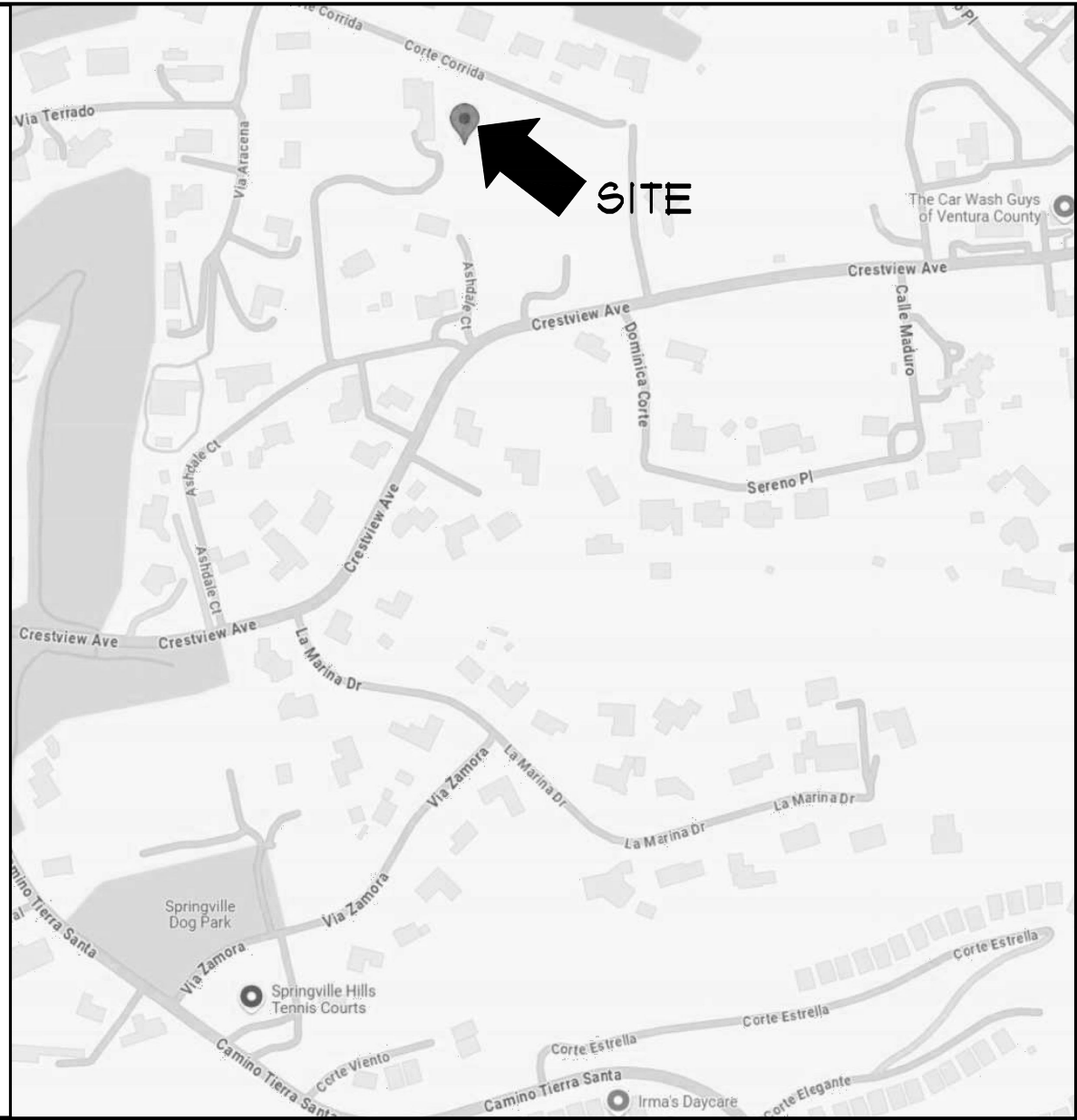


VICINITY MAP



PROJECT NOTES

- 1) COPYRIGHT:  
All plans, designs, and concepts shown in these drawings are the exclusive property of arc DESIGN GROUP, INC. and shall not be used, disclosed, or reproduced for any purpose whatsoever without written permission.
- 2) CODES:  
This project is governed by the 2022 Edition of the California Building Code. Code compliance is mandatory. The drawings and notes shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals.
- 3) FIELD VERIFICATION:  
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify arc DESIGN GROUP, INC. of any conflicts or discrepancies in the drawings immediately.
- 4) DIMENSIONS:  
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify arc DESIGN GROUP, INC. of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood furring or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete slab, top of plywood or light weight concrete, and top of wall plates and/or beams unless otherwise noted.
- 5) DISCREPANCIES:  
The Owner has requested arc DESIGN GROUP, INC. provide limited design and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify arc DESIGN GROUP, INC. Failure to give simple notice shall relieve arc DESIGN GROUP, INC. of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from arc DESIGN GROUP, INC.
- 6) DUTY OF COOPERATION:  
Release of these plans contemplates further cooperation among the Owner, his Contractor, and arc DESIGN GROUP, INC. Design and construction are complex. Although arc DESIGN GROUP, INC. and their consultants have performed their services with due care and diligence, they cannot guarantee perfection. Every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to arc DESIGN GROUP, INC. Failure to notify arc DESIGN GROUP, INC. compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice shall relieve arc DESIGN GROUP, INC. from responsibility for all consequences.
- 7) CHANGES TO THE WORK:  
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans made without consent of arc DESIGN GROUP, INC. are unauthorized and shall relieve arc DESIGN GROUP, INC. of responsibility for any and all consequences resulting from such changes.
- 8) WORKMANSHIP:  
It is the intent and meaning of these drawings that the Contractor and each Subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) SUBSTITUTIONS:  
Substitution of "equal" products will be acceptable with the approval of arc DESIGN GROUP, INC.
- 10) CONSTRUCTION SAFETY:  
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) EXCAVATION PROCEDURES:  
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of the foundation design. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER and any other required agency.
- 12) FIELD MODIFICATIONS OF STRUCTURAL MEMBERS:  
The General Contractor and Subcontractors shall field coordinate and obtain approval from the Engineer of record before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building.
- 13) WEATHER CONDITIONS:  
Extended exposure of underlayments, framing and sheathing is damaging to these building components. The Contractor should schedule construction accordingly to avoid extended exposures to components not intended to be exposed to the elements. When weather conditions dictate, the appropriate measures should be taken to protect these building components.
- 14) PROJECT SURVEYING AND STAKING:  
The general contractor shall verify all existing grades and survey and stake all building corners including driveway location for Owner/arc DESIGN GROUP, INC. approval prior to beginning any grading.
- 15) PROJECT GRADES:  
The General Contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail.

