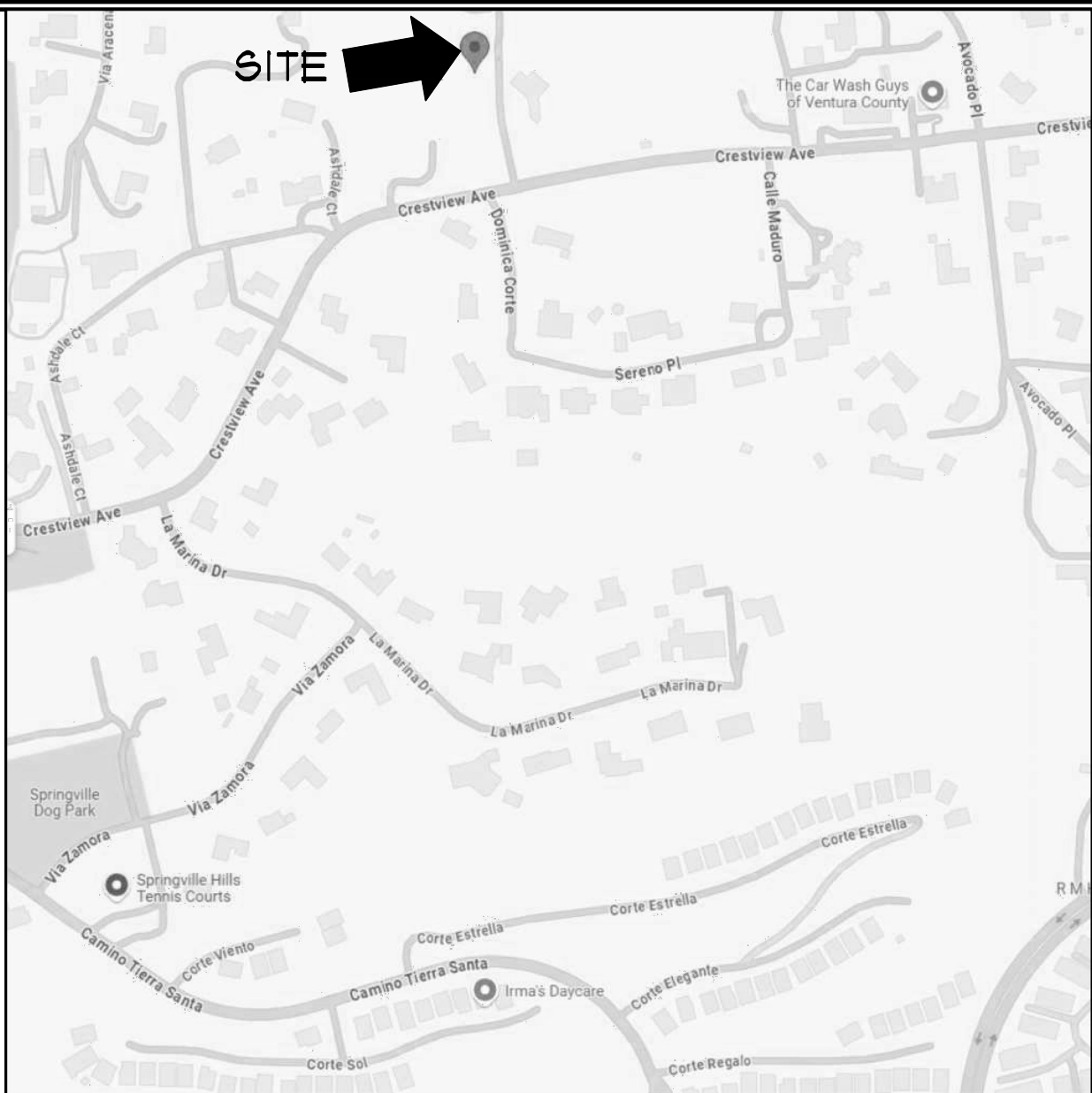


VICINITY MAP



PROJECT NOTES

- 1) **COPYRIGHT:**
All plans, designs, and concepts shown in these drawings are the exclusive property of arc DESIGN GROUP, INC. and shall not be used, disclosed, or reproduced for any purpose whatsoever without written permission.
- 2) **CODES:**
This project is governed by the 2022 Edition of the California Building Code. Code compliance is mandatory. The drawings and notes shall not permit work that does not conform to these codes. The General Contractor and Subcontractors shall be responsible for satisfying all applicable codes and obtaining all permits and required approvals.
- 3) **FIELD VERIFICATION:**
Verify all dimensions, conditions, and utility locations on the job site prior to beginning any work or ordering any materials. Notify arc DESIGN GROUP, INC. of any conflicts or discrepancies in the drawings immediately.
- 4) **DIMENSIONS:**
Written dimensions always take precedence over scaled dimensions. DO NOT SCALE DRAWINGS. Verify all dimensions shown prior to beginning any work and notify arc DESIGN GROUP, INC. of any conflicts or discrepancies for interpretation or clarification. Plan dimensions are to the face of framing members, face of wood framing or face of concrete walls unless otherwise noted. Section or elevation dimensions are to top of concrete slab, top of plywood or light weight concrete, and top of wall plates and/or beams unless otherwise noted.
- 5) **DISCREPANCIES:**
The Owner has requested arc DESIGN GROUP, INC. provide limited design and engineering services. In the event additional details or guidance is needed by the Contractor for construction of any aspect of this project, he shall immediately notify arc DESIGN GROUP, INC. Failure to give simple notice shall relieve arc DESIGN GROUP, INC. of responsibility. Do not proceed in areas of discrepancy until all such discrepancies have been fully resolved with written direction from arc DESIGN GROUP, INC.
- 6) **DUTY OF COOPERATION:**
Release of these plans contemplates further cooperation among the Owner, his Contractor, and arc DESIGN GROUP, INC. Design and construction are complex. Although arc DESIGN GROUP, INC. and their consultants have performed their services with due care and diligence, they cannot guarantee perfection. Every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to arc DESIGN GROUP, INC. Failure to notify arc DESIGN GROUP, INC. compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice shall relieve arc DESIGN GROUP, INC. from responsibility for all consequences.
- 7) **CHANGES TO THE WORK:**
Any items described herein that impact project budget or time shall be requested from the Contractor via a written change order request prior to such work. Performance of such work without approval by change order indicates General Contractor's acknowledgment of no increase in contract sum or time. Changes from the plans made without consent of arc DESIGN GROUP, INC. are unauthorized and shall relieve arc DESIGN GROUP, INC. of responsibility for any and all consequences resulting from such changes.
- 8) **WORKMANSHIP:**
It is the intent and meaning of these drawings that the Contractor and each subcontractor provide all labor, materials, transportation, supplies, equipment, etc., to obtain a complete job within the recognized standards of the industry.
- 9) **SUBSTITUTIONS:**
Substitution of "equal" products will be acceptable with the approval of arc DESIGN GROUP, INC.
- 10) **CONSTRUCTION SAFETY:**
These drawings do not include the necessary components for construction safety. The General Contractor shall provide for the safety, care of utilities and adjacent properties during construction, and shall comply with state and federal safety regulations.
- 11) **EXCAVATION PROCEDURES:**
Upon completion of any excavation, the Owner shall retain a soils engineer to inspect the subsurface conditions in order to determine the adequacy of the foundation design. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER and any other required agency.
- 12) **FIELD MODIFICATIONS OF STRUCTURAL MEMBERS:**
The General Contractor and Subcontractors shall field coordinate and obtain approval from the Engineer of record before any cutting, notching or drilling of any cast-in-place concrete, steel framing, or any other structural elements which may affect the structural integrity of the building.
- 13) **WEATHER CONDITIONS:**
Extended exposure of underlayments, framing and sheathing is damaging to these building components. The Contractor should schedule construction accordingly to avoid extended exposures to components not intended to be exposed to the elements. When weather conditions dictate, the appropriate measures should be taken to protect these building components.
- 14) **PROJECT SURVEYING AND STAKING:**
The general contractor shall verify all existing grades and survey and stake all building corners including driveway location for Owner/arc DESIGN GROUP, INC. approval prior to beginning any grading.
- 15) **PROJECT GRADES:**
The General Contractor shall check and verify all grades including paved area slopes prior to pouring any foundations. Survey work should be verified in detail.

CRESTVIEW LOT 6 RESIDENCE

518 CORTE CORRIDA
CAMARILLO, CA 93010

A.P.N. 152-0-420-065 TRACT 5920, LOT 6

LANDSCAPE ARCHITECT:
RICHARD DEPALMA

589 SPRING STREET
OAK VIEW, CA 93022
TELEPHONE: 805 766 4123

CIVIL ENGINEER:
DELANE ENGINEERING INC.

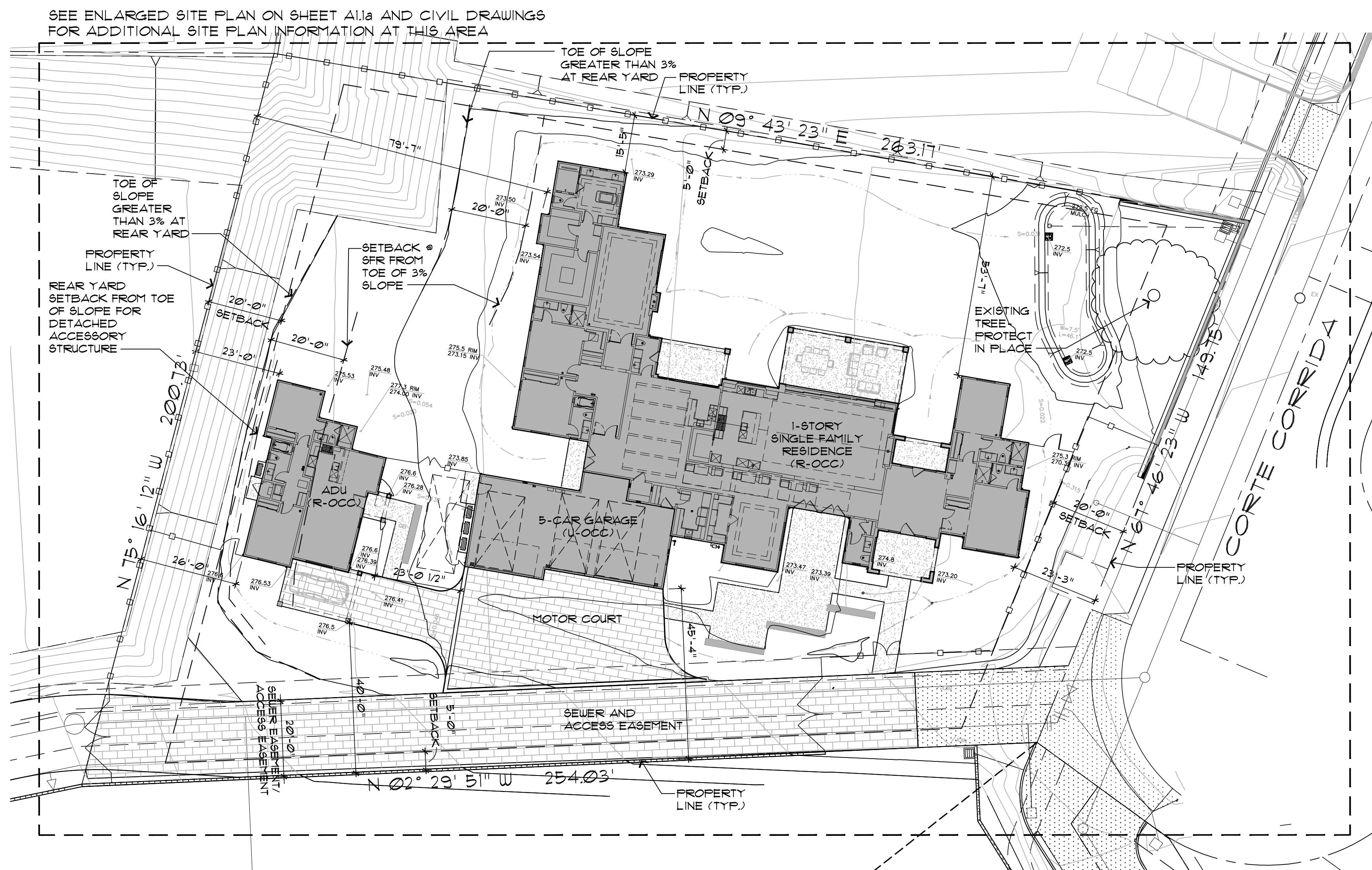
400 VENTURA BLVD., SUITE 265
CAMARILLO, CA 93010
TELEPHONE: 805 330 9730

DESIGN & PLANS BY:
arc DESIGN GROUP, INC.

