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RESIDENTIAL REPORT

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08/24/2026



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Inspection Details

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report.

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Improve: denotes improvements which are recommended but not required.

Deferred Cost: denotes items that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next five (5) years.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

For the purpose of this report regarding locations the terms Right, left, front and rear are used in the context as if you are standing in front of the house street side and looking towards the structure.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the InterNACHI Standards of Practice are inspected, except as may be noted in the “Limitations of Inspection” sections within this report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this Inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in this report, and no opinion of the inspector,

should be construed as advice to purchase, or not to purchase, the property. It is the goal of the inspection to put a home buyer in a better position to make a buying decision.

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. The property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence of health related molds. You should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances.

Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

1: INSPECTION DETAILS

Information

General Information: Age of home

36 Years

General Information: In Attendance

Buyers agent

General Information: OCCUPANCY

Vacant

General Information: Type of building

Two story single family dwelling

General Information: Weather Condition

Inspected on a dry day

2: STRUCTURE

Information

Foundation: Material Slab on Grade	Wall Structure: Wall Strcture Wood Frame	Attic Area: Attic Access Hatch Location Master Bedroom Closet
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Limitations

General

STRUCTURAL LIMITATION

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components were inspected.
- Furniture and/or storage restricted access to some structural components.
- Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Foundation

IMPORTANT SOILS INFORMATION

We are not soil or geotechnical engineers and cannot render an opinion regarding soil stability or potential soil movement. If desired qualified specialists should be consulted on these matters.

Floor Structure

SLAB INACCESSIBLE COVERED BY FLOOR COVERINGS

The slab foundation is inaccessible for inspection as it is covered by floor coverings throughout. No opinion is given regarding inaccessible areas.

Additional Construction

ADDITIONAL CONSTRUCTION

Various modifications may have been made to the building since its original construction. Some but not necessarily all of the modifications were made to the following components and areas:

Remodeling of kitchen and bathrooms,

Installation of newer windows,

Plumbing, electrical and HVAC upgrades and repairs,

Rear detached patio cover,

Front attached porch cover,

Prior to the close of escrow we recommend a permit history be obtained from the local building department to determine if modifications to the building were made with permit. If no permits were issued and signed off, we recommend having all modifications completely evaluated by the appropriate government agency for code compliance. Buyers can take on significant risk on all non-permitted construction and modification.

Wood Boring Insects

NOT A WDO INSPECTION

This is not a Wood Destroying Organism Inspection. Should you desire information regarding the presence or absence of Wood Destroying Organisms such as but not limited to Termites, Beetles, Fungus and Dry-rot damage we recommend you contact a qualified Branch 3 Termite Company for inspection and written report.

Attic Area

ATTIC NOT INSPECTED

The attic was not inspected and is not part of this report.

The closet shelf will need to be removed to access the attic.

