

Aldis Enterprises
Property Inspection Report



6 Nancy Ln, Chico, CA 95926
Inspection prepared for: Anderson RJ
Date of Inspection: 8/10/2026 Time: 9AM
Age of Home: 1978 Size: 1,532 sqft
Weather: Warm, Dry

Inspector: Jim Pemberton
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Report Summary

The summary below consists of findings that are deemed by the inspector to be the most urgent health and safety hazards, and/or major deficiencies likely to require immediate action to correct, such as active leaking, or a non-functional major component of the home. This summary is not a complete list of defects discovered at the inspection and noted in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the findings. All repairs should be done by qualified, licensed & bonded contractors. We recommend obtaining a copy of all receipts, warranties and permits for any corrective work done.

Interior Areas		
Page 10 Item: 5	Electrical	• A worn/damaged outlet was noted at the front guest bedroom; these can cause loose connections and potential arcing, should be replaced as needed.
Page 14 Item: 10	Smoke/CO Detectors	• Recommend adding smoke alarm at the master bedroom where missing.
Kitchen		
Page 19 Item: 7	GFCI Protection	• No GFCI protection detected at four of the five kitchen counter service outlets. Recommend adding GFCI protection as needed for safety, work should be done by a licensed electrical contractor.
Garage		
Page 28 Item: 3	Electrical	• Worn/damaged outlets noted; these can cause loose connections and potential arcing, should be replaced as needed. • Missing cover plates observed, potential fire/shock hazard, should be installed for safety.
Page 30 Item: 4	GFCI Protection	• No GFCI protection detected. Recommend adding GFCI protection as needed for safety, work should be done by a licensed electrical contractor.
Electrical		
Page 32 Item: 1	Electrical Panel Condition	• Home has a Zinsco/GTE Sylvania brand panel. These are widely considered obsolete, unreliable, and potentially unsafe. This panel should be evaluated by a licensed electrical contractor and updated/replaced as needed.
Roof		
Page 34 Item: 1	Roof Condition	• Based on the age/overall condition of the roof, it is recommended having the roof fully evaluated with corrections as needed by a licensed roofing contractor, and having the remaining useful life determined, which may be limited.
Page 40 Item: 5	Chimney	• Flashing at chimney base needs to be cleaned and kept clear for proper drainage.
Attic		
Page 44 Item: 4	Ventilation Condition	• A vent screen at the right side eave was missing; should be installed where missing to prevent pest intrusion.
Grounds		
Page 55 Item: 4	Electrical	• A rear electrical outlet tested for open ground, indicating no equipment ground. Recommend further evaluation with corrections as needed by a licensed electrical contractor.

Pool/Spa		
Page 63 Item: 2	Gate/Fence Condition	• No pool safety fencing or auto-closing gate/s observed, consider adding this safety feature.
Page 66 Item: 9	Electrical	• An open space was observed where a breaker has been removed/relocated. Recommend further evaluation with corrections as needed by a licensed electrical contractor. Consider updating the pool electrical panel. Electrical panels should be updated every 25 to 40 years depending on condition.

Inspection Details

INTRODUCTION:

Before reading this report, please read the InterNACHI Standards of Practice, as this is what we follow as closely as possible.

The InterNACHI Standards of Practice can be found at <http://www.nachi.org/sop.htm>

We appreciate the opportunity to conduct this inspection for you. Please carefully read your entire inspection report, and feel free to contact us after you have reviewed your report, if you have any questions.

The detached structures/outbuildings and their components are exempt from this inspection. The main house and attached garage were the focus of this inspection.

Properties being inspected do not "Pass" or "Fail.", and this is NOT a code inspection. The following report is based on an inspection of the visible portion of the structure and adjacent grounds, but does not include detached structures or any landscape that is not immediately adjacent to the home.

Inspections may be limited by vegetation, possessions, equipment and sometimes the presence of moisture, such as a flooded or wet crawlspace.

Safety items like GFCI electrical protection in wet/damp locations may not be present due to not being required at time of construction, however, this report will focus on current health and safety standards, NOT code requirements at time of construction. This report will NOT focus on cosmetic concerns, but cosmetic issues may be mentioned.

For your safety and liability purposes, we recommend that ONLY qualified, licensed and insured contractors evaluate further and make any repairs or improvements.

Please note that this report is a snapshot in time, inspections are limited in scope, and as such, not every defect will be discovered.

We recommend that you or your representative carry out a final walk-through immediately before closing to check the condition of the property, using this report as a guide. All smoke and carbon monoxide alarms should be tested at final walk-through to ensure they are in working order prior to move-in.

Beyond a general property inspection, it is also encouraged to request professional inspections for specific components of a home that require specialized training beyond the scope of a general property inspection, such as but not limited to: Heating/Cooling, Pool/Spa, Solar/Generator, Well/Septic/Water Treatment, Security Alarm Systems, Irrigation Systems, Landscape Lighting/Water Features, Tile Roofing, and older Raised Foundations.

It should also be understood that older homes, built prior to the 1980's will possibly have some asbestos and/or lead containing building materials. We do not specifically identify these materials, as only laboratory testing can positively identify, but we may note the appearance of these materials.

The presence of any mold will also not be specifically identified, as only laboratory testing can positively identify mold, and if it is a hazardous type or not. If any moisture damage and/or potential "organic growth" is observed, it will be documented, with a recommendation of further evaluation and corrections as needed by a licensed contractor/pest control, but we do not perform any testing for mold ourselves.

1. Attendance

In Attendance: No other parties present at inspection.

2. Home Type

Home Type: Single family home.

3. Occupancy

Occupancy: Vacant

Interior Areas

Inspection of the home interior includes the visual inspection of all visible wall/ceiling/floor surfaces, stairs/railings, testing of all readily accessible windows and doors, testing of all accessible electrical outlets and switches, testing of all ceiling fans/whole house fans with available controls, visual inspection and reporting on locations of smoke/carbon monoxide alarms, testing of doorbells if present, visual inspection of any installed fire sprinkler/alarm system & reporting the location of any controls/gauges. Excluded from this inspection is any testing of alarm/security, central vacuum or sound systems.

1. Door Bell

Observations:

- Did not operate when tested.



2. Walls/Ceilings Condition

Observations:

- Appeared satisfactory for age and wear.
- Common cosmetic defects/imperfections observed.
- Evidence of some past repairs/modifications noted. Consult seller for any information regarding these areas.
- Some gaps were observed at the main living area beam trim work.

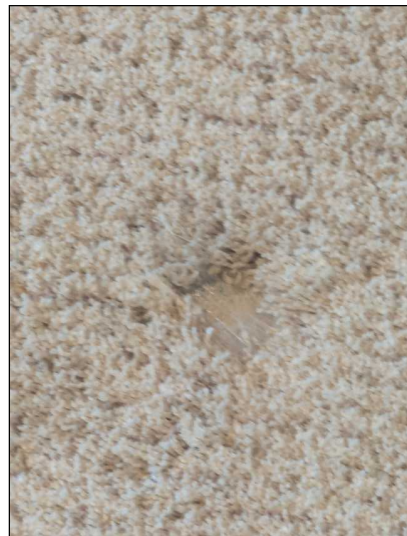
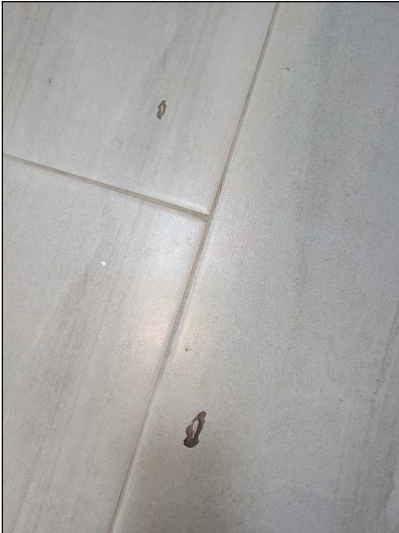




3. Flooring Condition

Observations:

- Appeared satisfactory for age and wear.
- Some damaged flooring observed.
- Recommend having the carpets stretched/repared as needed.







4. Windows/Condition

Observations:

- Appeared satisfactory for age and wear.
- All accessible windows were functional when tested.
- Some loose interior window trim noted.



5. Electrical

Observations:

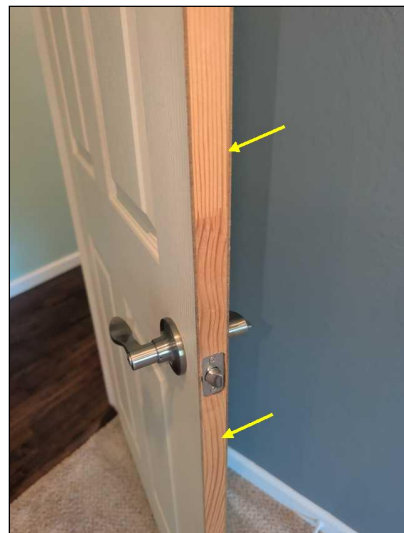
- All accessible interior electrical outlets/fixtures tested good at inspection.
- A switch near the front entry did not seem to operate anything when tested. Consult seller.
- Current safety standards call for bedroom and living area electrical circuits to be **AFCI** protected. Though not required for this home at the time of construction, it is worth considering this safety upgrade to the home electrical system, and may be required at such time of any major remodeling/addition work on the home involving these electrical circuits.
- A worn/damaged outlet was noted at the front guest bedroom; these can cause loose connections and potential arcing, should be replaced as needed.



