, fascia, and/or eaves that should be evaluated by a pest inspector.



There is damage to the wood trim, fascia, and/or eaves that should be evaluated by a pest inspector.

## Exterior (continued)

### 6. Electrical Components

Observations:

6.1. The exterior outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the garage.

6.2. One or more outlets on the deck are not secure and should be evaluated and serviced by a licensed electrical contractor.

6.3. We were not able to activate some of the exterior lights. They may be operated on a timer, sensors, or have a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.

6.4. We do not evaluate low-voltage or decorative lights, such as Malibu lights, and you may wish to have the sellers demonstrate them as functional.

6.5. The garage door does not have a light, which is required by current standards, and you may want to have one added.



One or more outlets on the deck are not secure and should be evaluated and serviced by a licensed electrical contractor.

### 7. Sliding Glass Doors and Screens

Observations:

7.1. The sliding glass door is tempered and in acceptable condition.

7.2. The slider screen is damaged, and you may wish to have it repaired or replaced.

## Exterior (continued)



The slider screen is damaged, and you may wish to have it repaired or replaced.

### 8. Windows

Observations:

8.1. In accordance with industry standards, we only test a representative sample of windows.

8.2. The windows appear to be the same age as the home and will not necessarily function or operate as smoothly as modern windows. However, we do test every unrestricted window in every bedroom to ensure that they facilitate an emergency exit.

### 9. Fences and Gates

Observations:

9.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

9.2. The gate at the front needs to be serviced to be functional.

## Exterior (continued)



The gate at the front needs to be serviced to be functional.

### 10. Yard and Retaining Walls

Observations:

10.1. It should be disclosed who is responsible for the yard walls that are located at this property.

10.2. The yard walls may have some cosmetic damage but are functional.

### 11. Landscaping

Observations:

11.1. There are trees on this property that we do not have the expertise to evaluate, and you may wish to have them examined by an arborist.

11.2. Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.

### 12. Decks

Observations:

12.1. There is damage to one or more decks that should be evaluated by the pest inspector.

12.2. The ledger board that supports the deck has been improperly attached and should be lag-bolted, structurally screwed or attached per current standards.

## Exterior (continued)



The ledger board that supports the deck has been improperly attached and should be lag-bolted, structurally screwed or attached per current standards.



There is damage to one or more decks that should be evaluated by the pest inspector.

### 13. Guardrails

Observations:

13.1. One or more guardrails do not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is 30 inches or more above grade. Also, guardrail pickets should be no more than 4 inches apart for child safety.

# Foundation Comments

## 1. Slab Foundation

### Observations:

1.1. This residence has a slab foundation. Such foundations vary considerably, from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both of these improvements. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture nor lift carpeting and/or padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built (or move) out of level, but the average person may not become aware of this until there is a difference of more than one inch in twenty feet, under which most authorities regard being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4 inch and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage. If they are not sealed they can allow moisture to enter a residence, particularly if the residence is surcharged by a hill or slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but our recommendation should not deter you from seeking the opinion of any such expert, and we would be happy to refer one.

1.2. We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

1.3. The slab is typical with no visible structural abnormalities.

# Roofing

## 1. Roof Gutters

### Observations:

1.1. The roof only has partial gutters. A full system of gutters is recommended for the general welfare of the residence and its foundation, as moisture management is an ongoing concern throughout the life of the home.

# Plumbing Components

## 1. Water Supply Comments

Observations:

1.1. The main water shut-off valve is located at the right side of the home, unit, or building.

1.2. The water pressure entering the residence is under 80 PSI and a regulator is not required on the plumbing system.

1.3. The main water shut off valve handle is missing and it should be replaced.

1.4. The residence is served primarily by copper potable water pipes. The visible copper water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls, and we can only view the pipes as they exit the walls.

1.5. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls, and we can only view the pipes as they exit the walls.



The main water shut-off valve is located at the right side of the home, unit, or building.



The main water shut off valve handle is missing and it should be replaced.



The water pressure entering the residence is under 80 PSI and a regulator is not required on the plumbing system.