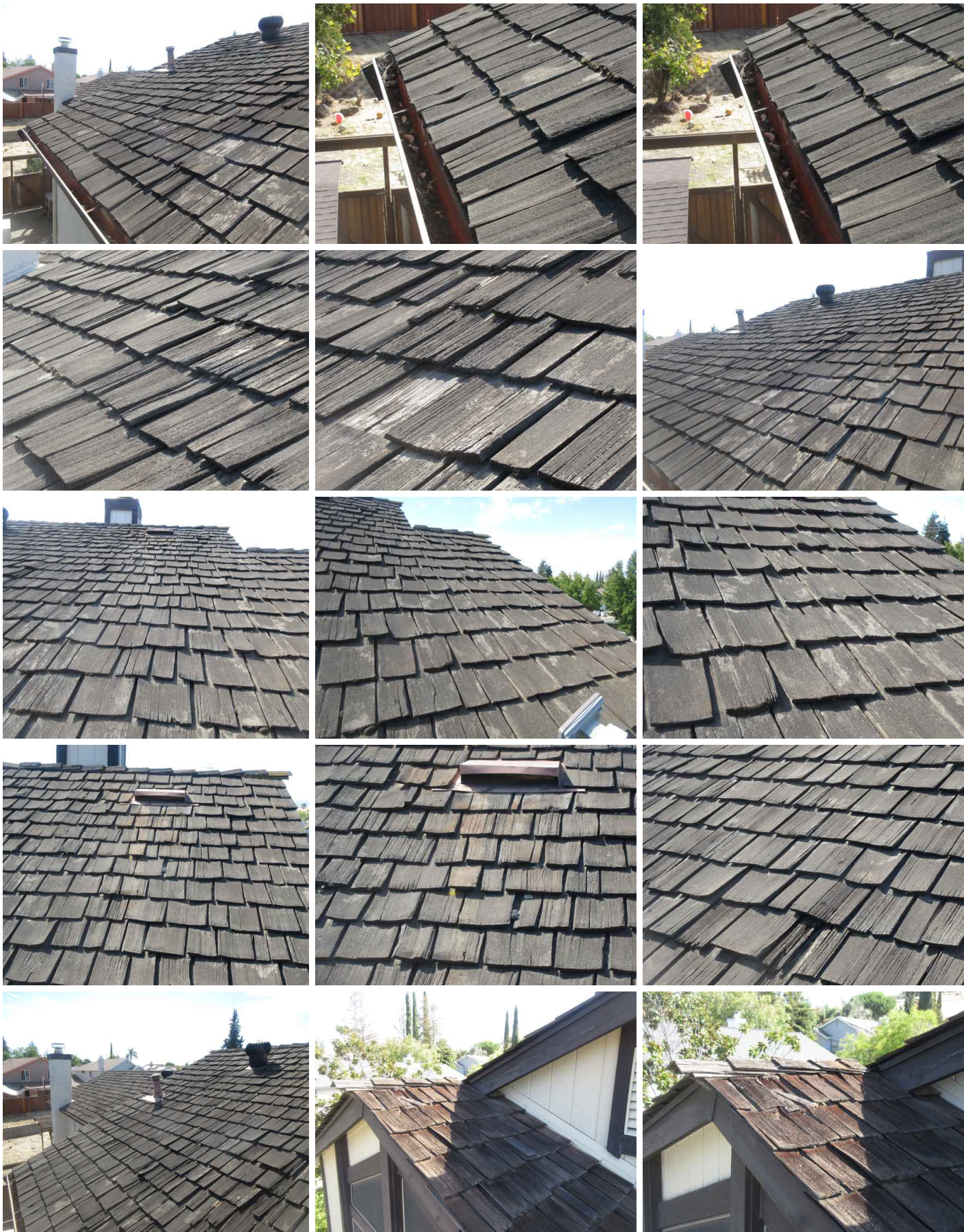
3: ROOF

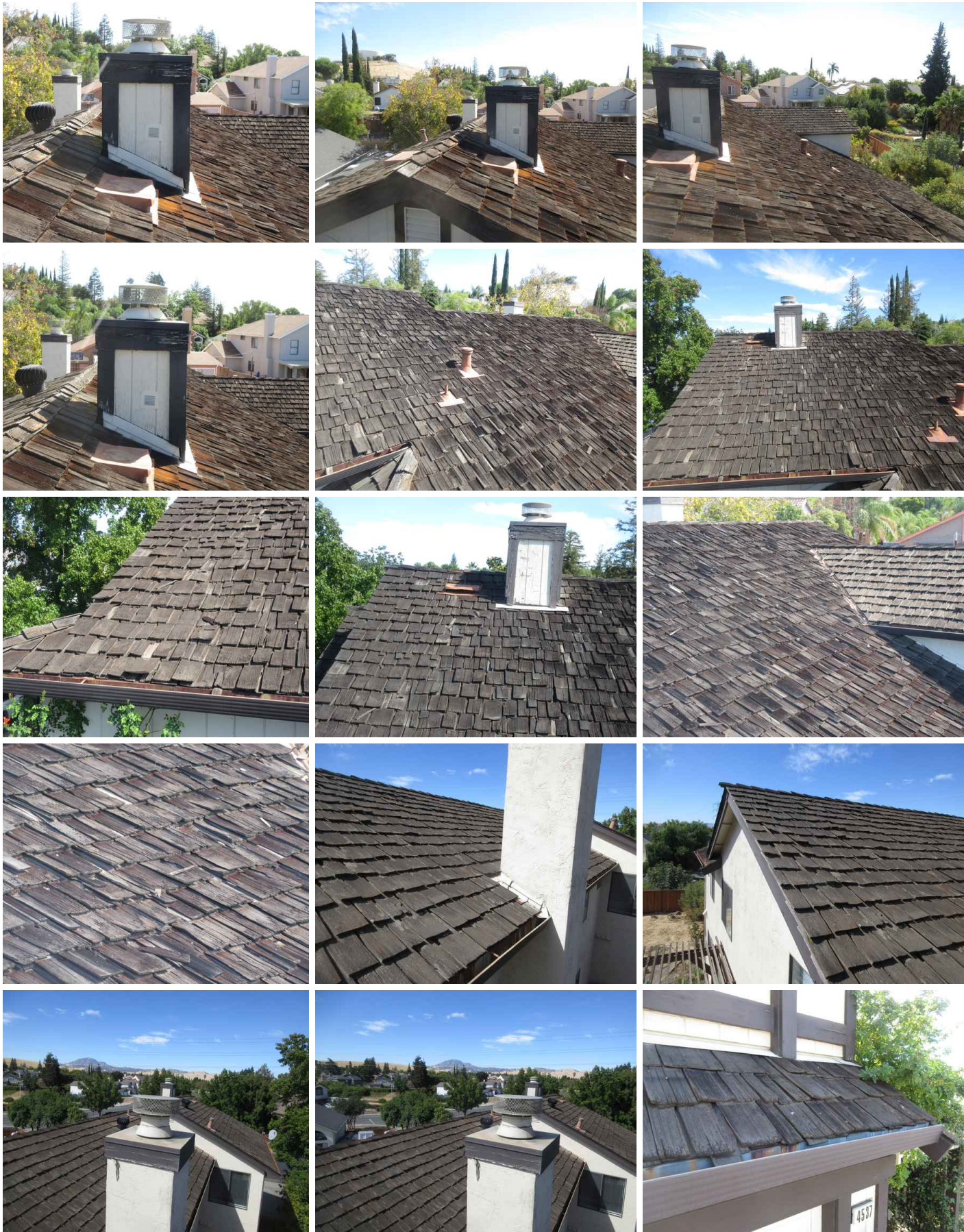
Information

Roof Type/Style Sloped	Coverings: Material Wood shake/shingle	Roof Drainage Systems: Gutter Material Metal
Roof Drainage Systems: Down Spouts Downspouts discharge above and below grade	Skylights, Chimneys & Other Roof Penetrations: Chimney Type Metal below siding	Skylights, Chimneys & Other Roof Penetrations: Pictures of the chimney



PICTURES OF THE ROOF







Limitations

General

IF YOU REQUIRE A ROOF CERTIFICATION

This inspection is not a guarantee against future leaks. Should you desire a guarantee against future leak you would need to contact a qualified roofer licensed by the CSLB to perform a complete roof inspection and if the roof qualifies you would need to make any needed repairs and then purchase a "Roof Certification".

General

LIMITATIONS OF ROOFING INSPECTION

Not all of the underside of the roof sheathing is inspected for evidence of leaks.

Evidence of prior leaks may be disguised by interior finishes.

Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage.

Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.

Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.

Roof inspection may be limited by access, condition, weather, or other safety concerns.

Coverings

ROOF INSPECTED FROM DRONE OR CAMERA POLE

Portions of the roof were viewed from a camera on a droan or camera pole. Some sections of the roof could not be viewed.

Roof Drainage Systems

UNDERGROUND DRAINAGE

Underground drainage has been provided for the gutter downspout system. Because we are unable to view the underground drainage system, we suggest verification by the seller that adequate installation has been performed and proper drainage has been provided.

Deficiencies

3.1.1 Coverings

**WOOD SHAKE ROOF END OF LIFE**

The wood shake roof covering has reached the end of its serviceable life and requires replacement. Wood shake roofs typically last 20-40 years depending on climate, maintenance, and exposure. Continued use of an end-of-life roof risks water infiltration, interior damage, and potential structural compromise. A roofing professional should evaluate the roof and provide a replacement estimate and timeline.



3.2.1 Roof Drainage Systems

**DOWNSPOUTS DRAIN NEAR HOUSE**

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation. We recommend that all of the downspouts be routed away from the structure by installing splash blocks or hoses, or an underground drainage collection system to prevent pooling, saturation of the soil and/or crawl space intrusion.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.



3.2.2 Roof Drainage Systems

**DEBRIS IN GUTTERS**

We recommend having the gutters cleaned by a qualified professional.



3.2.3 Roof Drainage Systems



WATER STAINS GUTTER SEAMS

The home was inspected on a dry day. Water stains were noted at the gutter seams. This can be an indication of gutter leaks. We recommend having the gutters water tested by a qualified roofer and repaired if/as needed. Often times gutter leaks can be easily corrected by installing a water proof caulking designed for gutters.



3.2.4 Roof Drainage Systems



DISCONNECTED DOWNSPOUTS FROM UNDERGROUND DRAIN

Portions of the downspouts are disconnected from the below-ground drain system. This prevents proper water drainage away from the foundation, allowing water to pool near the structure. Have a gutter contractor reconnect the downspouts to the underground drain system to restore proper drainage.

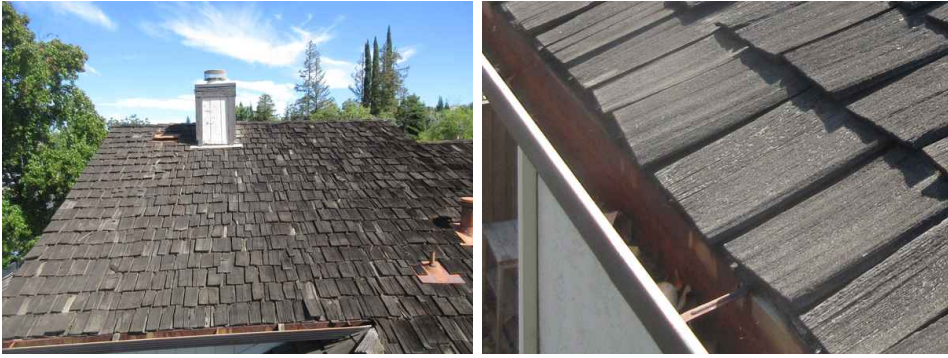


3.2.5 Roof Drainage Systems



RUSTED GUTTERS

Rust damage was observed on the gutters during roof drainage inspection. Rust compromises the structural integrity of the gutter system and can lead to leaks, water damage to fascia and siding, and eventual gutter failure. Have a gutter contractor evaluate the extent of rust damage and recommend repair or replacement options.



3.3.1 Flashings



Recommendations

DEBRIS IN VALLEY FLASHING

Debris should be removed from the roofing and valley flashing to reduce risk of leaks.