6. Interior Doors

Observations:

- Appeared satisfactory for age and wear.
- All doors were functional at inspection.
- Some cosmetic damage observed.
- A guest bedroom door was separating at the hinged side.



7. Cabinets

Observations:

- Appeared satisfactory for age and wear.
- Cosmetic defects observed.



8. Ceiling fans

Observations:

- Appeared satisfactory for age and wear.
- Functional when tested.
- Whole house fan appeared satisfactory for age and wear, functional at inspection.
- The fan pull chain at the rear guest bedroom did not function when tested.



9. Closets

Observations:

- Appeared satisfactory for age and wear.
- Missing/removed closet doors noted.



10. Smoke/CO Detectors

Observations:

- Smoke detectors observed in two of the three bedrooms, smoke and carbon monoxide alarms noted in the common areas outside the sleeping rooms as required.
- All existing alarms were functional at inspection.
- Current safety standards call for Smoke alarms in each sleeping room, each common area outside sleeping rooms, each living area, and each room with a fuel fired heating system. Carbon Monoxide alarms should be installed at each common area outside sleeping rooms, within 15 feet, and in each room with a fuel fired heating device.
- **Recommend adding smoke alarm at the master bedroom where missing.**



11. Fireplace/Stove Condition

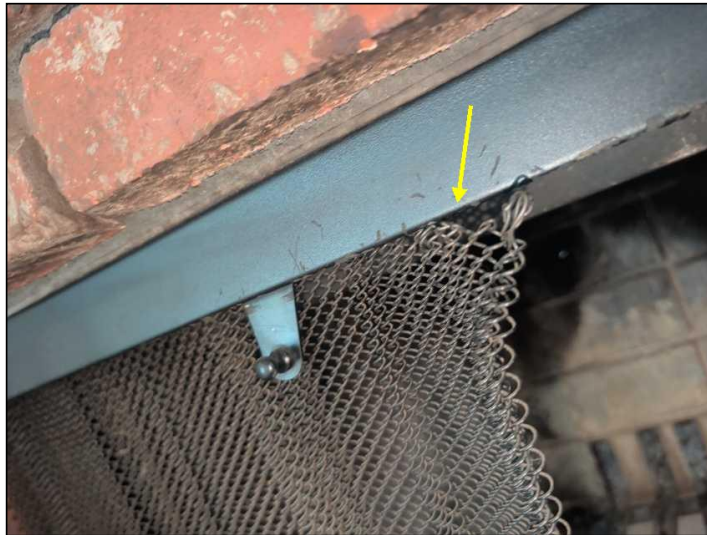
Location: Living Room

Materials: Masonry fireplace noted.

Observations:

- Appeared to be in serviceable condition.
- Fireplaces, stoves, flues and chimneys should always be professionally inspected and serviced as needed by a licensed specialist/chimney sweep, and certified for safety prior to use, and then again every year thereafter for safety and efficiency.
- Recommend further evaluation with corrections as needed by a licensed specialist/chimney sweep.





Disconnected screen at the fireplace, left side.

Bathroom

Inspection of bathrooms includes visual inspection of the surfaces, fixtures, and plumbing. Exhaust fans, lights and all plumbing fixtures are tested with available controls. The bathroom plumbing is tested for general operation and any observed leaking. We will report on the presence and function of GFCI protection. Bathroom tub/shower enclosures are inspected for water-tight seals at caulking/grout, and general operation/condition of any doors.

1. Counters

Observations:

- Appeared satisfactory.
- Consider adding a back splash where missing.
- Caulking/grout maintenance recommended.



2. Electrical

Observations:

- All accessible bathroom electrical outlets/fixtures tested good at inspection.

3. GFCI Protection

Observations:

- **GFCI** protection in place and operational at inspection.

4. Mirrors

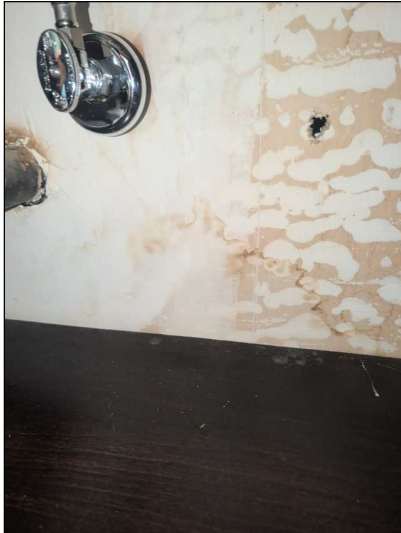
Observations:

- Appeared satisfactory.

5. Plumbing

Observations:

- Functional at inspection, no active leaking detected.
- Moisture stains noted, evidence of possible past leaking observed. Consult seller about all known leaking.



6. Showers

Observations:

- Functional at inspection.

7. Enclosure

Observations:

- Appeared satisfactory for age and wear.

8. Sinks/Faucets

Observations:

- Appeared satisfactory for age and wear.
- Sink stopper did not operate normally when tested at the guest bath.
- Sinks with no built-in overflow drains should not have mechanical stoppers installed.



No overflow.

9. Toilets

Observations:

- Appeared satisfactory for age and wear.
- Functional when tested.

10. Bath Tubs

Observations:

- Functional at inspection.
- Caulking is recommended as needed at tub spouts and stopper plates.



11. Exhaust Fans

Observations:

- Appeared satisfactory for age and wear.
- Functional at inspection.
- Bathroom exhaust fans should be cleaned as needed; this should be done periodically.
- Unable to verify if the bathroom exhaust fans terminate to the exterior.



Kitchen

Inspection of the kitchen areas include visual inspection of surfaces, fixtures, plumbing and appliances. Standard built-in appliances are tested using available controls. The kitchen plumbing is tested for general operation and any leaks. The kitchen electrical is tested for proper function and safety. Refrigerators and any countertop appliances are not considered permanently installed/built-in appliances and are exempt from this inspection.

1. Counters

Observations:

- The counter at right side of sink area appears to have shifted slightly, this section is set in further than the remaining, in a corner of the counter across from the sink area was not secured properly.



2. Sink/Faucet

Observations:

- Appeared satisfactory; functional at inspection.

3. Cook top

Observations:

- Appeared satisfactory, seemed to operate normally when tested, gas unit noted.

4. Oven

Observations:

- Appeared satisfactory, seemed to operate normally at inspection, gas unit noted.

5. Plumbing

Observations:

- Functional at inspection, no active leaking detected.



6. Electrical

Observations:

- Accessible kitchen electrical outlets/fixtures tested good at inspection.

7. GFCI Protection

Observations:

- No GFCI protection detected at four of the five kitchen counter service outlets. Recommend adding GFCI protection as needed for safety, work should be done by a licensed electrical contractor.

8. Dishwasher

Observations:

- Appeared satisfactory.
- Functional at inspection.
- No **air gap** device was present at the sink, and there was no high-loop installed under the sink. One or the other is required to prevent cross contamination.

9. Garbage Disposal

Observations:

- Appeared satisfactory; functional at inspection.

10. Vent Condition

Materials: Exterior Vented

Observations:

- Appeared satisfactory; functional at inspection.

11. Microwave

Observations:

- Appeared satisfactory; functional at inspection.

Laundry

Inspection of the Laundry area includes visual inspection of all surfaces, windows, doors and plumbing, testing any accesible electrical outlets/fixtures, inspecting and reporting on the general condition of the dryer venting, reporting any observed leaking at plumbing, and reporting the general condition and function of any wash basins present. Laundry machines are not considered permanently installed/built-in appliances and are exempt from this inspection. If no laundry machines are present, the laundry maching plumbing will be tested.

1. Dryer Vent Pipe/Hood

Observations:

- Appeared satisfactory.
- Dryer vent pipes and hoods should be cleaned periodically to prevent excessive lint buildup and potential fire hazard.



2. Electrical

Observations:

- Accessible electrical outlets/fixtures tested good at inspection.
- Laundry is set up for 220/240v electric dryer use, as well as gas.

3. GFCI Protection

Observations:

- No GFCI protection detected. Though not required at time of construction, it is recommended to update to current safety standards which requires GFCI protection at all laundry 120v, 15 & 20 amp circuits.

4. Plumbing

Observations:

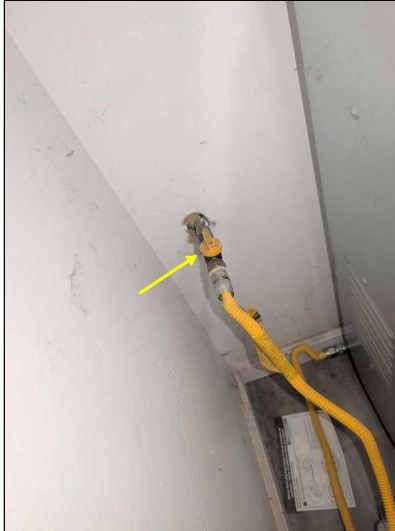
- Appeared satisfactory for age and wear, no active leaking observed.