CRESTVIEW LOT 3 RESIDENCE

592 CORTE CORRIDA  
CAMARILLO, CA 93010

A.P.N. 152-0-420-035 TRACT 5920, LOT 3

LANDSCAPE ARCHITECT:  
**RICHARD DEPALMA**

589 SPRING STREET  
OAK VIEW, CA 93022  
TELEPHONE: 805 766 4123

CIVIL ENGINEER:  
**DELANE ENGINEERING INC.**

400 VENTURA BLVD., SUITE 265  
CAMARILLO, CA 93010  
TELEPHONE: 805 330 9730

DESIGN & PLANS BY:  
**arc DESIGN GROUP, INC.**

175 E. WILBUR ROAD, SUITE 202  
THOUSAND OAKS, CA 91360  
TELEPHONE: 805 484 4277

SOILS ENGINEER:  
**WORKMAN GEOTECHNICAL**

1141 EAST MAIN STREET  
VENTURA, CA 93001  
TELEPHONE: 805 850 2025

| DRAWING INDEX |                                                     |
|---------------|-----------------------------------------------------|
| PAGE          | DESCRIPTION                                         |
| ARCHITECTURAL |                                                     |
| A1.1          | COVERSHEET, DRAWING INDEX, VICINITY MAP & SITE PLAN |
| A1.1a         | ENLARGED SITE PLAN (PARTIAL)                        |
| A2.1          | FLOOR PLAN                                          |
| A2.2          | HIGH LEVEL FLOOR PLAN                               |
| A2.3          | ACCESSORY DWELLING UNIT - FLOOR AND ROOF PLANS      |
| A5.1          | ROOF PLAN                                           |
| A6.1          | EXTERIOR ELEVATIONS                                 |
| A6.2          | EXTERIOR ELEVATIONS                                 |
| A6.3          | ACCESSORY DWELLING UNIT - EXTERIOR ELEVATIONS       |
| CIVIL         |                                                     |
| C 1 OF 3      | GRADING IMPROVEMENT PLANS COVER SHEET               |
| C 2 OF 3      | PRECISE GRADING AND DRAINAGE PLAN                   |
| C 3 OF 3      | HORIZONTAL CONTROL PLAN AND DETAILS                 |

LOT 3



175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JT ENGINEERING  
ASSOCIATES, INC.  
107 N REINO ROAD, SUITE #153  
NEWBURY PARK, CA  
91320-3110  
805 480 9450

OWNER:  
B&M  
CONTRACTORS INC.  
4473 COCHRAN STREET  
SIMI VALLEY, CA  
93063  
(805) 581-5480

CRESTVIEW LOT 3 RESIDENCE

592 CORTE CORRIDA  
CAMARILLO, CA 93010  
A.P.N. 152-0-420-035 TRACT 5920, LOT 3

COVERSHEET,  
DRAWING INDEX,  
VICINITY MAP & SITE  
PLAN

SHEET TITLE:

DRAWING SCALE:  
1" = 20'-0"

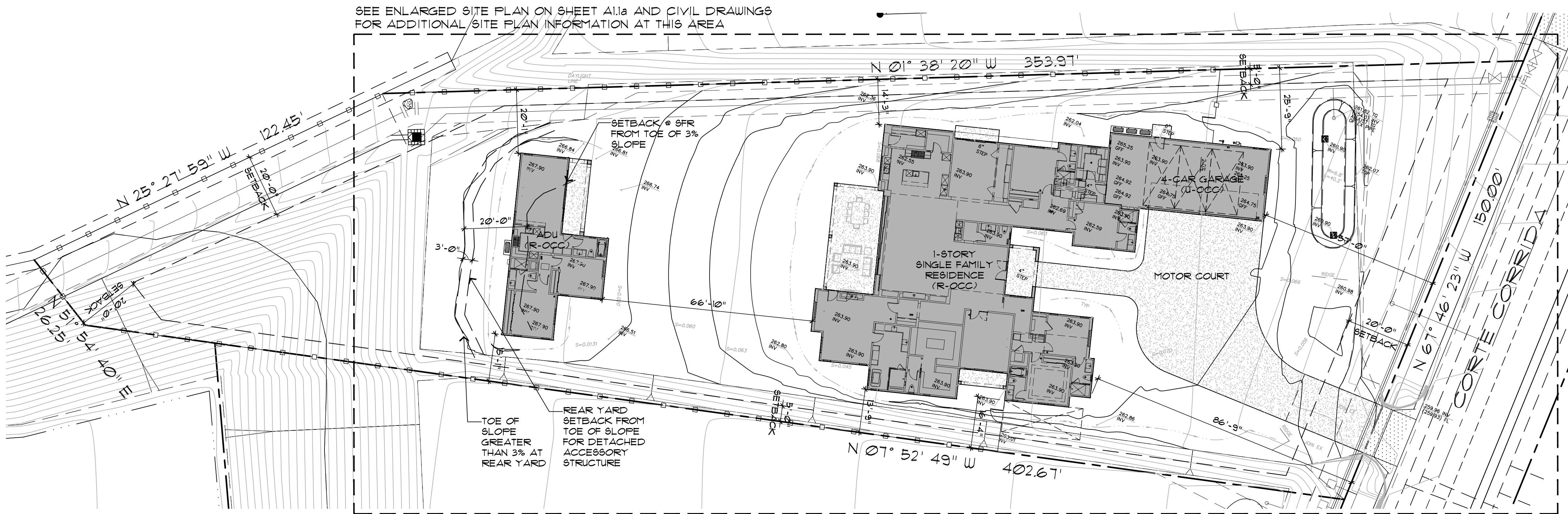
DATE:  
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.

A1.1

Lot 3



LEGEND:

PROPOSED RESIDENCE  
FLOOR AREA

SITE PLAN  
SCALE: 1" = 20'-0"



APPLICABLE CODES:

ALL WORK SHALL COMPLY WITH THE  
2022 CALIFORNIA RESIDENTIAL CODE,  
2022 CALIFORNIA BUILDING CODE,  
2022 CALIFORNIA PLUMBING CODE,  
2022 CALIFORNIA MECHANICAL CODE,  
2022 CALIFORNIA ELECTRICAL CODE,  
2022 CALIFORNIA EXISTING BUILDING CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE  
AS AMENDED BY CITY ORDINANCE, &  
2022 CALIFORNIA ENERGY CODE.

OCCUPANCY GROUP CLASSIFICATION:

DWELLING, "R-3" - SINGLE FAMILY DWELLINGS AND  
GARAGE; "U" - ATTACHED PRIVATE GARAGE

NOTE:  
1-HOUR FIRE RESISTIVE OCCUPANCY SEPARATION SHALL BE  
PROVIDED BETWEEN R-3 AND U OCCUPANCIES AS INDICATED  
ON FLOOR PLAN

CONSTRUCTION TYPE:

TYPE "V-B" (SPRINKLERED)

ZONING:

LOT ZONING: RE-1 ACRE

REQUIRED SETBACKS:

FRONT YARD: 20'-0"  
SIDE YARD: 10'-0"  
REAR YARD: 20'-0"  
ACCESSORY SETBACK: 3'-0"  
ADU REAR AND SIDE YARD SETBACKS: 4'-0"

BUILDING HEIGHT (ALLOWABLE):

PROPOSED BUILDING HEIGHT = 23'-11"  
MAX. ALLOWED BUILDING HEIGHT = 35'-0"

PROPOSED ADU HEIGHT = 15'-9"  
MAX. ALLOWED ADU BUILDING HEIGHT = 16'-0"

SCOPE OF WORK:

- NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH  
ATTACHED GARAGE
- NEW DETACHED ACCESSORY DWELLING UNIT
- SITE IMPROVEMENTS
- PHOTOVOLTAIC SYSTEM TO BE ROOF MOUNTED AND WILL  
BE UNDER SEPARATE BUILDING PERMIT

SITE SUMMARY:

LOT SIZE: 143,581 SQ. FT. (3.26 ACRES)  
HOUSE, ADU, GARAGE, AND COVER/S FOOTPRINTS: 15,491 SQ. FT.