# Plumbing Components (continued)

## 2. Gas Service Information

### Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell the distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shut off the gas at the main and clear the area. Immediately call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

2.2. We were unable to determine which gas main shut-off valve is for your unit. It should be identified and disclosed to you, in case there's need for an emergency shut-off of the gas.

2.3. The local gas shut-off is located on the right side of the home, unit or building.

2.4. The visible portions of the gas pipes appear to be in acceptable condition.

2.5. We recommend that a wrench, designed to fit the gas shut-off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.



We were unable to determine which gas main shut-off valve is for your unit. It should be identified and disclosed to you, in case there's need for an emergency shut-off of the gas.



The local gas shut-off is located on the right side of the home, unit or building.

## 3. Irrigation and Hose Bibb Information

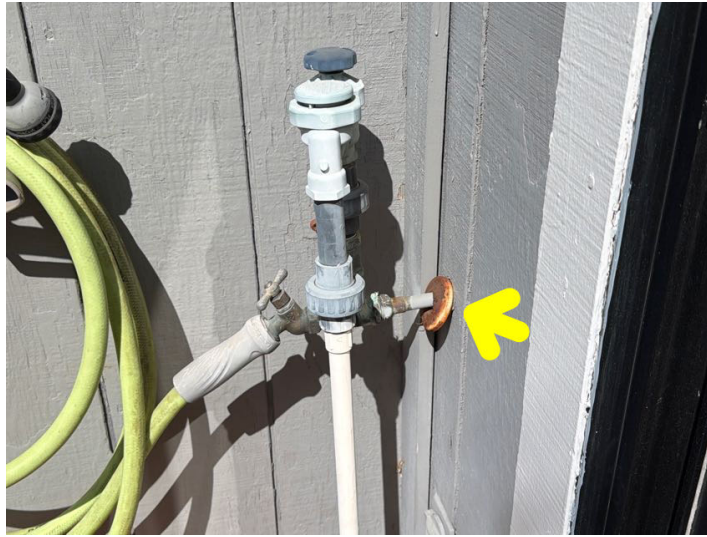
### Observations:

3.1. We do not evaluate sprinkler systems, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, and are required by current standards. However, we may not have located and tested every hose bib on the property.

3.3. A hose bib on the deck is not fully secured and should be serviced by a qualified plumbing contractor.

## Plumbing Components (continued)



A hose bib on the deck is not fully secured and should be serviced by a qualified plumbing contractor.

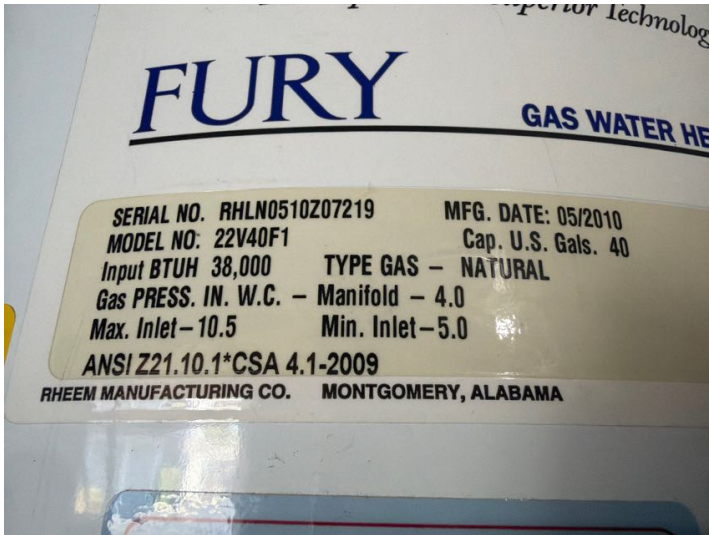
# Plumbing Components (continued)