5. Gas Valve/Supply

Observations:

- Proper means of gas supply shut off observed.



Heat/AC

Heating, Ventilation and Cooling systems will be visually inspected for physical defects and tested for operation with readily available controls. Visible ductwork and refrigerant/condensate lines will also be inspected for physical defects. Determining the adequacy or level of performance of HVAC systems is beyond the scope of a general property inspection. It is always recommended to have a more specialized and exhaustive inspection and testing of any HVAC systems by a licensed HVAC contractor, which goes beyond the scope of a general property inspection. Cooling units will not be tested when outdoor temperatures are below 60 degrees as this can damage the equipment. HVAC systems should be inspected and serviced annually by a licensed HVAC contractor.

1. A/C Unit Condition

Compressor Type: Electric **A/C** unit, R410A refrigerant.

- 3.5 ton unit.
- Brand: Carrier Manufacture Year: 2019

Location: The compressor is located at the left exterior of home.

Observations:

- A/C unit was functional when tested, appears to be in satisfactory condition.
- It is recommended to have the cooling system professionally evaluated and serviced as needed by a licensed HVAC contractor annually to keep the system operating optimally and efficiently.



2. Refrigerant/Condensate Lines

Observations:

- Visible portions appeared to be satisfactory.

3. Heater Condition

Location: The furnace is located in the attic.

Materials: Gas fired forced hot air.

- Brand: Carrier Manufacture year: 2019

Observations:

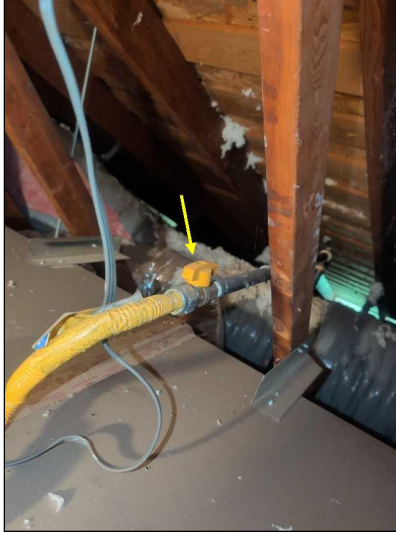
- Heater was functional when tested, appeared to be in satisfactory condition.
- Recommend having the heating system professionally evaluated and serviced as needed by a licensed HVAC contractor annually to keep the system operating optimally and efficiently.



4. Gas Valve/Supply

Observations:

- Proper means to shut off gas supply observed.



5. Registers

Observations:

- All supply registers were in place and appeared functional at inspection.

6. Filter Condition

Location: Located inside a filter grill in the hall ceiling.

Observations:

- Recommend changing the filter every 30 days during system use, or as recommended by your licensed HVAC service provider.



7. Thermostats

Observations:

- Digital thermostat noted, operated normally during inspection.



8. Ducting Condition

Observations:

- Visible duct work appeared satisfactory for age and wear.
- Some loose/torn insulation/covering observed at some of the older duct work.
- Mix of new and old ducting noted.

Water Heater

Inspection of water heaters include visual inspection of physical condition of tank, plumbing, valves, venting, and strapping. If available, brand, size, and age of water heater will be provided. Any observed improper installation practices, leaking, lack of strapping/bracing and any observed venting issues will be reported.

1. Water Heater Condition

Water Heater Type: Gas

- Brand: AO Smith Manufacture year: 2016

Location: Located in the garage.

Observations:

- Appeared satisfactory for age and wear, functional at inspection.
- It is recommended to install water heaters in proper pans with overflow drains that terminate to visible location that will not cause damage to structure.
- Water heaters should be flushed at least once a year.



2. Number Of Gallons

Observations:

- 40 gallons

3. Plumbing Condition

Materials: Steel flex pipe noted.

Observations:

- Appeared satisfactory for age and wear, no active leaking observed.
- Water heater isolation valve observed and appeared satisfactory.
- Insulation/pipe wrap is recommended for exposed pipes within 5 feet of appliance for optimal efficiency.



4. Seismic Strapping

Observations:

- The water heater is strapped with two seismic straps.

5. TPRV

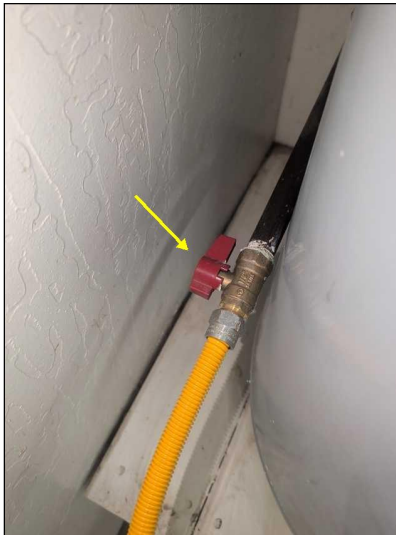
Observations:

- Appeared satisfactory, properly terminates to exterior.

6. Gas Valve/Supply

Observations:

- Water heater gas supply shut off valve observed and appeared satisfactory.



7. Combustion

Observations:

- Appeared satisfactory, but the outer cover was missing.



8. Venting

Observations:

- Appeared satisfactory for age and wear.

Garage

Inspection of garages includes visual observation of walls, ceilings, doors, windows and floor, testing of accessible electrical outlets/fixtures, reporting whether GFCI protection is in place and functional, testing exterior/fire doors, testing main garage door and any automatic opening systems, reporting on the presence of and function of the auto-reverse safety system for main garage door, and reporting on general condition and function of any wash basin present.

1. Walls/Ceiling

Observations:

- Appeared satisfactory for age and wear.



2. Floor Condition

Materials: Bare concrete floors noted.

Observations:

- Concrete cracking noted.
- Common stains and normal wear and tear observed.
- Consider having the garage concrete floor further evaluated and addressed as needed by a licensed concrete contractor.

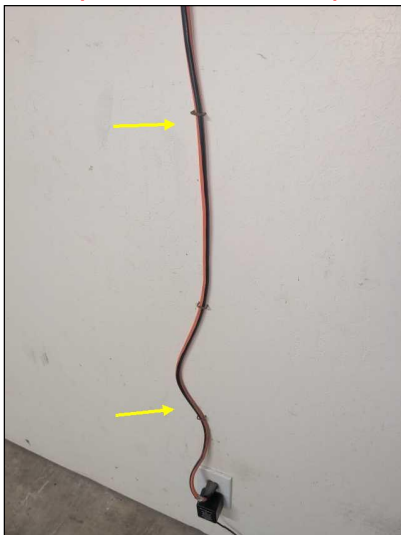


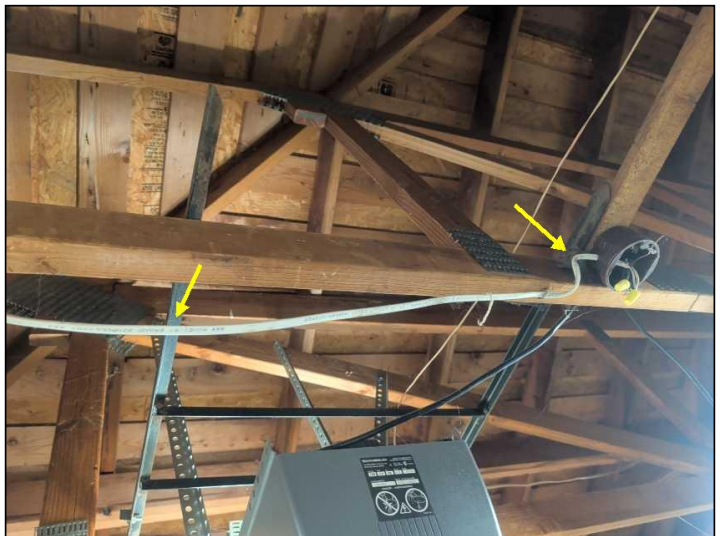
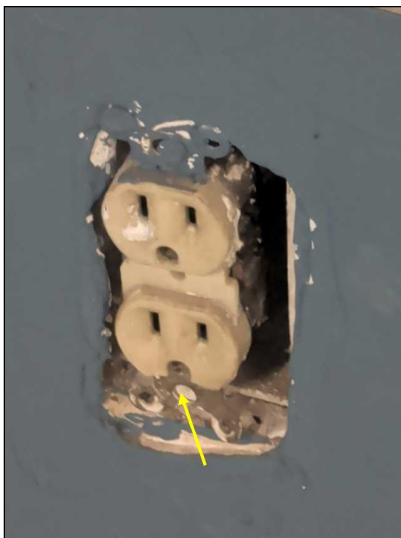
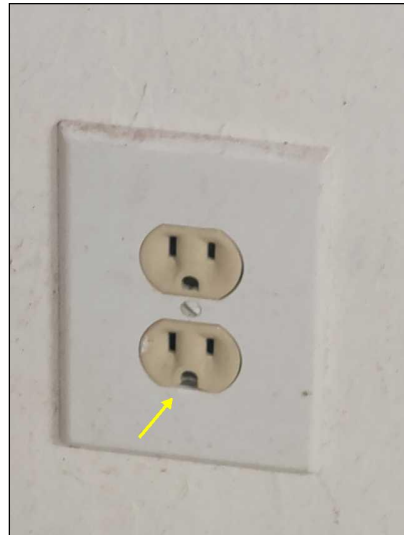


3. Electrical

Observations:

- Improper/unprofessional wiring practices observed.
- Improper use of extension cord observed. Extension cords should not be used as permanent or long term power sources.
- Recommend further evaluation with corrections as needed by a licensed electrical contractor.
- Worn/damaged outlets noted; these can cause loose connections and potential arcing, should be replaced as needed.
- Missing cover plates observed, potential fire/shock hazard, should be installed for safety.