PROPOSED LOT COVERAGE: 8,166 / 43,581 = 20.1%

AREA CALCULATION

FLOOR AREA: 5,509 SQ. FT.

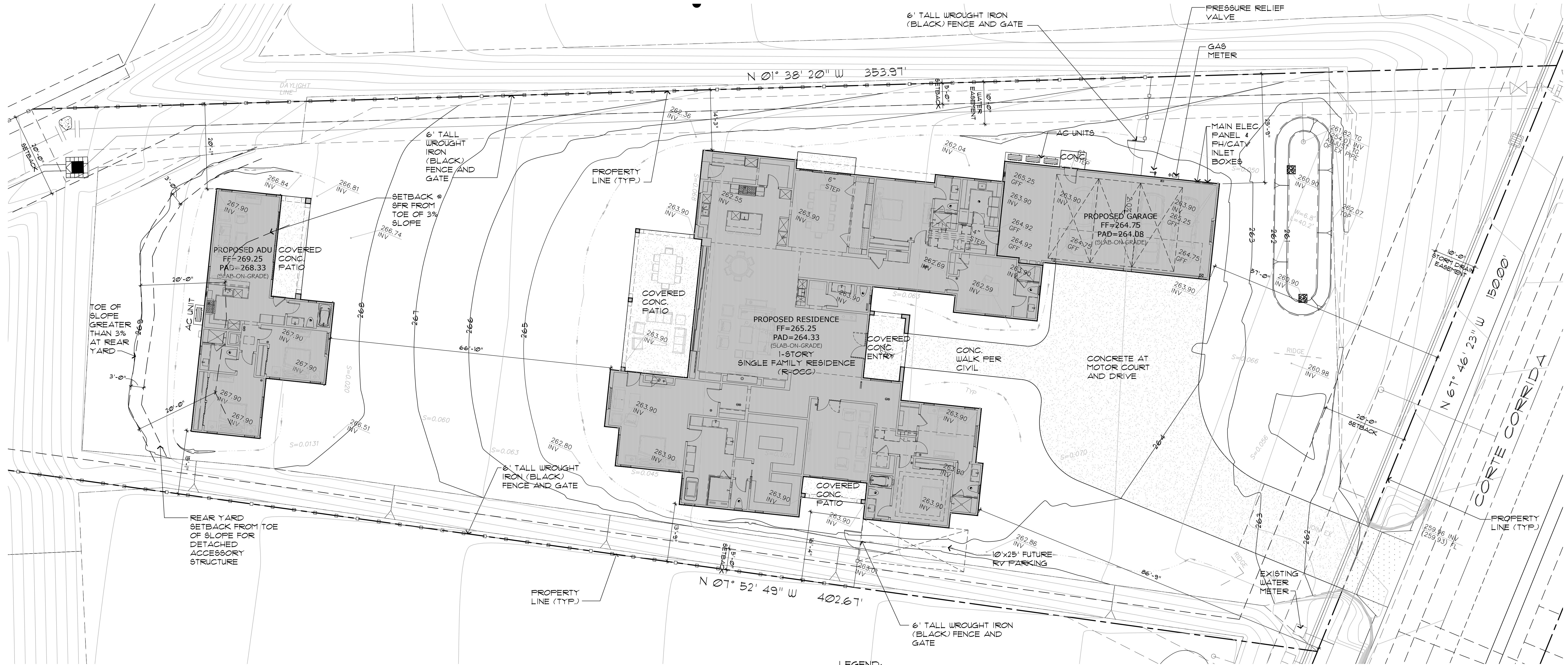
4-CAR GARAGE AND STORAGE: 1,118 SQ. FT.

EXTERIOR COVERED AREAS: 712 SQ. FT.

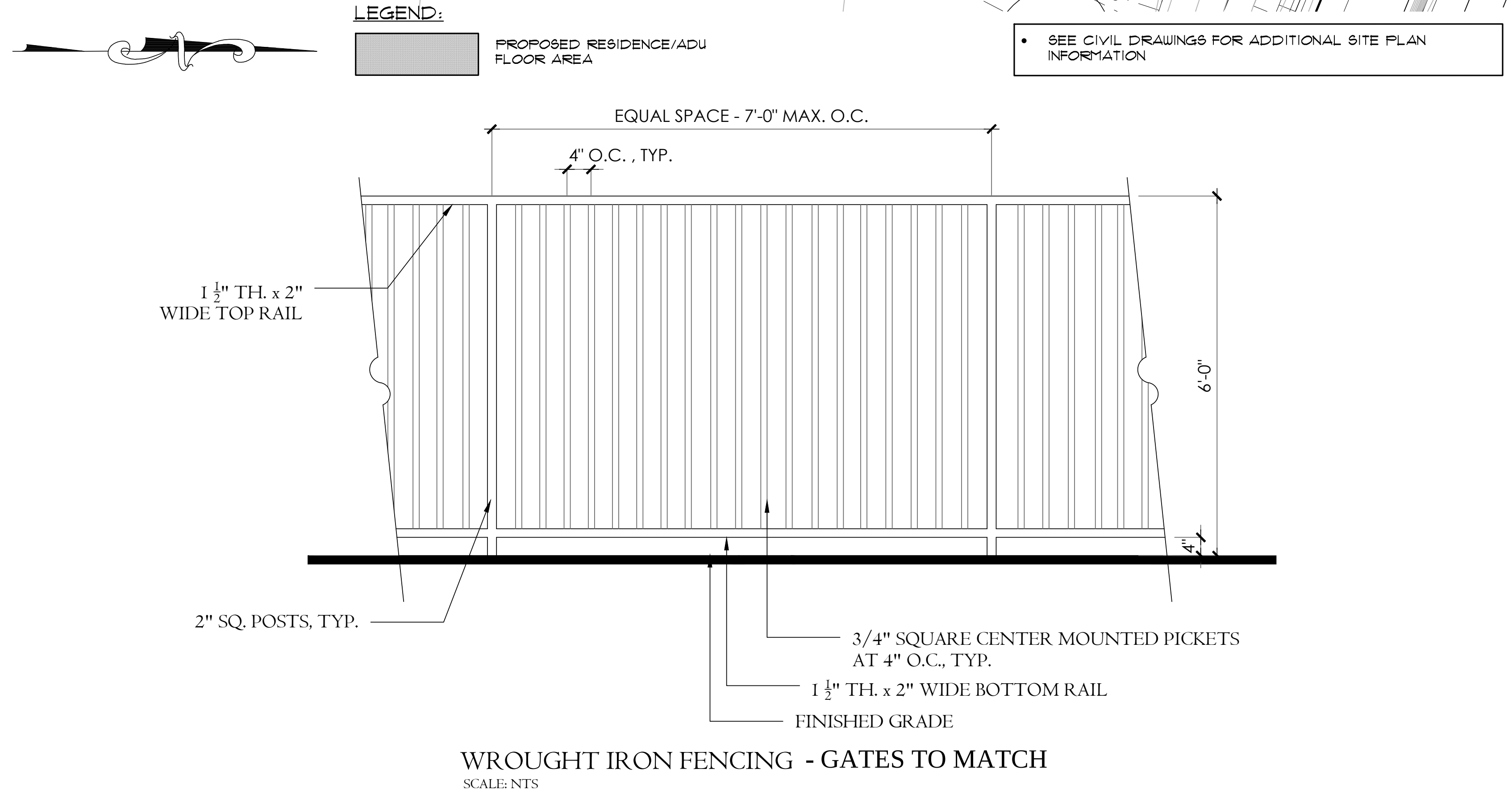
ACCESSORY DWELLING UNIT LIVING AREA: 1,199 SQ. FT.