## 4. Gas Water Heater Comments

### Observations:

- 4.1. Hot water is provided by a 40 gallon gas water heater that is located in the garage.
- 4.2. The water heater is functional and there were no leaks at the time of our inspection.
- 4.3. The water heater is about 16 years old.
- 4.4. The water heater is beyond its warranty period.
- 4.5. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and are susceptible to damage due to the lack of use.
- 4.6. The gas control valve and its connector at the water heater are presumed to be functional.
- 4.7. The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.
- 4.8. A transition spacer is missing where the vent pipe enters the attic or wall cavity, which should be installed.
- 4.9. The discharge pipe from the pressure relief valve has been incorrectly plumbed uphill. We recommend an evaluation by a licensed plumber.
- 4.10. The drain valve of the gas water heater is in place and presumed to be functional.
- 4.11. The water heater is not equipped with a drip pan or overflow pipe, which is a recommended upgrade, and which is designed to prevent or minimize water damage from a leak.
- 4.12. We recommend adding a moisture sensor to the pan, which will alert to the presence of a water leak. Many of the sensors are wireless and can be controlled with home automation systems or virtual assistant apps.
- 4.13. The water heater appears to have adequate combustion-air.
- 4.14. The water heater is seismically secured.
- 4.15. The vent pipe is too close to combustible material, and should be serviced. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away.

## Plumbing Components (continued)



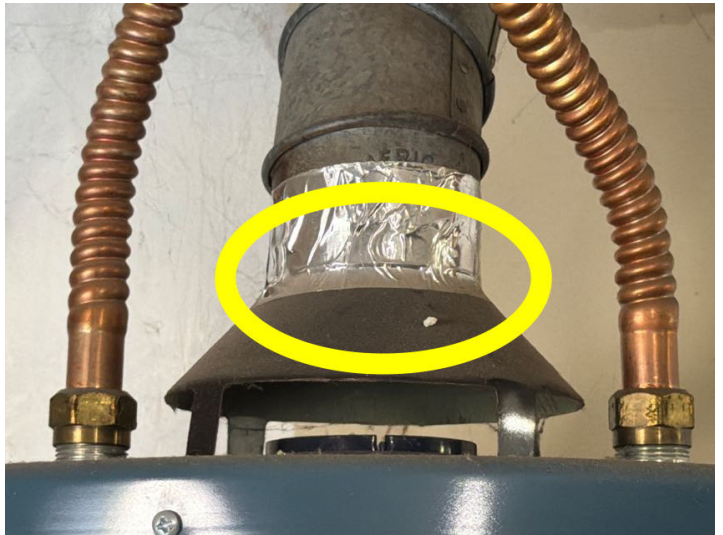
Hot water is provided by a 40 gallon gas water heater that is located in the garage.



The discharge pipe from the pressure relief valve has been incorrectly plumbed uphill. We recommend an evaluation by a licensed plumber.



The vent pipe is too close to combustible material, and should be serviced. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away.



The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.

# Plumbing Components (continued)

## 5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

5.4. We were unable to locate a clean-out for this residence. It may not have been installed on the system, or it may have been covered by landscaping or other design components. Plumbers commonly identify this as being a deficiency and recommend a clean-out be installed. However, the main drainpipe can be accessed by removing a toilet, and at considerably less expense than that of installing a clean-out.

# Electrical Service Panels

## 1. Main Electrical Panel

### Observations:

- 1.1. Common national safety standards require electrical panels to be weather proof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.
- 1.2. The residence is served by a 100 amp main electrical panel, located at the rear of the home or unit.
- 1.3. The exterior cover for the main electrical panel is in acceptable condition.
- 1.4. The interior cover for the main electrical panel is in acceptable condition.
- 1.5. The main conductor lines are underground, or contained in what is described as a lateral service entrance. This is characteristic of a modern electrical service but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of our service.
- 1.6. The wiring in the main electrical panel has no visible deficiencies.
- 1.7. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.
- 1.8. There are no visible deficiencies with the circuit breakers in the main electrical panel.
- 1.9. The main electrical panel is grounded to a water pipe.
- 1.10. We could not determine the point at which the electrical panel is secondarily grounded. Typically, this ground would be to a water pipe located at the main, at a water heater, or to a hose bib, but we could not find it at any of these locations. However, a water pipe ground may have been removed when the house was re-plumbed in copper. Therefore, it should be traced by an electrician or the panel should be re grounded.



The residence is served by a 100 amp main electrical panel, located at the rear of the home or unit.

# Interior Space

## 1. Main Entry

Observations:

1.1. The front door is functional but not fully weather sealed and could be subject to moisture intrusion especially during wind driven rain.