4. GFCI Protection

Observations:

- No GFCI protection detected. Recommend adding GFCI protection as needed for safety, work should be done by a licensed electrical contractor.

5. Garage Door Condition

Materials: Sectional metal door noted.

Observations:

- Appeared satisfactory for age and wear.



6. Garage Opener Status

Observations:

- Screw drive opener noted.
- Functional at inspection.
- Garage doors and opening systems should be professionally inspected, tested, and services as needed periodically by a qualified licensed specialist.

7. Garage Door Auto Reversing System

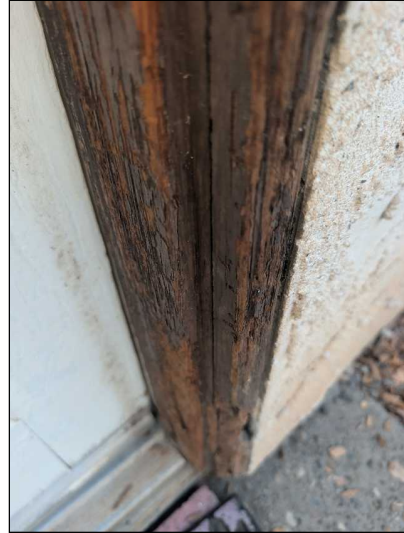
Observations:

- Eye beam/auto-reverse safety system was present and functional at inspection.

8. Exterior Door

Observations:

- Functional at inspection.
- Weatherization should be improved at exterior door.
- Damage observed at exterior door frame/jamb.
- Exterior doors/jambs/trim should be kept painted/stained/sealed to protect from elements.
- Consider updating the garage exterior door.



9. Fire Door

Observations:

- Appeared satisfactory for age and wear.
- Functional at inspection.
- Weatherization should be improved at fire door.



Electrical

The electrical panels are inspected visually only, dead front covers may be removed, but only if the inspector feels that it is safe to do so. Modifications or any observed defects will be reported. For a more specialised and invasive inspection, we recommend employing the services of a licensed electrical contractor to fully evaluate the electrical systems of the home, and this is highly recommended on older homes, with older electrical systems that may not be properly grounded and bonded.

1. Electrical Panel Condition

Location: Right side of structure.

Location: No Sub Panels located.

Observations:

- Modifications to panel noted.
- Home has a solar system installed. Appeared satisfactory and functional at inspection, but fully evaluating these systems is beyond the scope of a general home inspection. Consult seller for operation and maintenance information, and recommend evaluation of system and all components by a licensed solar specialist.
- Home has a Zinsco/GTE Sylvania brand panel. These are widely considered obsolete, unreliable, and potentially unsafe. This panel should be evaluated by a licensed electrical contractor and updated/replaced as needed.



2. Main Breaker Amps

Observations:

- 200 amp



3. Breakers in off position

Observations:

- One 50 amp breaker was off, identified for "cook top".



4. Service Entrance

Observations:

- There is an underground service lateral noted.
- No deficiencies observed.

Roof

The roof coverings, flashings, rain gutters and all penetrations will be visually inspected from the eaves, and roof surfaces will be walked if deemed safe to do so by the inspector. It is always recommended to additionally employ the services of a licensed roofing contractor to perform a more exhaustive and specialized inspection, and only a licensed roofing contractor can certify and give the most accurate estimation of remaining useful life. Multi-story roofs will only be walked if there is safe access from the story below, and clay/masonry tile roofs will be inspected from the eaves only, as only licensed roofing contractors should walk on these types of roofs.

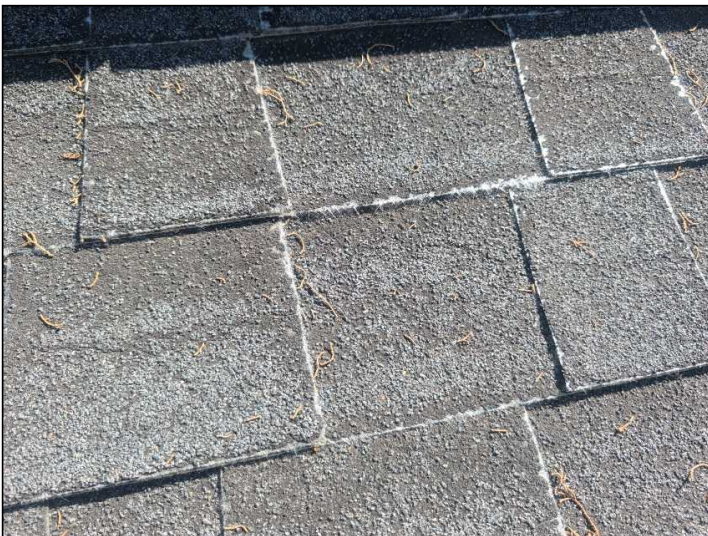
1. Roof Condition

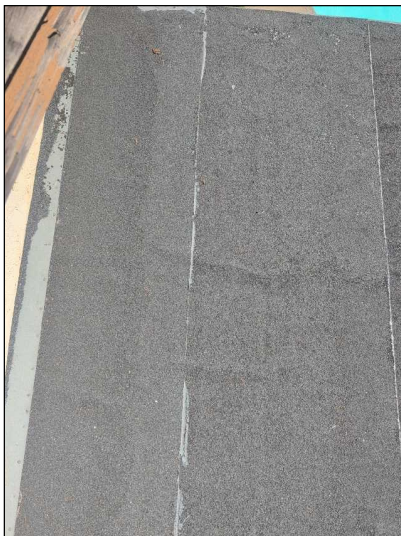
Inspection Method: Inspected from ladder, walked structure.

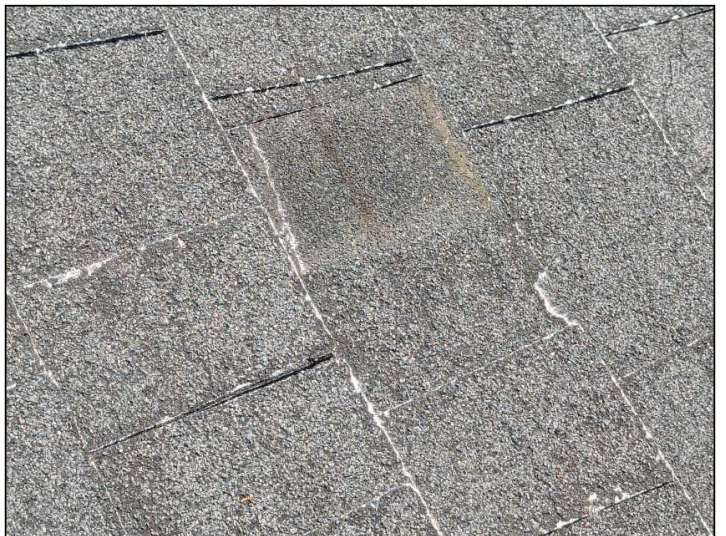
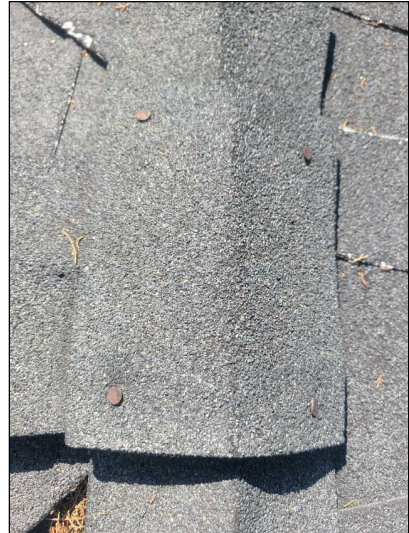
Materials: Asphalt composition shingles noted.