175 E. WILBUR ROAD, SUITE 202
THOUSAND OAKS, CA 91360
TELEPHONE: 805 484 4277

SOILS ENGINEER:
WORKMAN GEOTECHNICAL

1141 EAST MAIN STREET
VENTURA, CA 93001
TELEPHONE: 805 850 2025



SITE PLAN
SCALE: 1" = 20'-0"

PROVIDE A VENTURA COUNTY FIRE DEPARTMENT APPROVED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT THE STRUCTURE. AFFILIANT MUST VERIFY WITH THE WATER BUREAU OR MODIFICATIONS TO THE WATER METER OR OTHER MODIFICATIONS TO THE WATER SUPPLY SYSTEM ARE REQUIRED PRIOR TO THE INSTALLATION OF THE AUTOMATIC SPRINKLER SYSTEM.

ADDRESS NOTES:

- THE ADDRESS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR FRONTAGE ROAD.
- ADDRESS NUMBERS SHALL BE FOUR INCHES (4") HIGH MIN.
- ADDRESS NUMBERS SHALL BE CONTRASTING COLOR TO THEIR BACKGROUND. BRASS OR GOLD NUMBERS SHALL NOT BE POSTED. (ADDRESS NUMBERS LOCATED ON CURBS ARE NOT ACCEPTABLE).
- PERMANENT ADDRESS NUMBERS SHALL BE PROVIDED ON THE MAILBOX OR ON A PERMANENT SIGN OR POST ADJACENT TO THE DRIVEWAY ENTRANCE OF A FLAG LOT.

APPLICABLE CODES:

ALL WORK SHALL COMPLY WITH THE
2022 CALIFORNIA RESIDENTIAL CODE.
2022 CALIFORNIA BUILDING CODE.
2022 CALIFORNIA PLUMBING CODE.
2022 CALIFORNIA MECHANICAL CODE.
2022 CALIFORNIA ELECTRICAL CODE.
2022 CALIFORNIA EXISTING BUILDING CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AS AMENDED BY CITY ORDINANCE, &
2022 CALIFORNIA ENERGY CODE.

OCCUPANCY GROUP CLASSIFICATION:

DWELLING, "R-3" - SINGLE FAMILY DWELLING AND GARAGE; "U" - ATTACHED PRIVATE GARAGE

NOTE:
1-HOUR FIRE RESISTIVE OCCUPANCY SEPARATION SHALL BE PROVIDED BETWEEN R-3 AND U OCCUPANCIES AS INDICATED ON FLOOR PLAN

CONSTRUCTION TYPE:

TYPE "V-B" (SPRINKLERED)

ZONING:

LOT ZONING: RE-1 ACRE

REQUIRED SETBACKS:

FRONT YARD: 20'-0"
SIDE YARD: 10'-0"
REAR YARD: 20'-0"
ACCESSORY SETBACK: 3'-0"
ADU REAR AND SIDE YARD SETBACKS: 4'-0"

BUILDING HEIGHT (ALLOWABLE):

PROPOSED BUILDING HEIGHT = 21'-11"

MAX. ALLOWED BUILDING HEIGHT = 35'-0"

PROPOSED ADU HEIGHT = 15'-11"

MAX. ALLOWED ADU BUILDING HEIGHT = 16'-0"

SCOPE OF WORK:

- NEW TWO-STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE
- NEW DETACHED ACCESSORY DWELLING UNIT
- SITE IMPROVEMENTS
- PHOTOVOLTAIC SYSTEM TO BE ROOF MOUNTED AND WILL BE UNDER SEPARATE BUILDING PERMIT

SITE SUMMARY:

LOT SIZE: 143,590 SQ. FT. (1.0 ACRE)
HOUSE, ADU, GARAGE, & COVER/9 FOOTPRINTS: 19,786 SQ. FT.

PROPOSED LOT COVERAGE: 9,786 / 143,590 = 22.5%

AREA CALCULATION

FLOOR AREA: 6,014 SQ. FT.

5-CAR GARAGE AND STORAGE: 1298 SQ. FT.

EXTERIOR COVERED AREAS: 911 SQ. FT.

ACCESSORY DWELLING UNIT LIVING AREA: 1199 SQ. FT.

ADU COVERED PATIO AREAS: 298 SQ. FT.

NOTE:
AREA CALCULATIONS ARE FOR CODE COMPLIANCE PURPOSES ONLY. AREAS SHALL BE RECALCULATED IF USED FOR ANY OTHER PURPOSE.

LOT 6



175 E. WILBUR ROAD
SUITE 202
THOUSAND OAKS, CA 91360
805 484 4277

ENGINEER:
TO BE SELECTED

OWNER:
B&M
CONTRACTORS INC.
4473 COCHRAN STREET
SIMI VALLEY, CA
93063
(805) 581-5480

CRESTVIEW LOT 6 RESIDENCE

518 CORTE CORRIDA
CAMARILLO, CA 93010
A.P.N. 152-0-420-065 TRACT 5920, LOT 6

COVERSHEET,
DRAWING INDEX,
VICINITY MAP & SITE
PLAN

DRAWING SCALE:
1" = 20'-0"

DATE:
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.

A1.1

Lot 6



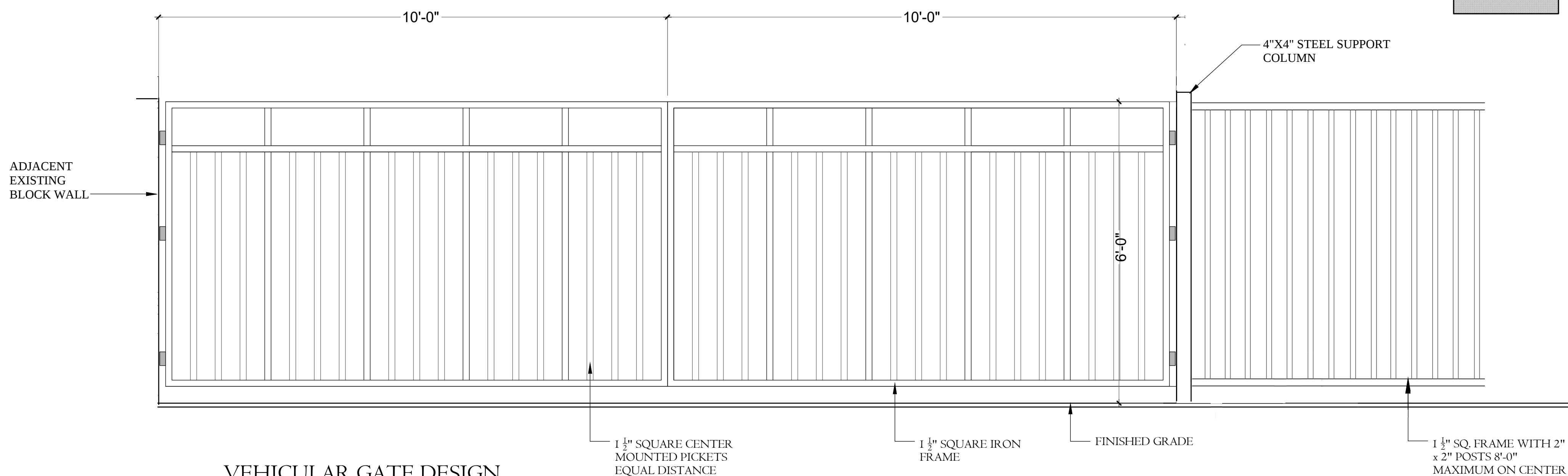
ENLARGED SITE PLAN

SCALE: 1" = 10'-0"