ADU COVERED PATIO AREAS: 168 SQ. FT.

NOTE:  
AREA CALCULATIONS ARE FOR CODE COMPLIANCE PURPOSES ONLY.  
AREAS SHALL BE RECALCULATED IF USED FOR ANY OTHER  
PURPOSE.



ENLARGED SITE PLAN  
SCALE: 1" = 10'-0"



LOT 3



175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JT ENGINEERING  
ASSOCIATES, INC.  
107 N REINOLD ROAD, SUITE #153  
NEWBURY PARK, CA  
91320-3110  
805 480 9450

OWNER:  
B&M  
CONTRACTORS INC.  
4473 COCHRAN STREET  
SIMI VALLEY, CA  
93063  
(805) 581-5480

PROJECT: CRESTVIEW LOT 3 RESIDENCE  
592 CORTE CORRIDA  
CAMARILLO, CA 93010  
A.P.N. 152-0-420-035 TRACT 5920, LOT 3

SHEET TITLE:  
ENLARGED SITE PLAN

DRAWING SCALE:  
1" = 10'-0"

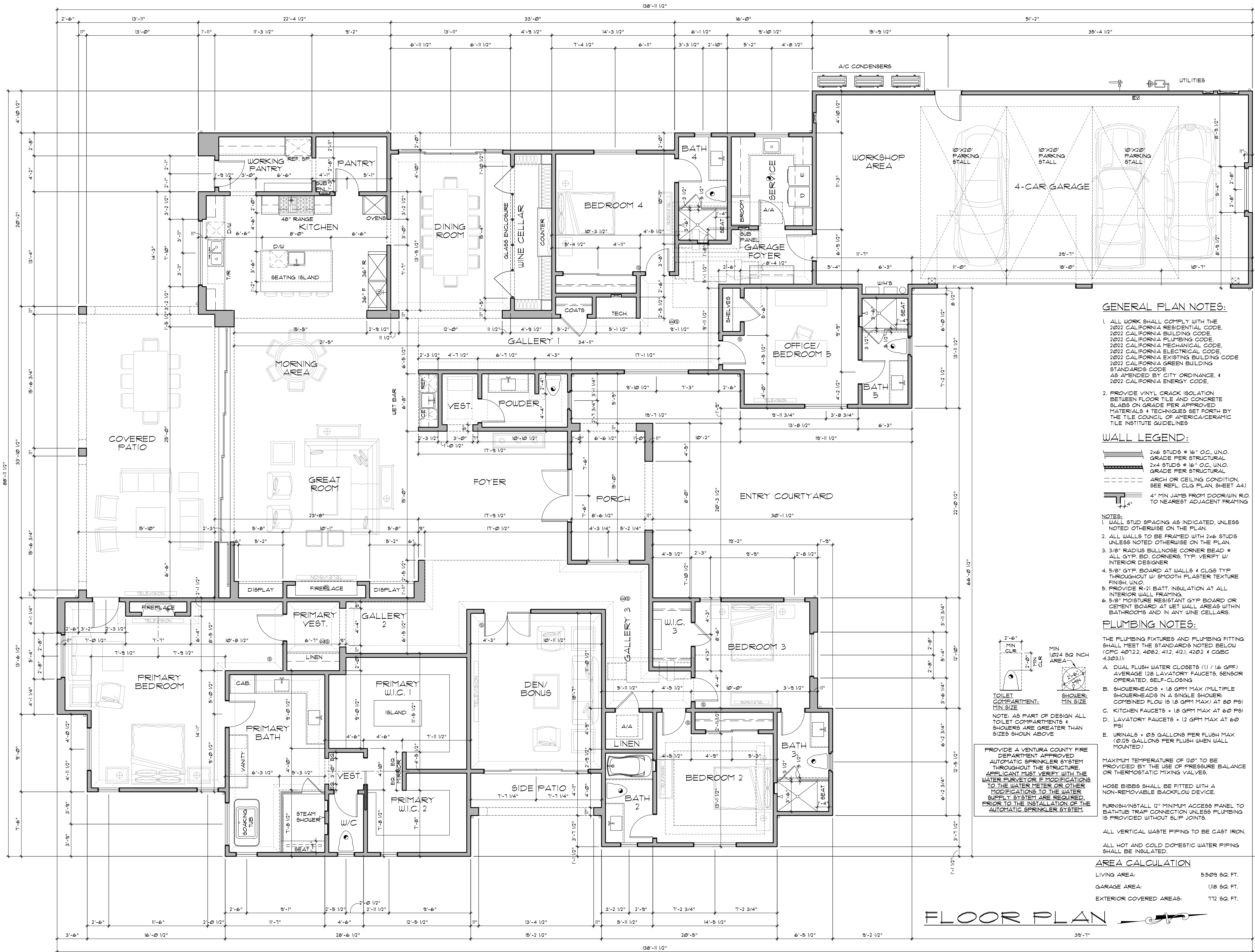
DATE:  
SEPTEMBER 23, 2025

REVISIONS:

| NO. | DESCRIPTION |
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|     |             |
|     |             |
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|     |             |

SHEET NO.  
A1.1a

Lot 3



GENERAL PLAN NOTES:

- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA EXISTING BUILDING CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, AS AMENDED BY CITY ORDINANCE, & 2022 CALIFORNIA ENERGY CODE.
- PROVIDE VINYL CRACK ISOLATION BETWEEN FLOOR TILE AND CONCRETE SLABS ON GRADE PER APPROVED MATERIALS & TECHNIQUES SET FORTH BY THE TILE COUNCIL OF AMERICA/CERAMIC TILE INSTITUTE GUIDELINES

WALL LEGEND:

- 2x6 STUDS @ 16" O.C. UNO. GRADE PER STRUCTURAL
- 2x4 STUDS @ 16" O.C. UNO. GRADE PER STRUCTURAL
- ARCH OR CEILING CONDITION, SEE REFL. CLG PLAN, SHEET A41
- 4" MIN JAMB FROM DOOR/WIN R.O. TO NEAREST ADJACENT FRAMING

NOTES:

- WALL STUD SPACING AS INDICATED, UNLESS NOTED OTHERWISE ON THE PLAN.
- ALL WALLS TO BE FRAMED WITH 2x6 STUDS UNLESS NOTED OTHERWISE ON THE PLAN.
- 3/8" RADIUS BULLNOSE CORNER BEAD @ ALL GYP. BD. CORNERS, TYP. VERIFY W/ INTERIOR DESIGNER
- 5/8" GYP. BOARD AT WALLS & CLGS TYP THROUGHOUT W/ SMOOTH PLASTER TEXTURE FINISH UNO.
- PROVIDE R-21 BATT. INSULATION AT ALL INTERIOR WALL FRAMING.
- 5/8" MOISTURE RESISTANT GYP BOARD OR CEMENT BOARD AT WET WALL AREAS WITHIN BATHROOMS AND IN ANY WINE CELLARS.