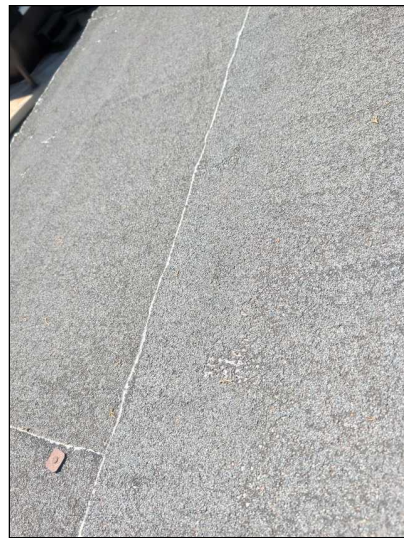
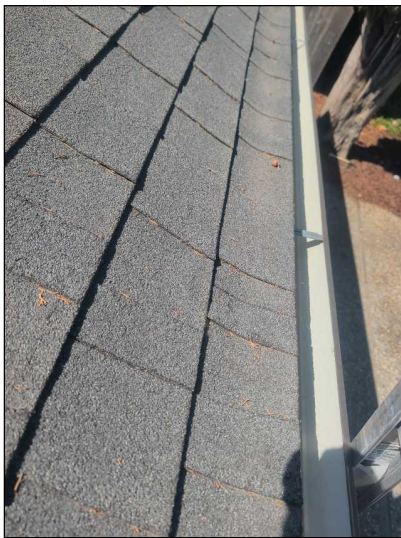
Observations:

- Typical wear and tear noted for an aging roof.
- Organic growth/moss observed on roofing materials.
- Exposed fasteners observed, these should be sealed as needed.
- Damaged shingles observed.
- Evidence of past repairs observed at the rear porch roof. Consult seller.
- Satellite dish/antenna installed directly through roof shingles; these should be checked for leaking periodically and sealed as needed.
- Consult seller for exact age of roof if known.
- Based on the age/overall condition of the roof, it is recommended having the roof fully evaluated with corrections as needed by a licensed roofing contractor, and having the remaining useful life determined, which may be limited.









2. Flashing

Observations:

- Loose/lifting flashing observed at the rear porch roof; should be secured properly as needed.



3. Vent Caps/Stacks

Observations:

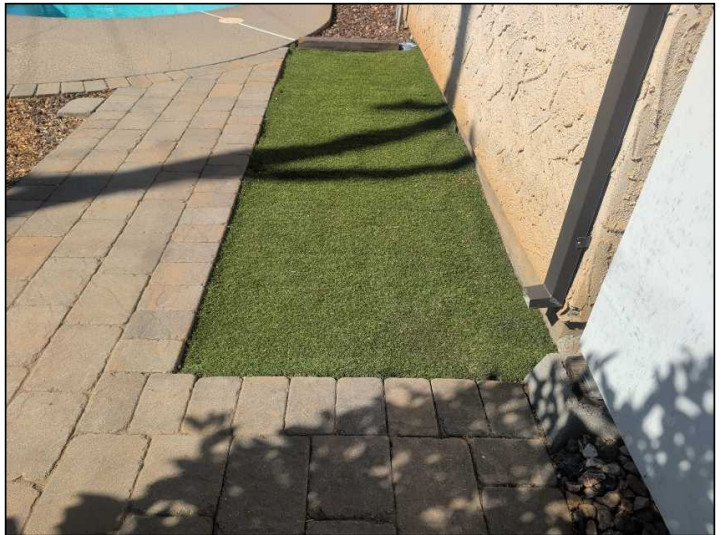
- Appeared satisfactory for age and wear.

4. Gutters/Downspouts

Observations:

- Appeared satisfactory for age and wear.
- Downspout terminations should be improved as needed to take rain water further away from the foundation perimeter.
- Gutters and downspouts need to be kept clean for proper drainage.
- Gutters and downspouts should be evaluated during heavy rains to determine specific needs for improvement.





5. Chimney

Observations:

- Maintenance/repairs needed.
- Organic growth observed at the chimney cladding.
- Loose/lifting flashing observed at chimney.
- Additional sealing may be needed at chimney cap.
- Rust observed at the chimney cap metal.
- Chimneys, flues, fireplaces and stoves should always be professionally inspected and serviced as needed by a licensed specialist/chimney sweep, and certified for safety prior to use, and then again every year thereafter for safety and efficiency.
- Recommend further evaluation with corrections as needed by a licensed contractor/chimney specialist.
- **Flashing at chimney base needs to be cleaned and kept clear for proper drainage.**





6. Skylights

Observations:

- Some cracking noted at the skylight lenses.
- Skylights are a common source of roof leaking; these should be inspected periodically by a licensed roofing contractor or otherwise qualified person.
- Recommend further evaluation with corrections as needed by licensed roofing contractor.



Accessible attic spaces are inspected from the access areas only, and from any safe and sound walking/crawl decks. We do not walk across roof trusses/ceiling joints, or move insulation during the inspection. Attic inspections include visual inspection of visible structure, insulation, plumbing, electrical, and exhaust venting. Determining adequacy or code compliance of roof framing/trusses is beyond the scope of a general property inspection.

Attic

1. Access Location

Location:

- Bedroom closet ceiling.

2. Structure

Observations:

- Visible portions appeared satisfactory for age and wear.



3. Ventilation Types

Observations:

- Under eave/soffit vents noted.
- Gable vents noted.
- Passive roof vents noted.

4. Ventilation Condition

Observations:

- A vent screen at the right side eave was missing; should be installed where missing to prevent pest intrusion.



5. Electrical

Observations:

- Visible portions of electrical appeared satisfactory for age and wear.
- Mostly not visible due to insulation.

6. Plumbing

Observations:

- Visible portions of plumbing appeared to be in satisfactory condition for age and wear.
- Mostly not visible due to insulation.

7. Insulation Condition

Materials: Fiberglass batts noted.

- Blown-in/loose-fill insulation noted.

Depth: Insulation averages about 12-14 inches in depth.

Observations:

- Visible insulation appeared satisfactory.



8. Exhaust Venting

Observations:

- Visible portions of exhaust pipes appeared to be satisfactory for age and wear.

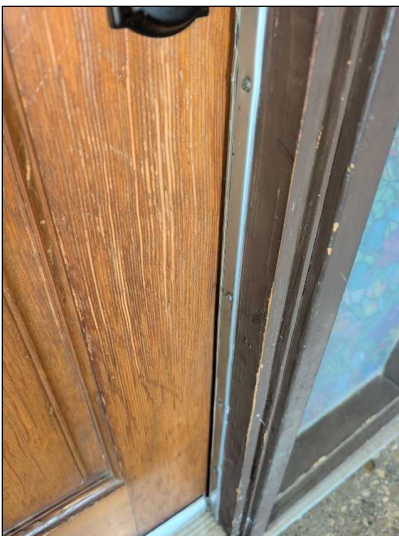
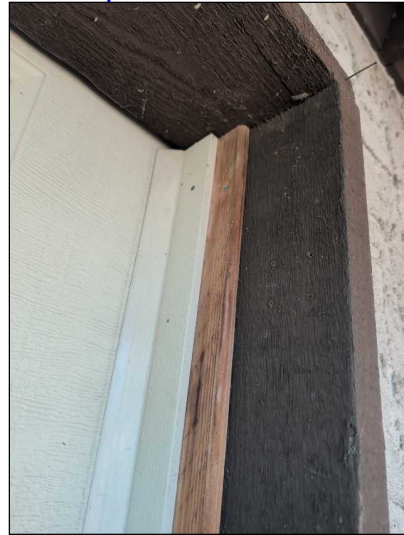
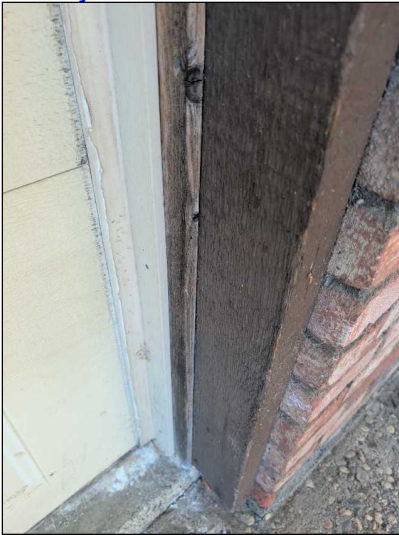
Exterior Areas

The exterior inspection includes visual inspection of the building siding, eaves, windows, and doors. All accessible exterior doors are tested for function and adequate weatherization. Any observed moisture damage, deferred maintenance, or structural issues will be reported. It is always recommended having a more specialized, invasive and exhaustive inspection of the building exterior for Termites and/or Dry Rot by a licensed Pest Control contractor.

1. Doors

Observations:

- Appeared satisfactory for age and wear.
- Exterior doors were functional at inspection.
- Exterior doors/jambs/trim should be kept painted/stained/sealed to protect from elements.



2. Window Condition

Observations:

- Appeared satisfactory for age and wear.
- Damaged window screens observed; should be repaired/replaced as needed by a qualified person.