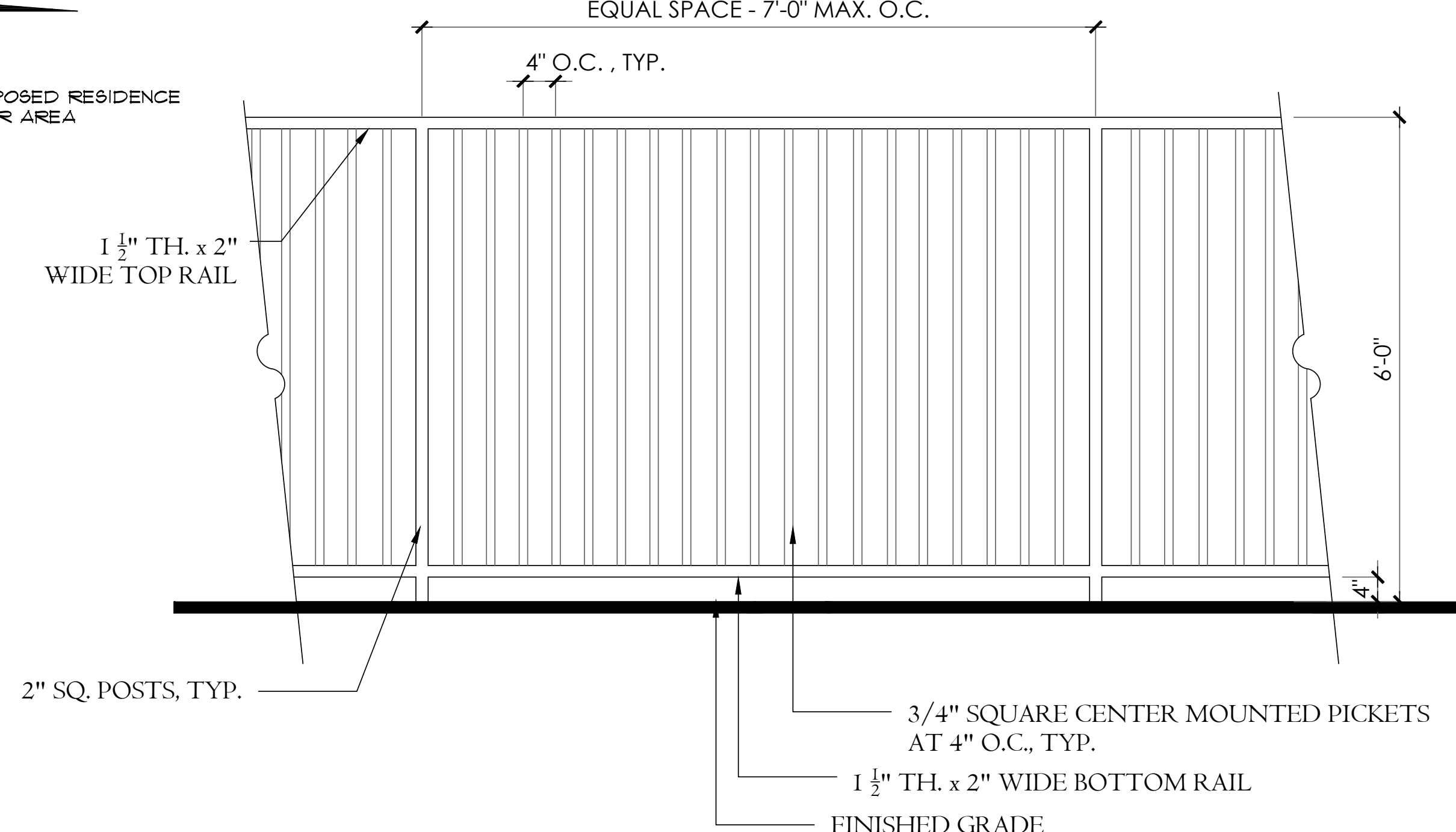
SEE CIVIL DRAWINGS FOR ADDITIONAL SITE PLAN INFORMATION

LEGEND:

PROPOSED RESIDENCE FLOOR AREA



VEHICULAR GATE DESIGN
SCALE: NTS



WROUGHT IRON FENCING - GATES TO MATCH
SCALE: NTS

LOT 6



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93063
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PROJECT: CRESTVIEW LOT 6 RESIDENCE

518 CORTE CORRIDA
CAMARILLO, CA 93010
A.P.N. 152-0-420-065 TRACT 5920, LOT 6

SHEET TITLE:
ENLARGED SITE PLAN

DRAWING SCALE:
1" = 10'-0"

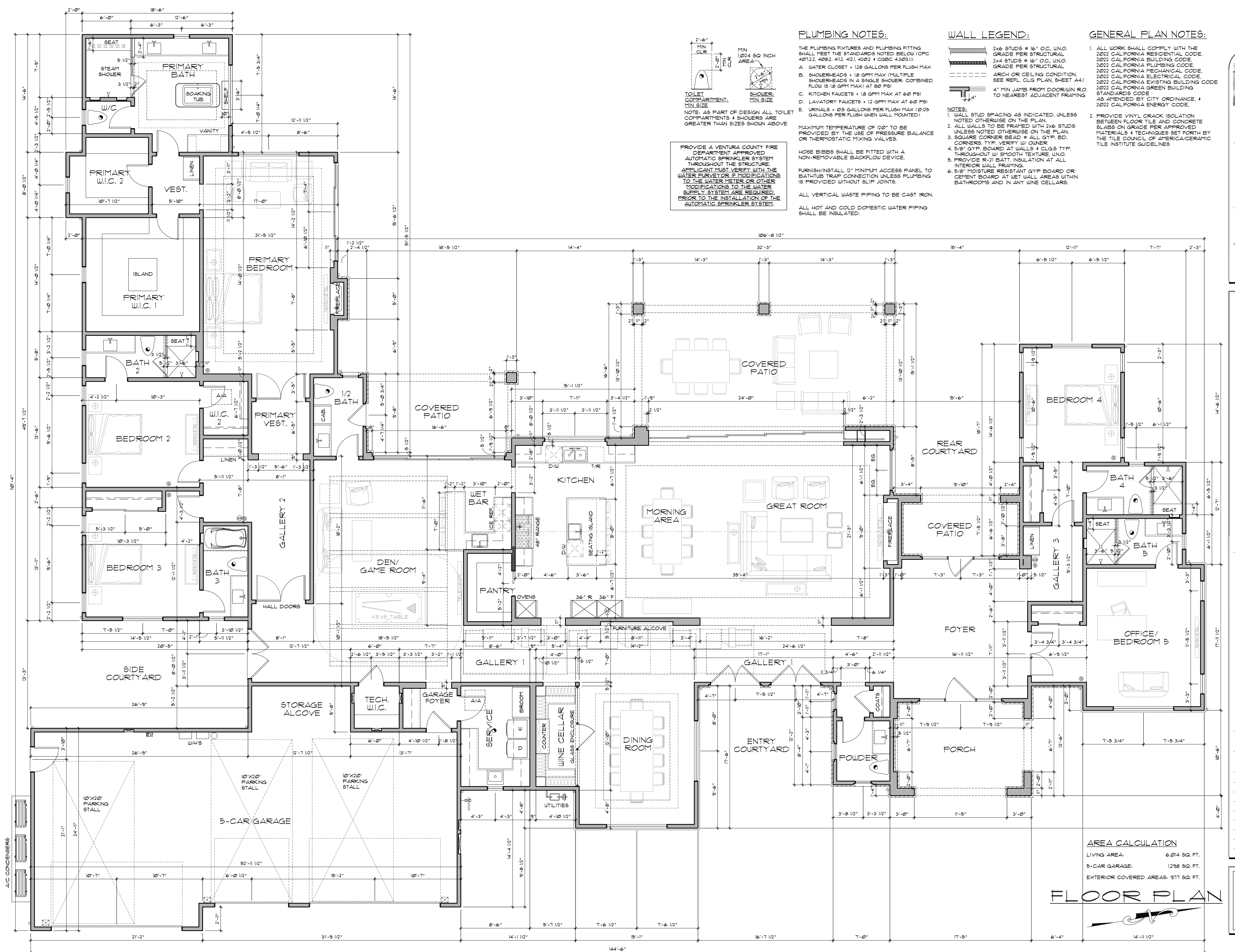
DATE:
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.

A1.1a

Lot 6





175 E. WILBUR ROAD
SUITE 202
THOUSAND OAKS, CA 91360
805 484 4277

ENGINEER:
TO BE SELECTED

OWNER:
B&M
CONTRACTORS INC.
4473 COCHRAN STREET
SIMI VALLEY, CA
93063
(805) 581-5480

PROJECT:
CRESTVIEW LOT 6 RESIDENCE
518 CORTE CORRIDA
CAMARILLO, CA 93010
A.P.N. 152-0-420-065 TRACT 5920, LOT 6

ADU PLANS

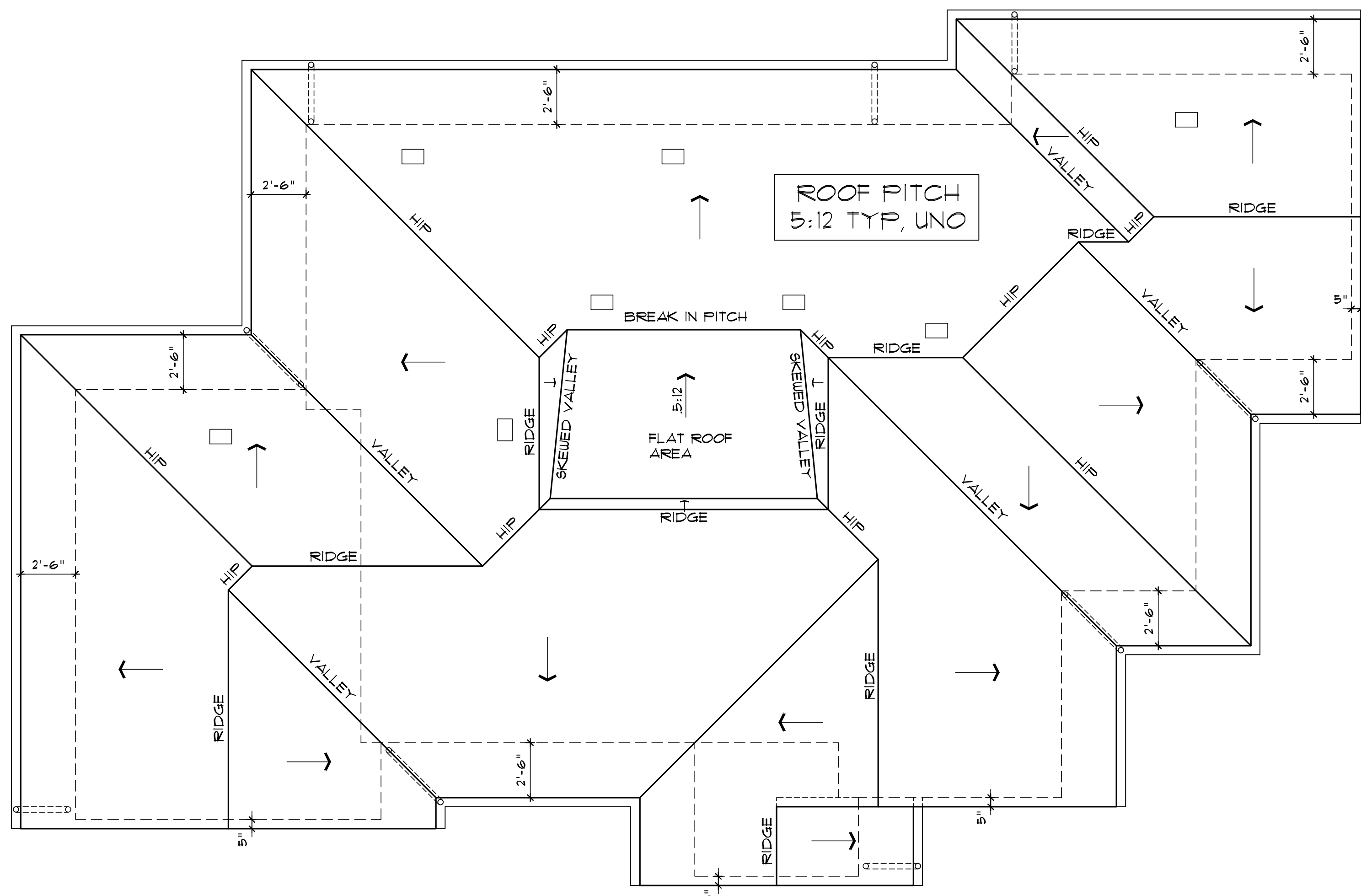
SHEET TITLE:

DRAWING SCALE:
1/4" = 1'-0"

DATE:
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.
A2.2



ADU ROOF PLAN

ROOF MATERIALS:

ROOF TILE:
CLASS "A" FLAT CONCRETE FLAT EDGE TILE BY "EAGLE"
OVER 2 LAYER OF 40 LB. FELT.
(FIRE RATING TEST PER ASTM E-108, UL 130, NFPA 256)
(MAX. TILE WEIGHT NOT TO EXCEED 11 PBF.)