3.3.2 Flashings



Recommendations

PIPE FLASHING DAMAGED

We noted various pipe flashings with rips, tears and/or puncture holes. To ensure a water tight condition the flashings must be repaired and/or replaced.



3.4.1 Skylights, Chimneys & Other Roof Penetrations



Recommendations

DETERIORATED CHIMNEY SIDING AND TRIM

Chimney siding and trim above the roof line show significant deterioration and weathering. This exposure to the elements can allow water infiltration into the chimney structure and surrounding roof areas. A chimney and siding repair contractor should evaluate the extent of damage and recommend appropriate repairs or replacement.



4: EXTERIOR

Information

Siding, Flashing & Trim: Siding Material

Wood, Stucco, Artificial stone or stone

Walkways, Patios & Driveways: Driveway Material

Concrete

Vegetation, Grading, Drainage & Retaining Walls: Surface Drainage

Level Grade, Graded away from house, Graded towards house

Walkways, Patios & Driveways: Walkway Material

Concrete

Vegetation, Grading, Drainage & Retaining Walls: Retaining Wall Material

Wood, Block

Fences and Gates: Fence Material

Wood

General: Pictures of the exterior

Exterior Doors: Exterior Entry Door

Wood, Metal, Sliding Glass



Limitations

General

EXTERIOR LIMITATIONS

A representative sample of exterior components was inspected rather than every occurrence of components.

The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.

Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.

The inspection does not include an assessment of geological conditions, site stability and property surface and/or underground drainage runoff.

Exterior areas above eight feet were not inspected.

General

SHED NOT INSPECTED

The shed was not inspected and is not part of this report. This inspection does not determine if the shed is in an acceptable location. Most building jurisdiction have a required distance that the shed should be set back from property lines most often 3-4 feet

Siding, Flashing & Trim

EXTERIOR PORTIONS IA STORAGE/VEGETATION

Portions of the exterior of the home were restricted due to vegetation and/or stored items or debris.



Window Exteriors

SCREENS ON WINDOWS LIMITED INSPECTION

Sun screens on the windows limited the inspection of the exterior sides of the windows and window frames.

Fences and Gates

FENCING AND GATES – SCOPE & DISCLAIMER

The evaluation of exterior fencing and gates is outside the scope of the InterNACHI Standards of Practice. Inspectors are not required to determine property lines, boundary placement, code compliance, or long-term durability of fences and gates.

Any comments regarding fencing or gates in this report are provided as a courtesy only, based on visible and accessible conditions at the time of inspection. Observations may include obvious damage, deterioration, leaning, sagging, missing components, or gates that fail to latch or close properly. These notes are not intended to represent a comprehensive assessment.

Recommendation: Where safety, security, or functionality is a concern, the Inspector recommends repair or replacement by a qualified fencing or general contractor.

Deficiencies

4.1.1 General

WATER DAMAGE TO SIDING AND TRIM

Water damage observed on the exterior siding and trim during inspection. This indicates moisture intrusion that can lead to rot, structural deterioration, and mold growth if not addressed. A qualified contractor should evaluate the extent of damage and identify the moisture source to prevent further deterioration.





4.2.1 Siding, Flashing & Trim



Recommendations

SIDING CAULK DETERIORATED

The exterior siding and trim caulking is deteriorated. Contact a qualified contractor to caulk and seal exterior surfaces as needed to keep any water from entering.



4.2.2 Siding, Flashing & Trim



Information/Observation

STUCCO CRACKS TYPICAL

Cracks were observed on the exterior stucco walls of the house. This implies that structural movement has/may have occurred. The location, size, shape of these cracks is common. The inspection did not find evidence of significant movement requiring immediate major repairs.



4.2.3 Siding, Flashing & Trim



Recommendations

STUCCO DAMAGE

Localized damage of the stucco exterior walls should be repaired. There is extra risk of hidden damage in such areas caused by previous or present leaks that should be sealed.



4.2.4 Siding, Flashing & Trim



Recommendations

WINDOW SHELF GAP AT SIDING

A gap was observed between the front window shelf and siding during exterior inspection. This opening allows water infiltration and air leakage, potentially causing water damage to framing and insulation, and increased energy loss. The gap should be sealed with appropriate caulk or flashing and secured to prevent further deterioration.



4.2.5 Siding, Flashing & Trim



VEGETATION CONTACT WITH HOUSE AND PORCH

Vegetation is in direct contact with the exterior of the house and porch structure. This contact can trap moisture against the siding, promote wood rot, and create entry points for pests and insects. Remove vegetation away from the house to maintain proper clearance and allow the exterior to dry.

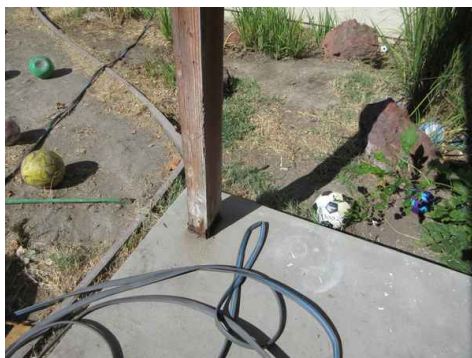


4.4.1 Decks, Balconies, Porches & Steps



DETERIORATED PATIO COVER WITH RUSTED BRACKETS

The rear patio cover exhibits significant deterioration with rusted brackets that are poorly secured to the concrete floor. This compromised structural integrity creates a potential safety hazard, as the cover could fail. A qualified contractor should evaluate the extent of rust damage, assess structural stability, and either reinforce or replace the cover and fastening system as needed.





4.5.1 Eaves, Soffits & Fascia

BARGE RAFTER DAMAGE

One or more of the roof line barge rafters and portion of the roof eave sheathing are water damaged, warped and poorly secured. Contact a qualified contractor to evaluate the entire roof line eave system and repair as needed.