3. Siding/Eaves Condition

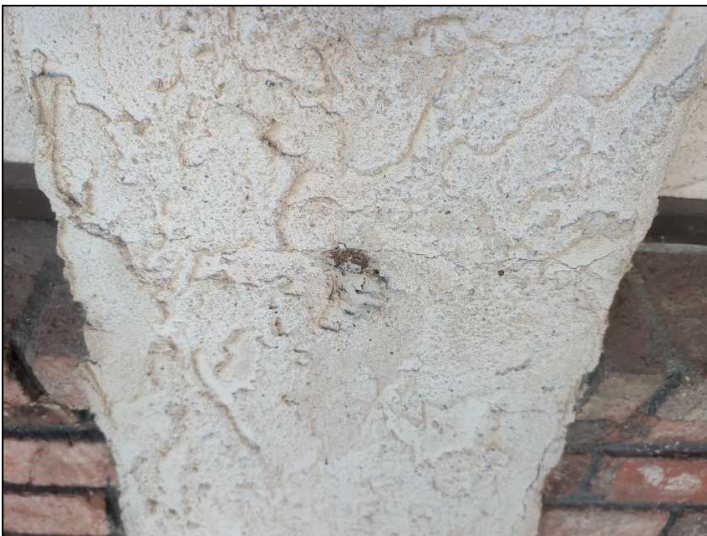
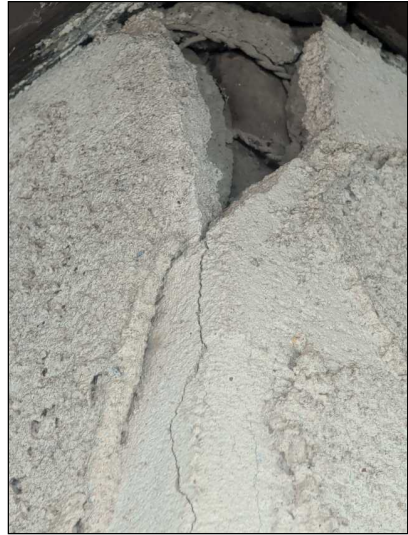
Materials: Stucco siding, with wood trim and eaves noted.

- Brick skirting noted.

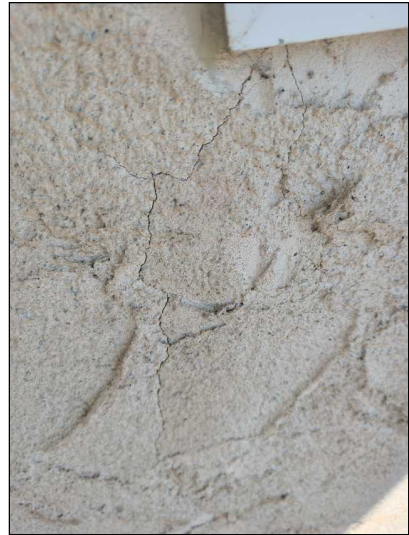
Observations:

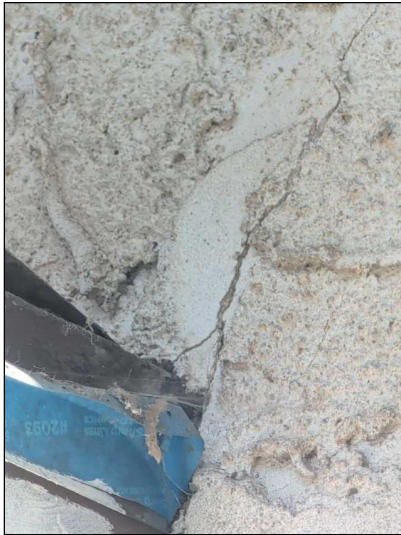
- Maintenance/repairs needed at sections.
- Evidence of past repairs/modifications noted. Consult seller for any information regarding these areas.
- Cracked/chipped stucco observed.
- All gaps/cracks/openings at siding should be repaired/sealed to prevent moisture/pest intrusion.
- Wasp/bee nests observed, these should be removed as needed.
- Recommend further evaluation of siding/eaves with corrections as needed by a licensed contractor/pest control.













4. Exterior Paint

Observations:

- Recommend full exterior prep and paint soon.



Grounds

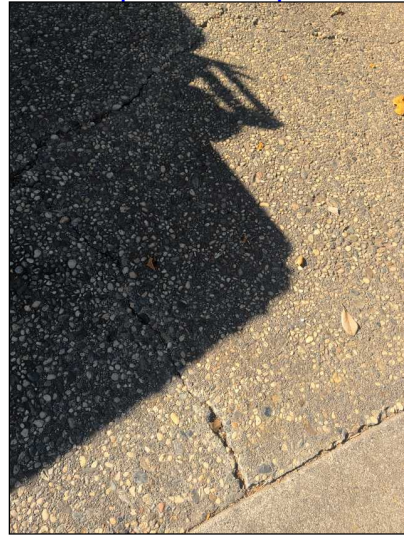
Inspection of the grounds includes visual inspection of the property lot, building perimeter, patios/porches, decks/balconies, adjacent vegetation, irrigation controls, plumbing fixtures, electrical fixtures, gas supply equipment, and fences/gates. Accesible electrical outlets & switches are tested for general operation and safety. Exterior faucets are tested for general operation and leaks. The locations of plumbing and irrigation control/shut off valves will be identified and reported.

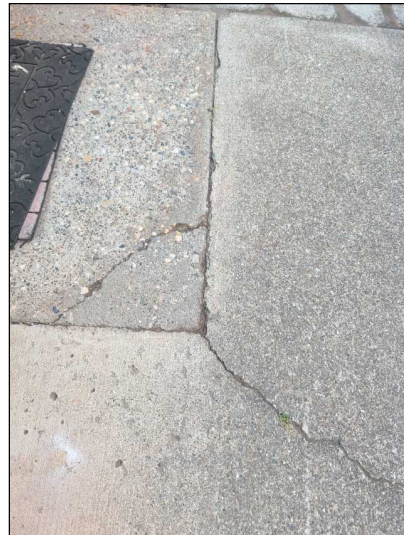
1. Driveway/Walkway Condition

Materials: Concrete driveway and walkways noted.

Observations:

- Cracked concrete observed.
- Uneven surfaces around the home should be improved to eliminate potential trip hazards.



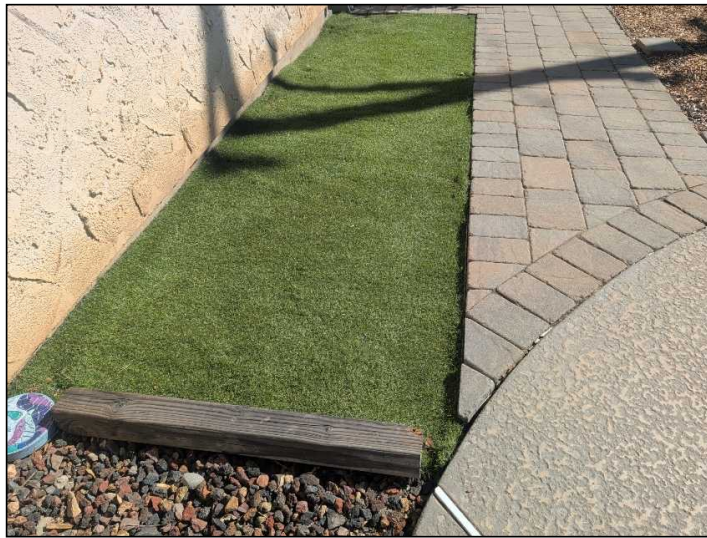


2. Grading/Drainage

Observations:

- Some negative grade observed at rear of home. Grading should slope away from structure.
- Planters next to home foundations are not ideal as they can potentially trap excessive moisture next to the foundation perimeter.
- Recommend adding landscape rock at bare soil around home perimeter as needed to help control drainage and erosion.
- Landscape rock is preferable to mulch/bark at home perimeter for better drainage and erosion control. Mulch and bark may also attract pests to the home perimeter.
- Recommend monitoring the grading/drainage at structure perimeter and improving as needed.





3. Vegetation

Observations:

- Appeared satisfactory, no major defects observed.

4. Electrical

Observations:

- Exterior light fixtures/electrical boxes/panels with should be caulked/sealed as needed to prevent water intrusion.
- A rear electrical outlet tested for open ground, indicating no equipment ground. Recommend further evaluation with corrections as needed by a licensed electrical contractor.



5. GFCI Protection

Observations:

- GFCI protection was in place and functional at inspection.

6. Main Gas Valve Condition

Location: Right side of structure.

Observations:

- Appeared satisfactory for age and wear.
- Gas supply shut off located at the meter/main valve.



Gas supply shut off.

7. Plumbing Condition/Service Locations

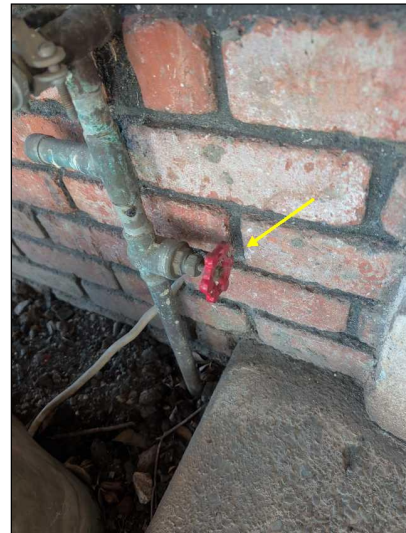
Materials: Home is on municipal water and sewer.