PROFILE: BEL AIR

COLOR: 4995 DARK CHARCOAL

PROVIDE TORCH-DOWN WATERPROOFING UNDER ROOFING
MATERIAL AT PITCH OF 3:12 OR LESS

ALL ROOF FLASHING SHALL BE: ALUMINUM UNO. -
PAINT/FINISH EXPOSED ROOF FLASHINGS TO MATCH ROOF
COLOR

LOW SLOPE ROOF:
CLASS "A" CERTAINTED GTA-FR GRANULATED
MODIFIED BITUMEN (ICC ESR-1388) OVER (1)-PLY OF
CERTAINTED GTA INSTALLED OVER (2)-LAYERS
GLASS/GE BASE SHEET, INSTALLED PER
MANUFACTURER'S SPECIFICATIONS AND
RECOMMENDATIONS.

COLOR: MOIRE BLACK

COMPLETE ROOF SYSTEM INSTALLATION SHALL
CONFORM TO MANUFACTURER'S SPECIFICATIONS AND
RECOMMENDATIONS AS REQUIRED TO ACHIEVE
MANUFACTURER 20-YEAR WARRANTY AGAINST ANY
DEFECTS FOR MATERIALS AND WORKMANSHIP.

PLUMBING NOTES:

THE PLUMBING FIXTURES AND PLUMBING FITTING SHALL
MEET THE STANDARDS NOTED BELOW (CFC 40122,
4082, 4112, 4121, 4202 & CGBC 4.303.1):

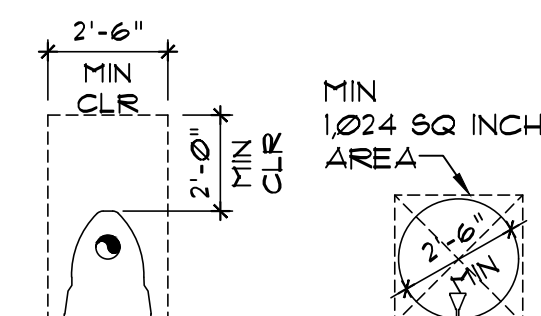
- WATER CLOSET = 120 GALLONS PER FLUSH MAX
- SHOWERHEADS = 18 GPM MAX (MULTIPLE
MODIFIED BITUMEN (ICC ESR-1388) OVER (1)-PLY OF
CERTAINTED GTA INSTALLED OVER (2)-LAYERS
GLASS/GE BASE SHEET, INSTALLED PER
MANUFACTURER'S SPECIFICATIONS AND
RECOMMENDATIONS.
- KITCHEN FAUCETS = 18 GPM MAX AT 60 PSI
- LAVATORY FAUCETS = 12 GPM MAX AT 60 PSI
- URINALS = 0.5 GALLONS PER FLUSH MAX (0.25
GALLONS PER FLUSH WHEN WALL MOUNTED) 1/2

MAXIMUM TEMPERATURE OF 120° TO BE PROVIDED
BY THE USE OF PRESSURE BALANCE OR
THERMOSTATIC MIXING VALVES.

HOSE BIBBS SHALL BE FITTED WITH A
NON-REMOVABLE BACKFLOW DEVICE.
FURNISH/INSTALL 12" MINIMUM ACCESS PANEL TO
BATHTUB TRAP CONNECTION UNLESS PLUMBING
IS PROVIDED WITHOUT SLIP JOINTS.

ALL VERTICAL WASTE PIPING TO BE CAST IRON.

ALL HOT AND COLD DOMESTIC WATER PIPING
SHALL BE INSULATED.



TOILET
COMPARTMENT:
MIN SIZE

SHOWER:
MIN SIZE

NOTE: AS PART OF DESIGN ALL TOILET
COMPARTMENTS & SHOWERS ARE
GREATER THAN SIZES SHOWN ABOVE

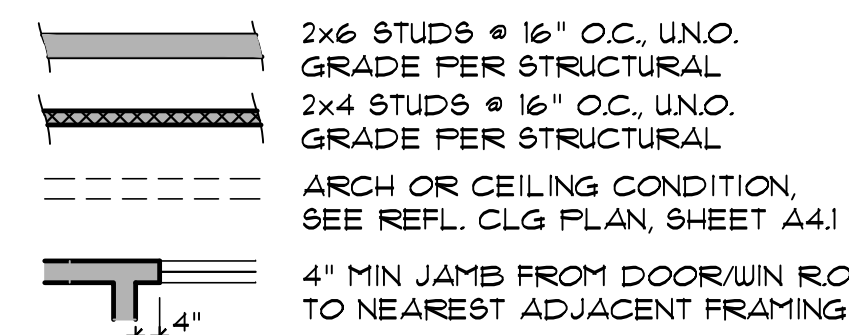
AREA CALCULATION

TOTAL LIVING AREA: 1,199 SQ. FT.

EXTERIOR COVERED AREAS: 298 SQ. FT.

ADU FLOOR PLAN

WALL LEGEND:

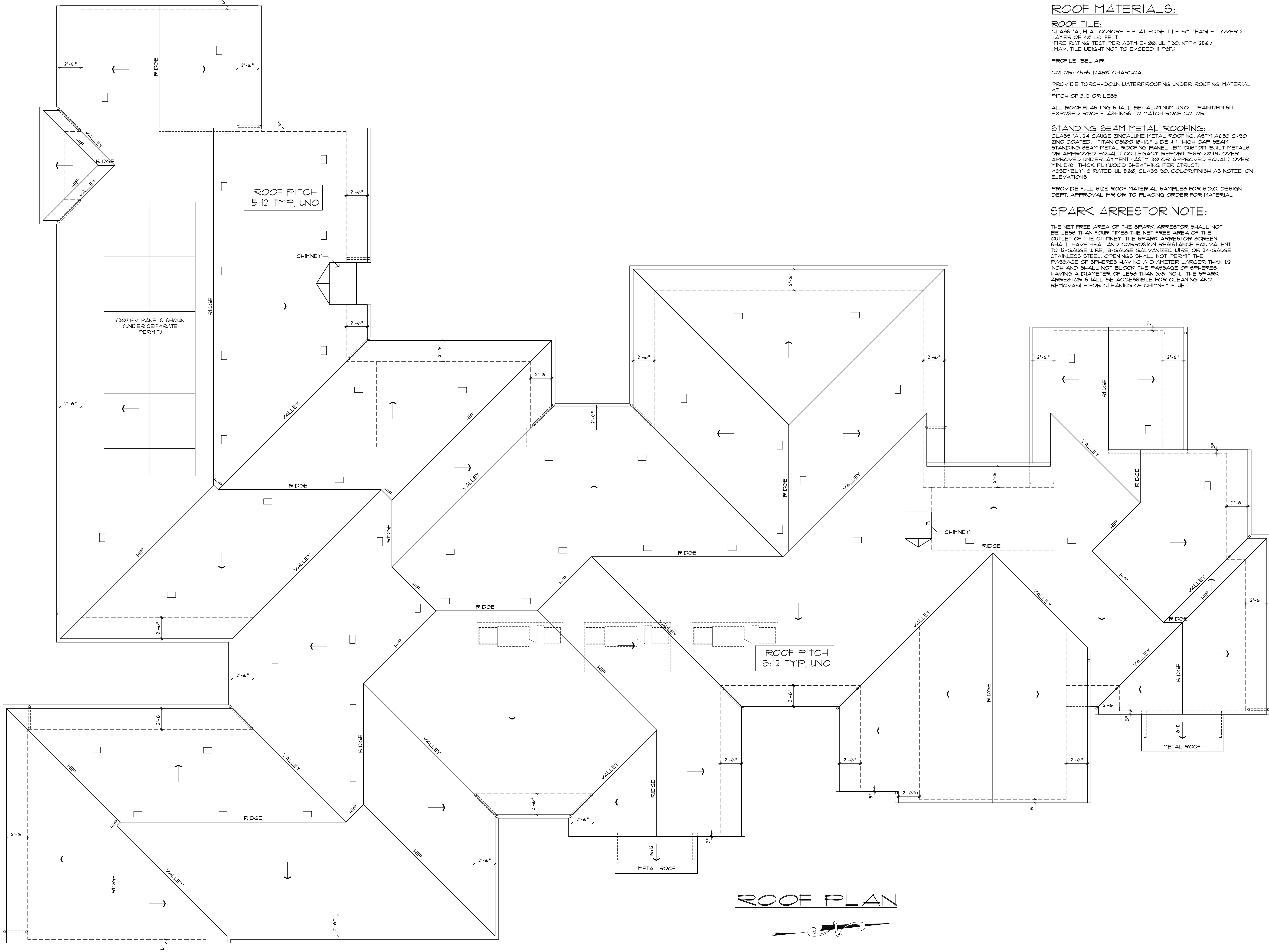


- NOTES:
- WALL STUD SPACING AS INDICATED, UNLESS
NOTED OTHERWISE ON THE PLAN.
 - ALL WALLS TO BE FRAMED WITH 2x6 STUDS
UNLESS NOTED OTHERWISE ON THE PLAN.
 - SQUARE CORNER BEAD @ ALL GYP. BD.
CORNERS, TYP. VERIFY W/ OWNER
 - 5/8" GYP. BOARD AT WALLS & CLGS TYP.
THROUGHOUT W/ SMOOTH TEXTURE, UNO.
 - PROVIDE R-21 BATT. INSULATION AT ALL
INTERIOR WALL FRAMING.
 - 5/8" MOISTURE RESISTANT GYP BOARD OR
CEMENT BOARD AT WET WALL AREAS WITHIN
BATHROOMS AND IN ANY WINE CELLARS.

PROVIDE A VENTURA COUNTY FIRE
DEPARTMENT APPROVED
AUTOMATIC SPRINKLER SYSTEM
THROUGHOUT THE STRUCTURE.
APPLICANT MUST VERIFY WITH THE
WATER PURVEYOR IF MODIFICATIONS
TO THE WATER METER OR OTHER
MODIFICATIONS TO THE WATER
SUPPLY SYSTEM ARE REQUIRED.
PRIOR TO THE INSTALLATION OF THE
AUTOMATIC SPRINKLER SYSTEM.

GENERAL PLAN NOTES:

- ALL WORK SHALL COMPLY WITH THE
2022 CALIFORNIA RESIDENTIAL CODE,
2022 CALIFORNIA BUILDING CODE,
2022 CALIFORNIA PLUMBING CODE,
2022 CALIFORNIA MECHANICAL CODE,
2022 CALIFORNIA ELECTRICAL CODE,
2022 CALIFORNIA EXISTING BUILDING CODE
2022 CALIFORNIA GREEN BUILDING
STANDARDS CODE
AS AMENDED BY CITY ORDINANCE, &
2022 CALIFORNIA ENERGY CODE,
- PROVIDE VINYL CRACK ISOLATION
BETWEEN FLOOR TILE AND CONCRETE
SLABS ON GRADE PER APPROVED
MATERIALS & TECHNIQUES SET FORTH BY
THE TILE COUNCIL OF AMERICA/CERAMIC
TILE INSTITUTE GUIDELINES



ROOF MATERIALS:

ROOF TILE:
CLASS 'A' FLAT CONCRETE FLAT EDGE TILE BY "EAGLE" OVER 2 LAYER OF 40 LB. FELT.
(FIRE RATING TEST PER ASTM E-108, UL 790, NFPA 256)
(MAX. TILE WEIGHT NOT TO EXCEED 11 PSF.)

