

1. CONVERT EXISTING LIVING ROOM TO A BEDROOM, PER UNIT
2. CONVERT OFFICE TO BEDROOM FOR UNIT 806 1/2

-804 E PALMER AVE. GLENDALE, CA 91205

LOT AREA:	5,315.00 S.F.
(E) 2-STORY MULTI-FAMILY RESIDENCE:	3,864.00 S.F.
(E) ADU:	635.00 S.F.

MULTI-FAMILY RESIDENCE:	1,996.8 S.F.
(E) ADU:	635.00 S.F.
TOTAL:	2,631.8 S.F.

LOT COVERAGE: **49.5%**

ZONING	(R2250)
DESCRIPTION OF USES	(SFD)
TYPE OF CONSTRUCTION	(V-B)
NUMBER OF STORIES	(2)
HEIGHT	(16' - 0")
SPRINKLERS	(NO)
YEAR SFD BUILT	(1927)

ASSESSOR PARCEL NUMBER (APN)	5676-022-002
OWNER INFORMATION	ARTHUR TOUKHLANDJIAN

TRACT
OCCUPANCY GROUP
LOT
HIGH FIRE ZONE

PROPERTY OWNER:
ARTHUR TOUKHLANDJIAN
ADDRESS: 804 E PALMER AVE.
GLENDALE, CA 91205

SIGNATURE DESIGNS LA
ADDRESS: BURBANK, CA 91504
CELL: (818) 967-7731
EMAIL: SIGNATUREDESIGNSLA@GMAIL.COM

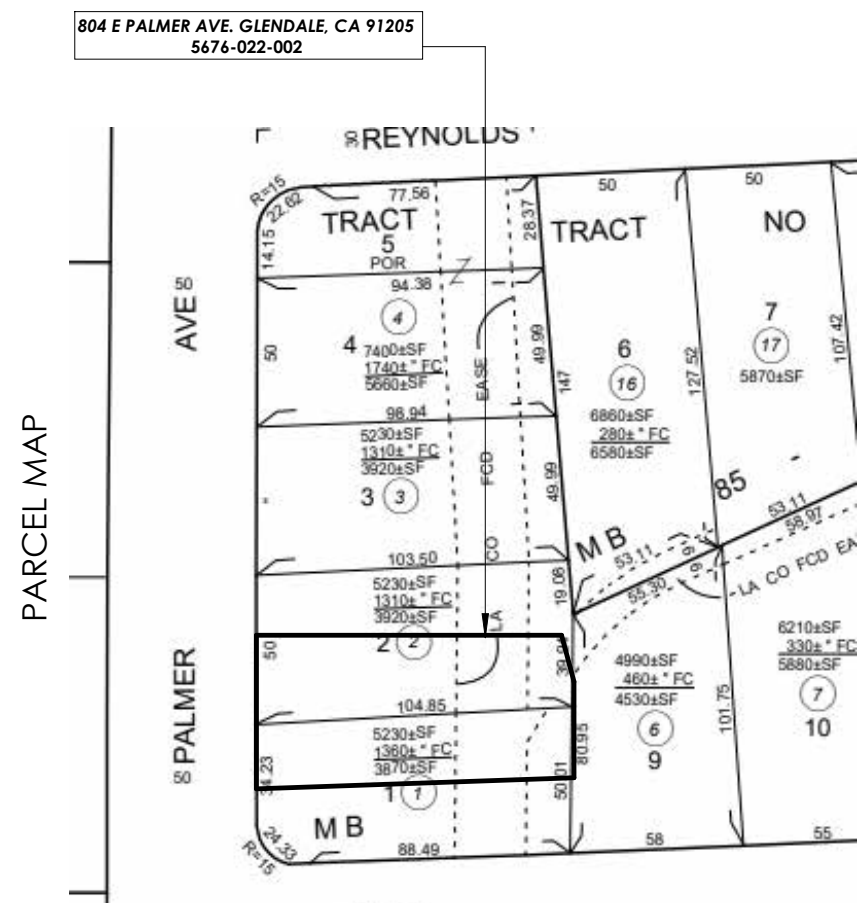
EAStructural
CELL: (818) 397-9329
EMAIL: EAStructural@gmail.com

JONATHEN FLORES
CELL: (323) 697-9664
EMAIL: JONATHANFLORES316@YAHOO.COM

- 2023 LOS ANGELES RESIDENTIAL CODE (LARC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA ELECTRICAL CODE (CRC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA GREEN BUILDING CODE (CAL GREEN)

A1.0	COVER SHEET & PROPOSED SITE / ROOF PLAN
A2.0	EXISTING FLOOR PLANS
A3.0	DEMOLITION PLAN
A4.0	PROPOSED FLOOR PLANS
A4.1	PROPOSED SOUTH & WEST ELEVATION VIEWS
A4.2	PROPOSED NORTH & EAST ELEVATION VIEWS
A5.0	SECTION VIEWS
A6.0	ARCHITECTURAL DETAILS
A7.0	GENERAL NOTES
A7.1	GENERAL NOTES
A7.2	GENERAL NOTES
S-0.10	STRUCTURAL NOTES
S-0.20	TYP. WOOD FRAMING, DIAPHRAGM, SHEARWALL NAILING AND SCHEDULE
S-0.13	STRUCTURAL NOTES
S-0.31	FOUNDATION DETAILS
SD-1	STANDARD DETAILS
S-1	FOUNDATION PLAN
SD-2	STANDARD DETAILS
S-0.21	TYP. WOOD FRAMING DETAILS WALL CONSTRUCTION
S-0.30	FOUNDATION DETAILS
S-2	SECOND FLOOR PLAN
S-3	ROOF FRAMING PLAN
S-0.14	STRUCTURAL NOTES
S-0.50	ROOF FRAMING DETAILS
S-0.11	STRUCTURAL NOTES
S-0.12	STRUCTURAL NOTES
S-0.40	FLOOR FRAMING DETAILS

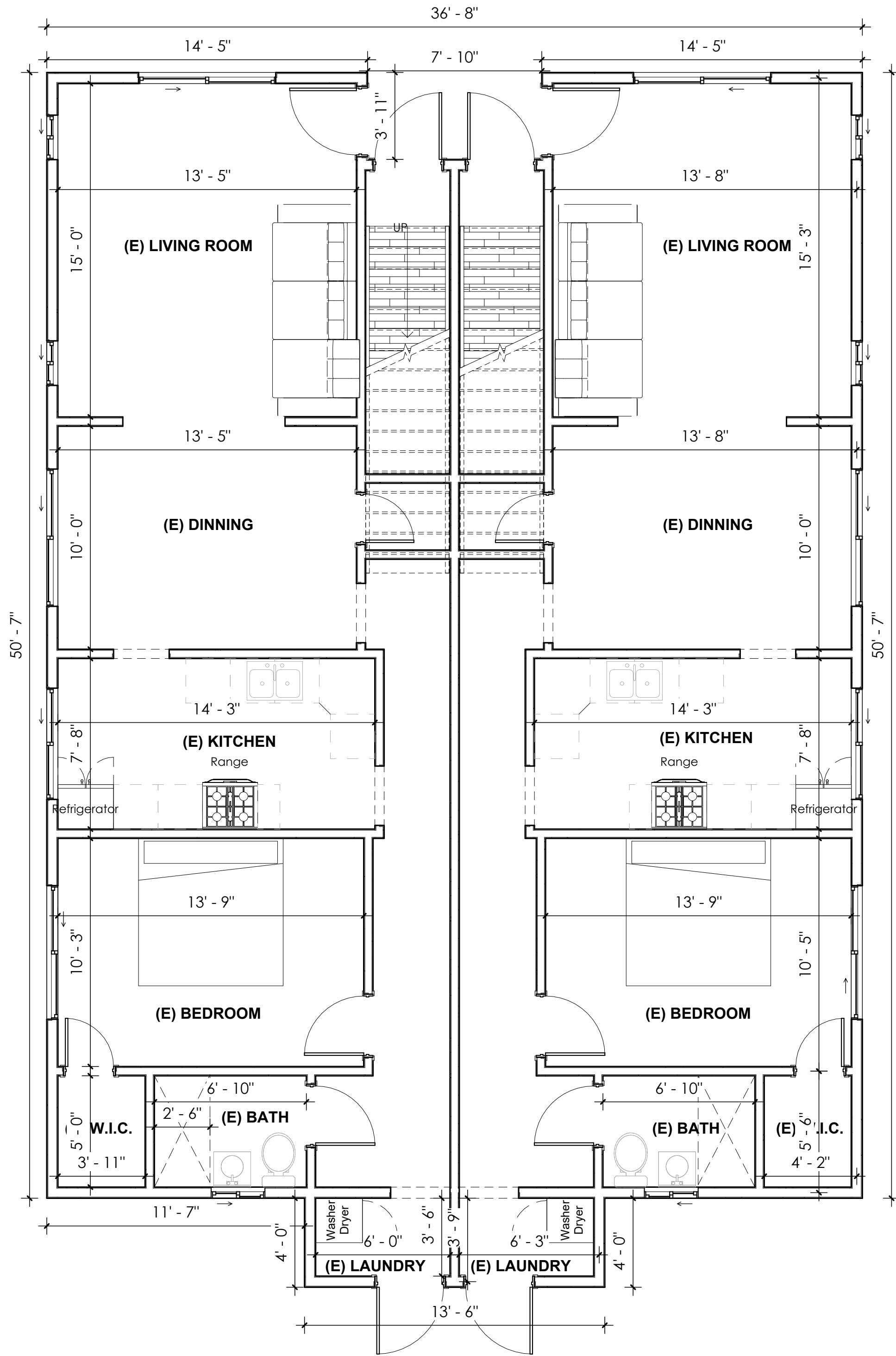
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COVER SHEET &
PROPOSED SITE / ROOF
PLAN