PLUMBING NOTES:

- THE PLUMBING FIXTURES AND PLUMBING FITTING SHALL MEET THE STANDARDS NOTED BELOW (CPC 40722, 4082, 412, 412.1, 4202 & CGBC 4303.1):
- DUAL FLUSH WATER CLOSETS (11 / 1/6 GPF) AVERAGE 120 LAVATORY FAUCETS, SENSOR OPERATED, SELF-CLOSING
  - SHOWERHEADS = 18 GPM MAX (MULTIPLE SHOWERHEADS IN A SINGLE SHOWER COMBINED FLOW 16 1/2 GPM MAX) AT 80 PSI
  - KITCHEN FAUCETS = 18 GPM MAX AT 60 PSI
  - LAVATORY FAUCETS = 12 GPM MAX AT 60 PSI
  - URINALS = 0.5 GALLONS PER FLUSH MAX (0.25 GALLONS PER FLUSH WHEN WALL MOUNTED)

MAXIMUM TEMPERATURE OF 120° TO BE PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES.

HOSE BIBBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW DEVICE.

FURNISH/INSTALL 12" MINIMUM ACCESS PANEL TO BATHTRAP TRAP CONNECTION UNLESS PLUMBING IS PROVIDED WITHOUT SLIP JOINTS.

ALL VERTICAL WASTE PIPING TO BE CAST IRON.

ALL HOT AND COLD DOMESTIC WATER PIPING SHALL BE INSULATED.

AREA CALCULATION

|                         |              |
|-------------------------|--------------|
| LIVING AREA:            | 5509 SQ. FT. |
| GARAGE AREA:            | 1110 SQ. FT. |
| EXTERIOR COVERED AREAS: | 772 SQ. FT.  |

LOT 3



175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JT ENGINEERING  
ASSOCIATES, INC.  
107 N REINO ROAD, SUITE #153  
NEWBURY PARK, CA  
91320-3110  
805 480 9450

OWNER:  
B&M  
CONTRACTORS INC.  
4473 COCHRAN STREET  
SIMI VALLEY, CA  
93063  
(805) 581-5480

CRESTVIEW LOT 3 RESIDENCE

PROJECT:

FLOOR PLAN

SHEET TITLE:

DRAWING SCALE:  
1/4" = 1'-0"

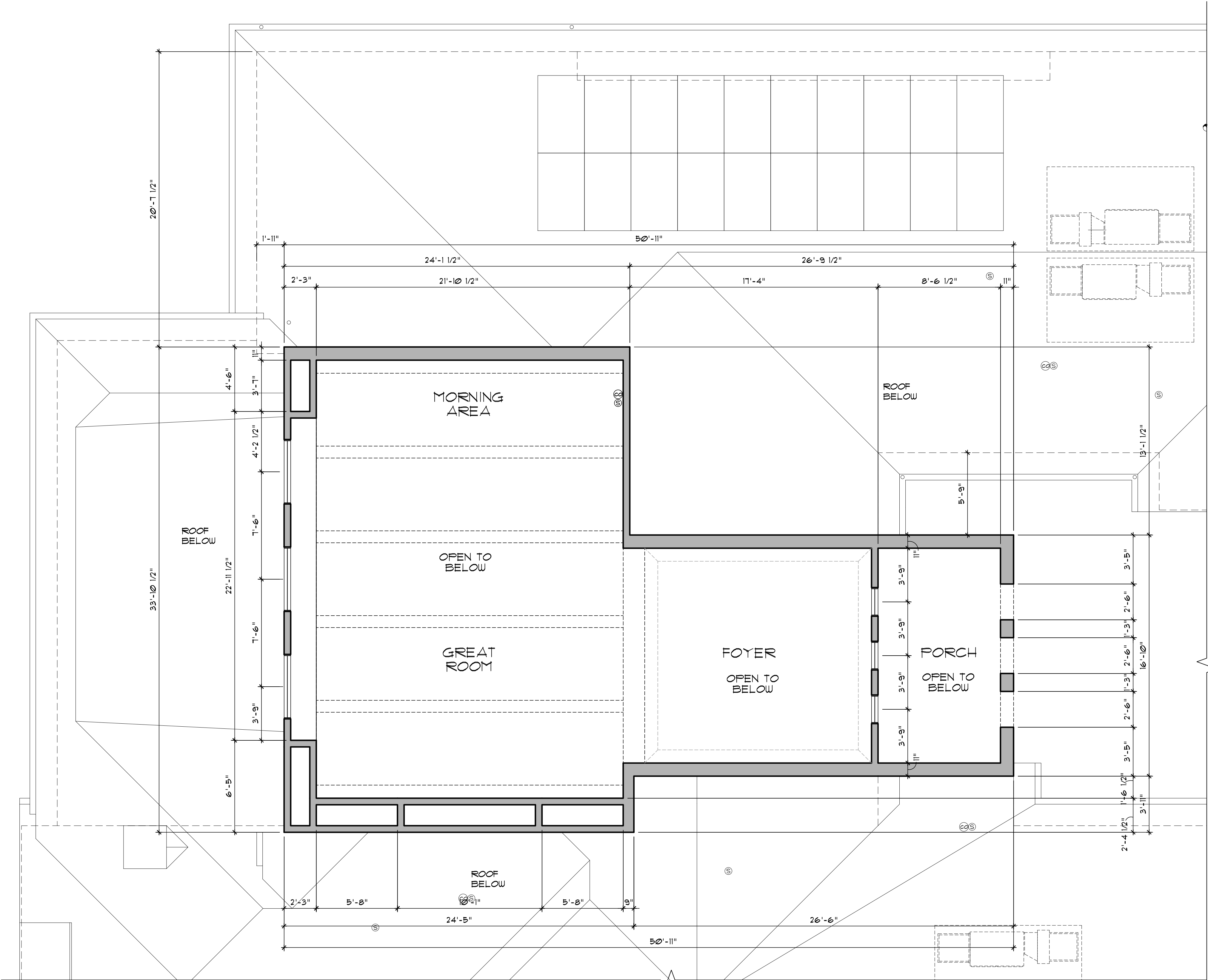
DATE:  
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.

A2.1

Lot 3



HIGH LEVEL FLOOR PLAN



PROVIDE A VENTURA COUNTY FIRE DEPARTMENT APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE. APPLICANT MUST VERIFY WITH THE WATER PURVEYOR IF MODIFICATIONS TO THE WATER METER OR OTHER MODIFICATIONS TO THE WATER SUPPLY SYSTEM ARE REQUIRED. PRIOR TO THE INSTALLATION OF THE AUTOMATIC SPRINKLER SYSTEM.

- GENERAL PLAN NOTES:
- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA EXISTING BUILDING CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, AS AMENDED BY CITY ORDINANCE, & 2022 CALIFORNIA ENERGY CODE.
  - PROVIDE VINYL CRACK ISOLATION BETWEEN FLOOR TILE AND CONCRETE SLABS ON GRADE PER APPROVED MATERIALS & TECHNIQUES SET FORTH BY THE TILE COUNCIL OF AMERICA/CERAMIC TILE INSTITUTE GUIDELINES

- WALL LEGEND:
- 2x6 STUDS @ 16" O.C. UNO. GRADE PER STRUCTURAL
  - 2x4 STUDS @ 16" O.C. UNO. GRADE PER STRUCTURAL
  - ARCH OR CEILING CONDITION. SEE REFL. CLG PLAN, SHEET A4.1
  - 4" MIN JAMB FROM DOOR/WIN R.O. TO NEAREST ADJACENT FRAMING

- NOTES:
- WALL STUD SPACING AS INDICATED, UNLESS NOTED OTHERWISE ON THE PLAN.
  - ALL WALLS TO BE FRAMED WITH 2x6 STUDS UNLESS NOTED OTHERWISE ON THE PLAN.
  - SQUARE CORNER BEAD @ ALL GYP. BD. CORNERS. TYP. VERIFY W/ OWNER
  - 5/8" GYP. BOARD AT WALLS & CLGS TYP. THROUGHOUT W/ SMOOTH TEXTURE UNO.
  - PROVIDE R-21 BATT. INSULATION AT ALL INTERIOR WALL FRAMING.
  - 5/8" MOISTURE RESISTANT GYP BOARD OR CEMENT BOARD AT WET WALL AREAS WITHIN BATHROOMS AND IN ANY WINE CELLARS.