4.6.1 Vegetation, Grading, Drainage & Retaining Walls

NEGATIVE GRADING

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

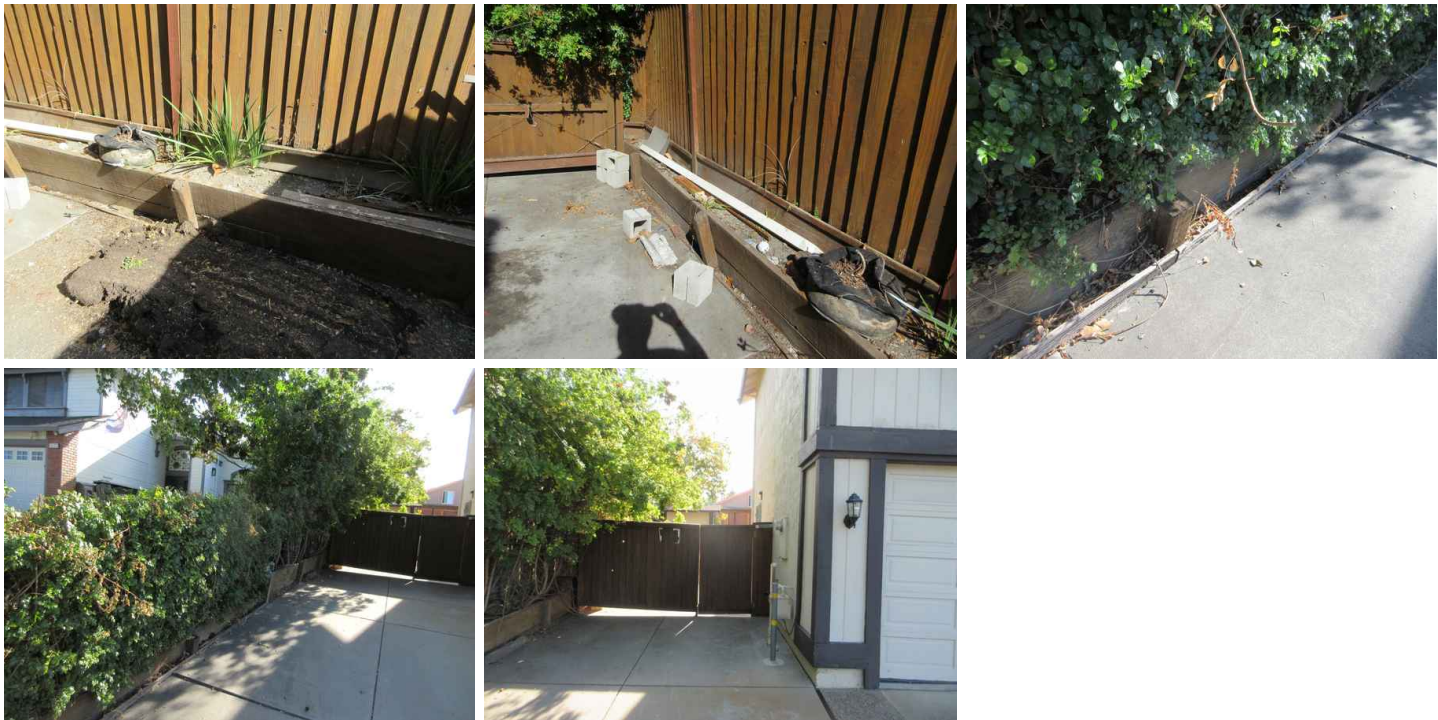


4.6.2 Vegetation, Grading, Drainage & Retaining Walls

 Recommendations

DAMAGED AND LEANING RETAINING WALL

A wooden retaining wall shows visible damage and is leaning out of plumb. This indicates structural failure and potential soil pressure issues. A structural engineer or qualified contractor should evaluate the wall's stability and recommend repair or replacement to prevent collapse and property damage.



4.7.1 Walkways, Patios & Driveways

 Recommendations

DRIVEWAY TRIP HAZARD

Trip hazards observed. Patch or repair recommended.



4.7.2 Walkways, Patios & Driveways

WALKWAYS TRIP HAZARD

The walkways, sidewalk, patio and driveway present a trip hazard at cracked uneven surfaces and missing and damaged screed boards. These conditions should be altered for improved safety.



4.10.1 Window Exteriors

WINDOW RUBBER SEALS DETERIORATED

Portions of the exterior rubber window gaskets/seals are deteriorated which can allow water entry into the structure. This condition can lead to fungus and rot damage at framing and wooden window sills. Contact a qualified window contractor to evaluate all windows and window seals and repair/replace as needed.

4.10.2 Window Exteriors

WINDOWS REQUIRE CAULKING

The windows require caulking to prevent water entry.

4.11.1 Fences and Gates

FENCE NEEDS PORTIONS REPAIR

Portions of the fences and gates are in need of repair. Contact a qualified fence contractor to evaluate all fences and repair as needed.



4.12.1 Front Porch

VEGETATION OVERGROWTH AT ENTRY COVER

Vegetation has grown against and is weighing on the front porch entry cover, which was not designed to support this additional load. The overgrown plants should be cut away to relieve stress on the structure and prevent potential damage or collapse of the cover.



Recommendations



5: GARAGE

Deficiencies

5.3.1 Walls & Firewalls

WALL STAINING

Staining observed at the base of the garage wall during inspection. The stain type could not be definitively determined during this visit. Further evaluation by a qualified professional may be warranted to identify the stain source and determine if any remediation is needed.



Information/Observation



5.4.1 Garage Door

DETERIORATED GARAGE DOOR WITH WATER DAMAGE

The garage door panels show visible deterioration with pockets of water damage observed during inspection. Water intrusion can compromise the door's structural integrity and lead to rust, rot, or mold growth. A garage door contractor should evaluate the extent of damage and recommend repair or replacement options.



Recommendations



5.5.1 Garage Door Opener

GARAGE DOOR OPENER MALFUNCTION



Recommendations

The single car garage door does not operate properly and fails to open the door. One of the three garage openers present is out of service. A garage door opener professional should evaluate the non-functioning opener to determine whether repair or replacement is needed.

All of the openers should be evaluated by a qualified contractor and repaired as needed to meet all current safety standards and operate properly.



5.7.1 Occupant Door (From garage to inside of home)

 Safety Hazard

DOOR DOES NOT MEET SEPARATION REQUIREMENTS

The garage door is damaged at the lower corner. There is a gap at the base of the garage door. Door separating garage and home does not meet safety standards. Doors in firewalls must be at least 1 3/8-inch thick, metal/steel, or a 20-minute fire-rated door.



5.7.2 Occupant Door (From garage to inside of home)

 Safety Hazard

AUTO CLOSE NEEDED ON MAN DOOR

The door between the house and garage should be fitted with an automatic closer that closes the door all the way from any open position. This will reduce the potential of toxic automobile gases entering the house.



6: ELECTRICAL

Information

PICTURE OF THE ELECTRICAL METER



Main Disconnect Breakers

Service 120/240 volt main service

Service Entrance Conductors: Electrical Service Conductors Below Ground

GFCI & AFCI: Ground Fault Circuit Interrupters None

Smoke Detectors: Smoke Detectors Present, Absent

Carbon Monoxide Detectors: Carbon Monoxide Detector Present First Floor, Absent Second Floor

All Electrical Repairs Listed are Safety Items

Important Safety Notice: All electrical repairs listed in this report should be considered as important safety items as they present risk of fire or shock. These items should receive high priority for action.

Picture of main panel Exterior left



Picture of Sub Panel

Garage



GFCI & AFCI: AFCI NONE PRESENT

An arc-fault circuit interrupter (AFCI) is an electrical device designed to provide protection from the effects of electrical arc faults and de-energize the circuit when an arc fault is detected. There is a difference between AFCIs and GFCIs. AFCIs are intended to reduce the likelihood of fire caused by electrical arcing faults; whereas, GFCIs are personnel protection intended to reduce the likelihood of electric shock hazard.

There did not appear to be AFCI protection installed in this building. As an upgrade, we recommend AFCI protection be installed in all required areas by a licensed electrician.

GFCI & AFCI: GFCI INFORMATION

GFCI Protection

Ground fault circuit interrupters (GFCIs) are modern electrical devices, either receptacles or circuit breakers, designed to protect the occupants from electric shock. In the event of a fault in a ground-fault protected appliance, the current passing through a person to ground is detected and the circuit is shut off, protecting from potentially fatal shocks. GFCIs are required in all wet or damp environments. These include, but may not be limited to, all kitchen countertop receptacles, near all sinks, in bathrooms, garages, at spas, hot tubs, fountains, pools, crawl spaces, near laundry tubs, and on the exterior. We recommend that all such locations be provided with GFCI protection if they are not already so equipped. This will considerably improve electrical safety for occupants of the building. All GFCI devices must be tested in accordance with the manufacturer's recommendations to ensure that they continue to provide the necessary protection.