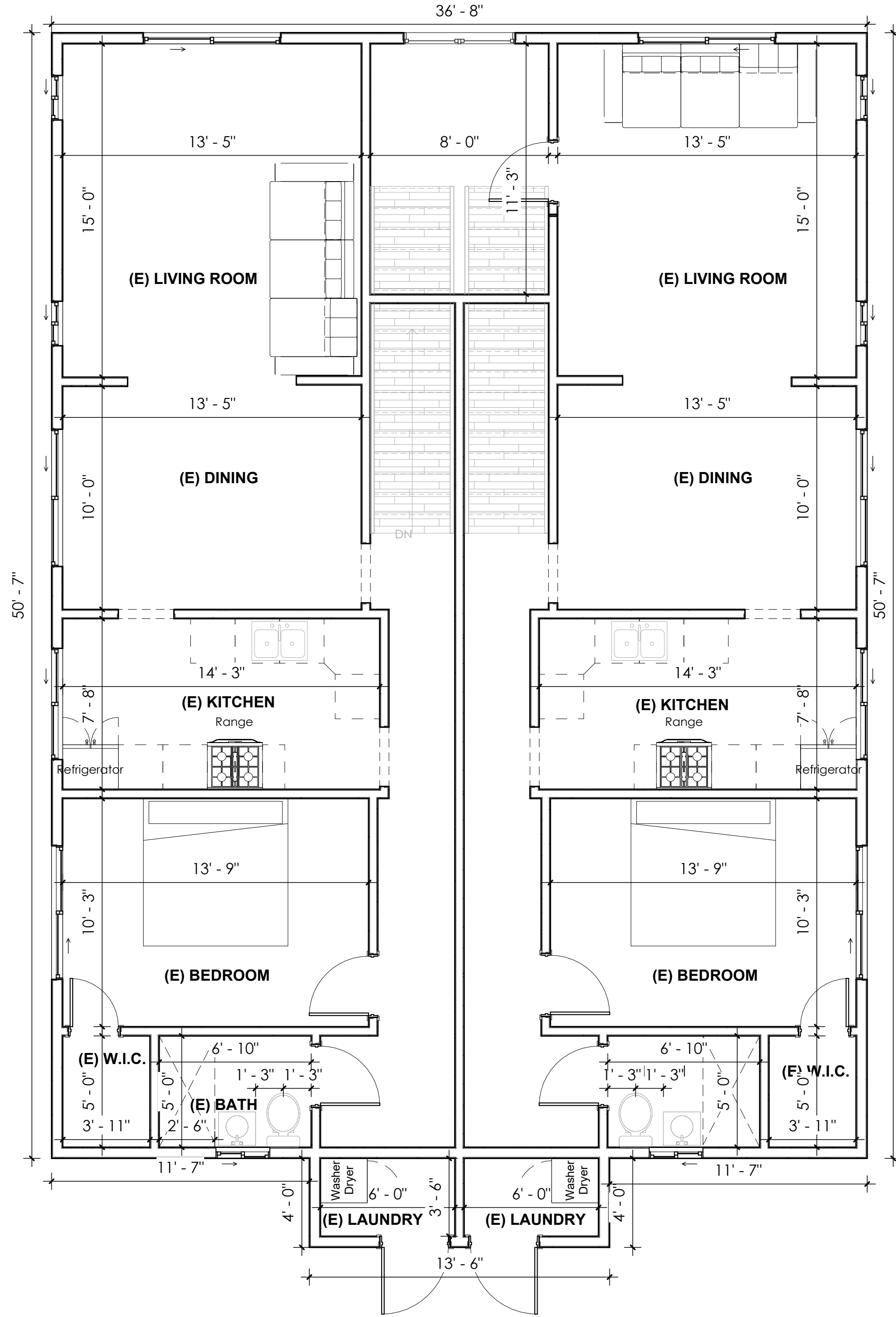
COVER SHEET &
PROPOSED SITE / ROOF
PLAN

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1
1/4" = 1'-0"

EXISTING LEVEL 1



2
1/4" = 1'-0"

EXISTING LEVEL 2

PLAN SYMBOL LEGEND

LEVEL ELEVATION SYMBOL	
	LEVEL NAME
	LEVEL SYMBOL
	ELEVATION ABOVE GROUND
	LEVEL 0' - 0"
SECTION SYMBOL	
	DENOTES SIMILAR DETAIL
	CONDITION
	SECTION NUMBER
EXTERIOR ELEVATION SYMBOL	
	ELEVATION NUMBER
	SHEET NUMBER
	Ref
DETAIL CALLOUT SYMBOL	
	DETAIL NUMBER
	SHEET NUMBER
	REGION OF DETAIL
PROPERTY LINE TAG	
	COMPASS DIRECTIONAL
	DEGREES, MINUTES & SECONDS
	DISTANCE OF PROPERTY LINE SEGMENT
WINDOW TAG, SEE WINDOW SCHEDULE	
	Window Tag
	See Window Schedule
	Ref
DOOR TAG, SEE DOOR SCHEDULE	
	Door Tag
	See Door Schedule
	Ref

REVISION SCHEDULE	
REVISION NUMBER	REVISION DESCRIPTION
1	Revision 1
2	Revision 2
3	Revision 3
4	Revision 4
5	Revision 5
6	Revision 6
7	Revision 7
8	Revision 8
9	Revision 9
10	Revision 10
11	Revision 11
12	Revision 12
13	Revision 13
14	Revision 14
15	Revision 15
16	Revision 16
17	Revision 17
18	Revision 18
19	Revision 19
20	Revision 20
21	Revision 21
22	Revision 22
23	Revision 23
24	Revision 24
25	Revision 25
26	Revision 26
27	Revision 27
28	Revision 28
29	Revision 29
30	Revision 30
31	Revision 31
32	Revision 32
33	Revision 33
34	Revision 34
35	Revision 35
36	Revision 36
37	Revision 37
38	Revision 38
39	Revision 39
40	Revision 40
41	Revision 41
42	Revision 42
43	Revision 43
44	Revision 44
45	Revision 45
46	Revision 46
47	Revision 47
48	Revision 48
49	Revision 49
50	Revision 50
51	Revision 51
52	Revision 52
53	Revision 53
54	Revision 54
55	Revision 55
56	Revision 56
57	Revision 57
58	Revision 58
59	Revision 59
60	Revision 60
61	Revision 61
62	Revision 62
63	Revision 63
64	Revision 64
65	Revision 65
66	Revision 66
67	Revision 67
68	Revision 68
69	Revision 69
70	Revision 70
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72	Revision 72
73	Revision 73
74	Revision 74
75	Revision 75
76	Revision 76
77	Revision 77
78	Revision 78
79	Revision 79
80	Revision 80
81	Revision 81
82	Revision 82
83	Revision 83
84	Revision 84
85	Revision 85
86	Revision 86
87	Revision 87
88	Revision 88
89	Revision 89
90	Revision 90
91	Revision 91
92	Revision 92
93	Revision 93
94	Revision 94
95	Revision 95
96	Revision 96
97	Revision 97
98	Revision 98
99	Revision 99
100	Revision 100

SECTION VIEW	FLOOR PLAN VIEW	DESCRIPTION
		(E) 5" PARTITION
		(DEMO) 5" PARTITION WALL
		(N) 6" PARTITION WALL
		(N) 6" PARTITION WALL (1-HR FIRE-RATED)
		(N) 12" PARTITION WALL (FIREPLACE WALL)

WALL LEGEND

1/4" = 1'-0"