LOT 3



arc  
DESIGN  
GROUP  
ARTISTIC  
RESIDENTIAL  
CREATIONS

175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JT ENGINEERING  
ASSOCIATES, INC.  
107 N REINO ROAD, SUITE #153  
NEWBURY PARK, CA  
91320-3110  
805 480 9450

OWNER:  
B&M  
CONTRACTORS INC.  
4473 COCHRAN STREET  
SIMI VALLEY, CA  
93063  
(805) 581-5480

PROJECT:  
**CRESTVIEW LOT 3 RESIDENCE**  
592 CORTE CORRIDA  
CAMARILLO, CA 93010  
A.P.N. 152-0-420-035 TRACT 5920, LOT 3

SHEET TITLE:  
**HIGH LEVEL FLOOR PLAN**

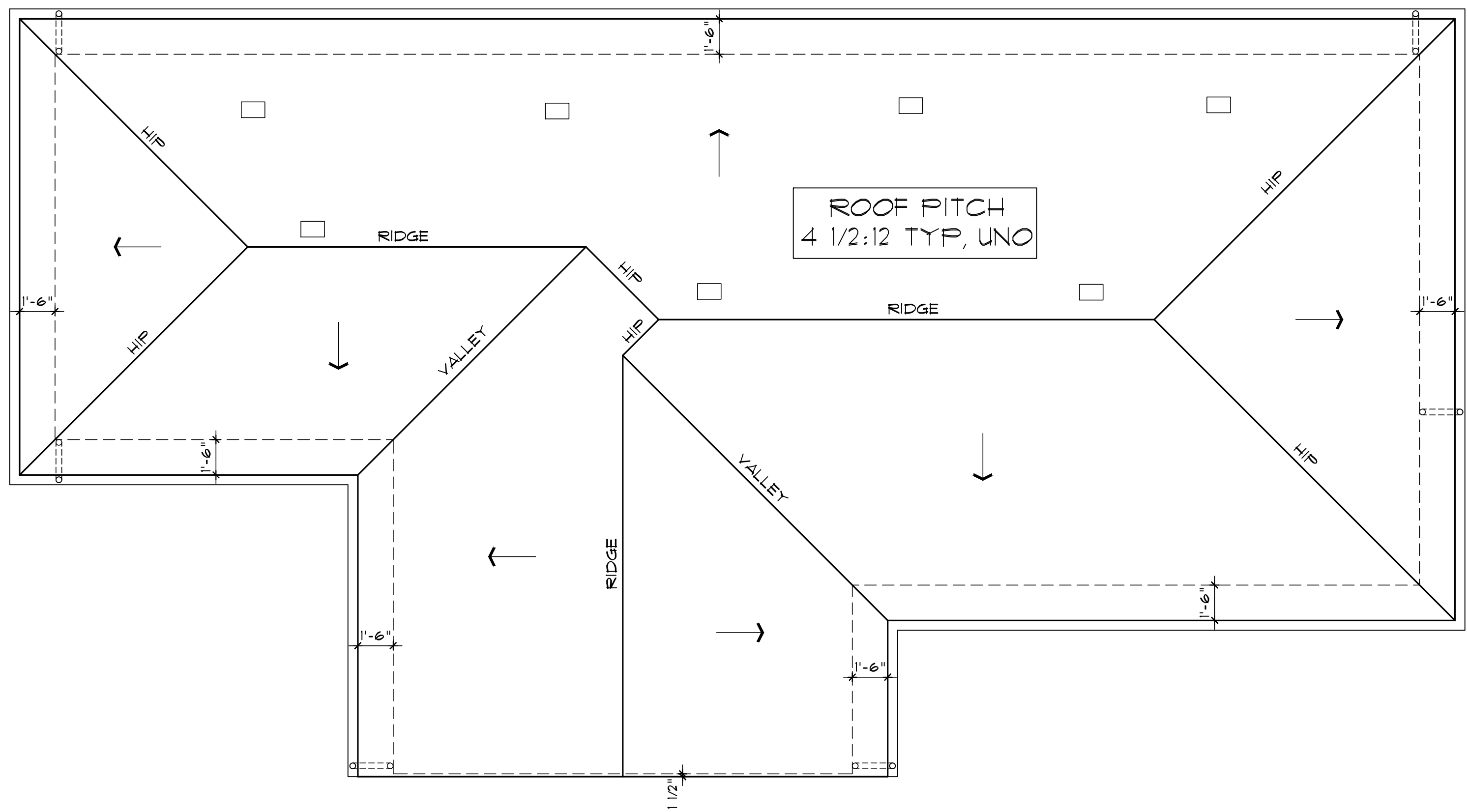
DRAWING SCALE:  
1/4" = 1'-0"