PROFILE: BEL AIR
COLOR: 4595 DARK CHARCOAL

PROVIDE TORCH-DOWN WATERPROOFING UNDER ROOFING MATERIAL AT PITCH OF 3:12 OR LESS

ALL ROOF FLASHING SHALL BE: ALUMINUM UNO. - PAINT/FINISH EXPOSED ROOF FLASHINGS TO MATCH ROOF COLOR

STANDING SEAM METAL ROOFING:
CLASS 'A' 24 GAUGE ZINCALUME METAL ROOFING, ASTM A653 G-90 ZINC COATED, "TITAN C9100 18-1/2" WIDE 4 1/4" HIGH CAP SEAM STANDING SEAM METAL ROOFING PANEL" BY CUSTOM-BUILT METALS OR APPROVED EQUAL (ICC LEGACY REPORT #E9R-2048) OVER APPROVED UNDERLAYMENT (ASTM 30 OR APPROVED EQUAL), OVER MIN. 5/8" THICK PLYWOOD SHEATHING PER STRUCT. ASSEMBLY IS RATED UL 580, CLASS 90. COLOR/FINISH AS NOTED ON ELEVATIONS

PROVIDE FULL SIZE ROOF MATERIAL SAMPLES FOR S.D.C. DESIGN DEPT. APPROVAL PRIOR TO PLACING ORDER FOR MATERIAL

SPARK ARRESTOR NOTE:

THE NET FREE AREA OF THE SPARK ARRESTOR SHALL NOT BE LESS THAN FOUR TIMES THE NET FREE AREA OF THE OUTLET OF THE CHIMNEY. THE SPARK ARRESTOR SCREEN SHALL HAVE HEAT AND CORROSION RESISTANCE EQUIVALENT TO 12-GAUGE WIRE, 18-GAUGE GALVANIZED WIRE, OR 24-GAUGE STAINLESS STEEL. OPENINGS SHALL NOT PERMIT THE PASSAGE OF SPHERES HAVING A DIAMETER LARGER THAN 1/2 INCH AND SHALL NOT BLOCK THE PASSAGE OF SPHERES HAVING A DIAMETER OF LESS THAN 3/8 INCH. THE SPARK ARRESTOR SHALL BE ACCESSIBLE FOR CLEANING AND REMOVABLE FOR CLEANING OF CHIMNEY FLUE.

LOT 6



175 E. WILBUR ROAD
SUITE 202
THOUSAND OAKS, CA 91320
805 484 4277

ENGINEER:
TO BE SELECTED

OWNER:
B&M
CONTRACTORS INC.
4473 COCHRAN STREET
SIMI VALLEY, CA
93063
(805) 581-5480

PROJECT:

CRESTVIEW LOT 6 RESIDENCE

518 CORTE CORRIDA
CAMARILLO, CA 93010
A.P.N. 152-0-420-065 TRACT 5920, LOT 6

SHEET TITLE:

ROOF PLAN

DRAWING SCALE:
1/4" = 1'-0"

DATE:
SEPTEMBER 23, 2025

REVISIONS:

SHEET NO.

A5.1



175 E. WILBUR ROAD
SUITE 202
THOUSAND OAKS, CA 91320
805 484 4277

ENGINEER:
TO BE SELECTED

OWNER:
B&M
CONTRACTORS INC.
4473 COCHRAN STREET
SIMI VALLEY, CA
93063
(805) 581-5480

PROJECT: CRESTVIEW LOT 6 RESIDENCE

518 CORTE CORRIDA
CAMARILLO, CA 93010
A.P.N. 152-0-420-065 TRACT 5920, LOT 6

EXTERIOR ELEVATIONS

SHEET TITLE:

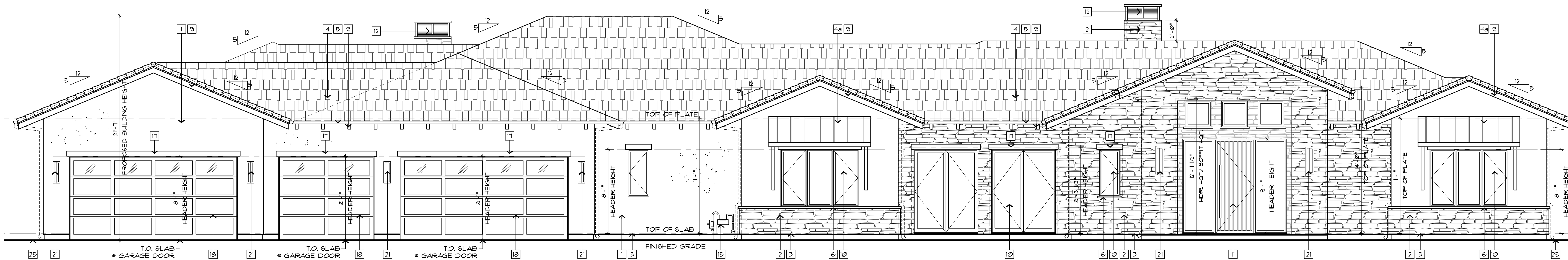
DRAWING SCALE:
1/4" = 1'-0"

DATE:
SEPTEMBER 23, 2025

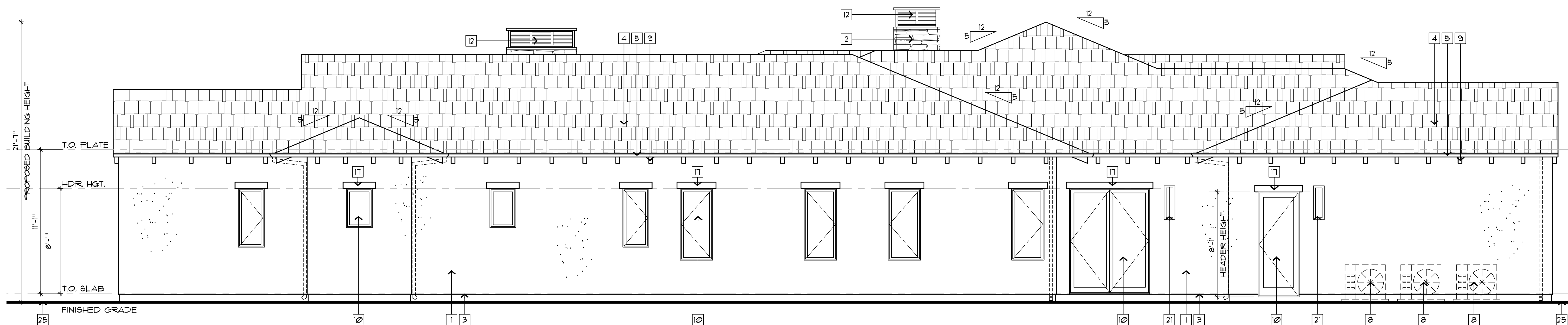
REVISIONS:

SHEET NO.

A6.1



FRONT ELEVATION



LEFT SIDE ELEVATION

ELEVATION NOTES:

- 1 1/8" THK. SMOOTH STUCCO OVER TWO LAYERS OF GRADE 'D' FELT PAPER (TYPICAL) PER (A)
- 2 ADHERED PREMANUFACTURED STONE VENEER PER (B) INSTALLED PER MFR'S SPECS. AND DETAILS (SEE SECTION NOTE)
- 3 VINYL EXTENDED LEG STUCCO WEEP SCREED TYPICAL, BY "AMICO" OR APPROVED EQUAL
- 4 ROOFING MATERIAL PER (C) OVER TWO LAYERS OF 40 LB. FELT PAPER SEE ROOF PLAN
- 4A STANDING SEAM ROOF PER ROOF PLAN OVER TS FRAME & TS OUTLOOKERS PER STRUCT. (D)
- 5 GUTTERS AND DOWNSPOUTS, SEE ROOF PLAN (H)
- 6 STONE CAP/SILL PER MATERIAL LIST AND RELATED DETAILS
- 7 BUILT-UP CRICKET (TYPICAL)
- 8 A/C CONDENSER LOCATION
- 9 4x10 PAINT GRADE RAFTER TAILS AND GABLED END FASCIA, SEE RELATED DETAILS. ADJUST SPACING AT RUNS AS REQUIRED TO MAINTAIN APPROXIMATELY 2'-6" O.C. SPACING. SPACING TO BE EQUAL AT EACH RUN. SEE REFLECTED CEILING PLAN FOR LAYOUT DETAIL. COLOR PER (F)
- 10 DOORS AND WINDOWS PER SCHEDULE, MANUFACTURER & COLOR PER (E)
- 11 CUSTOM ENTRY DOOR UNIT WITH SIDELITES AS SELECTED BY OWNER
- 12 APPROVED SPARK ARRESTOR PER MANUF. NOTE: CUSTOM SHROUD PER RELATED DETAIL WHERE OCCURS. READILY REMOVABLE FOR CLEANING
- 13 CEMENTITIOUS TRIM PER RELATED DETAILS, COLOR PER (H)
- 14 GAS METER
- 15 PRESSURE RELIEF VALVE
- 16 2x FASCIA OVER 4x RAKE RAFTER PER RELATED DETAILS AND PER
- 17 WOOD HEADER TRIM PER RELATED DETAILS
- 18 SECTIONAL GARAGE DOOR w/ GLASS PANELS AT TOP, SEE SCHEDULE (E)
- 19 14" x 6" GARAGE VENTS COVERED w/ CORROSION RESISTANT G.I. METAL MESH w/ 1/4" MAX. OPENINGS
- 20 G.I. SADDLE & FLASHING
- 21 LIGHT FIXTURE AS SELECTED BY OWNER
- 22 MAIN ELECTRICAL PANEL
- 23 TELEPHONE CABINET
- 24 CABLE T.V.
- 25 APPROXIMATE PROPOSED/EXISTING GRADE

MATERIALS & COLORS:

STUCCO AT WALLS

(A) SMOOTH STUCCO FINISH PAINTED TO MATCH "DUNN EDWARDS" DE6211 "LIGHT BEIGE".

STONE VENEER AT WALLS

(B) ADHERED PREMANUFACTURED STONE VENEER BY BORAL "CULTURED STONE" (ICC-ES-E8R-1364).
STYLE: HEWN STONE
COLOR: SF5AN
PATTERN: HSP35803

ROOF TILE:

(C) CLASS "A" CONCRETE TILE BY "EAGLE" (IAMPO REPORT ER-1500). PROFILE: BEL AIR. COLOR: DARK CHARCOAL. INSTALL OVER 2 LAYER OF 40 LB. MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3309. (FIRE RATING TEST PER ASTM E-108, UL 790, NFPA 286) (MAX. TILE WEIGHT NOT TO EXCEED 11 PSF.)