Limitations

General

PORTIONS OF THE ELECTRICAL SYSTEM ARE INACCESSIBLE

Several portions of the electrical system are inaccessible and were not inspected. Electrical enclosed in walls is not inspected. Electrical behind stored items is not inspected. We recommend you have a qualified electrician evaluate the entire electrical system and repair/replace if/as needed.

General

ELECTRICAL LIMITATIONS

Electrical components concealed behind finished surfaces are not inspected.

Only a representative sampling of outlets and light fixtures were tested.

Furniture and/or storage restricted access to some electrical components which may not be inspected.

The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Lights with built in motion sensors are not tested and are not part of this inspection.

Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow or breakers trip regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits.

Inspection of the installation, wiring and function of an electrical vehicle charger is excluded from this report. We recommend consulting the vehicles manufacturer specifications for further information on installation, testing and operation.

Main & Subpanels, Service & Grounding, Main Overcurrent Device

MAIN PANEL COVER NOT REMOVED

The main panel cover plate (dead front) could not be removed at the time of inspection.

Main & Subpanels, Service & Grounding, Main Overcurrent Device

SUB PANEL COVER NOT REMOVED

The auxiliary/sub panel cover plate (dead front) could not be removed at the time of inspection.

Deficiencies

6.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device



Safety Hazard

DEAD FRONT COVER SCREWS MISSING

A dead front cover screw is missing at the main panel and needs to be added.



6.3.1 Branch Wiring Circuits, Breakers & Fuses



Recommendations

EXPOSED WIRES REQUIRING JUNCTION BOX



Exposed wires were observed on the exterior above the front garage automatic door. These wires lack proper protection in a junction box, creating both a safety hazard and a code compliance issue. Exposed electrical connections are vulnerable to weather damage, physical contact, and potential shock hazards. An electrical contractor should install an appropriate weatherproof junction box to protect these connections and ensure safe operation.

6.3.2 Branch Wiring Circuits, Breakers & Fuses



Recommendations

EXTENSION CORD USED FOR PERMANENT WIRING

An extension cord was observed being used as permanent wiring in the garage. Extension cords are designed for temporary use only and can overheat when used continuously, creating a fire hazard. The wiring should be replaced with properly installed permanent circuits and conduit by a qualified electrician to ensure safe and code-compliant electrical service.



6.4.1 Outlets



Recommendations

COVER PLATES MISSING

One or more receptacles are missing a cover plate and/or cover plate is not secured to the outlet most evident at the living room stair side. This causes short and shock risk. Recommend installation of plates.

6.4.2 Outlets



Recommendations

LOOSE OUTLETS - GENERAL TIGHTENING

Several of the interior outlets and/or switches are loose in their boxes. We recommend a general tightening and "tune-up" of all of the loose receptacles.

6.4.3 Outlets



Recommendations

UNGROUND 3-PRONG OUTLETS

PRIMARY BATHROOM VANITY AREA

Ungrounded 3-prong outlets should be repaired. In some cases a ground wire may be present in the electrical box and simply needs to be connected. If no ground is present "repair" can be as simple as filling the ground slot with epoxy. Better, since having a ground increases safety, a grounded circuit could be strung to this outlet, or a separate ground wire could be connected. Some electrical codes allow the installation of a ground fault circuit interrupter (GFCI) type outlet where grounding is not provided. In this case the GFCI may work but can't be tested by normal means.

6.5.1 GFCI & AFCI



Recommendations

NO GFCI PROTECTION INSTALLED

No GFCI protection present in all locations. Recommend licensed electrician upgrade by installing ground fault receptacles in all locations.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

6.6.1 Smoke Detectors

SMOKE DETECTORS INSUFFICIENT

Safety Hazard

The installation of smoke detectors outside and inside all sleeping areas is recommended.

A smoke detector is missing at the second floor hallway.



6.6.2 Smoke Detectors

TEN YEAR NOTE

Information/Observation

Smoke Detectors should be evaluated for age. Any smoke detectors older than ten years should be replaced with new.

6.7.1 Carbon Monoxide Detectors

NO CO2 (CARBON MONOXIDE) ALARMS ARE INSTALLED IN THE HOME

Safety Hazard

No permanently installed carbon monoxide alarm was installed in the home at the accessible areas of the second floor hallway. We recommend installing approved CO alarms outside of each separate sleeping area.

6.9.1 Lighting

LIGHT INOPERATIVE

Recommendations

One or more of the lights are inoperative most evident at the exterior side garage door and rear exterior and interior first floor hallway. This may be due to turned off switches which were not located during our inspection. If the bulb has not failed or the lights switched off, the circuit should be investigated and repaired.



7: HEATING

Information

Equipment: Brand Rheem	Equipment: Energy Source Gas	Equipment: Heat Type Forced Air
Equipment: Furnace Location Hall Closet	Equipment: PICTURES OF THE HEATING SYSTEM	Normal Operating Controls: Number of Visible Thermostats One



Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

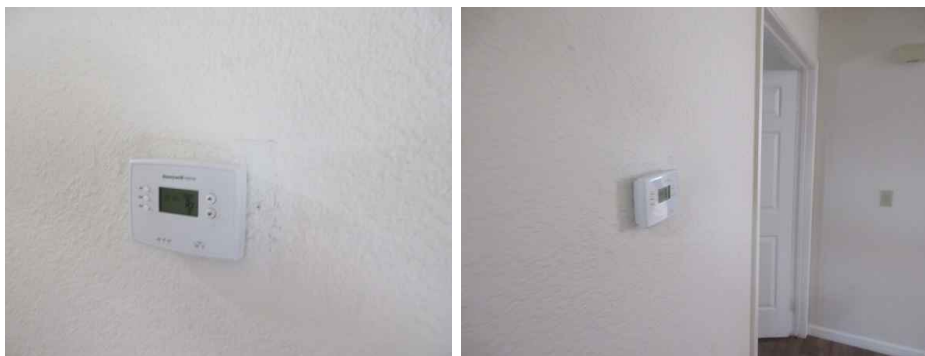
THE SYSTEM RESPONDED PROPERLY TO OPERATING CONTROLS

The furnace responded to normal operating controls and the components appear to be in serviceable condition. Routine maintenance will keep it functional and maximize service life.



Normal Operating Controls: Thermostat Location

First Floor



Limitations

General

LIMITATIONS OF HEATING INSPECTION

The adequacy of heat supply or distribution balance is not inspected.

The interior of flues or chimneys which are not readily accessible are not inspected.

The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.

Solar space heating equipment/systems are not inspected.

As per current standards the heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, most local utility companies will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.

Inspection of the heater and/or air conditioner thermostat is limited to operating the units(s) on and off function only.

Testing of the thermostat timer, temperature accuracy, clock, set back functions, etc. were not performed.

As per current standards determining furnace heat supply adequacy or inadequacy, distribution balance or sizing of the unit or units is not a part of this inspection.

The wall mount and/or window mounted air conditioning unit (if applicable) was not inspected and are excluded from this report.

Heating and/or air conditioning registers where accessible were visually inspected. Manual operation of the registers was not performed.

Distribution Systems

DUCTS INACCESSIBLE

The majority of the HVAC ducting was inaccessible for inspection.

Deficiencies

7.1.1 Equipment

NEEDS SERVICING/CLEANING



Furnace should be cleaned and serviced annually. Recommend a qualified HVAC contractor clean, service and certify furnace.

7.1.2 Equipment

OLD FURNACE

This furnace appears to be at or past the end of its economic life expectancy.