1.2. There is a moisture stain on the ceiling that should be explained or explored further.



The front door is functional but not fully weather sealed and could be subject to moisture intrusion especially during wind driven rain.



There is a moisture stain on the ceiling that should be explained or explored further.

## 2. Living Room

Observations:

2.1. The living room is located on the middle level.

2.2. We have evaluated the living room, and found it to be in acceptable condition.

2.3. The carbon monoxide detector responded to the test button, but should be checked periodically.

## Interior Space (continued)

### 3. Dining Room

Observations:

3.1. The dining room is located adjacent to the kitchen.

3.2. The ceiling fan is functional but out of balance and should be serviced so the fan operates smoothly.

3.3. There has been a drywall/plaster repair that should be explained by the seller.

3.4. There is a moisture stain on the ceiling that should be explained or explored further.



There has been a drywall/plaster repair that should be explained by the seller.



There is a moisture stain on the ceiling that should be explained or explored further.

### 4. Upstairs Hallway

Observations:

4.1. This hallway leads to the bedrooms.

4.2. A pre-wired smoke detector is missing and should be replaced.

## Interior Space (continued)



A pre-wired smoke detector is missing and should be replaced.

### **5. Downstairs Hallway**

Observations:

5.1. This hallway leads to the garage.

5.2. There is no smoke detector, which is mandated in this jurisdiction and should be installed.

### **6. Upper Stairs**

Observations:

6.1. We have evaluated the upper stairs and landing, and found them to be in acceptable condition.

### **7. Lower Stairs**

Observations:

7.1. The guardrail at the top of the stairs is not the recommended 42 inches high when the standing surface is more than 30 inches below.

## Interior Space (continued)



The guardrail at the top of the stairs is not the recommended 42 inches high when the standing surface is more than 30 inches below.

## Bedrooms

### 1. Bedroom 1

Observations:

- 1.1. This bedroom is located at the 1st bedroom door on the right going down the upstairs hallway.
- 1.2. The smoke alarm responded to the test button, but should be checked and tested periodically.
- 1.3. The window sills are cosmetically damaged, which you should view for yourself.
- 1.4. There has been a drywall/plaster repair that should be explained by the seller.



The window sills are cosmetically damaged, which you should view for yourself.



There has been a drywall/plaster repair that should be explained by the seller.

## Bedrooms (continued)

### 2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the end of the upstairs hallway.
- 2.2. The smoke alarm responded to the test button, but should be checked and tested periodically.
- 2.3. There has been a drywall/plaster repair that should be explained by the seller.



There has been a drywall/plaster repair that should be explained by the seller.

## Kitchen

### 1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

### 2. Cabinets

Observations:

- 2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

## Kitchen (continued)

### 3. Countertop

Observations:

3.1. The counter top has typical damage, such as small cracks or scuffs which you should view for yourself.

### 4. Electrical Components

Observations:

4.1. The lights are functional.

4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

### 5. Microwave Oven

Observations:

5.1. The built-in microwave is functional but we did not test it for leakage, which would require a specialized instrument.

### 6. Sink and Faucet

Observations:

6.1. The sink has typical cosmetic damage that you may wish to view for yourself.

6.2. The sink faucet is functional.

6.3. The valves and connector below the sink are functional.

6.4. The trap and drain are functional.

### 7. Garbage Disposal Comments

Observations:

7.1. The garbage disposal is functional.

### 8. Dishwasher Comments

Observations:

8.1. The dishwasher is functional.

### 9. Exhaust Fan

Observations:

9.1. The exhaust fan or downdraft is functional.

### 10. Gas Range & Cook Top

Observations:

10.1. The gas was turned off at the gas range and the unit was not tested.

# Bathrooms

## 1. Upstairs Hallway Bathroom

### Observations:

- 1.1. The upstairs hallway bathroom is a full and is located adjacent to the upstairs hallway.
- 1.2. The cabinets have typical, cosmetic damage, or that which is commensurate with age.
- 1.3. The sink countertop has cosmetic damage you should view for yourself, such as cracks, chips, or missing grout.
- 1.4. The sink is functional.
- 1.5. The sink faucet and its components are functional.
- 1.6. The trap and drain are functional.
- 1.7. The outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the garage.
- 1.8. The lights are functional.
- 1.9. There is no exhaust fan and although there are operable windows, we recommend one be installed.
- 1.10. The toilet is functional.
- 1.11. The toilet is not identified as being a low-flush type and should be replaced with a 1.28 GPF toilet to meet current California water conservation standards.
- 1.12. The tub-shower is functional and the showerhead is 1.75 gpm.
- 1.13. The tub spout should be sealed to the wall.
- 1.14. The tub/shower water supply pipe is loose and should be serviced.
- 1.15. A door is blocked or locked and could not be tested, and should be demonstrated as functional.

## Bathrooms (continued)



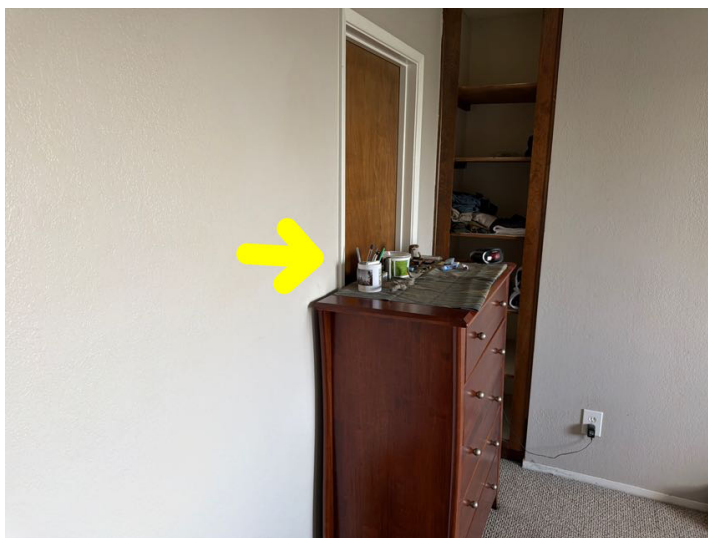
The tub spout should be sealed to the wall.



The tub/shower water supply pipe is loose and should be serviced.



A door is blocked or locked and could not be tested, and should be demonstrated as functional.



A door is blocked or locked and could not be tested, and should be demonstrated as functional.

# Bathrooms (continued)

## 2. 1st Guest Bathroom

Observations:

- 2.1. The 1st guest bathroom is a half and is located adjacent to the kitchen.
- 2.2. The cabinets have typical, cosmetic damage, or that which is commensurate with age.
- 2.3. The sink countertop has cosmetic damage you should view for yourself, such as cracks, chips, or missing grout.
- 2.4. The sink is functional.
- 2.5. The sink faucet and its components are functional.
- 2.6. The trap and drain are functional.
- 2.7. The outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the garage.
- 2.8. The lights are functional.
- 2.9. There is no exhaust fan and although there are operable windows, we recommend one be installed.
- 2.10. The toilet is functional.
- 2.11. The toilet is not identified as being a low-flush type and should be replaced with a 1.28 GPF toilet to meet current California water conservation standards.
- 2.12. The toilet tank is loose, and should be secured, as this could be a safety hazard.

# Laundry

## 1. Laundry Area

Observations:

1.1. The laundry area is located within the garage.

1.2. Some of the components behind the washer/ dryer were obstructed from view and were not inspected.

1.3. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.

1.4. The back-draft on the exterior dryer vent cover is missing, stuck open, or incomplete and should be cleaned, repaired, or replaced.

1.5. A gas supply valve is installed, but needs an approved connector that attaches the gas to the dryer. If the supply is not in use the gas valve should be capped.

1.6. The outlets that were tested are functional.

1.7. The exhaust fan has been removed or was never installed, which is recommended in laundry rooms.



The back-draft on the exterior dryer vent cover is missing, stuck open, or incomplete and should be cleaned, repaired, or replaced.