CITY STAMPS SECTION

SIGNATURE DESIGNS LA CO.
818 947 7731
SIGNATUREDESIGNSLA@GMAIL.COM

SIGNATURE DESIGNS

Designed by: CKS
Checked by: CKS

Date: 11/19/2025 9:46:57 AM

Job Number: AT-102025-001-RES

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REVISION DATE

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

Revision 1

PALMER INTERIOR REMODEL
804 E PALMER AVE, GLENDALE, CA 91205
ARTHUR TOUKHLANDJIAN & NAREG MINASSIAN

Project Name

Project Address

Client Name

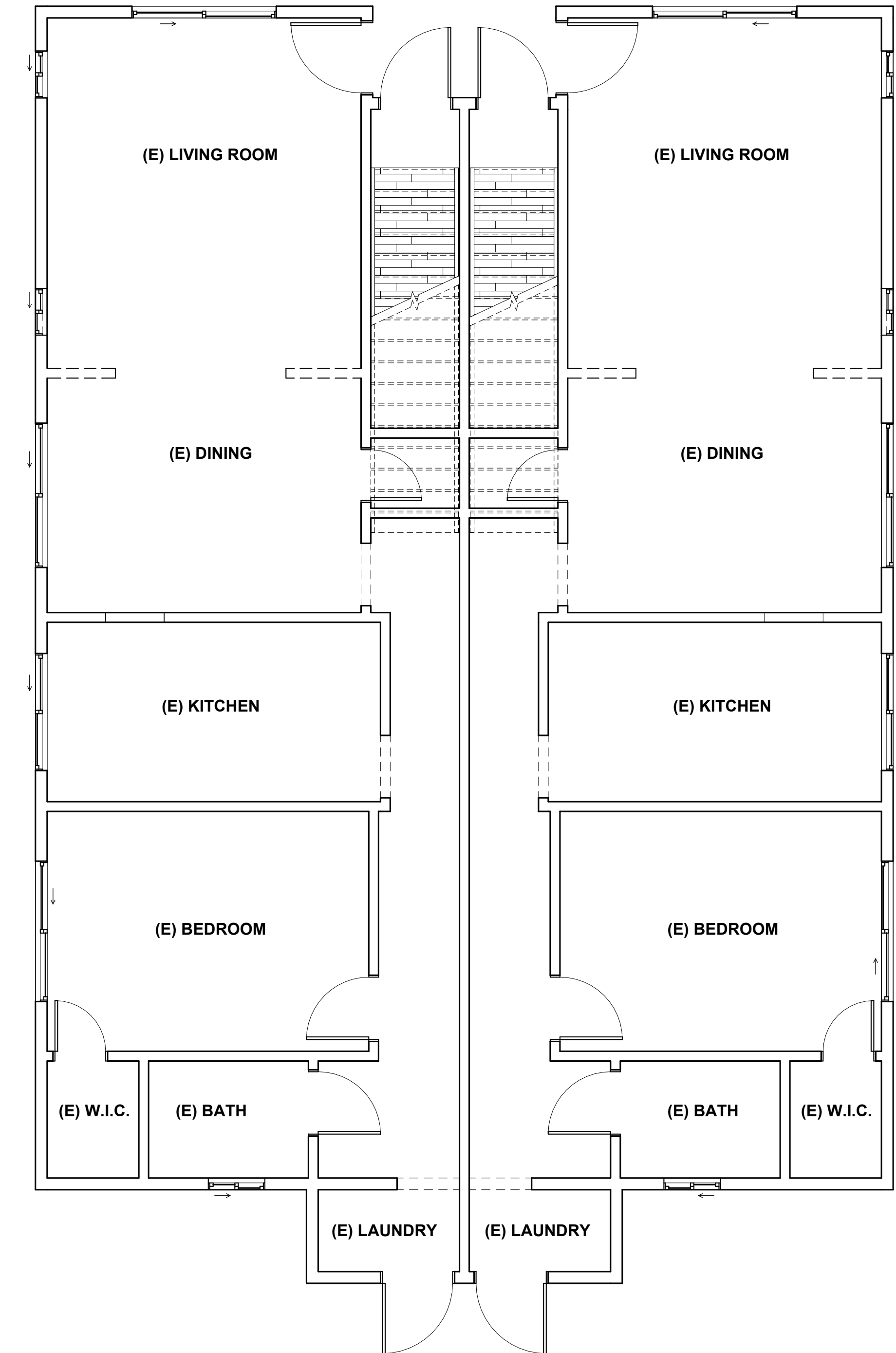
Project Name

Project Address

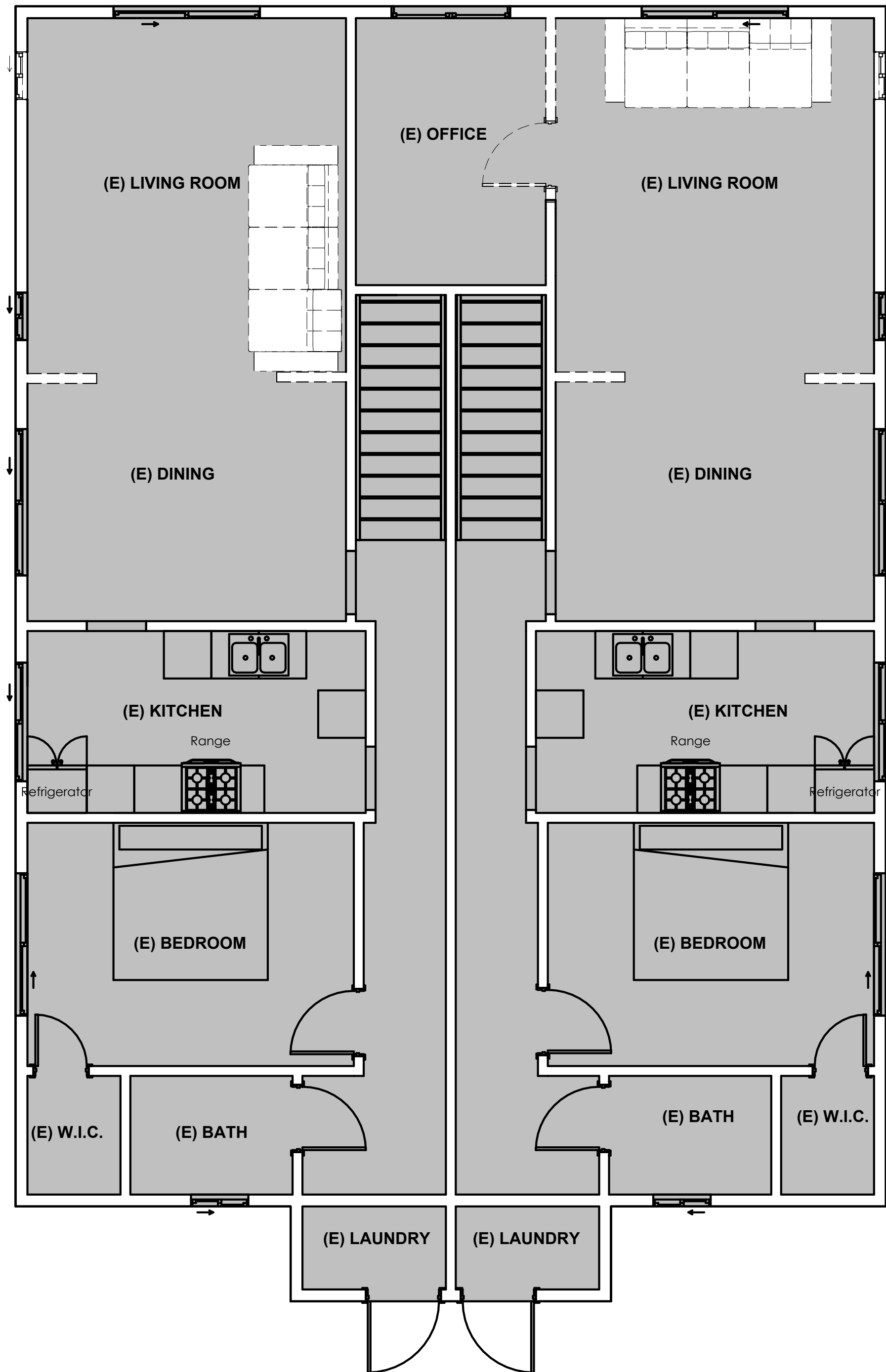
A2.0

SHEET NUMBER

EXISTING FLOOR PLANS



1 1/4" = 1'-0" N



2 1/4" = 1'-0" N

PLAN SYMBOL LEGEND

LEVEL ELEVATION SYMBOL
LEVEL NAME
LEVEL SYMBOL
ELEVATION ABOVE GROUND
LEVEL 0' - 0"

SECTION SYMBOL
DENOTES SIMILAR DETAIL
CONDITION
SECTION NUMBER
SHEET NUMBER

EXTERIOR ELEVATION SYMBOL
ELEVATION NUMBER
SHEET NUMBER

DETAIL CALLOUT SYMBOL
DETAIL NUMBER
SHEET NUMBER
REGION OF DETAIL

PROPERTY LINE TAG
COMPASS DIRECTIONAL
DEGREES, MINUTES &
SECONDS
Distance
DISTANCE OF PROPERTY
LINE SEGMENT

WINDOW TAG, SEE
WINDOW SCHEDULE

DOOR TAG, SEE DOOR
SCHEDULE

MIN 50-CFM WITH HUMIDITY SENSOR EXHAUST FAN WITH
MINIMUM 5 AIR CHANGE PER HOUR. FANS SHALL BE
ENERGY STAR COMPLIANT AND BE DUCTED TO
TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT
FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE
VENTILATION SYSTEM MUST BE CONTROLLED BY A
HUMIDITY CONTROL.

SD HARD WIRED SMOKE DETECTORS WITH A BATTERY
BACKUP ARE REQUIRED. DETECTORS SHALL SOUND AN
ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE
DWELLING UNIT WHICH THEY SERVE
- INTERCONNECTED

ALARMS MAY BE SOLELY BATTERY OPERATED WHEN
INSTALLED IN EXISTING CONSTRUCTION AREAS.
- INTERCONNECTED

CM HARD-WIRED CARBON MONOXIDE DETECTOR.
- INTERCONNECTED

SECTION VIEW	FLOOR PLAN VIEW	DESCRIPTION
		(E) 5" PARTITION
		(DEMO) 5" PARTITION WALL
		(N) 6" PARTITION WALL
		(N) 6" PARTITION WALL (1-HR FIRE-RATED)
		(N) 12" PARTITION WALL (FIREPLACE WALL)

WALL LEGEND

1/4" = 1'-0"

CITY STAMPS SECTION

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SIGNATURE DESIGNS

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Date: 11/19/2025 9:46:58 AM

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REVISION DATE

Date 1

REVISION DESCRIPTION

Revision 1

REVISION NUMBER

1

PALMER INTERIOR REMODEL

Project Name

Project Address

Client Name

A3.0

SHEET NUMBER

DEMOLITION PLAN

WINDOW MARK	WINDOW SIZE W X H	SILL HEIGHT	DESCRIPTION	U FACTOR	SHGC	COUNT
AA	29" X 29"	4' - 5"	Window-Sliding-Double			4
BB	72" X 46"	2' - 9"	Window-Sliding-Double			4
CC	60" X 48"	2' - 9"	Window-Sliding-Double			4
DD	74" X 48"	<varies>	Window-Sliding-Double			8
EE	24" X 54"	2' - 4"	Window-Sliding-Double			4
FF	72" x 72"	3' - 0"	Window-Casement-Double-Roundtop		0.86	1



DOOR MARK	DOOR SIZE W x H	THICKNESS	DESCRIPTION	COUNT
1	32" x 80"		Door-Opening	1
2	96" x 80"	1 3/8"	Door-Interior-Double-Sliding-2_Panel-Wood	2
3	32" x 80"	1 3/8"	Door-Interior-Single-1_Panel-Wood	5
4	68" x 80"	1 3/8"	Door-Interior-Double-Sliding-2_Panel-Wood	3



Name Elevation

- LEVEL NAME
- LEVEL SYMBOL
- ELEVATION ABOVE GROUND LEVEL 0' - 0"

SECTION SYMBOL

- DENOTES SIMILAR DETAIL CONDITION
- SECTION NUMBER
- SHEET NUMBER

EXTERIOR ELEVATION SYMBOL

- ELEVATION NUMBER
- SHEET NUMBER

DETAIL CALLOUT SYMBOL

- SIM
- DETAIL NUMBER
- SHEET NUMBER
- REGION OF DETAIL

PROPERTY LINE TAG

- COMPASS DIRECTIONAL DEGREES, MINUTES & SECONDS
- DISTANCE OF PROPERTY LINE SEGMENT

WINDOW TAG, SEE WINDOW SCHEDULE

DOOR TAG, SEE DOOR SCHEDULE

	MIN 50 CFM WITH HUMIDITY SENSOR EXHAUST FAN WITH MINIMUM 5 AIR CHANGE PER HOUR. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
	SD HARD WIRED SMOKE DETECTORS WITH A BATTERY BCKUP ARE REQUIRED. DETECTORS SHALL SEND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT WHICH THEY SERVE - INTERCONNECTED
	ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING CONSTRUCTION AREAS. - INTERCONNECTED
	HARD-WIRED CARBON MONOXIDE DETECTOR. - INTERCONNECTED

SECTION VIEW	FLOOR PLAN VIEW	DESCRIPTION
		(E) 5" PARTITION
		(DEMO) 5" PARTITION WALL
		(N) 6" PARTITION WALL
		(N) 6" PARTITION WALL (1-HR FIRE-RATED)
		(N) 12" PARTITION WALL (FIREPLACE WALL)

$1/4'' = 1'-0''$

SIGNATURE DESIGNS LA CO.
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SIGNATUREDESIGNSLA@GMAIL.COM

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Date: 11/19/2025 9:46:59 AM

Job Number: AT-102025-001-RE

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REVISION SCHEDULE		
REVISION NUMBER	REVISION DESCRIPTION	REVISION DATE
1	Revision 1	Date 1

Project Name	PALMER INTERIOR REMODEL
Project Address	804 E PALMER AVE, GLENDALE, CA 91205
Client Name	ARTHUR TOUKHLANDJIAN & NAREG MINASSIAN