Information/Observation

7.1.3 Equipment

VERMIN DROPPINGS IN FURNACE CLOSET

Vermin droppings were observed in the furnace closet during inspection. This indicates pest activity near the heating equipment and may pose health and sanitation concerns. A pest control professional should inspect the area, identify the pest type, and implement appropriate treatment and exclusion measures to prevent further infestation.



Recommendations



7.1.4 Equipment

UNSEALED FURNACE VENT SEAMS

No tape is installed covering the seams at the furnace vent. Unsealed vent seams can allow conditioned air to escape and permit outside air infiltration, reducing system efficiency and potentially allowing combustion gases to enter living spaces. All vent seams should be sealed with appropriate HVAC tape or mastic sealant by a qualified HVAC professional.



Recommendations



8: COOLING

Information

Cooling Equipment: Brand Rheem	Cooling Equipment: Energy Source/Type Electric	Cooling Equipment: Location Exterior left
Cooling Equipment: Manufacture year of Condenser 1989	Cooling Equipment: Number of units One	

THE SYSTEM RESPONDED PROPERLY TO OPERATING CONTROLS



Pictures of cooling equipment



Limitations

General

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

Window mounted air conditioning units are not inspected.

The cooling supply adequacy or distribution balance are not inspected.

Deficiencies

8.1.1 Cooling Equipment

**RUSTED CONDENSER HOUSING**

Rust was observed on the condenser housing during inspection. Corrosion can compromise the structural integrity of the unit and may lead to refrigerant leaks or reduced cooling efficiency over time. A heating and cooling contractor should evaluate the extent of rust and recommend whether cleaning, coating, or unit replacement is necessary.



8.1.2 Cooling Equipment

**DAMAGED DISCONNECT PANEL INNER COVER**

The inner cover of the disconnect/fuse panel serving the cooling equipment is damaged. This was observed during the cooling system inspection. A damaged cover can expose electrical components to dust, debris, and accidental contact, creating potential safety hazards. The cover should be replaced by a qualified HVAC or electrical professional to restore proper protection and ensure safe operation.



8.3.1 Distribution System

DUCT CLEANING IS RECOMMENDED

Duct cleaning is recommended.



9: ATTIC, INSULATION & VENTILATION

Information

Ventilation: Ventilation Type

Turbines, Roof Vents, Eave Vents



DRYER VENT: DRYER VENT CLEAN UPON MOVE IN

The inspector recommends cleaning the dryer ducting at move-in and every 2 years thereafter. Dirty dryer ducting is a major cause of household fires. Recommend consulting with a qualified tradesman for further evaluation and cleaning.

Limitations

General

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.

Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.

An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.

Any estimates of insulation R values or depths are rough average values.

Attic Insulation

ATTIC NOT INSPECTED

No access was gained to the attic. The attic was not inspected.

10: PLUMBING

Information

Water Source
Public

Picture of main water shut off
Exterior front



Drain, Waste, & Vent Systems: Material
ABS, Portions not visible

Drain, Waste, & Vent Systems: Waste System
Public Sewer System

Water Supply, Distribution Systems & Fixtures: Water Supply Material
Copper, Portions not visible

Water Supply, Distribution Systems & Fixtures: Water Supply Source
Public Water Supply

Hot Water Systems, Controls, Flues & Vents: Location
Garage

Hot Water Systems, Controls, Flues & Vents: Power Source/Type
Gas

Hot Water Systems, Controls, Flues & Vents: PICTURE HOT WATER

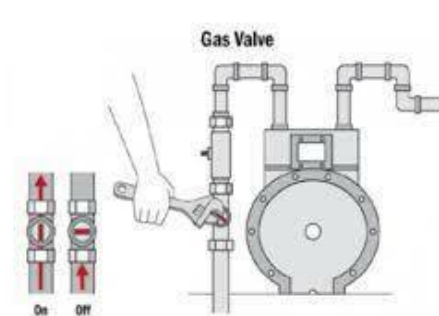


Hot Water Systems, Controls, Flues & Vents: Water Heater Size (Gallons)
40

Hot Water Systems, Controls, Flues & Vents: Water Heater Year
2024

Picture of main gas shut off Valve

Exterior left



Hot Water Systems, Controls, Flues & Vents: Manufacturer

Rheem

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

Hot Water Systems, Controls, Flues & Vents: PICTURE OF THE WATER HEATER



Limitations

General

SEVERAL PORTIONS OF THE PLUMBING SYSTEM ARE INACCESSIBLE

Several portions of the plumbing system are inaccessible for inspection. Plumbing enclosed in walls is not inspected. Plumbing behind stored items and furniture is not inspected. Plumbing in inaccessible portions of the crawlspace is not inspected. Plumbing covered by concrete slabs is not inspected. We recommend you have a qualified plumber evaluate the entire plumbing system and repair/replace if/as needed.

General

WATER CONSERVATION

Effective January 1, 2017, a new California law requires the installation of water conserving or low-flow plumbing fixtures in

all single-family residences built prior to 1994. The bill is not a time-of-sale requirement, but applies to all single-family

residences constructed prior to 1994, regardless of whether a property is being sold. If a property includes any non-compliant plumbing fixtures, the law requires the owner to disclose this in writing at time of sale. Effective January 1, 2019, this law will also apply to multi-family residences. Verifying if fixtures are compliant with this requirement, regardless of

any labeling that may or may not be present on the fixture, is beyond the scope of this inspection.

General

LIMITATIONS OF PLUMBING INSPECTION

This is a visual inspection to the accessible areas only. We do not determine whether the properties' water supply and sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.

Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.

Clothes washing machine connections are not inspected. • Interiors of flues or chimneys which are not readily accessible are not inspected.

Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Water pressure is not tested unless noted in this report.

When a home is furnished or occupied the plumbing below bathroom and kitchen sinks is not inspected and is excluded from this report.

The effect and amount of lead content in solder and/or supply lines is beyond the scope of this inspection.

Should pools or spas exist on the property they are not part of this inspection.

The washing machine faucets were not tested.

This is a visual inspection to the accessible areas only. We do not determine whether the properties' water supply and sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

Rob Bowlen Home Inspection Inc. does not determine if any fixtures or toilets are water conserving.

The interior portions of the water heater were restricted. For additional information we recommend the services of a licensed plumbing contractor. As a free public service, the local utility company will perform a "safety" review of the interior of the water heater and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.

SEWER LATERAL NOT PART OF THIS INSPECTION

THIS INSPECTION DOES NOT INCLUDE INSPECTION OF THE SEWER LATERAL

When purchasing a home we always recommend you contact a qualified plumber to perform a sewer lateral inspection.

Deficiencies

10.3.1 Water Supply, Distribution Systems & Fixtures

TOILET RUNS ON

FIRST FLOOR BATHROOM

The toilet runs on after flushing. Improvement to the tank mechanism is likely to be needed.



Information/Observation

10.3.2 Water Supply, Distribution Systems & Fixtures



Information/Observation

ANTI-SIPHON NOT INSTALLED AT EXTERIOR HOSE BIBBS

To reduce the risk of contamination of supply water, installation of anti-siphon devices on exterior hose bibbs would be wise.

Backflow prevention devices are now required on exterior hose bibbs to prevent contamination of the domestic water supply. These devices are inexpensive and available at most hardware stores. Consider upgrading the hose bibbs by installing backflow devices.



10.3.3 Water Supply, Distribution Systems & Fixtures



Recommendations

SHOWER DOORS SLIDE POORLY

FIRST FLOOR BATHROOM

The shower doors are not sliding smoothly along their tracks. This may be caused by dirt, mineral deposits, or misalignment of the door frames. Cleaning the tracks thoroughly and lubricating with an appropriate product should restore proper operation; if problems persist, professional adjustment or replacement may be needed.