# Heating & Air conditioning

## 1. Forced Air Furnace

### Observations:

1.1. Central heat is provided by a forced-air furnace that is located in the attic.

1.2. Serial Number 0604A28903 - Manufactured 2006

1.3. The furnace is not original and you should obtain documentation of its replacement for your records, which would reveal its exact age and confirm that the installation was made by licensed specialists, and could include a transferable warranty.

1.4. The furnace does not include sheet metal in front of the furnace at the combustion air area to protect the combustible work platform as recommended by the manufacturer. We recommend that the sheet metal be added according to the manufacturers instructions.

1.5. The vent pipe is functional.

1.6. The gas valve and connector are in acceptable condition.

1.7. The combustion-air vents for the gas furnace are functional.

1.8. The return air filter is dirty and should be changed soon and every two or three months thereafter. If filters are not changed regularly, the ducts can become contaminated.

1.9. The ducts are a fairly modern flexible type that are comprised of a clear inner liner and an outer plastic shell that contains fiberglass insulation. However, the outer shell has been found to be susceptible to ultra-violet contamination, which causes the outer shell to deteriorate and, therefore, should be monitored.

1.10. Sections of outer shell of the flexible ducting have been damaged by ultra-violet contamination, which has caused the outer shell to deteriorate, and therefore should be evaluated by a licensed HVAC contractor with a view toward replacement.

1.11. There is no drip pan beneath the evaporator coil at the horizontal furnace. Although such an installation is not mandated, it is a sensible feature and one that is commonly recommended.

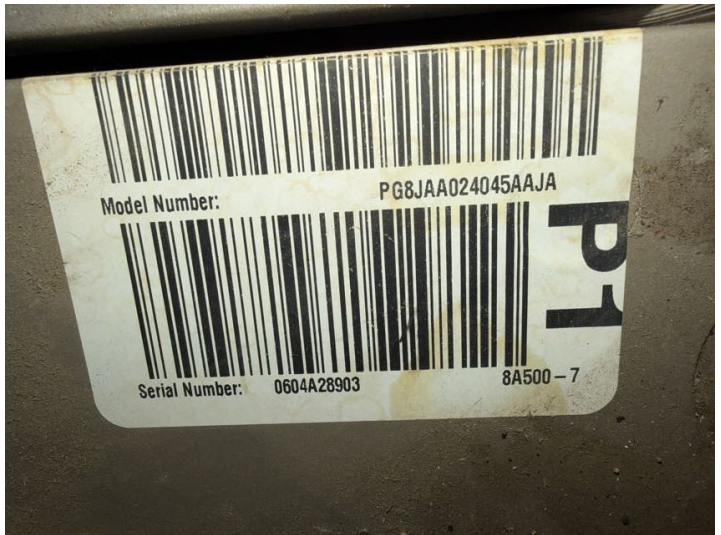
1.12. The furnace could not be fully inspected due to a missing thermostat, and the unit should be evaluated by a qualified tradesperson and serviced as necessary.

1.13. The thermostat is missing and should be replaced.

## Heating & Air conditioning (continued)



Central heat is provided by a forced-air furnace that is located in the attic.



Serial Number 0604A28903 - Manufactured 2006



The thermostat is missing and should be replaced.



Sections of outer shell of the flexible ducting have been damaged by ultra-violet contamination, which has caused the outer shell to deteriorate, and therefore should be evaluated by a licensed HVAC contractor with a view toward replacement.

## Heating & Air conditioning (continued)



Sections of outer shell of the flexible ducting have been damaged by ultra-violet contamination, which has caused the outer shell to deteriorate, and therefore should be evaluated by a licensed HVAC contractor with a view toward replacement.

# Attics

## 1. Attic

### Observations:

- 1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.
- 1.2. The attic can be accessed through a hatch located in the upstairs hallway bathroom ceiling.
- 1.3. We evaluated the attic by direct access.
- 1.4. The lights are functional.
- 1.5. The electrical components that are fully visible appear to be in acceptable condition.
- 1.6. The visible roof framing consists of a factory-built truss system that is in acceptable condition. It is composed of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord, to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.
- 1.7. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.
- 1.8. The heat vents appear to be functional.
- 1.9. The visible portions of the water pipes are in acceptable condition, but should be monitored because of their location. Leaks from pipes that pass through an attic can be soaked up by insulation, and are difficult to detect until significant damage is evident elsewhere.
- 1.10. The drainpipe vents that are fully visible are in acceptable condition.
- 1.11. The attic is insulated with approximately six to nine inches of blown-in insulation, but current standards call for nine and even twelve inches. Some types of this insulation, which were manufactured and installed prior to 1979, consist of shredded paper and are flammable. However, we do not categorically recommend removing and replacing the older type of insulation, because this is a personal decision that is best made by the owners or the occupants.
- 1.12. There is no separation between the units within the attic, which is required by current standards, and you may wish to have it added for optimal safety.