STANDING SEAM METAL ROOFING:

(D) STANDING SEAM METAL ROOFING AS SPECIFIED ON ROOF PLAN.
COLOR: "MIDNIGHT BRONZE"

DOORS & WINDOWS:

(E) CLAD DOORS AND WINDOWS BY "WINDSOR WINDOWS & DOORS" (WWW.WINDSORWINDOWS.COM) REF: "PINNACLE" OR EQUAL. COLOR: "DARK BROWN", CASEMENT SWING DIRECTION PER ELEVATIONS
EXTERIOR SLIDING POCKET / STACKING DOOR BY: "FLEETWOOD WINDOWS AND DOORS" COLOR: BLACK

RAFTER TAILS:

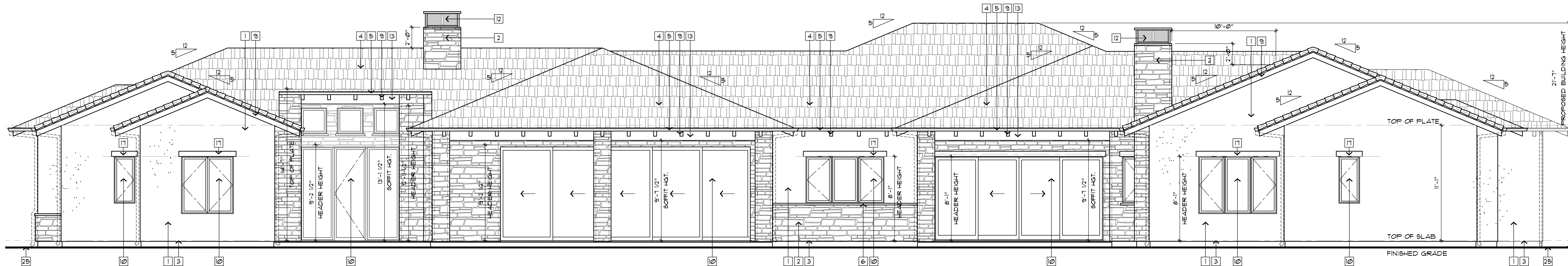
(F) 4x8 PAINT-GRADE RAFTER TAIL @ 130" O.C. SPACE EVENLY ALONG EAVES FOR UNIFORM APPEARANCE. COLOR BY "DUNN EDWARDS", DE6385 "BLACK BEAN". PROVIDE EXTENDED RAFTER TAIL @ ALL HIP & VALLEY CONDITIONS

WOOD ELEMENTS:

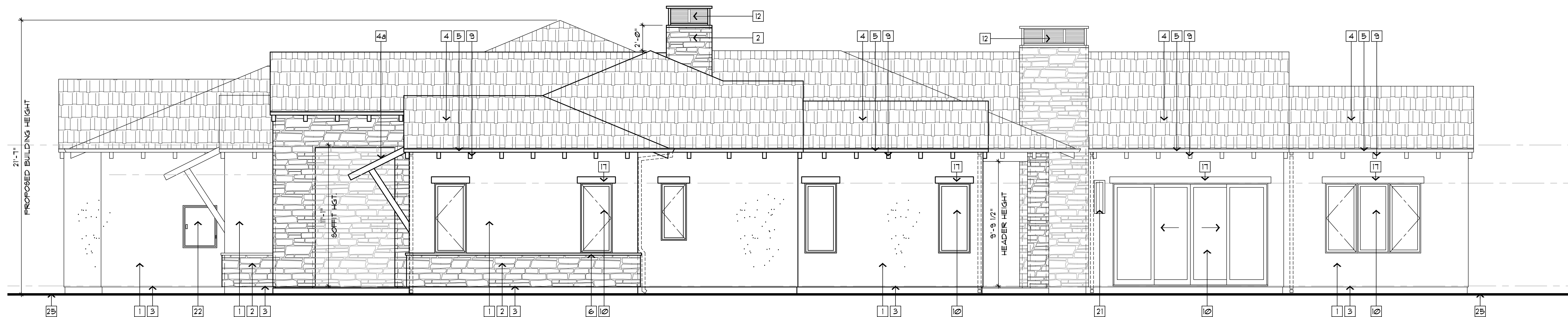
(G) EXTERIOR SOLID DOORS, FASCIAS, EXPOSED BEAMS/TRIMS.
COLOR BY "DUNN EDWARDS", DE6385 "BLACK BEAN"

GUTTERS & DOWNSPOUTS

(H) PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH ADJACENT WALL COLOR



REAR ELEVATION



RIGHT SIDE ELEVATION

ELEVATION NOTES:

- 1 1/8" THK. SMOOTH STUCCO OVER TWO LAYERS OF GRADE 'D' FELT PAPER (TYPICAL) PER (A)
- 2 ADHERED PREMANUFACTURED STONE VENEER PER (B) INSTALLED PER MFR'S SPECS. AND DETAILS (SEE SECTION NOTE)
- 3 VINYL EXTENDED LEG STUCCO WEEP SCREED TYPICAL, BY "AMICO" OR APPROVED EQUAL
- 4 ROOFING MATERIAL PER (C) OVER TWO LAYERS OF 40 LB. FELT PAPER SEE ROOF PLAN
- 4a STANDING SEAM ROOF PER ROOF PLAN OVER TS FRAME & TS OUTLOOKERS PER STRUCT. (D)
- 5 GUTTERS AND DOWNSPOUTS, SEE ROOF PLAN (H)
- 6 STONE CAP/SILL, PER MATERIAL LIST AND RELATED DETAILS
- 7 BUILT-UP CRICKET (TYPICAL)
- 8 A/C CONDENSER LOCATION
- 9 4x8 PAINT GRADE RAFTER TAILS AND GABLED END FASCIA, SEE RELATED DETAILS. ADJUST SPACING AT RUNS AS REQUIRED TO MAINTAIN APPROXIMATELY 2'-6" o.c. SPACING. SPACING TO BE EQUAL AT EACH RUN - SEE REFLECTED CEILING PLAN FOR LAYOUT DETAIL, COLOR PER (E)
- 10 DOORS AND WINDOWS PER SCHEDULE, MANUFACTURER & COLOR PER (E)
- 11 CUSTOM ENTRY DOOR UNIT WITH SIDELITES AS SELECTED BY OWNER
- 12 APPROVED SPARK ARRESTOR PER MANUF. NOTE: CUSTOM SHROUD PER RELATED DETAIL WHERE OCCURS READILY REMOVABLE FOR CLEANING
- 13 CEMENTITIOUS TRIM PER RELATED DETAILS, COLOR PER (H)
- 14 GAS METER
- 15 PRESSURE RELIEF VALVE
- 16 2x FASCIA OVER 4x RAKE RAFTER PER RELATED DETAILS AND PER
- 17 WOOD HEADER TRIM PER RELATED DETAILS
- 18 SECTIONAL GARAGE DOOR w/ GLASS PANELS AT TOP, SEE SCHEDULE (E)
- 19 14" x 6" GARAGE VENTS COVERED w/ CORROSION RESISTANT G.I. METAL MESH w/ 1/4" MAX. OPENINGS
- 20 G.I. SADDLE & FLASHING
- 21 LIGHT FIXTURE AS SELECTED BY OWNER
- 22 MAIN ELECTRICAL PANEL
- 23 TELEPHONE CABINET
- 24 CABLE T.V.
- 25 APPROXIMATE PROPOSED/EXISTING GRADE

MATERIALS & COLORS:

STUCCO AT WALLS

- (A) SMOOTH STUCCO FINISH PAINTED TO MATCH "DUNN EDWARDS" DE6211 "LIGHT BEIGE".

STONE VENEER AT WALLS

- (B) ADHERED PREMANUFACTURED STONE VENEER BY BORAL "CULTURED STONE" (ICC-E9-E9R-1364).
STYLE: HEUN STONE
COLOR: SPAN
PATTERN: HSP35809

ROOF TILE:

- (C) CLASS "A" CONCRETE TILE BY "EAGLE" (IAMPO REPORT ER-1900), PROFILE: BEL AIR, COLOR: DARK CHARCOAL. INSTALL OVER 2 LAYER OF 40 LB. MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3909. (FIRE RATING TEST PER ASTM E-108, UL T90 NFPA 256) (MAX. TILE WEIGHT NOT TO EXCEED 11 PSF.)

STANDING SEAM METAL ROOFING:

- (D) STANDING SEAM METAL ROOFING AS SPECIFIED ON ROOF PLAN.
COLOR: "MIDNIGHT BRONZE"

DOORS & WINDOWS:

- (E) CLAD DOORS AND WINDOWS BY "WINDSOR WINDOWS & DOORS" (WWW.WINDSORWINDOWS.COM) REF. "PINNACLE" OR EQUAL, COLOR: "DARK BRONZE", CASEMENT SWING DIRECTION PER ELEVATIONS
EXTERIOR SLIDING POCKET / STACKING DOOR BY: "FLEETWOOD WINDOWS AND DOORS" COLOR: BLACK

RAFTER TAILS:

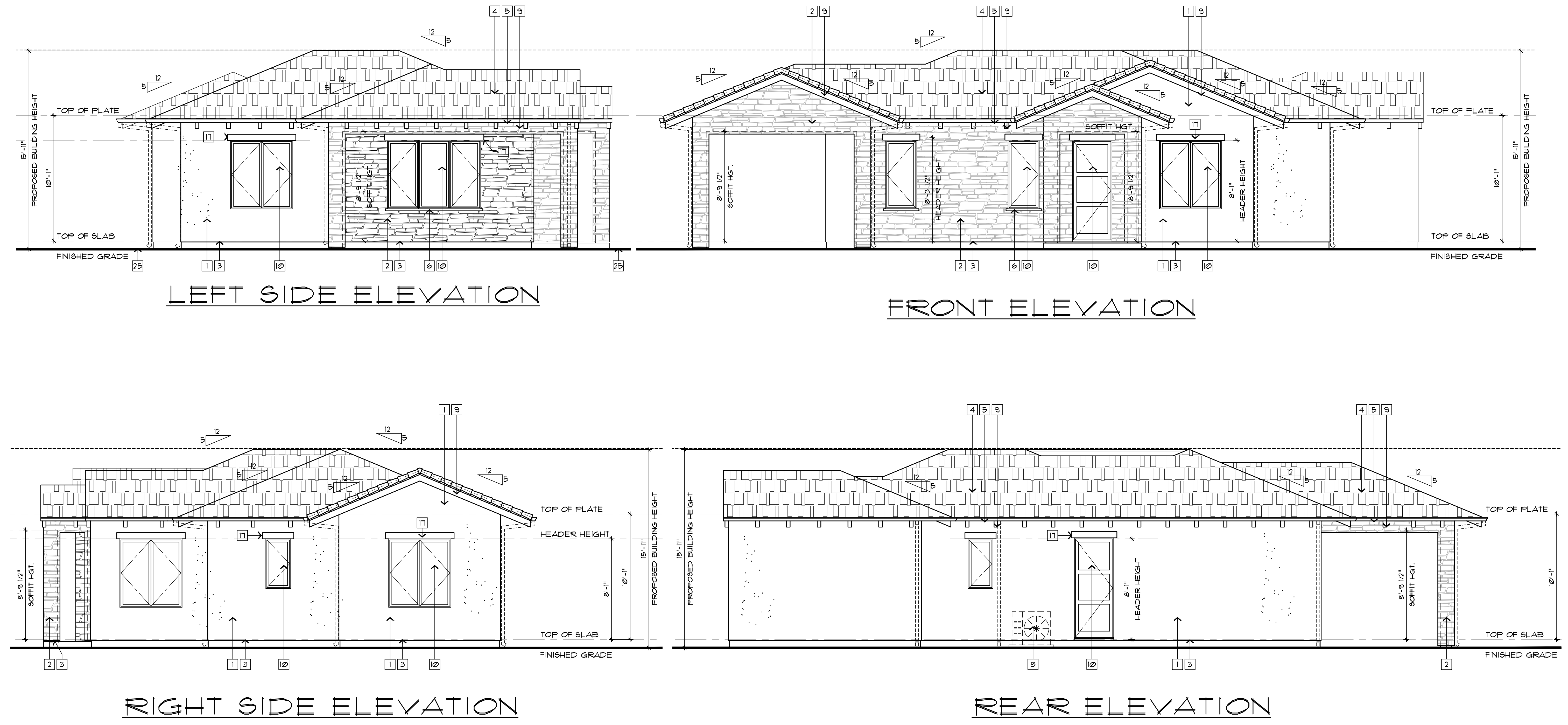
- (F) 4x8 PAINT-GRADE RAFTER TAIL @ 130' O.C. SPACE EVENLY ALONG EAVES FOR UNIFORM APPEARANCE. COLOR BY "DUNN EDWARDS", DE6385 "BLACK BEAN". PROVIDE EXTENDED RAFTER TAIL @ ALL HIP & VALLEY CONDITIONS