A4.0

SHEET NUMBER

PROPOSED FLOOR PLANS

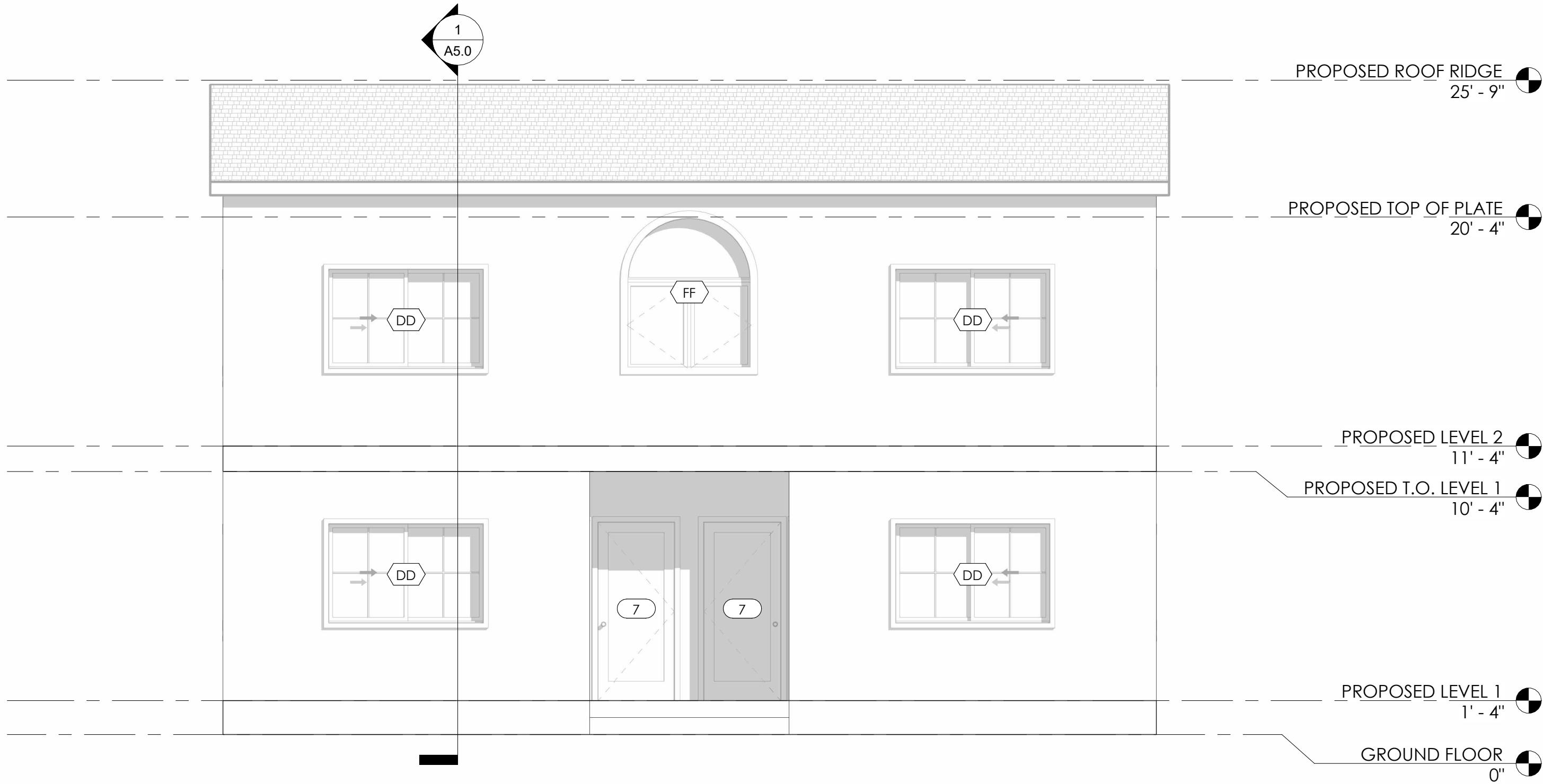
PROPOSED WINDOW SCHEDULE

WINDOW MARK	WINDOW SIZE W x H	SILL HEIGHT	DESCRIPTION	U FACTOR	SHGC	COUNT
AA	29" X 29"	4' - 5"	Window-Sliding-Double			4
BB	72" X 46"	2' - 9"	Window-Sliding-Double			4
CC	60" X 48"	2' - 9"	Window-Sliding-Double			4
DD	74" X 48"	<varies>	Window-Sliding-Double			8
EE	24" X 54"	2' - 4"	Window-Sliding-Double			4
FF	72" x 72"	3' - 0"	Window-Casement-Double-Roundtop		0.86	1

ANY ADDITION OR CHANGES MADE TO THE APPROVED EXTERIOR ELEVATION DESIGN EITHER ON THE DRAWINGS OR DURING CONSTRUCTION WILL REQUIRE PLANNING DIVISION AND BUILDING & SAFETY DIVISION REVIEW AND APPROVAL AND MAY RESULT IN A DELAY OF THE PROJECT OR THE REMOVAL OF NON-APPROVED WORK.

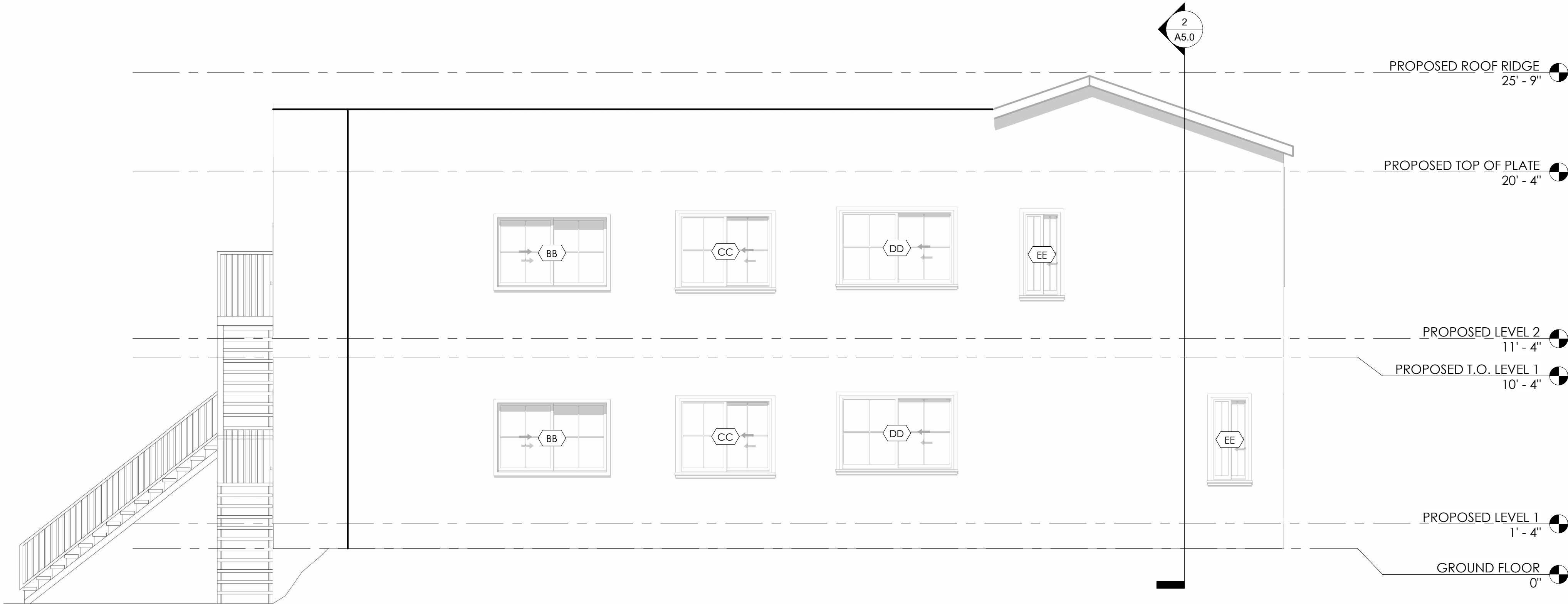
PROPOSED DOOR SCHEDULE

DOOR MARK	DOOR SIZE W x H	THICKNESS	DESCRIPTION	COUNT
1	32" x 80"		Door-Opening	1
2	96" x 80"	1 3/8"	Door-Interior-Double-Sliding-2_Panel-Wood	2
3	32" x 80"	1 3/8"	Door-Interior-Single-1_Panel-Wood	5
4	68" x 80"	1 3/8"	Door-Interior-Double-Sliding-2_Panel-Wood	3



PROPOSED NORTH ELEVATION NO CHANGE ON THIS ELEVATION VIEW

1 1/4" = 1'-0"



PROPOSED EAST ELEVATION

2 1/4" = 1'-0"

PLAN SYMBOL LEGEND

Name

Elevation

LEVEL ELEVATION SYMBOL

LEVEL NAME

LEVEL SYMBOL

ELEVATION ABOVE GROUND

LEVEL 0' - 0"

SIM

1

A101

SECTION SYMBOL

DENOTES SIMILAR DETAIL

CONDITION

SECTION NUMBER

SHEET NUMBER

Ref

1

A101

1

Ref

EXTERIOR ELEVATION SYMBOL

ELEVATION NUMBER

SHEET NUMBER

SIM

1

A101

DETAIL CALLOUT SYMBOL

DETAIL NUMBER

SHEET NUMBER

REGION OF DETAIL

P

N 90 00' 00" E

Distance

PROPERTY LINE TAG

COMPASS DIRECTIONAL

DEGREES, MINUTES & SECONDS

DISTANCE OF PROPERTY LINE SEGMENT

A

WINDOW TAG, SEE WINDOW SCHEDULE

11

DOOR TAG, SEE DOOR SCHEDULE

MIN 50-CFM WITH HUMIDITY SENSOR EXHAUST FAN WITH MINIMUM 5 AIR CHANGE PER HOUR. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.

SD

SD HARD WIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED. DETECTORS SHALL SONID AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT WHICH THEY SERVE

- INTERCONNECTED

ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING CONSTRUCTION AREAS.

- INTERCONNECTED

CM

HARD-WIRED CARBON MONOXIDE DETECTOR.

- INTERCONNECTED

SECTION VIEW	FLOOR PLAN VIEW	DESCRIPTION
		(E) 5" PARTITION
		(DEMO) 5" PARTITION WALL
		(N) 6" PARTITION WALL
		(N) 6" PARTITION WALL (1-HR FIRE-RATED)
		(N) 12" PARTITION WALL (FIREPLACE WALL)

WALL LEGEND

1/4" = 1'-0"

CITY STAMPS SECTION

SIGNATURE DESIGNS LA CO.
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SIGNATURE DESIGNS

Designed by: CKS

Checked by: CKS

Date: 11/19/2025 9:47:11 AM

Job Number: AT-102025-001-RES

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REVISION DATE	REVISION DESCRIPTION
Date 1	Revision 1

REVISION SCHEDULE	REVISION NUMBER	REVISION DESCRIPTION
	1	Revision 1

PALMER INTERIOR REMODEL

804 E PALMER AVE, GLENDALE, CA 91205

ARTHUR TOUKHLANDJIAN & NAREG MINASSIAN

Project Name

Project Address

Client Name

A4.2

SHEET NUMBER

PROPOSED NORTH & EAST ELEVATION VIEWS

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PROPOSED WINDOW SCHEDULE

WINDOW MARK	WINDOW SIZE W x H	SILL HEIGHT	DESCRIPTION	U FACTOR	SHGC	COUNT
AA	29" X 29"	4" - 5"	Window-Sliding-Double			4
BB	72" X 46"	2' - 9"	Window-Sliding-Double			4
CC	60" X 48"	2' - 9"	Window-Sliding-Double			4
DD	74" X 48"	<varies>	Window-Sliding-Double			8
EE	24" X 54"	2' - 4"	Window-Sliding-Double			4
FF	72" x 72"	3' - 0"	Window-Casement-Double-Roundtop		0.86	1

INTERIOR ENVIRONMENT

HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

FOUNDATION NOTES:

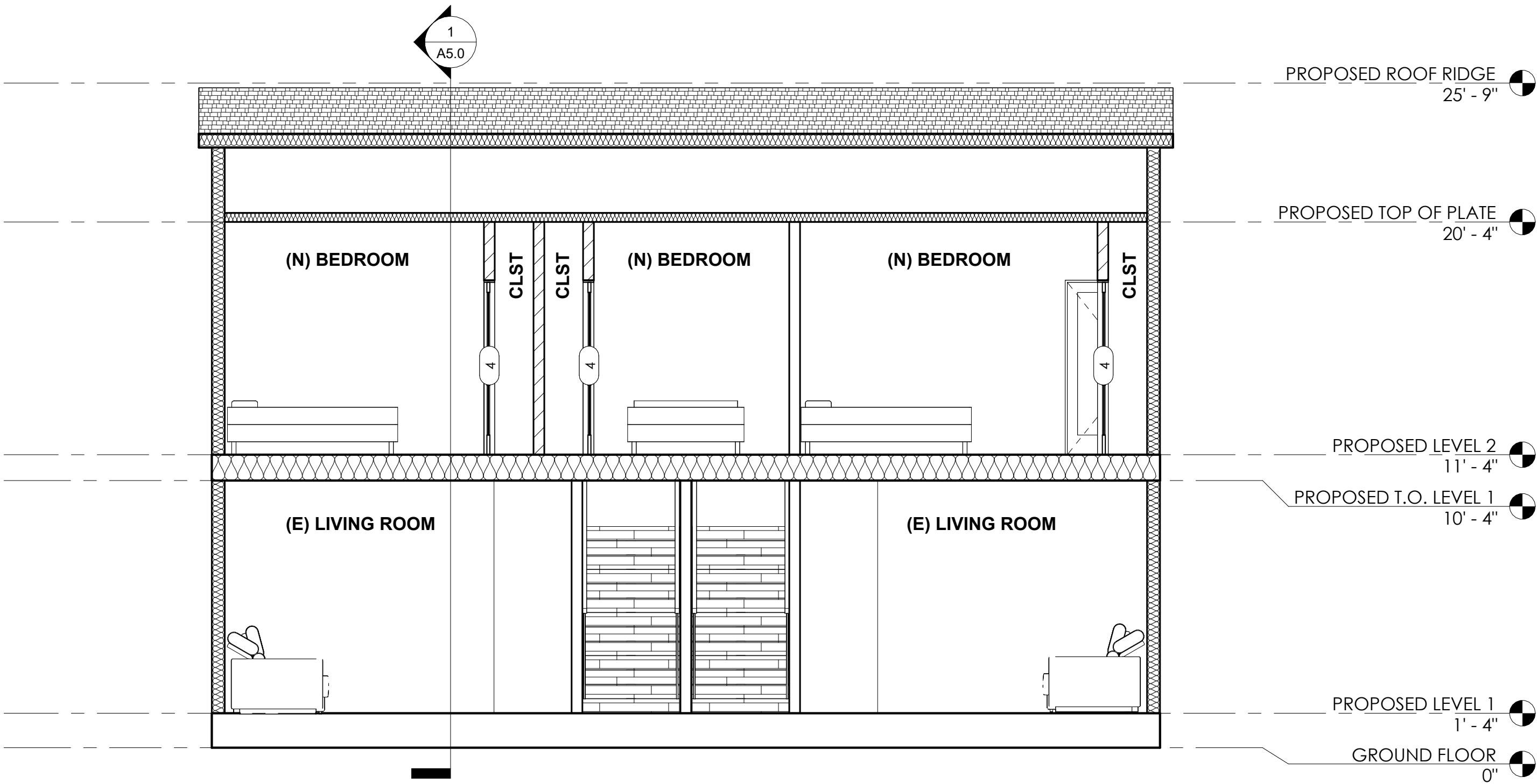
- CONCRETE STRENGTH FOR FOUNDATIONS SHALL BE 2,500 PSI MIN. (CRC R402.2 TABLE R402.2).
- MINIMUM FOOTING REINFORCEMENT SHALL BE ONE #4 BAR TOP AND BOTTOM (CRC R403.1.3).
- MINIMUM ANCHOR BOLT SIZE AND SPACING SHALL BE 5/8" DIA. AB @72" OC., WITH 7" EMBEDMENT, AND 3" x 3" x 1/4" PLATE WASHERS. ANCHOR BOLTS SHALL BE LOCATED A MAXIMUM OF 12" AND 4 1/2" MINIMUM FROM THE END OF THE PLATE (CRC R403.1.6, R602.11.1).

NOTE:

BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7SF WHEN ABOVE THE GRADE-FLOOR AND 5 SF ON THE GRADE-FLOOR, A MINIMUM NET HEIGHT OF 24" , A MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR. MANUFACTURER'S DATA SHOWING COMMPIANCE WITH EGRESS REQUIREMENTS MUST BE REPRODUCED ON THE DRAAWINGS FOR ANY WINDOWS DEVIATING FROM THE APPROVED WINDOW SIZES SHOWN ON THE CITY OF BURBANK CONVENTIONAL CONSTRUCTION SHEET (CRC R310 1)

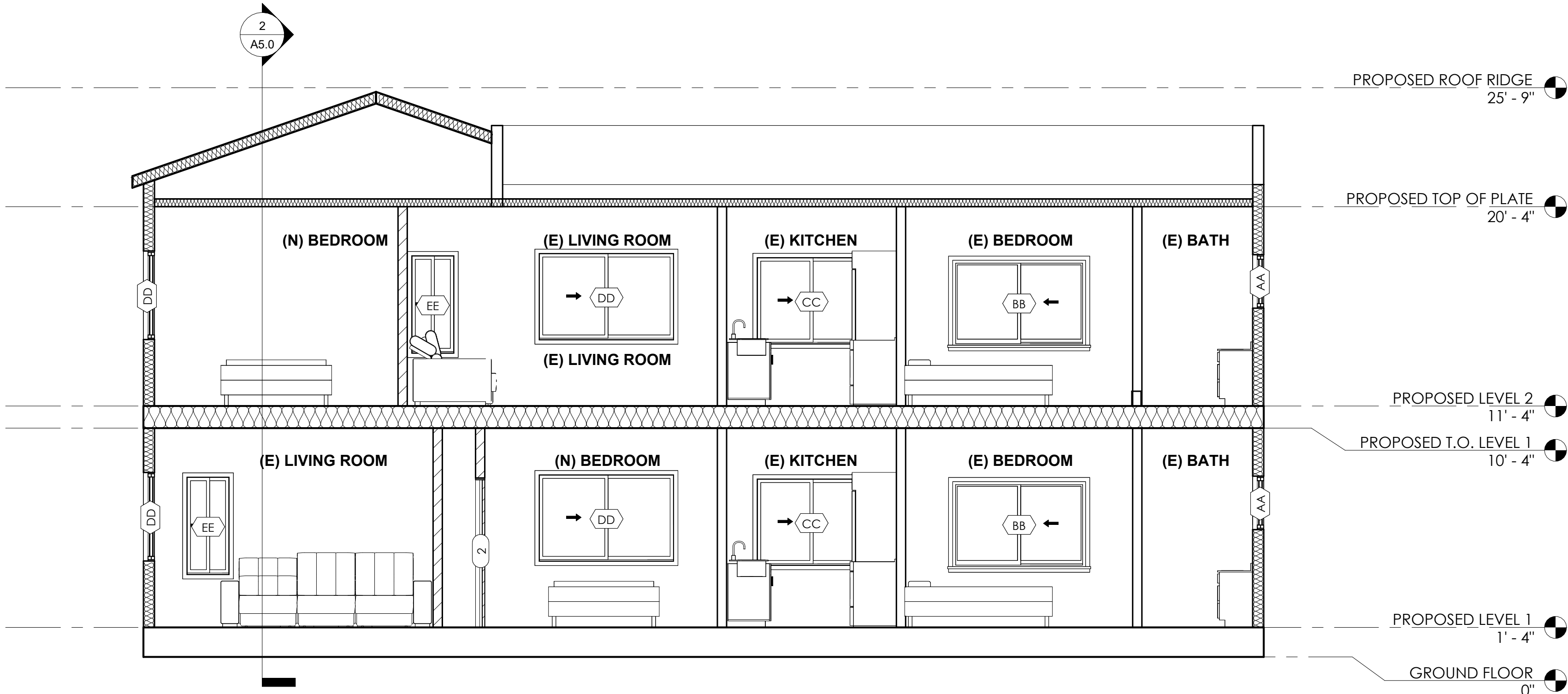
PROPOSED DOOR SCHEDULE

DOOR MARK	DOOR SIZE W x H	THICKNESS	DESCRIPTION	COUNT
1	32" x 80"		Door-Opening	1
2	96" x 80"	1 3/8"	Door-Interior-Double-Sliding-2_Panel-Wood	2
3	32" x 80"	1 3/8"	Door-Interior-Single-1_Panel-Wood	5
4	68" x 80"	1 3/8"	Door-Interior-Double-Sliding-2_Panel-Wood	3



Section 2

1/4" = 1'-0"



Section 1

1/4" = 1'-0"

PLAN SYMBOL LEGEND

Name

Elevation

LEVEL ELEVATION SYMBOL

LEVEL NAME

LEVEL SYMBOL

ELEVATION ABOVE GROUND

LEVEL 0' - 0"

SIM

1

A101

SECTION SYMBOL

DENOTES SIMILAR DETAIL

CONDITION

SECTION NUMBER

SHEET NUMBER

Ref

1

A101

1

Ref

EXTERIOR ELEVATION SYMBOL

ELEVATION NUMBER

SHEET NUMBER

SIM

1

A101

DETAIL CALLOUT SYMBOL

DETAIL NUMBER

SHEET NUMBER

REGION OF DETAIL

P

N 90 00' 00" E

Distance

PROPERTY LINE TAG

COMPASS DIRECTIONAL

DEGREES, MINUTES & SECONDS

DISTANCE OF PROPERTY LINE SEGMENT

A

WINDOW TAG, SEE WINDOW SCHEDULE

11

DOOR TAG, SEE DOOR SCHEDULE

SD

MIN 50-CFM WITH HUMIDITY SENSOR EXHAUST FAN WITH MINIMUM 5 AIR CHANGE PER HOUR. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.

SD

SD HARD WIRED SMOKE DETECTORS WITH A BATTERY BCKUP ARE REQUIRED. DETECTORS SHALL SONID AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT WHICH THEY SERVE

- INTERCONNECTED

CM

ALARMS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING CONSTRUCTION AREAS.

- INTERCONNECTED

CM

HARD-WIRED CARBON MONOXIDE DETECTOR.

- INTERCONNECTED

SECTION VIEW

FLOOR PLAN VIEW

DESCRIPTION

(E) 5" PARTITION

(DEMO) 5" PARTITION WALL

(N) 6" PARTITION WALL

(N) 6" PARTITION WALL (1-HR FIRE-RATED)

(N) 12" PARTITION WALL (FIREPLACE WALL)

WALL LEGEND

1/4" = 1'-0"

CITY STAMPS SECTION

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Designed by: CKS
Checked by: CKS

Date: 11/19/2025 9:47:12 AM

Job Number: AT-102025-001-RES

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REVISION DATE

Date 1

REVISION DESCRIPTION

Revision 1

REVISION NUMBER

1

PALMER INTERIOR REMODEL

804 E PALMER AVE, GLENDALE, CA 91205

ARTHUR TOUKHLANDJIAN & NAREG MINASSIAN

Project Name

Project Address

Client Name

A5.0

SHEET NUMBER

SECTION VIEWS

1. STONE: Stone fabricator to verify layout, cuts & material patterns with architect. Stone surfaces are to be sealed. Verify type of sealer with architect.