## Attics (continued)



There is no separation between the units within the attic, which is required by current standards, and you may wish to have it added for optimal safety.

There is no separation between the units within the attic, which is required by current standards, and you may wish to have it added for optimal safety.

# Garages

## 1. Single Car Garage

Observations:

1.1. The house entry door is damaged and you may wish to have it replaced.

1.2. The slab floor is in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence expansive soils, but are not structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.

1.3. There are no ventilation ports to vent exhaust fumes. Therefore, vehicle engines should not be left running with the garage door closed or carbon monoxide poisoning could result.

1.4. The firewall separating the garage from the residence is functional.

1.5. The garage walls are too full or covered to provide a clear view of them and other components of the garage.

1.6. The walls or ceiling have cosmetic damage, which you may wish to view for yourself.

1.7. There had been a drywall/plaster repair that should be explained by the seller.

1.8. The outlets that were tested are functional, and include ground-fault protection.

1.9. One or more lights are missing their globe or cover and should be serviced.

1.10. The garage door is a heavy, wooden, type that is potentially dangerous because of its weight. Therefore, its springs should be periodically tested to make sure that they are able to bear the full weight of the door at almost any angle, and particularly if children or the elderly occupy the residence.

1.11. The garage door does not roll smoothly and should be serviced, adjusted, or lubricated.

1.12. The garage door opener is functional.

1.13. The automatic opener is missing its light cover and you may wish to have one installed.

1.14. The house entry door is not self-closing and latching and should be serviced for optimal safety.

1.15. The keyed door handle or deadbolt on the house entry door could prevent or impede an emergency exit, and should be replaced with a latch type for optimal safety.

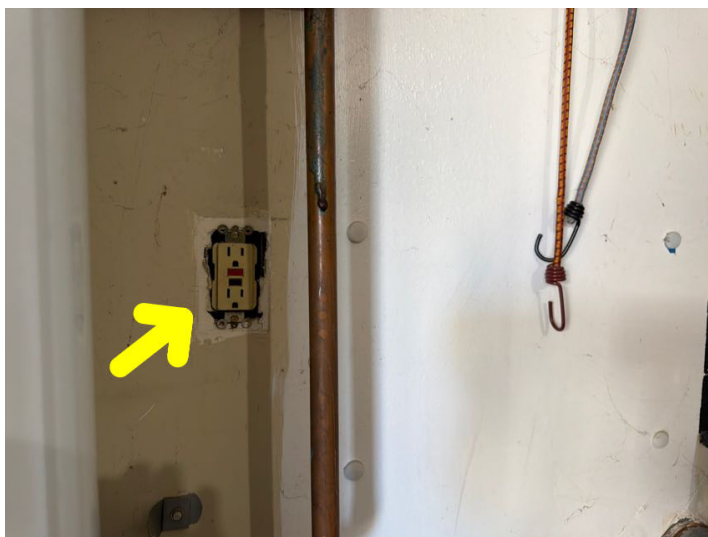
1.16. One or more outlet covers are missing and should be installed.

1.17. A light fixture is broken or not secure and should be serviced.

## Garages (continued)



The keyed door handle or deadbolt on the house entry door could prevent or impede an emergency exit, and should be replaced with a latch type for optimal safety.



One or more outlet covers are missing and should be installed.



A light fixture is broken or not secure and should be serviced.



The house entry door is damaged and you may wish to have it replaced.

## Garages (continued)



There had been a drywall/plaster repair that should be explained by the seller.



There had been a drywall/plaster repair that should be explained by the seller.