WOOD ELEMENTS:

- (G) EXTERIOR SOLID DOORS, FASCIAS, EXPOSED BEAMS/TRIMS:
COLOR BY "DUNN EDWARDS", DE6385 "BLACK BEAN"

GUTTERS & DOWNSPOUTS

- (H) PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH ADJACENT WALL COLOR



ELEVATION NOTES:

- 1/8" THK. SMOOTH STUCCO OVER TWO LAYERS OF GRADE 'D' FELT PAPER (TYPICAL) PER (A)
- ADHERED FREMANUFACTURED STONE VENEER PER (B) INSTALLED PER MFR'S SPECS. AND DETAILS (SEE SECTION NOTE)
- VINYL EXTENDED LEG STUCCO WEEP SCREED TYPICAL, BY "AMICO" OR APPROVED EQUAL
- ROOFING MATERIAL PER (C) OVER TWO LAYERS OF 40 LB. FELT PAPER, SEE ROOF PLAN
- GUTTERS AND DOWNSPOUTS, SEE ROOF PLAN (D)
- STONE CAP/SILL PER MATERIAL LIST AND RELATED DETAILS
- BUILT-UP CRICKET (TYPICAL)
- A/C CONDENSER LOCATION
- 4x10 PAINT GRADE, RAFTER TAILS AND GABLED END FASCIA, SEE RELATED DETAILS. ADJUST SPACING AT RUNS AS REQUIRED TO MAINTAIN APPROXIMATELY 2'-6" O.C. SPACING. SPACING TO BE EQUAL AT EACH RUN. SEE REFLECTED CEILING PLAN FOR LAYOUT DETAIL. COLOR PER (E)
- DOORS AND WINDOWS PER SCHEDULE, MANUFACTURER & COLOR PER (E)
- CEMENTITIOUS TRIM PER RELATED DETAILS, COLOR PER (H)
- 2x FASCIA OVER 4x RAKE RAFTER PER RELATED DETAILS AND PER
- WOOD HEADER TRIM PER RELATED DETAILS
- G.I. SADDLE & FLASHING
- LIGHT FIXTURE TO BE SELECTED BY OWNER
- ELECTRICAL PANEL
- TELEPHONE CABINET
- CABLE T.V.
- APPROXIMATE PROPOSED/EXISTING GRADE

MATERIALS & COLORS:

- STUCCO AT WALLS**
- (A) SMOOTH STUCCO FINISH PAINTED TO MATCH "DUNN EDWARDS" DE6211 "LIGHT BEIGE".
- STONE VENEER AT WALLS**
- (B) ADHERED FREMANUFACTURED STONE VENEER BY BORAL "CULTURED STONE" (ICC-ES-EER-1364). STYLE: HEWN STONE. COLOR: SPAN. PATTERN: HSP35803

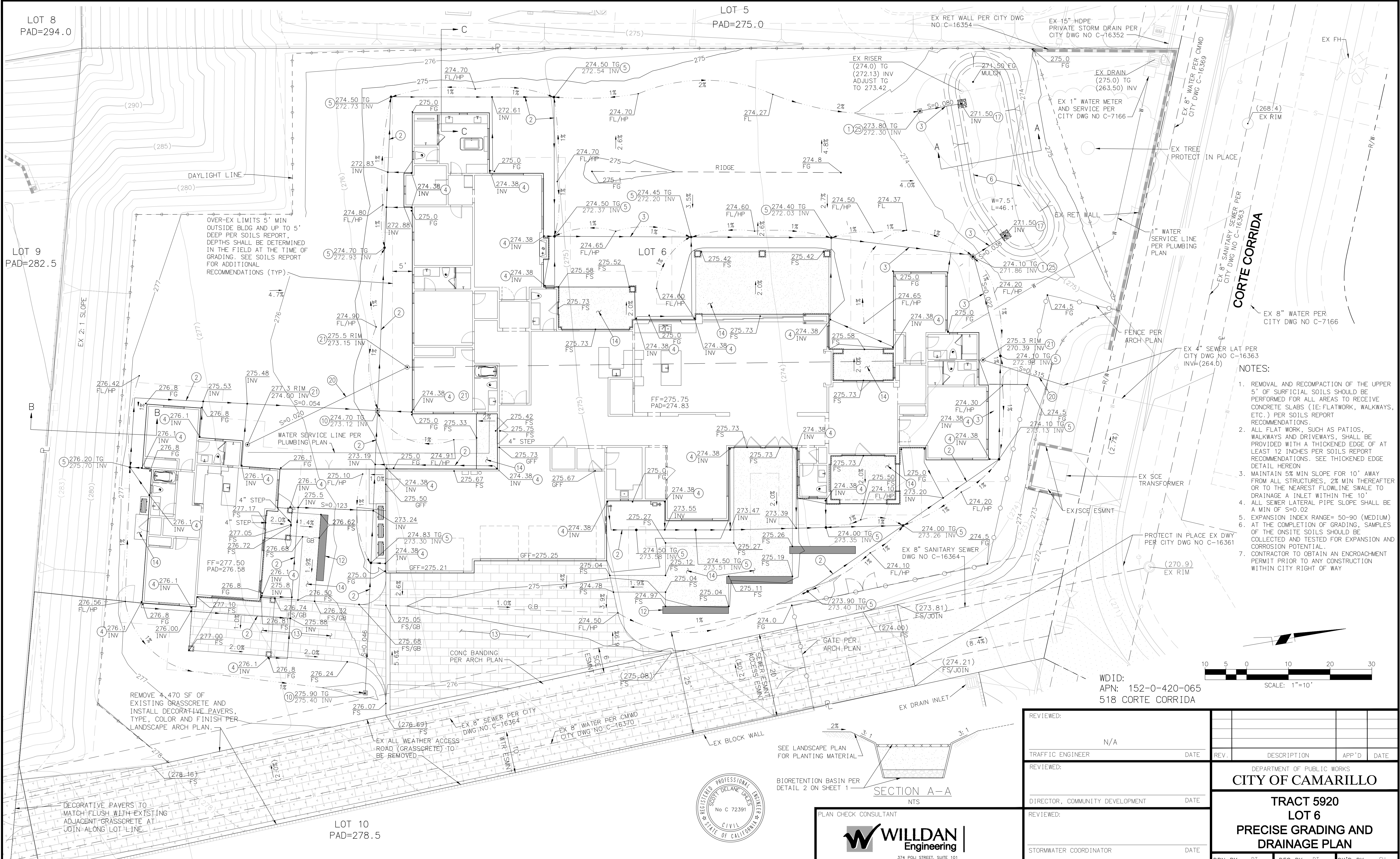
- ROOF TILE:**
- (C) CLASS "A" CONCRETE TILE BY 'EAGLE' (IAMPO REPORT ER-1900). PROFILE: BEL AIR. COLOR: DARK CHARCOAL. INSTALL OVER 2 LAYER OF 40 LB. MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D 3929. (FIRE RATING TEST PER ASTM E-108, UL 730, NFPA 256) (MAX. TILE WEIGHT NOT TO EXCEED 11 PSF.)

- DOORS & WINDOWS:**
- (E) CLAD DOORS AND WINDOWS BY "WINDSOR WINDOWS & DOORS" (WWW.WINDSORWINDOWS.COM). REF: "PINNACLE" OR EQUAL. COLOR: "DARK BRONZE". CASEMENT SWING DIRECTION PER ELEVATIONS

- RAFTER TAILS:**
- (F) 4x8 PAINT GRADE RAFTER TAIL @ 30" O.C. SPACE EVENLY ALONG EAVES FOR UNIFORM APPEARANCE. COLOR BY "DUNN EDWARDS" DE6385 "BLACK BEAN". PROVIDE EXTENDED RAFTER TAIL @ ALL HIP & VALLEY CONDITIONS

- WOOD ELEMENTS:**
- (G) EXTERIOR SOLID DOORS, FASCIAS, EXPOSED BEAMS/TRIMS. COLOR BY "DUNN EDWARDS" DE6385 "BLACK BEAN"

- GUTTERS & DOWNSPOUTS**
- (H) PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH ADJACENT WALL COLOR



- NOTES:
1. REMOVAL AND RECOMPACTION OF THE UPPER 5' OF SURFICIAL SOILS SHOULD BE PERFORMED FOR ALL AREAS TO RECEIVE CONCRETE SLABS (I.E: FLATWORK, WALKWAYS, ETC.) PER SOILS REPORT RECOMMENDATIONS.
 2. ALL FLAT WORK, SUCH AS PATIOS, WALKWAYS AND DRIVEWAYS, SHALL BE PROVIDED WITH A THICKENED EDGE OF AT LEAST 12 INCHES PER SOILS REPORT RECOMMENDATIONS. SEE THICKENED EDGE DETAIL HEREON
 3. MAINTAIN 5% MIN SLOPE FOR 10' AWAY FROM ALL STRUCTURES, 2% MIN THEREAFTER OR TO THE NEAREST FLOWLINE SWALE TO DRAINAGE A INLET WITHIN THE 10'
 4. ALL SEWER LATERAL PIPE SLOPE SHALL BE A MIN OF S=0.02
 5. EXPANSION INDEX RANGE= 50-90 (MEDIUM) AT THE COMPLETION OF GRADING, SAMPLES OF THE ONSITE SOILS SHOULD BE COLLECTED AND TESTED FOR EXPANSION AND CORROSION POTENTIAL.
 6. CONTRACTOR TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO ANY CONSTRUCTION WITHIN CITY RIGHT OF WAY

CONSTRUCTION NOTES

1. INSTALL 12" GRATED CATCH BASIN
2. INSTALL 4" PVC (SDR-35) S=0.0050 UNLESS NOTED OTHERWISE
3. INSTALL 6" PVC (SDR-35) S=0.0050 UNLESS OTHERWISE NOTED
4. CONNECT ROOF DOWNSPOUTS TO STORM DRAIN SYSTEM, SEE ARCH PLAN FOR CONNECTION TYPE
5. INSTALL 4" NDS ATRIUM GRATE
6. CONSTRUCT BIORETENTION BASIN PER DETAIL 2 ON SHEET 1
10. INSTALL 6" NDS SQUARE FLAT GRATE.