DIVISIONS 10 - 14 - Not Used
DIVISION 15 - MECHANICAL

1. GAS SHUT-OFF : An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fue gas piping. Per Ordinance 170,158. Separate plumbing permit is required. Shutoff shall be conspicuously marked.
2. Provide an approved seismic gas shut off valve on the fuel gas line on the down stream side of the utility meter, and be rigidly connected to the exterior of the building containing the fuel gas piping.
3. ROOF DRAINAGE:
- A. Where roof systems are not designed to support accumulated water, they shall be sloped for drainage per Building Code, Sec. 1506.1.
- B. Unless roofs are sloped to drain over roof edges or to support accumulated water, roof drains shall be installed per Building Code, Sec. 1506.2. All roof drainage shall conform to Building Code, Sec. 1506.
- C. Where roof drains are required, overflow drains or scuppers shall be provided equal to the size of the roof drains. The bottom of the overflow drain shall not be more than two inches above the low roof point. Overflow drain lines shall be independent from the roof drain lines. All roof drainage shall conform to Building Code, Sec. 1506.3. Overflow drains shall discharge to an approved location.
- D. Roof drains and overflow drains concealed within the construction of the building, shall be installed in accordance with the Plumbing Coode. (Sec. 1506.4)
- E. Roof drains discharging water within 25 feet of a street property line must be conducted under sidewalk. All roof drainage shall be conducted to the street by means of approved non-erosive device.
4. ATTIC VENTILATION: Provide net ventilation area of not less than one square foot for each 150 square ft of attic space. Cover vent opening with corrosion resistant wire mesh having 1/4" square openings (Sec. 1505.3. One half of the required vents shall be placed at or near the crown of the ridge of the roof.
5. HEATING:

- A. Heating for residence shall be provided by facilities capable of maintaining a room temperature of 70 degrees F at a point three feet above the floor in all habitable rooms. No unvented or open flame gas heaters shall be permitted.
- B. Plans and calculations for the capacity of the comfort heaters shall be submitted to the Mechanical Bureau prior to installation.
- C. All heating or cooling ducts located outside the building energy envelope shall have all joints and seams sealed and shall be insulated with a minimum of 1" thick (0.6 lbs/cu. ft.) fibrous insulation.
6. FAN EXHAUST SYSTEMS:
- A. For mechanical ventilation systems used in lieu of required windows at toilet rooms, laundries, and other areas requiring windows, provide a fan exhaust system operable from light switch which provides a minimum five air changes per hour direct to outside air.
- B. Every exhaust system shall terminate at a point outside of the building not less than 5 ft. from any openable window or fresh air intake. (UMC 1104 <d>)
7. GAS VENTS: Approved vents installed in walls of buildings 3 stories or less in height need not be enclosed.
8. IGNITION DEVICES: All gas appliances except water heaters and range top burners shall be equipped with intermittent idevices.
9. PLUMBING NOTES:

- A. All plumbing fixtures shall be supplied and installed by the Contractor. Refer to Fixture and Finish List on Drawings for specifications.
- B. The sizes of cuts, notches or holes made into wood framing members, through which plumbing or water piping may pass, may be of such size and shape, and so located as to permit a general downward free movement of the wood framing, relative to the plumbing or water piping of 5/8" at that level for each floor below the notch or hole level. Obtain Structural Engineer's permission before cutting or notching structural member.
- C. All water outlets including tubs, showers and lavatories, shall be positioned in the gypsum board walls with 5/8" clear all around and shall not be plastered or grouted solid. All joints shall be filled with mastic and covered with escutcheon plates.
- D. All wood framing will shrink. Shrinkage in wood-frame members may be assumed to be 4% transverse to the grain, and approximately 0.2% in the direction of the grain, and the total amount to be compensated for in either direction shall be atleast the sum of the calculated increments of shrinkage in that direction.
- E. All plumbing vents shall be collected into single vents where possible. Plumbing clean outs shall be located so as not to be visible. Verify locations with Architect.
- F. All gas piping shall have joints at each floor or other Uniform Plumbing Code approved device for flexible gas pipe installation.

DIVISION 16 - ELECTRICAL

- A. LIGHTING: Comply with all requirements of the Los Angeles City Electrical Code.
- B. FLOODLIGHTS: All lighting shall be directed into the site and no floodlighting shall be located so as to be seen directly by the adjacent residential areas (low level security lighting not precluded).
- C. WIRING: All telephone, electric, security, cable television and other wiring shall be run in a neat and orderly fashion. The General Contractor shall coordinate with the security system company. The General Contractor shall furnish and prewire for security as required and as directed by the Owner or security company. Final installation and testing of the system shall be by the security company.
- D. ELECTRICAL SERVICE: Contractor shall verify service requirements and service locations for electrical supply to all appliances/devices with manufacturers. Notify the Architect of any discrepancies.

WATER EFFIIENCY AND CONSERVATION:

"THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 0.6 GALLONS OF WATER TO BE DELIVERED TO ANY FIXTURE BEFORE HOT WATER ARRIVES OR SHALL COMPLY WITH EITHER LOS ANGELES PLUMBING CODE SECTION 610.4.1.2 OR 610.4.1.3."

- A. All garage walls and ceilings to living areas shall be treated as exterior walls for insulation. Any underfloor area of an upper story (e.g. a cantilever) exposed to exterior elements shall be insulated.
- B. Upon completion of the installation of the insulation, a card, approved by the Building Department, certifying that the insulation has been installed in conformance with the requirements for Energy Installation Standards, shall be completed and executed by the Insulation Applicator and by the Contractor. This Insulation Compliance Card shall be posted at a location designated by the Building Department Field Inspector.
- C. WINDOWS AND DOORS:
- a. All manufactured windows shall be certified as meeting the current air infiltration standards of the American National Standards Institute (A134.1, A134.2, A134.3, A134.4), when tested in accordance with ASTM E 283-73, with a pressure of 1.57lb/ft2, and shall be labeled as such.
- b. All swinging doors penetrating insulated walls shall be fully weather-stripped, gasketed or otherwise treated to limit infiltration as approved by the Building Dept.
- c. Required tinting and glazing shall be permanently tinted or permanently surface coated by the manufacturer of the glazing material, and shall provide a maximum tinting coefficient of 0.55, floors and between exterior wall panels. Caulk around all plumbing and electrical penetrations into the building envelope.
- CAULKING: Caulk and seal around all window and door frames and between wall sole plates and floors and between exterior wall panels. Caulk around all plumbing and electrical penetrations into the building envelope.
 - GARAGE APPLIANCES: (N/A)
 - DUCTS AND DUCTWORK: All fan systems exhausting air from the building shall be provided with back draft dampers. Ducts shall be constructed, installed and insulated according to the Uniform Mechanical Code, Ch. 10, latest edition. All joints of the duct system shall be tightly sealed with mastic or tape.
 - PIPE INSULATION: All steam and steam condensate return piping and all continuously circulating domestic or heating hot water piping shall be insulated as required by the Building Dept., Plumbing Div. All hot water piping concealed within an exterior insulation wall shall be located a minimum of 1" from the back-side of the exterior finish with the wall insulation between the two. Concealed downspouts shall be wrapped tightly in insulation.
 - THERMOSTATS: Thermostatically controlled heating or cooling systems (except heat pumps) shall have an automatic thermostat with a clock mechanism which can be manually programmed to automatically set back the thermostat set points for at least two periods within 24 hours.
 - ADDITIONAL REQUIREMENTS: See DIVISION 15 - MECHANICAL for additional requirements.
- d. WEEP SCREEDS: A corrosion-resistant weep screed with a minimum vertical attachment flange of 3 1/2" shall be provided at or below the foundation plate line on all exterior sud walls. the screed shall be placed a minimum of 4" above the earth or 2" above paved areas and shall be of a type that will allow trapped water to drain to the exterior of the building. the weather-resistive barrier shall lap the attachment flange, and the exterior lath shall cover and terminate on the attachment flange of the screed
- e. UNDERFLOOR VENTILATION: N/A (SLAB ON GRADE)
- f. FLASHING: Workmanship shall be in accordance with best trade practice, to comply with Architectural Sheet Metal Manual, latest edition, by Sheet Metal and Air Conditioning Contractors Assoc. Install an approved type using an approved method in all exterior openings. Use 20 ga. galvanized sheet metal, typical. Counterflashings shall be 24 ga. galvanized sheet iron or steel. All valley flashing at roofing shall be 28 ga., minimum, galvanized sheet metal.
- g. ROOF CONSTRUCTION:
- STANDARDS: Materials shall comply with the Manufacturer's requirements.
 - PREPARATION: Surfaces shall be dry, smooth, free of loose material, properly sloped to outlets, and swept and cleaned of dirt and debris. Remove all rough spots, sharp projections and lumpy places. Roof drains, lead collars, vent pipe sleeves, stanchions and related metalwork shall be installed prior to application of roofing.
 - APPLICATION: Composite slate roofing shall be installed by a qualified applicator in accordance with the Manufacturer's printed specifications. Roofing system shall be as indicated on the Drawings.
 - ATTIC VENTILATION: (N/A)
- D. ROOF DRAINAGE: Where roof system is not designed to support accumulated water, slope for drainage per Building Code, Sec. 1506.1 & 1506.2. The bottom of the overflow or scupper shall not be more than two inches above the low roof point. All roof drainage shall conform to Building Code, Sec. 1506.3. All roof drainage shall be conducted to the street by means of approved non-erosive device unless otherwise noted. See DIVISION 15 - MECHANICAL, Roof Drainage for additional requirements.

DIVISION 8 - DOORS & WINDOWS

- A. EXIT DOORS: Provide dead bolts with hardened inserts; deadlocking latch with key- operated locks on exterior. Every exit door shall be openable from inside without the use of a key or any special knowledge or effort (6709.2) Special locking devices shall be of an approved type. Exist door must open over a landing not more than 1" below the threshold (Sec. 1005).
- B. WINDOW EGRESS: All sleeping rooms shall have emergency exits to comply with a minimum 24" net clear height, minimum 20' width, 5.7 net sq. ft. of opening and a maximum 44" sill height above adjacent floor. (sec 310.40)
- C. SCREENS: All windows and sliding glass doors required for light and ventilation shall be screened.
- D. GLAZING: All glass must comply with U.S. Consumer Safety Protection Commission requirements. Glass thickness, strength, materials and method of installation shall conform with requirements of Building Code, Sec. 2401.2, Building Code, Ch. 24-1, and Memorandum of General Distribution #3 (Impact Hazard Glazing). Openings in the exterior wall and all glazed openings subject to human impact shall conform to the Building Code. Glass doors, adjacent panels and all glazed openings within 18" of the adjacent floor, whose least dimension is greater than 18" shall be of tempered glass approved for Impact hazard per Section 2406.4.
- a. Ingress and egress doors
- b. Panels in sliding or swinging doors
- c. Doors and enclosure for hot tub, bathtub, showers (Also glazing in wall enclosing these compartments within 5'-0" of standing surface)
- d. If within 2'-0" of vertical edge of closed door and within 5'-0" of standing surface
- e. In wall enclosing stairway landing
- E. SECURITY PROVISIONS: All exterior openings are Security Openings and the following notes shall apply:
- a. CODE REQUIREMENTS: All windows, entry doors, sliding glass doors, and glazed openings shall conform to the requirements of the Building Code (Security Provisions).
- b. SWINGING DOORS:
- A single-swing door, the active leaf of a pair of doors and the bottom leaf of Dutch doors shall be equipped with a deadbolt and deadlocking latch. The deadbolt and latch may be activated tools. The lock or locks shall be key-operated from the exterior side of the door and by one lock or by individual locks. Deadbolts shall contain hardened inserts to repel cutting openable from the interior side by a device which does not require a key, special knowledge, or special effort to operate. The inactive leaf of a pair of doors and the upper leaf shall be equipped with a deadbolt or deadbolts as set forth in Division 8(E)2, Swinging doors.