Observations:

- Visible plumbing appeared satisfactory for age and wear; no active leaking observed.
- Water meter/utility shut off located at front grounds.
- Water main supply shut off located at front of home.
- Plumbing drain clean out located at right side of home.
- Exposed water pipes should be wrapped/insulated.
- Gas service appears to be available at the home exterior; valve will need to be installed for use.
- Consider having a sewer scope by a qualified licensed plumbing contractor, which involves inspecting the main drain line with a camera. This can reveal hidden issues such as joint failure, cracks, restrictions, and any root intrusion.



Water meter/utility shut off.



Water main supply shut off.



Plumbing drain clean out.



8. Water Pressure Test

Observations:

- 75 psi

9. Pressure Regulator

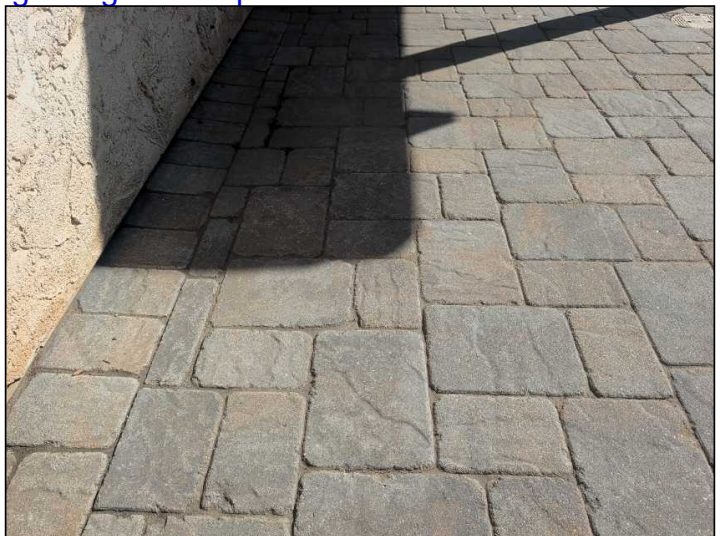
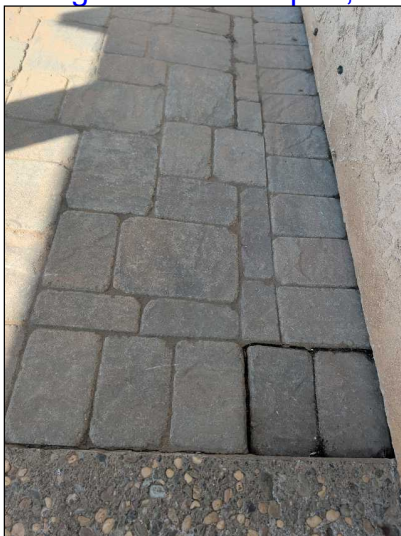
Observations:

- None observed.

10. Patios/Porches

Observations:

- Appeared satisfactory for age and wear.
- Cracked concrete noted.
- A couple of the rear pavers have sunken creating a pocket where water can collect. See also Grading/Drainage section of report, as there is a slight negative slope in this area.





11. Fencing/Walls

Observations:

- Deteriorated wood observed.
- Evidence of past repairs noted.





12. Gates

Observations:

- Appeared satisfactory for age and wear.
- Functional at inspection.

13. Sprinklers

Observations:

- Visible portions of irrigation system appeared to be in serviceable condition. Testing and fully evaluating sprinkler systems is beyond the scope of a general home inspection.
- Irrigation control valves located at front and rear of home.
- Irrigation isolation valve located at rear of home.
- Automatic sprinkler system noted, control clock located at the garage.
- The rear irrigation appears to be non-functional at this time.



Rear irrigation control valves.



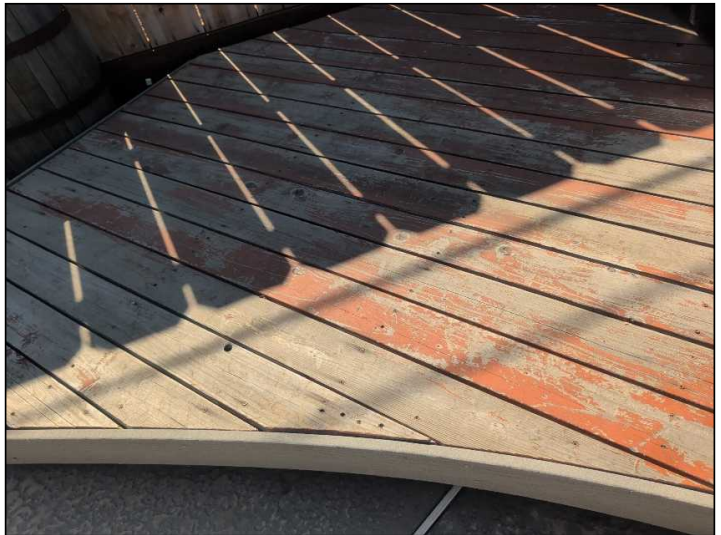
Irrigation isolation valve.



14. Decks/Balconies

Observations:

- Appeared satisfactory for age and wear.
- Wood decks should be kept clean and properly sealed.



Pool/Spa

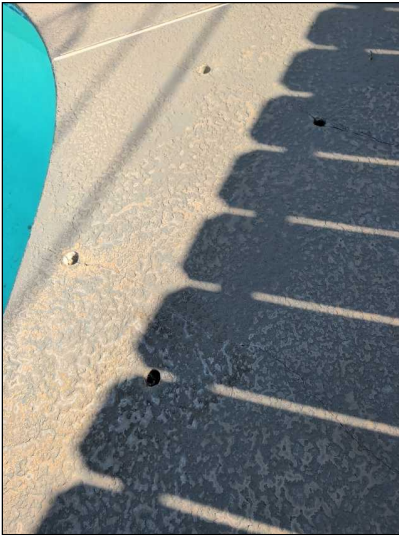
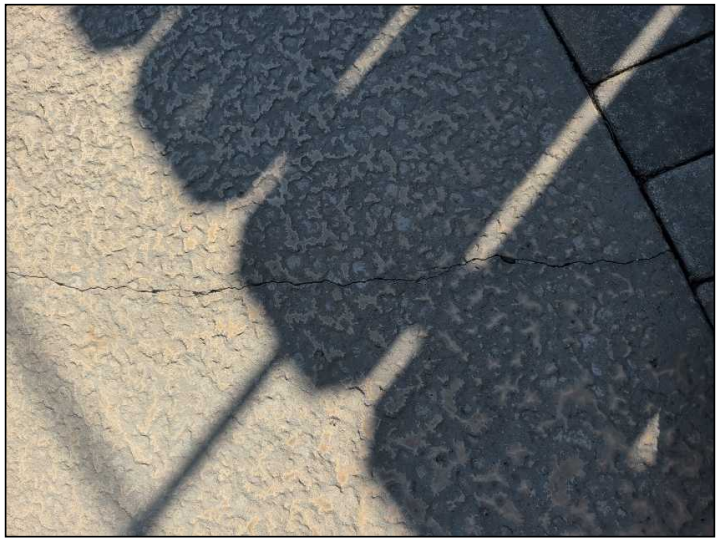
In-ground/permanently installed swimming pools/spas will be lightly inspected only, as only a licensed and insured certified pool operator can perform an official pool/spa inspection. Decking, structure, tiling, filter/pump equipment, electrical, and any built-in features will be visually inspected and observed defects will be reported. Water fill devices, GFCI protection, pool/spa lights and any water features may be tested if controls are readily accessible and identifiable, but no water testing or evaluating adequate performance of any pool equipment is included in this inspection. Portable spa/hot tub units are excluded from inspection, as are non-permanently installed swimming pools. The presence or lack of safety fencing/gates will also be reported.