12. HARDSCAPE FEATURE PER ARCH PLAN
13. CONSTRUCT 6" CONCRETE PAVEMENT ON 4" AB, SEE THICKENED EDGE DETAIL HEREON, INCLUDE #4 BAR, OC EW AND JOINT SPACING PER GEOTECHNICAL REPORT. FINAL SECTION PER APPROVED PAVEMENT SECTION REPORT.
14. CONSTRUCT 4" THICK CONCRETE WALK ON 4" AB. SEE THICKENED EDGE DETAIL HEREON, INCLUDE #4 BAR, OC EW AND JOINT SPACING PER GEOTECHNICAL REPORT. FINAL SECTION PER APPROVED PAVEMENT SECTION REPORT.
17. CONSTRUCT 2'X 2' RIP RAP DISSIPATOR (D50=6"), 12" DEEP
20. INSTALL 4" SEWER LATERAL PVC (SDR-26) PER CITY OF CAMARILLO SANITARY DIST STD PLATE NO 12, 15,17, &18.(S=0.02 MIN)
21. INSTALL CLEANOUT PER CAMARILLO SANITARY DISTRICT STD PLATE 16.
25. INSTALL OLD CASTLE FLOGRAD LOPRO CATCH BASIN FILTER INSERT MODEL NO. FG-M12.



PLAN CHECK CONSULTANT

WILLDAN Engineering
374 POLI STREET, SUITE 101
VENTURA, CALIFORNIA 93001
(805) 653-6997

PREPARED BY

DELANE ENGINEERING
400 N VENTURA BLVD., STE 265, CAMARILLO, CA 93010
PHONE: 310.546.5711-DELANEENGINEERING.COM

SCOTT DELANE UHLES RCE NO 72391 DATE

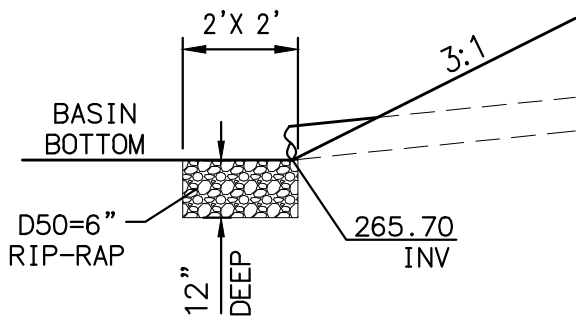
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TRAFFIC ENGINEER	DATE
REVIEWED:	
DIRECTOR, COMMUNITY DEVELOPMENT	DATE
REVIEWED:	
STORMWATER COORDINATOR	DATE
N/A	
WATER RECLAMATION SUPERINTENDENT	DATE
N/A	
PUBLIC WORKS MAINTENANCE SUPERINTENDENT	DATE
N/A	
WATER SUPERINTENDENT	DATE

REV.	DESCRIPTION	APP'D	DATE
DEPARTMENT OF PUBLIC WORKS			
CITY OF CAMARILLO			
TRACT 5920			
LOT 6			
PRECISE GRADING AND DRAINAGE PLAN			
DRN BY: DT	DES BY: DT	CK'D BY: SU	
APPROVED:			
CITY ENGINEER PUBLIC WORKS RCE 76459 DATE			
EXP 12/31/2026			
RECOMMENDED BY:			
SPEC. NUMBER		PROJ. NUMBER	
P.B.	PG.	SHEET 2 OF 3	C

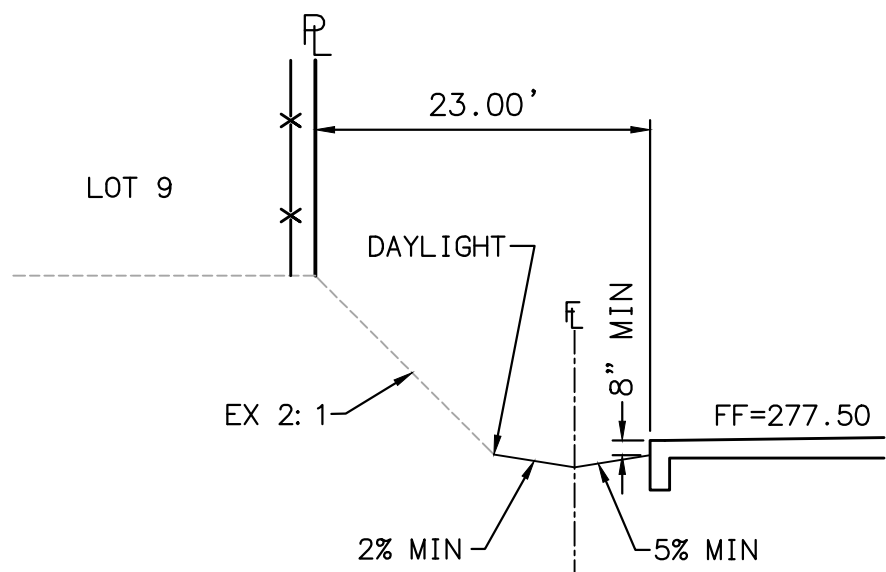
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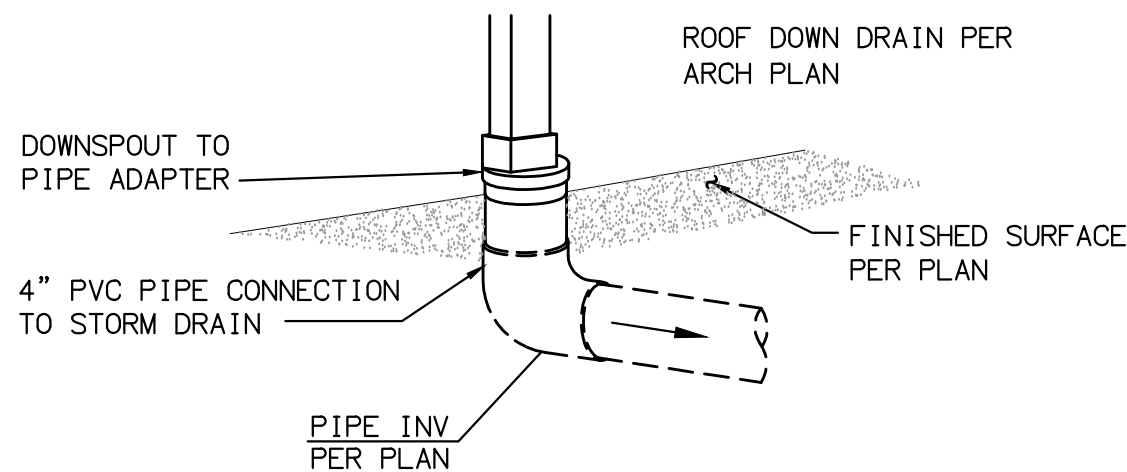
RIP-RAP DISSIPATOR DETAIL 4
NTS



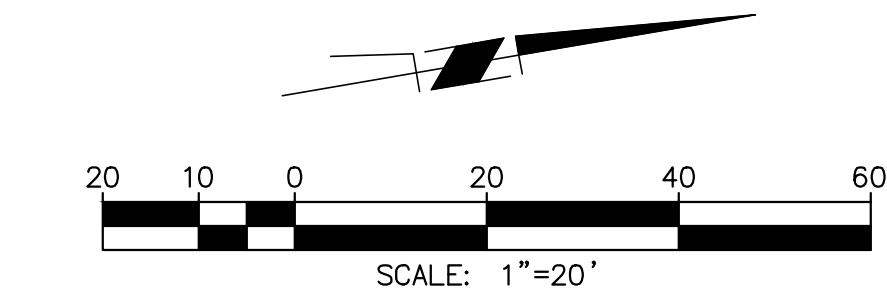
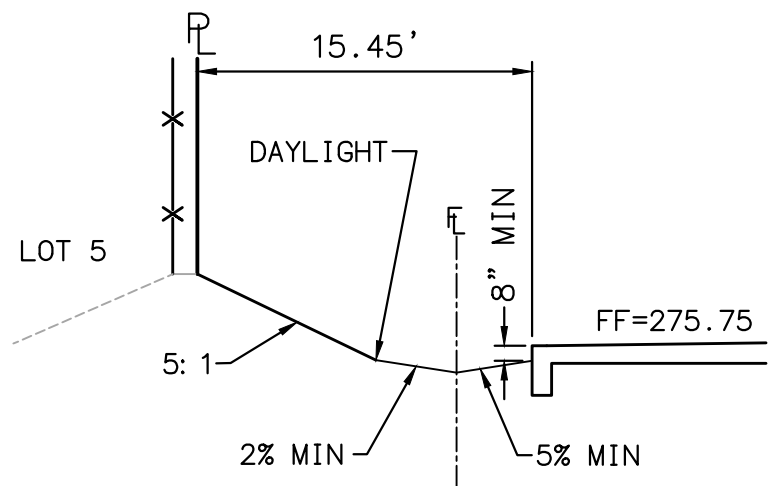
SECTION B-B
NTS



ROOF DRAIN CONNECTION DETAIL 3
NTS



SECTION C-C
NTS

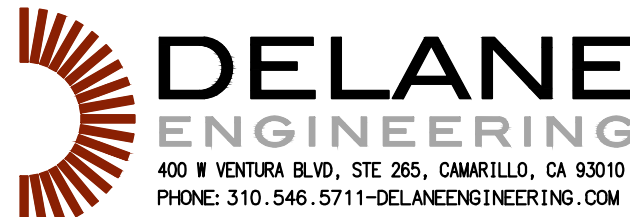


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PREPARED BY



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PHONE: 310.546.5711-DELANEENGINEERING.COM

SCOTT DELANE UHLES RCE NO 72391 DATE

WDID:
APN: 152-0-420-065
518 CORTE CORRIDA

REVIEWED:	
TRAFFIC ENGINEER	N/A
DATE	
REVIEWED:	
DIRECTOR, COMMUNITY DEVELOPMENT	
DATE	
REVIEWED:	
STORMWATER COORDINATOR	
DATE	
WATER RECLAMATION SUPERINTENDENT	N/A
DATE	
PUBLIC WORKS MAINTENANCE SUPERINTENDENT	N/A
DATE	
WATER SUPERINTENDENT	N/A
DATE	

REV.	DESCRIPTION	APP'D	DATE
DEPARTMENT OF PUBLIC WORKS CITY OF CAMARILLO			
TRACT 5920 LOT 6 HORIZONTAL CONTROL PLAN AND DETAILS			
DRN BY:	DT	DES BY:	DT
CK'D BY:	SU		
APPROVED:			
CITY ENGINEER			
PUBLIC WORKS			
RCE 76459			
EXP 12/31/2026			
RECOMMENDED BY:			
SPEC. NUMBER		PROJ. NUMBER	
F.B.	PG.	SHEET 3	OF 3
C			