DATE:  
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.  
**A2.2**

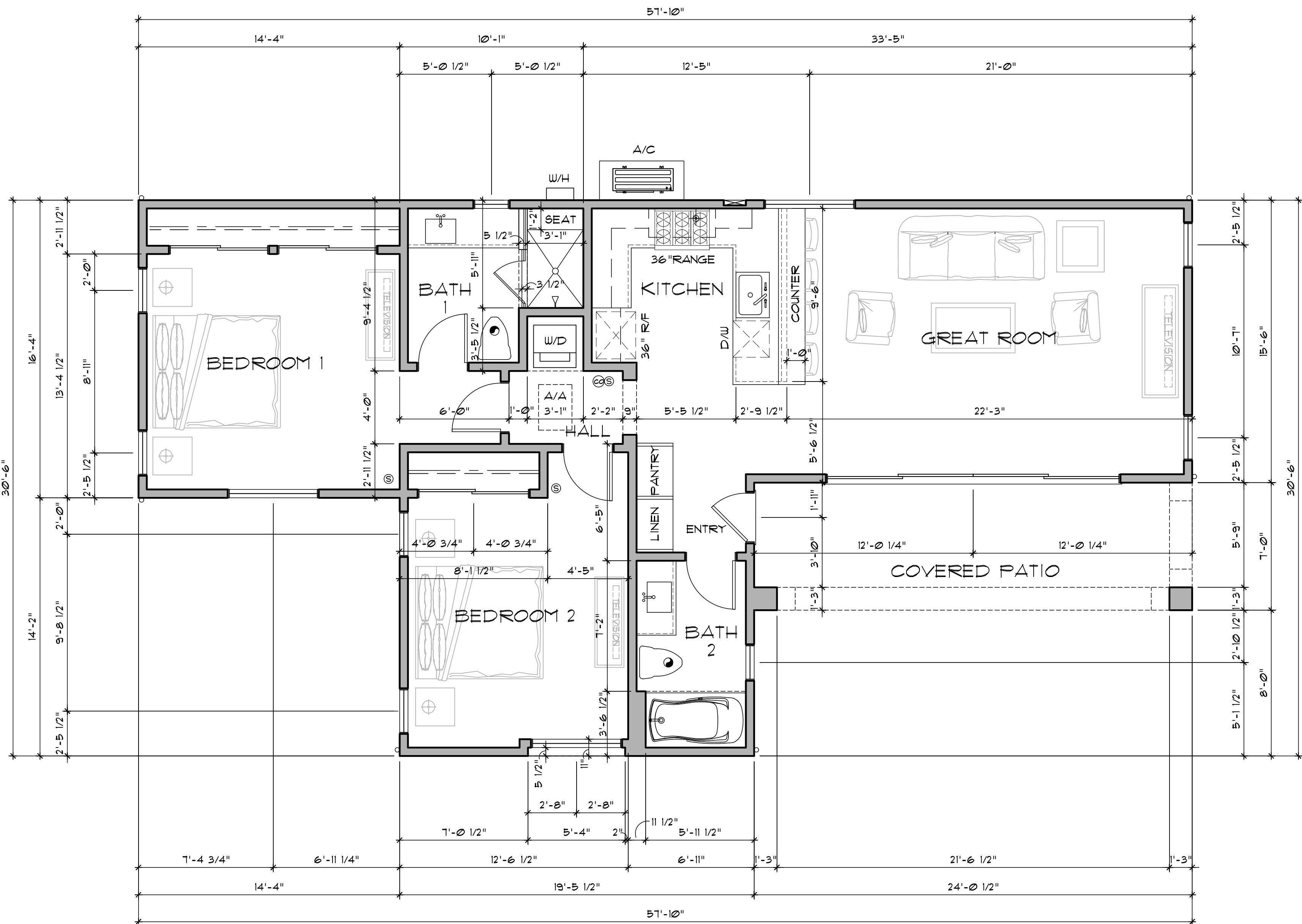
Lot 3



ADU ROOF PLAN

ROOF MATERIAL:

**ROOF TILE:**  
CLASS 'A', CLAY TILE BY MCA CLAY ROOF TILE  
(IAPMO UNIFORM EVALUATION REPORT NO. 0356  
AND ASTM C1161, GRADE 1)  
  
60% B221 EL DORADO BLEND & 40% B3350 OLD  
BARCELONA BLEND  
W/ MULTI-LAYERED, STACKED HIPS & RIDGES,  
"CLOSED" VALLEYS, LIGHT MORTAR, (15%) AT  
FIELD TILES & MORTAR EAVE FLUGS OVER  
2-LAYERS OF 40 LB. FELT. (MAXIMUM TILE WEIGHT  
NOT TO EXCEED 12 psf.)  
  
PROVIDE FULL SIZE SAMPLE FOR OWNER &  
DESIGNER APPROVAL PRIOR TO ORDERING  
MATERIAL  
  
ALL ROOF FLASHING SHALL BE: ALUMINUM UNO. -  
PAINT/FINISH EXPOSED ROOF FLASHINGS TO  
MATCH ROOF COLOR



ADU FLOOR PLAN

WALL LEGEND:

- 2x6 STUDS @ 16" O.C., UNO.  
GRADE PER STRUCTURAL
- 2x4 STUDS @ 16" O.C., UNO.  
GRADE PER STRUCTURAL
- ARCH OR CEILING CONDITION.  
SEE REF. CLG PLAN, SHEET A41
- 4" MIN. JAMB FROM DOOR/WIN. RO.  
TO NEAREST ADJACENT FRAMING

- NOTES:
- WALL STUD SPACING AS INDICATED, UNLESS NOTED OTHERWISE ON THE PLAN.
  - ALL WALLS TO BE FRAMED WITH 2x6 STUDS UNLESS NOTED OTHERWISE ON THE PLAN.
  - SQUARE CORNER BEAD @ ALL GYP. BD. CORNERS TYP. VERIFY W/ OWNER
  - 5/8" GYP. BOARD AT WALLS & CLGS TYP. THROUGHOUT W/ SMOOTH TEXTURE, UNO.
  - PROVIDE R-21 BATT. INSULATION AT ALL INTERIOR WALL FRAMING.
  - 5/8" MOISTURE RESISTANT GYP BOARD OR CEMENT BOARD AT WET WALL AREAS WITHIN BATHROOMS AND IN ANY WINE CELLARS.

PROVIDE A VENTURA COUNTY FIRE DEPARTMENT APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE. APPLICANT MUST VERIFY WITH THE WATER PURVEYOR IF MODIFICATIONS TO THE WATER METER OR OTHER MODIFICATIONS TO THE WATER SUPPLY SYSTEM ARE REQUIRED PRIOR TO THE INSTALLATION OF THE AUTOMATIC SPRINKLER SYSTEM.

GENERAL PLAN NOTES:

- ALL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA RESIDENTIAL CODE, 2022 CALIFORNIA BUILDING CODE, 2022 CALIFORNIA PLUMBING CODE, 2022 CALIFORNIA MECHANICAL CODE, 2022 CALIFORNIA ELECTRICAL CODE, 2022 CALIFORNIA EXISTING BUILDING CODE, 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE, AS AMENDED BY CITY ORDINANCE, & 2022 CALIFORNIA ENERGY CODE.
- PROVIDE VINYL CRACK ISOLATION BETWEEN FLOOR TILE AND CONCRETE SLABS ON GRADE PER APPROVED MATERIALS & TECHNIQUES SET FORTH BY THE TILE COUNCIL OF AMERICA/CERAMIC TILE INSTITUTE GUIDELINES

PLUMBING NOTES:

- THE PLUMBING FIXTURES AND PLUMBING FITTING SHALL MEET THE STANDARDS NOTED BELOW (CFC 401.12, 408.2, 411.2, 412.1, 420.2 & CGBC 4.303.1.)
- DUAL FLUSH WATER CLOSETS (11 / 16 GPF) AVERAGE 128 LAVATORY FAUCETS, SENSOR OPERATED, SELF-CLOSING
  - SHOWERHEADS = 18 GPM MAX (MULTIPLE SHOWERHEADS IN A SINGLE SHOWER: COMBINED FLOW IS 18 GPM MAX) AT 80 PSI
  - KITCHEN FAUCETS = 18 GPM MAX AT 60 PSI
  - LAVATORY FAUCETS = 12 GPM MAX AT 60 PSI
  - URNALS = 0.5 GALLONS PER FLUSH MAX (0.25 GALLONS PER FLUSH WHEN WALL MOUNTED)

MAXIMUM TEMPERATURE OF 120° TO BE PROVIDED BY THE USE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVES.

HOSE BIBBS SHALL BE FITTED WITH A NON-REMOVABLE BACKFLOW DEVICE.

FURNISH/INSTALL 12" MINIMUM ACCESS PANEL TO BATHTUB TRAP CONNECTION UNLESS PLUMBING IS PROVIDED WITHOUT SLIP JOINTS.

ALL VERTICAL WASTE PIPING TO BE CAST IRON.

ALL HOT AND COLD DOMESTIC WATER PIPING SHALL BE INSULATED.

AREA CALCULATION

TOTAL LIVING AREA: 1,195 SQ. FT.  
EXTERIOR COVERED AREA: 168 SQ. FT.

LOT 3



175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JT ENGINEERING  
ASSOCIATES, INC.  
107 N REINO ROAD, SUITE #153  
NEWBURY PARK, CA  
91320-3110  
805 480 9450

OWNER:  
B&M  
CONTRACTORS INC.  
4473 COCHRAN STREET  
SIMI VALLEY, CA  
93063  
(805) 581-5480

CRESTVIEW LOT 3 RESIDENCE

592 CORTE CORRIDA  
CAMARILLO, CA 93010  
A.P.N. 152-0-420-035 TRACT 5920, LOT 3

ADU FLOOR AND ROOF  
PLANS

DRAWING SCALE:  
1/4" = 1'-0"

DATE:  
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.