10.3.4 Water Supply, Distribution Systems & Fixtures



Information/Observation

WINDOW SEAL DETERIORATION

A window below the shower head in the second floor hall bathroom requires needs to be kept well sealed to prevent water entry. Water exposure from shower spray can compromise window seals, leading to water infiltration, moisture damage, and potential mold growth.



10.3.5 Water Supply, Distribution Systems & Fixtures

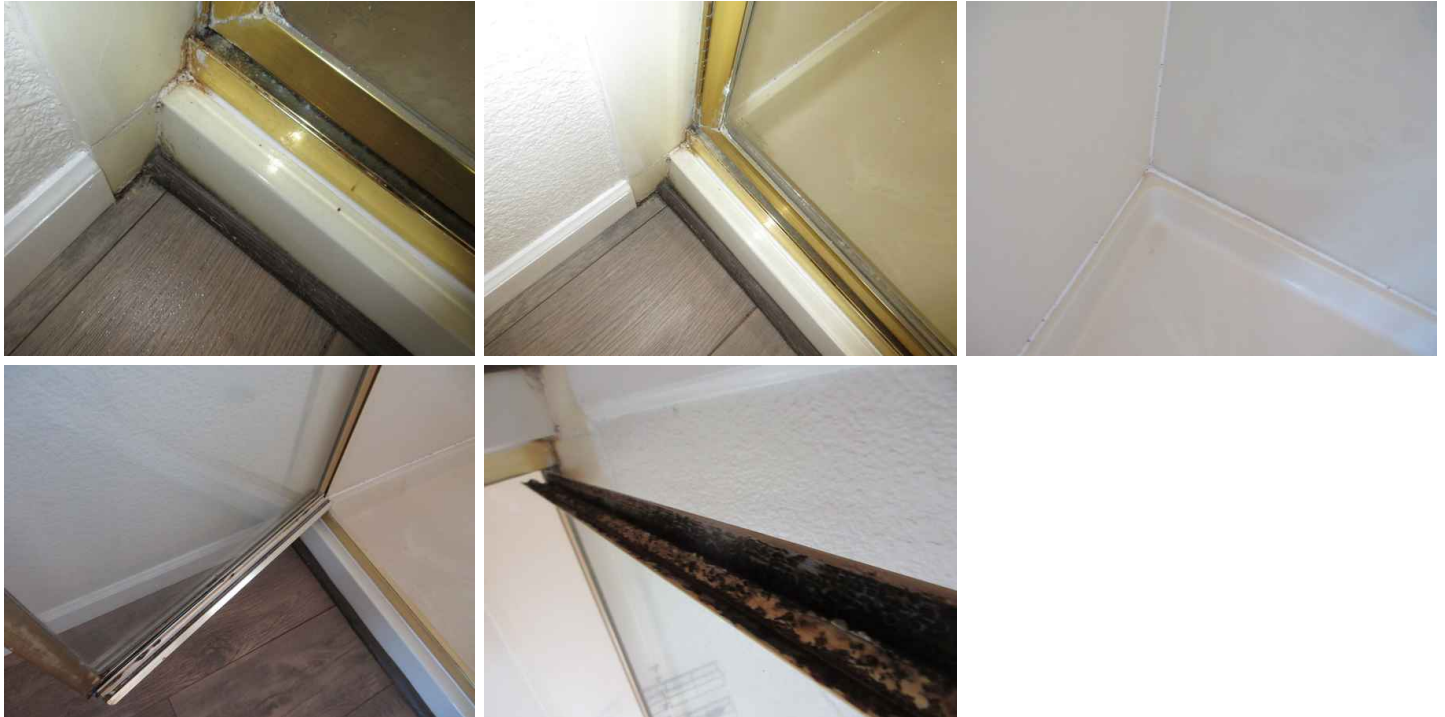
DETERIORATED SHOWER DOOR SEAL AND CAULK



Recommendations

The caulking around the shower door and at the stall walls has deteriorated. This allows water to penetrate behind the enclosure, potentially causing water damage to framing and substrate materials. Re caulk all joints with appropriate waterproof caulk to restore the water barrier and prevent further moisture intrusion.

The shower door seal needs replacement.



10.3.6 Water Supply, Distribution Systems & Fixtures



DRIPPING FAUCET WITH LOOSE FIXTURE

The sink faucet is dripping and the fixture is slightly loose at the sink. A dripping faucet typically indicates worn washers or seals inside the valve, while a loose fixture suggests the mounting hardware needs tightening. If left unaddressed, this can lead to water waste, increased utility bills, and potential water damage to the cabinet or countertop below. Tighten the fixture mounting nuts and have a plumbing contractor inspect and repair the faucet valve to stop the drip.



10.3.7 Water Supply, Distribution Systems & Fixtures



MISSING SHOWERHEAD

The showerhead is missing from the shower fixture in the master bathroom. This prevents normal operation of the shower and should be replaced with a compatible unit. A plumbing contractor can install an appropriate showerhead to restore full functionality.



10.4.1 Hot Water Systems, Controls, Flues & Vents



Information/Observation

CORROSION VALVE ABOVE WATER HEATER

The supply piping and/or valve above the water heater shows evidence of a minimal amount of corrosion. Watch for leaks repair as needed.



10.4.2 Hot Water Systems, Controls, Flues & Vents



Recommendations

WATER HEATER LEANING

The water heater is leaning slightly out of vertical position. This misalignment can stress internal components and connections, potentially leading to leaks or premature failure. A qualified professional should inspect the unit's mounting and foundation to ensure proper support and stability.



10.5.1 GAS METER, GAS PIPES

NO AUTOMATIC GAS SHUT OFF VALVE

An automatic gas shut off valve is not installed. Many insurance companies and municipalities are starting to require that these devices be installed. We recommend you check with your insurance company and local building department as to what they require.



Information/Observation

10.5.2 GAS METER, GAS PIPES

WRENCH RECOMMENDED FOR THE GAS SHUTOFF

The main gas supply shutoff valve is located on the riser pipe between the ground and the meter. To shut off the gas to the entire building, use a wrench (gas shut off wrenches are available at any hardware store), rotate the shut-off valve one-quarter turn in either direction until it is perpendicular to the supply pipe.



Information/Observation

11: INTERIOR

Information

PICTURES OF INTERIOR	Walls: Wall Material Drywall	Windows: Window Type Sliders, Double Pane, Fixed Pane
Floors: Floor Coverings Carpet, Tile, Laminate or LVP		

Limitations

General

LIMITATIONS OF INTERIOR INSPECTION

Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.

Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

The insides of cabinets and vanities were not inspected and are not included in this report.

Interior areas above eight feet from ground level were not inspected.

Windows

EVALUATION OF DUAL PANE WINDOWS

The evaluation of the thermal pane windows ("dual pane/glazed") is limited to accessible windows exhibiting noticeable conditions at the time of our inspection, such as condensation and/or evidence of moisture between the panes of glass. Due to known design and/or characteristics associated with thermal pane windows, conditions may be discovered at a later date, however seal failure can occur at any time. Note: Some of the windows were not visible at the time of inspection.

ENVIRONMENTAL ISSUES

NOT A VERMIN INSPECTION

This is not a vermin inspection. This inspection does not identify the presence or absence of vermin and vermin droppings.