- A. Door stops of in-swinging doors separating dwelling units from public areas shall be of one piece construction with the jamb or joined by rabbet to the jamb.
- B. Entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a provided by a door view of the area immediately outside the door without opening the door. Such view may be viewer through windows located in the vicinity of the door or through viewports in the door or adjoining wall. (6706)
- C. Wood flush-type doors shall be 1-3/8" thick minimum with solid core construction. 91.6709.1- Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4) Hollow core door or doors less than 1-3/8" thickness shall be covered on the inside face with 16 ga. sheet metal attached with screws of 6" on centers around the perimeter or equivalent.
- a. Glass doors shall have fully tempered glass complying with Building Code, Sec. 2406.2.
- D. OTHER DOORS:
- a. Metal or wooden overhead and sliding doors shall be secured with a cylinder lock, padlock with a minimum 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt, or equivalent device, unless secured by an electrical power operation.
- b. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq.ft. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1-3/8 inches and 3 inches in width. (91.6709.1 item 2)
- E. ADJACENT OPENINGS AT DOORS: Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass per Sec. 5406 Division 8(E) or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a minimum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. (6713) See Security Provisions, Other Openings, for additional requirements.
- F. FINISH HARDWARE:
- a. All pin-type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have minimum 1/4" diameter steel jamb stud with 1/4" minimum projection, unless the hinges are shaped to prevent removal of the door if the hinge pins are removed. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (91.6709.5, 6709.7)
- b. The strike plate for latches and the holding device for projecting deadbolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2-1/2" length.
- c. Door locking device shall be a type that will be readily distinguishable as locked. Exit doors used in pairs shall have approved automatic flush bolts.
- d. Deadbolts shall contain hardened inserts. Straight deadbolts shall have a minimum throw of 1" have a minimum throw of 3/4". (6709.2) and an embedment of not less than 5/8". A hook-shaped or an expanding-lug deadbolt shall
- e. Sliding glass doors and windows shall be equipped with locking devices and shall be constructed and installed so that they remain intact and engaged when subjected to the tests specified in Sec. 6716.2. A device shall be provided in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 6715.1
- f. All locksets and latchsets, cylinders and component parts shall be keyed per the Owner.
- g. The use of a locking system which consists of a dealocking latch operated by a doorknob and a deadbolt operated by a non-removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.
- G. CYLINDER GUARDS: Install on all morise or rim-type cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools
- H. OTHER SECURITY OPENINGS: Security openings other than doors or glazed openings shall be protected in accordance with the requirements of this Section. All outside pin-type hinges shall be provided with non-removable pins.
- I. ADJACENT STRUCTURES: Screens, barricades, or fences made of material which preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8' of a utility pole or similar structure.
- J. FINISH HARDWARE: All hardware shall comply with applicable Fire and Building Codes. All locksets & latchsets, cylinder and component parts shall be keyed and mastered as instructed by the Owner.

DIVISION 9 - FINISHES

- A. STANDARDS: Workmanship shall be in accordance with best trade practice.
- B. DRYWALL: Conform to applicable local Building Codes. Drywall located behind required nonabsorbent surfaces shall be water-resistant. See DIVISION 1- GENERAL CONDITIONS, General Design Requirements, Bathrooms for additional requirements.
- C. CERAMIC TILE: Material, installation and workmanship shall conform to ANSI A108.1-1985, Glazed and Unglazed Ceramic Tile. Tile shall have a 'Standard Grade' certificate of grade in accordance with ANSI A137.1-180 (ANSI AN-4), Specifications for Ceramic Tile. Grout joints shall be set straight and solidly filled, conforming to ANSI A108.1 and ANSI A108.2. Tile and pattern shall be as indicated on the Drawings. ARCHITECT SHALL REVIEW AND APPROVE ALL TILE PLACEMENT AND PATTERNS ON SITE PRIOR TO FINAL GROUTING.
- D. PAINTING: All paints shall conform to South Coast Air Quality Management District regulations. Properly label all containers. All paints shall be factory mixed products of manufacturers herein specified or products which have been approved as equal to the specified products by the Architect. Use a thinner as recommended by the paint manufacturer. All surfaces to receive paint shall be clean, dry, smooth and dust free before application of any primer, back primer, paint, etc. Apply coats and undercoats for all types of finishes in strict accordance with the manufacturer's recommendations. Protect floors and all adjacent surfaces from paint smears, spatters and droppings. Cover fixtures and remove hardware not to be painted. Mask off areas where required. Remove paint and oil saturated cloths from the job site daily or hang out flat and singly to dry.

NOTES ON PLANS:

- a. The construction shall not restrict a five- foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- b. An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170,158) (Separate plumbing permit is required).
- c. Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system. R306.3
- d. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply. R306.4
- e. Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor. R307.2
- f. Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- g. Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). R308.6.9
- h. Water heater must be strapped to wall. Sec. 507.3, LAPC
- i. For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor. 6109 of LABC
- j. For existing pool on site, provide anti – entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. 3162B
- k. Automatic garage door openers, if provided, shall be listed in accordance with UL 325. R309.4
- l. Smoke detectors shall be provided for all dwelling units intended for human occupancy, where a permit is required for alterations, repairs, or additions. R314.2
- m. Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. R315.2
- n. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. R303.1
- o. A copy of the evaluation report and/or conditions of listing shall be made available at the job site



CITY STAMPS SECTION

SIGNATURE DESIGNS LA CO. 818 947 7331 SIGNATUREDESIGNSLA@GMAIL.COM					
SIGNATURE DESIGNS					
Designed by: CKS Checked by: CKS					
Date: 11/19/2025 9:47:17 AM					
Job Number: AT-100225-001-RE5					
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REVISION SCHEDULE		REVISION DATE			
REVISION NUMBER		REVISION DESCRIPTION			
1		Revision 1		Date 1	
		Revision 1			
PALMER INTERIOR REMODEL				804 E PALMER AVE, GLENDALE, CA 91205	
				ARTHUR TOUKHLANDJIAN & NAREG MINASSIAN	
Project Name					
Project Address					
Client Name					
A7.1					
SHEET NUMBER					
GENERAL NOTES					

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SECURITY REQUIREMENTS

- All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. (6706)
- Screens, barricades, or fences made of a material which would preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar structures. (6707)
- Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction. 91.6709.1 - Door stops of in-swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4)
- Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At a maximum height of 8 feet on the exterior. (6708)
- All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (91.6709.5, 6709.7)
- Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, and S occupancies). (6709.2)
- Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8", and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)
- The use of a locking system which consists of a deadlocking latch operated by a doorknob and a deadbolt operated by a non- removable thumb turn which is independent of the deadlocking latch and which must be separately operated, shall not be considered as a system which requires special knowledge or effort when used in dwelling units. The door knob and the thumb turn which operates the deadbolt shall not be separated by more than 8 inches.
- Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 inches and 3 inches in width. (91.6709.1 item 2)
- Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. (6710)
- Sliding glass doors shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sec. 6717.1
- Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. (6711)
- Provide metal guides at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712)
- NOT USED
- Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a maximum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. (6713)
- Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" orless, which are constructed to preclude human entry. (6715.3)
- Other openable windows shall be provided with substantial locking devices. In B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps. (6715.2)
- Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 6715.1
- Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sec. 6717.2.
- Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grills, grates or similar devices that exceeds two inches in any dimension. (91.6715.4)
- All other openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. (91.6716)

STORM WATER MANAGEMENT:

- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON THE SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY THER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON ITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE RACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY.
- ACCIDENTAL DEPOSITIONS MUST BE SWPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

- PROVIDE ULTRA-FLOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH A LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED) (R308.6.9)
- WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
- WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2 CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
- A COPY OF THE VALID EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):
 - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.
 - GLAZING IN RAILINGS.
 - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOLLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
 - GLAZING IN WALLS AND FENCES ADJACENT TO UNDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE WATER'S EDGE.
 - GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS.
 - GLAZING ADJACENT TO THE LANDING AT THE BOTTOM OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD.
- SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6
- LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3)
- DAMPPOOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.4
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP A U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP A U1.
- IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE (R302.11)
- IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USEABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. DRAFTSTOPPING SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS (R302.12)

- CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS. WOOD SHAKES AND SHINGLES ARE NOT PERMITTED. (7207.4, 1505)
- VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (0.48 MM) (NO. 26 GLAVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE (914MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY (704A1.3)
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER (704A.1.5)
- EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SFM 12-7A-3 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE (704A.2.2, 7207.3
- EXTERIOR WALLS SHALL BE APPROVED NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL, HEAVY TIMBER, OR LOG WALL CONSTRUCTION OR SHALL PROVIDE PROTECTION FROM THE INTRUSION OF FLAMES AND EMBERS IN ACCORDANCE WITH STANDARD SFM 12-7A-1 (704A.3.1)
- DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET (3.048MM) OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMER, NON COMBUSTIBLE OR OTHER APPROVED MATERIALS PER SEC 704A.4.1
- THE UNDERSIDE OF CANTILEVERED AND OVERHANGING APPENDAGES AND FLOOR PROJECTIONS SHALL MAINTAIN THE IGNITION-RESISTANT INTEGRITY OF EXTERIOR WALLS, OR THE PROJECTION SHALL BE ENCLOSED TO THE GRADE (704A.4.2.1)
- BUILDINGS SHALL HAVE UNDERFLOOR AREAS COMPLETELY ENCLOSED TO THE GRADE WITH CONSTRUCTION AS REQUIRED FOR EXTERIOR WALLS (704A.4.2.2, 7207.1)
- ALL UTILITIES, PIPES, FURNACES, WATER HEATERS OR OTHER MECHANICAL DEVICES LOCATED IN AN EXPOSED UNDER-FLOOR AREA OF A RESIDENTIAL BUILDING SHALL BE ENCLOSED WITH MATERIALS AS REQUIRED FOR 1-HOUR FIRE RESISTIVE CONSTRUCTION. (7207.2)
- THE SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS AND BE FIRE STOPPED PER 704A.1.2
- NO TRELLIS IS PERMITTED WITHIN 10 FEET OF THE PRIMARY STRUCTURE.
- TRELLIS MORE THAN 10 FEET FROM THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED OF HEAVY TIMBER OR NON COMBUSITBLE MATERIALS. MINIMUM OF 4 INCHES SPACING IS REQUIRED BETWEEN THE MEMBERS. (INFORMATION BULLETIN NO P/BC 2008-023

CONSTRUCTION PROJECTS

- EROCED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OR EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCE OF WIND AND WATER.
- FUELS, OILS, SOLVENTS AND OTHER TOXCI MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLES TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- DESIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTARANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPE WITH DISTURBED SOILS OR DENUDED VEGETATION MUST BE STABILIZCED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- ADDITIONAL BMPs WILL BEIMPLEMENTED AS DEEMED NECESSARY BY CITY INSPECTORS