A2.3

Lot 3



175 E. WILBUR ROAD  
SUITE 202  
THOUSAND OAKS, CA 91360  
805 484 4277

ENGINEER:  
JT ENGINEERING  
ASSOCIATES, INC.  
107 N REINO ROAD, SUITE #153  
NEWBURY PARK, CA  
91320-3110  
805 480 9450

OWNER:  
B&M  
CONTRACTORS INC.  
4473 COCHRAN STREET  
SIMI VALLEY, CA  
93063  
(805) 581-5480

PROJECT: **CRESTVIEW LOT 3 RESIDENCE**  
592 CORTE CORRIDA  
CAMARILLO, CA 93010  
A.P.N. 152-0-420-035 TRACT 5920, LOT 3

ROOF PLAN

SHEET TITLE:

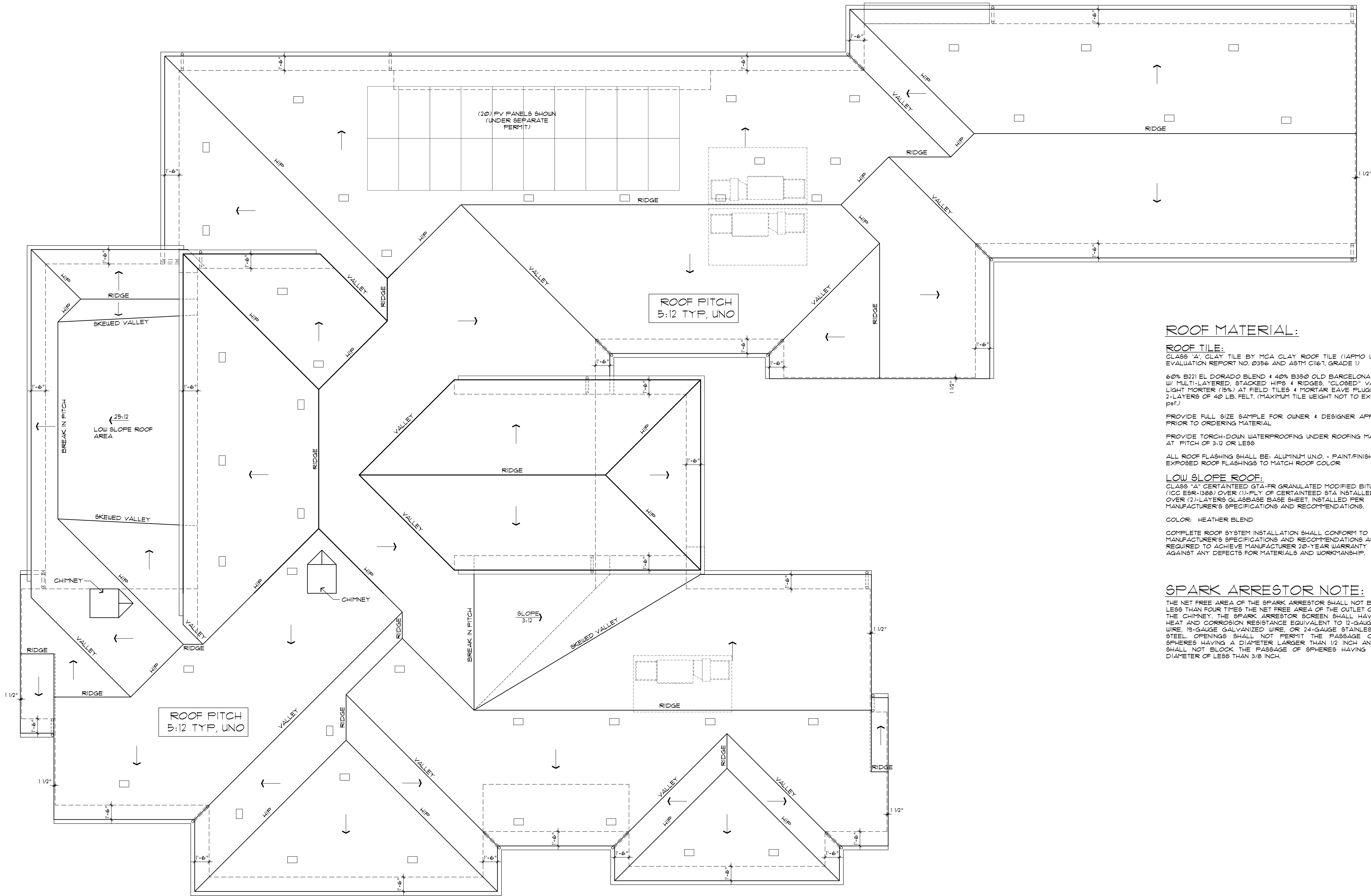
DRAWING SCALE:  
1/4" = 1'-0"

DATE:  
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.

A5.1



ROOF MATERIAL:

**ROOF TILE:**  
CLASS 'A' CLAY TILE BY MCA CLAY ROOF TILE (IAPMO UNIFORM EVALUATION REPORT NO. 0356 AND ASTM C161, GRADE 1)

60% B221 EL DORADO BLEND & 40% B350 OLD BARCELONA BLEND W/ MULTI-LAYERED, STACKED HIPS & RIDGES, "CLOSED" VALLEYS, LIGHT MORTAR (5%) AT FIELD TILES & MORTAR EAVE PLUGS OVER 2-LAYERS OF 40 LB. FELT. (MAXIMUM TILE WEIGHT NOT TO EXCEED 12 psf.)

PROVIDE FULL SIZE SAMPLE FOR OWNER & DESIGNER APPROVAL PRIOR TO ORDERING MATERIAL

PROVIDE TORCH-DOWN WATERPROOFING UNDER ROOFING MATERIAL AT PITCH OF 3:12 OR LESS

ALL ROOF FLASHING SHALL BE: ALUMINUM UNO. - PAINT/FINISH EXPOSED ROOF FLASHINGS TO MATCH ROOF COLOR

**LOW SLOPE ROOF:**  
CLASS 'A' CERTAINTED GTA-FR GRANULATED MODIFIED BITUMEN (ICC ESR-1388) OVER (1)-PLY OF CERTAINTED GTA INSTALLED OVER (2)-LAYERS GLASSBASE BASE SHEET, INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

COLOR: HEATHER BLEND

COMPLETE ROOF SYSTEM INSTALLATION SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AS REQUIRED TO ACHIEVE MANUFACTURER 20-YEAR WARRANTY AGAINST ANY DEFECTS FOR MATERIALS AND WORKMANSHIP.

SPARK ARRESTOR NOTE:

THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY. THE SPARK ARRESTOR SCREEN SHALL HAVE HEAT AND CORROSION RESISTANCE EQUIVALENT TO 12-GAUGE WIRE, 19-GAUGE GALVANIZED WIRE, OR 24-GAUGE STAINLESS STEEL. OPENINGS SHALL NOT PERMIT THE PASSAGE OF SPHERES HAVING A DIAMETER LARGER THAN 1/2 INCH AND SHALL NOT BLOCK THE PASSAGE OF SPHERES HAVING A DIAMETER OF LESS THAN 3/8 INCH.

ROOF PLAN