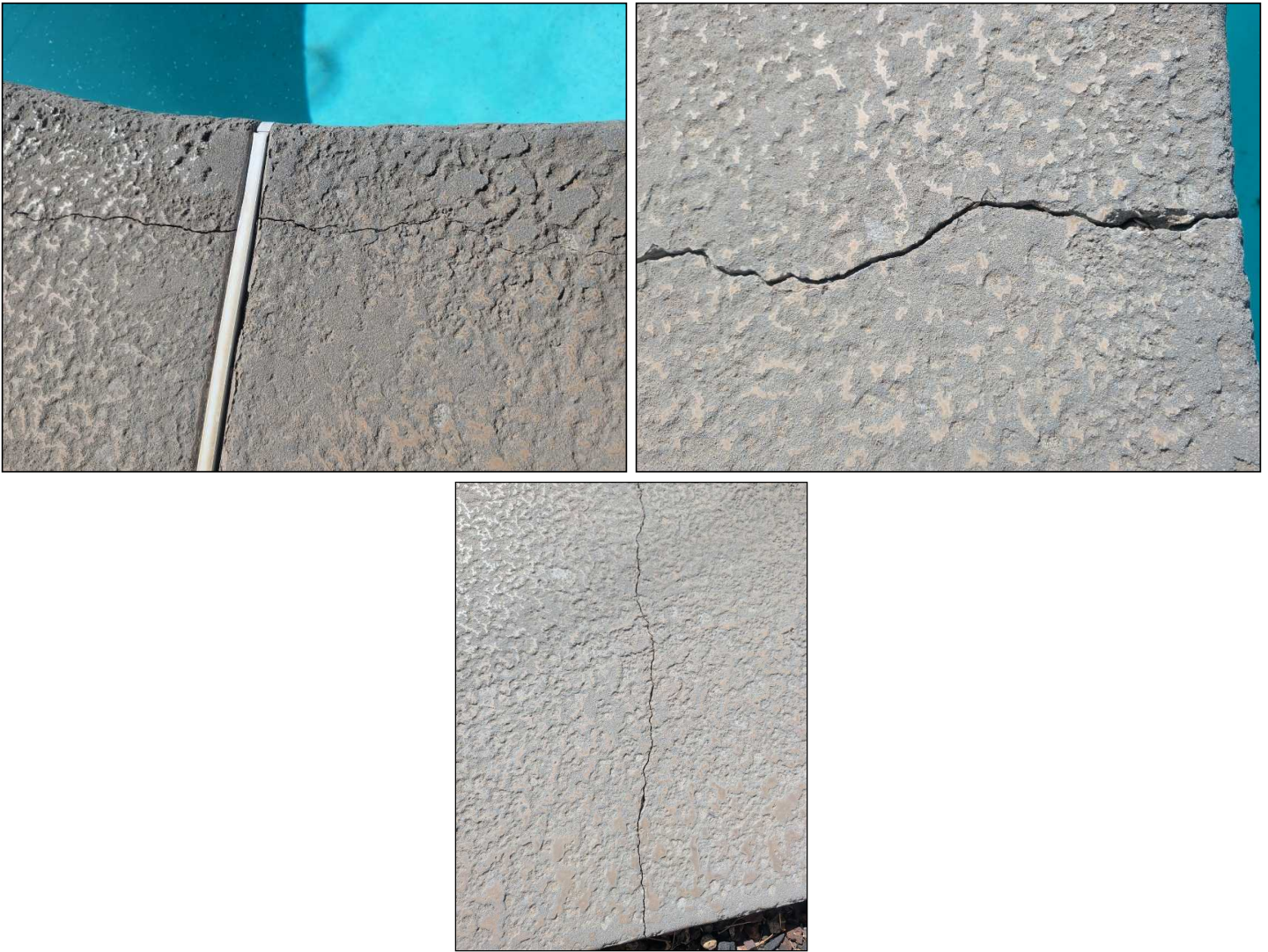
1. Deck Condition

Materials: Concrete decking noted.

Observations:

- Concrete cracking noted.





2. Gate/Fence Condition

Materials: No pool safety fence observed.

Observations:

- No pool safety fencing or auto-closing gate/s observed, consider adding this safety feature.

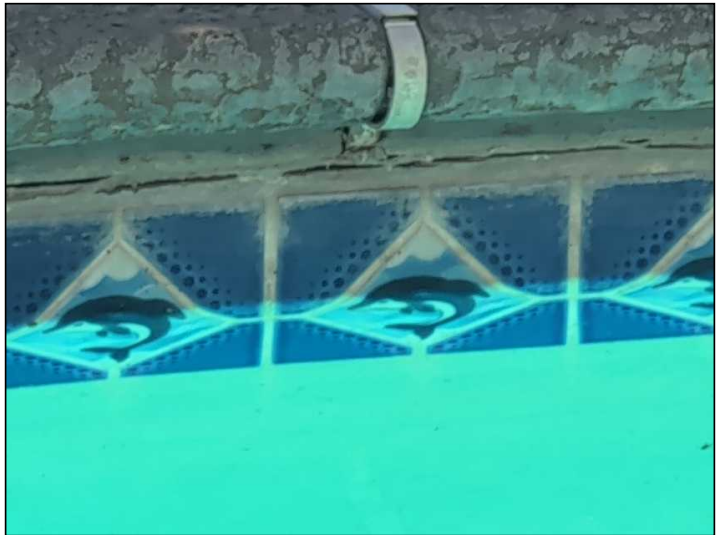
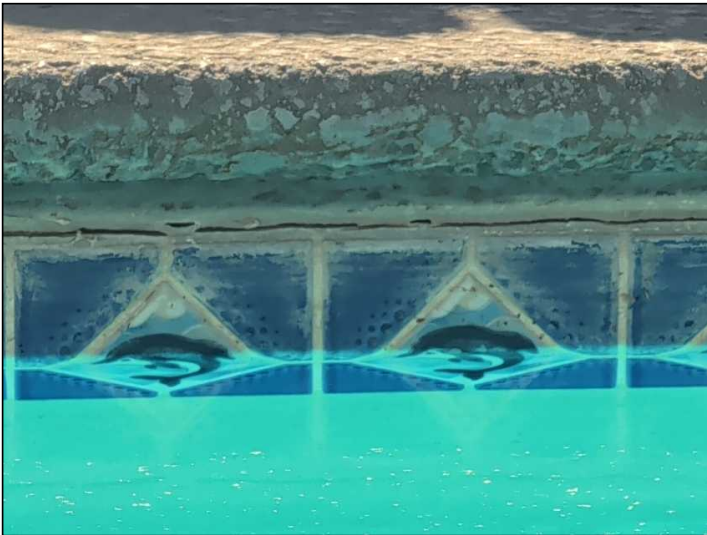
3. Structure Condition

Type: Below ground pool.

Materials: Concrete/Gunite

Observations:

- Satisfactory condition for age and wear.
- Some surface chipping observed.
- General maintenance needed at the tile.



4. Water Condition

Observations:

- Clear, appears to be properly maintained.



5. Water Fill Unit

Observations:

- Satisfactory condition for age and wear.
- Functional at inspection, leaked slightly during testing.



6. Filter Condition

Observations:

- Satisfactory condition for age and wear.



7. Skimmer/Weir/Basket

Observations:

- Appeared satisfactory for age and wear.
- Appeared to be operating as designed.
- Skimmer baskets need to be checked and cleaned regularly for optimum performance.



8. Pumps

Observations:

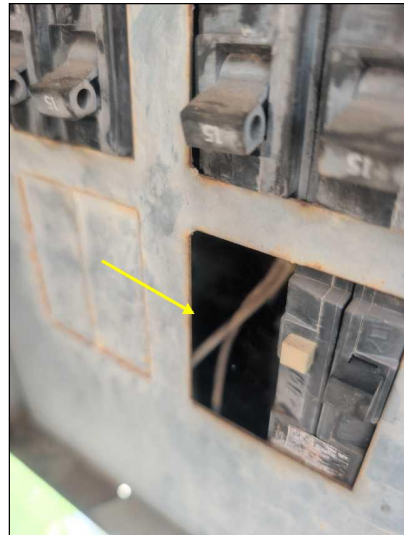
- Appeared satisfactory for age and wear.



9. Electrical

Observations:

- Functional at inspection.
- An open space was observed where a breaker has been removed/relocated. Recommend further evaluation with corrections as needed by a licensed electrical contractor. Consider updating the pool electrical panel. Electrical panels should be updated every 25 to 40 years depending on condition.



No functional latch at the panel door.

10. GFCI Protection

Observations:

- GFCI protection in place and operational at inspection.

11. Light

Observations:

- Appeared satisfactory for age and wear.
- Functional at inspection.



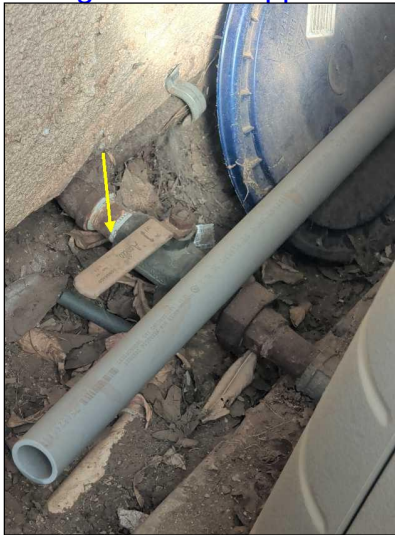
Switch for pool light.

12. Pool Heater Condition

Materials: Gas is available for the addition of a gas pool heater.

Observations:

- No pool heater is currently installed but gas service appears to be available.



Foundation

Visible portions of the foundation and foundation perimeter are inspected. Accessible crawl spaces are entered and inspected, but only if they are deemed safe by the inspector and have adequate clearance. Wet/damp or inadequate crawl spaces are not entered. Crawlspace/basement inspections will include visual inspection of structure, plumbing, and electrical. Determining adequacy or code compliance of any foundation system is beyond the scope of a general property inspection. For buildings with raised foundations, especially older buildings, it is advised to employ the services of a licensed foundation specialist or structural engineer to perform a more specialized and exhaustive inspection of the building foundation system as codes and building standards have changed over the years.

1. Foundation Structure

Type: Slab foundation.

Observations:

- Visible portions of the exterior foundation appeared satisfactory for age and wear, no major defects observed.
- Slab foundations are mostly not visible and cannot be fully evaluated during a general home inspection.

Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Air Gap	Air gap (drainage): The unobstructed vertical distance through free atmosphere between the outlet of the waste pipe and the flood-level rim of the receptacle into which the waste pipe is discharged.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.