- WM-1 MATERIAL DELIVERY AND STORAGE PROVIDE A MATERIAL STORAGE AREA WITH SECONDARY CVONTAINMENT AND/OR WEATHER PROTECTION. NOTE THE MAINTENANCE PRACITCES AND SCHEDULE PROPOSED FOR THIS AREA.
- WM-2 MATERIAL USE HAZARDOUS MATERIALS, FERTILIZERS, PESTICIDES, PLASTERS, SOLVENTS, PAINTS, AND OTHER COMPOUNDS MUST BE PROPERLY HANDLED IN ORDER TO REDUCE THE RISK OF POLLUTION OR CONTAMINATION. TRANING AND INFORMATION ON PROCEDURES FOR THE PROPER USE OF ALL MATERIALS MUST BE AVAILABLE TO THE EMPLOYEES THAT APPLY SUCH MATERIALS.
- WM-4 SPILL PREVENTION AND CONTROL IDENTIFY SPILL PREVENTION AND CONTROL MEASURES THAT WEILL BE TAKEN FOR ALL PROPOSED MATERIALS. IDENTIFY THE METHODS, BY WHICH THE ACCIDENTAL SPILLS WILL BE CLEANED AND PROPERLY DISPOSED OF.
- WM-5 SOLID WASTER MANAGEMENT PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS. ARRANGE FOR REGULAR DISPOSAL. PROVIDE COVERED STORAGE WITH SECONDARY CONTAINMENT. CONTAINERS ARE REQUIRED TO PROTECT WASTRE FROM RAIN TO PREVENT WATER POLLUTION AND PREVENT WIND DISPERSAL.
- WM-6 HAZARDOUS WASTE MANAGEMENT HAZARDOUS MATERIALS MUST BE DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL REGULATIONS. IDENTIFY THE PROPOSED METHODOFS OF DISPOSAL AND ANY SPECIAL HANDLING CONTRACTS THAT MAY BE APPLICABLE.
- WM-7 CONTAMINATED SOIL MANAGEMENT PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER FROM CONTAMINATED SOIL AND HIGHLY ACIDIC OR ALKALINE SOILS BY CONDUCTING PRECONSTRUCTION SURVEYS, INSPECTING EXCAVATIONS REGULARLY, AND REMEDIATING CONTAMINATED SOIL PROMOTLTLY.
- WM-8 CONCRETE WASTE MANAGEMENT STORE DRY AND WET MATERIALS UNDER CONVER. AVOID ON-SITE WASHOUT EXCEPT IN DESIGNATED AREAS AWAY FROM DRAINS, DITCHES, STREETS, AND STREAMS. CONCRETE WASTE DEPOSITED ON SITE SHALL SET-UP, BHE BROKEN APART, AND DISPOSED OF PROPERLY. CONTAINMENT AND PROPER DISPOSAL IS REQUIRED FOR ALL CONCRETE WASTE.
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT UNTREATED RAW WASLEWATER IS NOT TO BE DISCHARGED OR BURIED. SANITORY SEWER FACILITIES ON SITE ARE REQUIRED TO BE IN COMPLIANCE WITH LOCAL HEALTH AGENCY REQUIREMENTS. SANITARY OR SEPTIC WASTES MUST BE TREATED OR DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- TC-1 STABILIZED CONSTRUCTION ENTRANCE A STABILIZED ENTRANCE IS REQUIRED FOR ALL CONSTRUCTION SITES TO ENSURE THAT DIRT AND DEBRIS ARE NOT TRACKED ONTO THE ROAD OR ADJACENT PROPERLY. MAINTENANCE OF SUCH A SYSTEM IS REQUIRED FOR THE DURATION OF THE PROJECT. SUCH STABILIZATION MAY BE ROCK OR PAVED.
- SILT FENCE SEDIMENT TRAP SAND BAGS ERADED SEDIMENTS MUST BE RETAINED ON SITE AND NOT PERMITTED TO ENTER THE DRAINAGE SYSTEM. MAY BE WAIVED AT THE SOLE DIRECTION OF THE CITY INSPECTOR IF OTHER EROSION CONTROL DMPs DEEMED SUFFICIENT.

DEVELOPMENT/PLANNING MINIMUM PROJECT REQUIROMENTS

IN ORDER TO ACHIEVE THE GOAL OF REDUCING THE LEVEL OF POLLUTANTS IN STORM WATER RUNOFF, THESE MINIMUM BMPs APPLY TO ALL PROJECTS:

- ALL YARD DRAINS AND CATCH BASINS DRAINING TO THE STREET OR STORM DRAIN SYSTEM MUST BE STENCILED OR LABELED WITH THE "NO DUMPING - DRAINS TO OCEAN" LOGO OR EQUIVALENT.
- ROOF DOWNSPOUTS MUST NOT BE DIRECTED TO TRASH ENCLOSURES OR MATERIAL STORAGE AREAS. DOWNSPOUTS SHOULD DISCHARGE TO GRAVEL HEAVILY VEGETATED AREAS WHENEVER POSSIBLE.
- TRASH BINS MUST BE EQUIPPED WITH LIDS OR SCREENED, ROOFED OR WALLED. FUNOFF WATER SHOULD BE DIVERTED AROUND TRASH AREAS TO AVOID FLOW THROUGH. TRASH ENCLOSURE DRAINAGE SHOULD BE DIRECTED TO BEGETATED AREAS WHERE FEASIBLE.
- NO HOSES, HOSE BIBS OR FAUCETS HSOULD HBE LOCATED OUTSIDE EXCEPT IN LANDSCAPED AREAS OR AS NEEDED FOR FIRE PROTECTION.
- ANY WASTE WATER FROM WASHING VBEHICLES OR EQUIPMENT MUST BE DISCHARGED TO THE SANITARY SEWER SYSTEM THROUGH PROPER PRETREATMENT FACILITIES (SEPARATE PERMITS MAY BE REQUIRED).
- ALL OUTDOOR STORAGE AREAS MUST BE EQUIPPED WITH ADEQUATE SECONDARY CONTAINMENT OR OTHER EQUIVALENT MEASURES TO REDUCE CONTAMINATION OF RUNOFF. THIS APPLIES TO THE STORAGE OF BOTH HAZARDOUS AND NON-HAZARDOUS MATERIALS (SOLIDS AND LIQUIDS).

	THE FOLLOWING NOTES SHALL BE REPRODUCED ON THE SITE PLAN OR COVER SHEET CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) – INCORPORATE THESE MANDATORY ITEMS IN THE DESIGN AND CONSTRUCTION OF THE PROJECT AND ADD NOTES TO PLANS AS APPLICABLE. OF THE SUBMITTED DRAWINGS:	
2022 CalGREEN Residential Mandatory Measure Notes		
SECTION	MEASURE	REQUIREMENTS
PLANNING AND DESIGN		
4.106.2	Storm Water Drainage and Retention During Construction	A plan is developed and implemented to manage storm water drainage during construction.
4.106.3	Grading and Paving	Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.
4.106.4.1	Electric Vehicle Charging	Provide capability for electric vehicle charging for one and two-family dwellings; townhouses with attached private garages in accordance with Section 4.106.4.1.
4.106.4.2	Electric Vehicle Charging	Provide capability for electric vehicle charging for multifamily dwellings and hotels/motels in accordance with Sections 4.106.4.2.1 or 4.106.4.2.2, as applicable.
4.106.4.3	Electric Vehicle Charging	Provide capability for electric vehicle charging for existing parking lots or new parking lots for existing residential buildings in accordance with Section 4.106.4.3, as applicable.
ENERGY EFFICIENCY		
4.201.1	General	Building meets or exceeds the requirements of the <i>California Building Energy Efficiency Standards</i> .
WATER EFFICIENCY AND CONSERVATION (Indoor Water Use)		
4.303.1	Water Conserving Plumbing Fixtures and Fittings	Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4:
		Plumbing fixtures & fittings
		Water closets
		Urinals
		Showerheads
4.303.3	Standards for Plumbing Fixtures and Fittings	Maximum
		Urinals
		Lavatory faucets in common & public use areas
		Metering faucets
4.303.1.4.3	Metering faucets	Residential lavatory faucets
4.303.3	Standards for Plumbing Fixtures and Fittings	Lavatory faucets in common & public use areas
		Metering faucets
		Kitchen faucets
		Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable referenced standards.
		Metering faucets in residential building shall not deliver more than 0.2 gallons per cycle
WATER EFFICIENCY AND CONSERVATION (Outdoor Water Use)		
4.304.1	Outdoor potable water use in landscape areas	Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent: 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code of Regulations, Title 23, Chapter 2.7, Division2. MWELO and supporting documents, including a water budget calculator, are available at: https://www.water.ca.gov/
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Enhanced Durability & Reduced Maintenance)		
4.406.1	Rodent proofing	Any space around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Construction Waste Reduction, Disposal & Recycling)		
4.408.1	Construction Waste Management	Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.
MATERIAL CONSERVATION & RESOURCE EFFICIENCY (Building Maintenance & Operation)		
4.410.1	Operation and Maintenance Manual	An operation and maintenance manual shall be provided to the building occupant or owner.
4.410.2	Recycling by Occupants	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42949.82(a)(2)(A) at sec. will also be exempt from the organic waste portion of this section.

2022 CalGREEN Residential Mandatory Measure Notes		
SECTION	MEASURE	REQUIREMENTS
ENVIRONMENTAL QUALITY (Fireplaces)		
4.503.1	Fireplaces	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.
ENVIRONMENTAL QUALITY (Pollutant Control)		
4.504.1	Covering of Duct Openings & Protection of Mech. Equipment During Construction	Duct openings and other related air distribution component openings shall be covered during construction.
4.504.2.1	Adhesives, Sealants and Caulks	Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
4.504.2.2	Paints and Coatings	Paints, stains and other coatings shall be compliant with VOC limits.
4.504.2.3	Aerosol Paints and Coatings	Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.
4.504.2.4	Verification	Documentation shall be provided to verify that compliant VOC limit finish materials have been used.
4.504.3	Carpet Systems	Carpet and carpet systems shall be compliant with VOC limits.
4.504.4	Resilient Flooring Systems	80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.
4.504.5	Composite Wood Products	Particleboard, medium density fiberboard (MDF) and hardwood plywood used in the interior finish systems shall comply with low formaldehyde emission standards.
ENVIRONMENTAL QUALITY (Interior Moisture Control)		
4.505.2	Concrete Slab Foundations	Vapor retarder and capillary break is installed at slab-on-grade foundations.
4.505.3	Moisture Content of Building Materials	Moisture content of building materials used in wall and floor framing is checked before enclosure.
ENVIRONMENTAL QUALITY (Indoor Air Quality & Exhaust)		
4.508.1	Bathroom Exhaust Fans	Each bathroom shall be mechanically ventilated and shall comply with the following: - ENERGY STAR fans ducted to terminate outside the building. - Fans must be controlled by a humidity control (separate or built-in), OR functioning as a component of a whole-house ventilation system. - Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent.
ENVIRONMENTAL QUALITY (Environmental Comfort)		
4.507.2	Heating and Air Conditioning System Design	Duct systems are sized, designed, and equipment is selected using the following methods: - Estimate heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent. - Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent. - Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS (Qualifications, Verifications)		
702.1	Installer Training	HVAC system installers are trained and certified in the proper installation of HVAC systems.
702.2	Special Inspection	Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.
703.1	Documentation	Verification of compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.
Note: This check list is intended only as an aid to the user and may not contain complete code language. Refer to 2022 CALGreen Chapter 4 for complete code language.		



CITY STAMPS SECTION

SIGNATURE DESIGNS LA CO. 818 947 7731 SIGNATUREDESIGNSLA@GMAIL.COM	
SIGNATURE DESIGNS	
Designed by: CKS Checked by: CKS	
Date: 11/19/2025 9:47:23 AM	
Job Number: AT-100225-001-BES	
The following ideas, designs, drawings, etc. shall remain the property of Signature Designs L.A. Other than S.D.L.A. no other company could copy or use any references for their own work, without permission from the head designer of S.D.L.A. We should be notified, of any misrepresentation by the contractor or builder, to clarify before the start of any project.	
REVISION DATE	REVISION DESCRIPTION
1	Revision 1
REVISION SCHEDULE	REVISION NUMBER
1	1
PALMER INTERIOR REMODEL	804 E PALMER AVE. GLENDALE, CA 91205
Project Name	Project Address
Client Name	ARTHUR TOUKHLANDJIAN & NARGO MINASSIAN
A7.2	
SHEET NUMBER	
GENERAL NOTES	