ENVIRONMENTAL ISSUES

THIS IS NOT A MOLD INSPECTION

The General Home inspection is not an inspection for mold and the inspector specifically disclaims and assumes no responsibility for identifying the presence of mold fungi. Mold fungi are present in all homes and may be present at levels at which sensitive people may react physically to their presence, even at levels at which fungal colonies are not visible, or when fungal colonies are hidden in inaccessible portions of the home. Any mention of apparent mold growth in this report is made as a courtesy only, and meant to refer the client to a specialist. If you are concerned with mold, the Inspector recommends that you hire a specialist to perform further testing.

Deficiencies

11.1.1 Walls

PATCHING DETECTED

Evidence of patching was detected at interior walls.



Information/Observation

11.1.2 Walls

INTERIOR CRACKS WALLS AND/OR CEILING

Cracks were noted at interior walls and/or ceilings.



Information/Observation

11.1.3 Walls

WALL STAIN

Staining observed at the base of the base of the kitchen wall (fridge area) during inspection. The stain type could not be definitively determined during this visit. Further evaluation by a qualified professional may be warranted to identify the stain source and determine if any remediation is needed.



Information/Observation



11.2.1 Doors

CLOSET DOOR MIRROR CRACKED AND OFF TRACK

The right front bedroom closet door mirror is cracked and the door is off its track. This condition prevents proper operation of the closet door and creates a potential safety hazard from broken glass. The door should be removed and either repaired or replaced, and the track system should be inspected for damage before reinstallation.



Recommendations



11.3.1 SLIDER GLASS DOOR

ROLLERS POOR

The rollers of the sliding glass door should be improved to operate freely.



Recommendations



11.3.2 SLIDER GLASS DOOR

GLASS DOOR LOST SEAL

There is condensation between the panes of one insulated glass unit in the living room door. This suggests a failed seal between the panes. There is no simple "fix" for this condition. We recommend all failed insulated glass units be replaced. Failed seals (condensation) on insulated glass units are very often difficult to identify and sometimes can only be seen when the sun is shining through and the windows are clean. We make every effort to identify failed seals, however; we can make no guarantee that all windows with failed seals have been identified, for this reason we recommend you have all the windows further evaluated by a glass contractor.



Recommendations



11.4.1 Windows

FOGGED OR DIRTY WINDOWS

The window(s) appear to have lost its seal or are dirty and appear that way. This has/may have resulted in condensation developing between the panes of glass. This "fogging" of the glass is primarily a cosmetic concern, but may need to be replaced because it has lost its insulating value. Please visit www.getthefogout.com for other options. should you desire information to confirm if the windows have lost the seal we recommend you have the windows cleaned and further evaluated by a qualified window company.



Information/Observation

11.4.2 Windows

WINDOWS OPERATE POORLY



Recommendations

Several windows slide poorly. The dining room window does not open at all, and the front window appears to have a possible crack. Inoperable windows limit emergency egress and natural ventilation, while cracks can compromise weather sealing and allow water infiltration. A window contractor should evaluate all windows to determine if repairs or replacement is needed.



11.5.1 Floors

TILE FLOOR LOOSE/CRACKED/DAMAGED

Repair: The tile floor is loose and/or damaged.



Recommendations



11.6.1 Ceilings

DAMAGED CEILING

Ceiling damage was observed in the furnace closet during interior inspection. Damage to ceiling materials can indicate water intrusion, structural issues, or prior impact damage that may affect the integrity of the space above. A qualified professional should evaluate the extent of damage and identify the underlying cause to determine appropriate repairs.



Recommendations



11.7.1 Steps, Stairways & Railings

OPENINGS STAIRWAY RAIL TO WIDE

The openings in the stairway and landing railing are large enough to allow a child to fall through. It is recommended that this condition be altered for improved safety.

The hall railing is loose and should be better secured.



Safety Hazard



11.8.1 Countertops & Cabinets



Recommendations

WATER DAMAGE AND STAINING IN CABINETS

Stains and minimal water damage were observed on the cabinets during inspection. This indicates moisture exposure, which can lead to wood deterioration, mold growth, and structural compromise of the cabinet materials over time. The source of the water intrusion should be identified and corrected, and the affected cabinet areas should be evaluated by a qualified professional to determine if repairs or replacement are necessary.



11.8.2 Countertops & Cabinets



Recommendations

CAULK NEEDED AT COUNTERTOP

Deteriorated caulking at the countertop adjacent to the kitchen sink. This gap allows water to seep behind the countertop and into the cabinet structure below, potentially causing water damage, rot, and mold growth. The area should be cleaned and sealed with appropriate kitchen-grade caulk by a countertop contractor or handyman.



12: BUILT-IN APPLIANCES

Information

Laundry Facility

240 Volt Circuit for Dryer



The dishwasher is functional



The waste disposal is functional



The built in electric oven is functional



The electric cook top is functional



The door bell is functional



Limitations

General

LIMITATIONS OF APPLIANCES INSPECTION

Thermostats, timers and other specialized features and controls are not tested.

The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

All appliances not "built in" to the structure such as washing machine, dryer and refrigerator were not inspected and are excluded from this report.

No refrigerators and no microwaves whether "built in" or portable are operated, inspected or tested.

The operation of the dishwasher was limited to filling and draining cycle only, however due to time limitations timers, dryer cycles and/or higher functions were not tested. For additional information in regards to the operation and full function of the dishwasher we recommend consultation with the owner or appropriate trades.

Fireplace screens or doors were not inspected and are excluded from this report.

Deficiencies

12.1.1 Dishwasher

DISHWASHER NEED AIRGAP

The dishwasher lacks an airgap device. Air gaps are now standard equipment to assure a separation between supply and waste water. It is advised that one be installed.



12.1.2 Dishwasher

DISWASHER NOT SECURED

The dishwasher was not adequately secured to the underside of the countertop. We recommend the dishwasher be secured to the countertop to prevent tipping forward and possible injury.



12.3.1 Range/Oven/Cooktop

COOKTOP FAN REQUIRES CLEANING; LIGHT INOPERATIVE

The old cooktop fan requires cleaning due to grease and debris buildup, and the associated light fixture is not functioning. A dirty fan reduces ventilation efficiency and can pose a fire hazard, while the inoperative light limits visibility during cooking. Have an appliance repair professional clean the fan thoroughly and diagnose and repair the light fixture.



13: FIREPLACE

Information

Type
Gas, Gas Log

PICTURE OF THE FIRE PLACE
Two fire places



Limitations

General
FIRE PLACE LIMITATIONS

The interiors of flues or chimneys are not inspected.

Fire screens, fireplace doors, appliance gaskets and seals, automatic fuel feed devices, mantles and fireplace surrounds,

combustion make-up air devices, and heat distribution assists (gravity or fan-assisted) are not inspected.

The inspection does not involve igniting or extinguishing fires nor the determination of draft.

Fireplace inserts, stoves, or firebox contents are not moved.

Deficiencies

13.3.1 Damper Doors



Recommendations

FIREPLACE/WOOD BURNING DEVICES (CLAMP NEEDED)

The fireplace dampers (two) are not in the fixed open position. Whenever a gas device is in the fireplace (log lighter, gas log set, etc.) the damper needs to be in the fixed open position for safety reasons. If the gas is turned on without lighting, the gas could vent into the home if the damper is fully closed. I recommend a qualified professional install clamps on the dampers to keep them partially open at all times.

13.5.1 Fire Place



Information/Observation

CHIMNEY FLUE RECOMMEND INSPECTION CLEAN IF NEEDED

The fireplace and chimney/flues (2) should be inspected by a qualified chimney inspector and cleaned if/as needed prior to operation.