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**WRITE INTO YOUR OFFER TO AVOID DELAYS: (1) Edgar Navarro (2) Escrow: ProGroup Escrow (Corona)
(3) Title: Lawyers Title (LFavorite)**

Disclaimer: The information contained in this Supplement is for informational purposes only and is NOT part of Seller's Disclosures which will be provided in escrow. Buyers are advised to conduct their own due diligence on all aspects of the Property including, but not limited to taxes, square footage, features, zoning, and intended use of property.

1. License, issued by the State of California, Effective Date: 09/07/2021
2. Architectural Diagrams for RCFE Renovation, issued by Metro Coast Associates
3. Zoning Map, City of Fullerton:
<https://gis.cityoffullerton.com/portal/apps/webappviewer/index.html?id=38a7db5f8a8748b1818bc31269bfa3b0>
4. Zoning Classification, City of Fullerton:
https://codelibrary.amlegal.com/codes/fullerton/latest/fullerton_ca/0-0-0-12291#JD_15.17.030



State of California

Department of Social Services

Facility Number: 306006010

Effective Date: 09/07/2021

Total Capacity: 6

In accordance with applicable provisions of the Health and Safety Code of California, and its rules and regulations; the Department of Social Services hereby issues

this License to

AROUND THE CLOCK LLC

to operate and maintain a

RESIDENTIAL CARE ELDERLY

Name of Facility

AROUND THE CLOCK

2700 W. OLIVE AVE

FULLERTON, CA 92833

This License is not transferable and is granted solely upon the following:

AGE RANGE 60 AND OVER. APPROVED FOR (6) NON-AMBULATORY. APPROVED HOSPICE WAIVER FOR (2).

Client Groups Served:

ELDERLY

Complaints regarding services provided in this facility should be directed to:

CCLD Regional Office

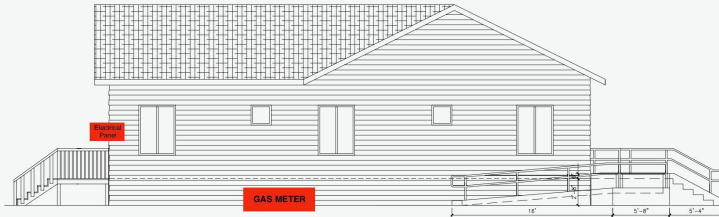
(916) 657-2600

Kevin Gaines
Deputy Director,
Community Care Licensing Division


Authorized Representative of Licensing Agency



2 WEST ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"

NOTE: 1. ALL ROOMS ARE FOR AMBULATORY AND NON-AMBULATORY CLIENTS ONLY.

2. ALL SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PER CGC CHAPTER 9.

3. EMERGENCY EVACUATION MAP TO BE PROVIDED FOR MAPPING THE LOCATION OF THE EXITS AND HOW TO IDENTIFY THE FIRE ALARM SOUND DRUMS, NOTIFICATION DEVICES AND STATE IN CASE OF AN EMERGENCY DIAL #11.

4. ADDRESS IDENTIFICATION CHARACTER SHALL BE IN CONTRAST WITH THE BACKGROUND. THE NUMBER SHALL BE IN ARABIC OF ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPILLED OUT. THEY SHALL BE NOT LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/8" AND INCHES SHOULD BE VISIBLE FROM THE STREET FOR EMERGENCY RESPONSE.

5. FIRE EXTINGUISHERS TO BE 2A/10B-C.

NOTE: 1. HOUSE WAS BUILT IN 1940.
2. ALL ROOMS ARE FOR AMBULATORY AND NON-AMBULATORY CLIENTS. SEE FLOOR PLAN.

WALL LEGEND

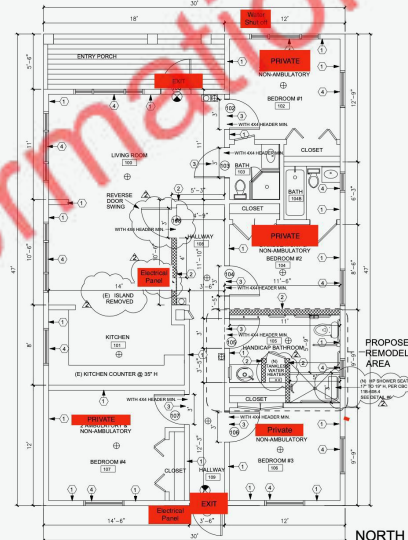
EXISTING WALLS TO REMAIN
NEW INTERIOR WALL

PLAN KEYNOTES

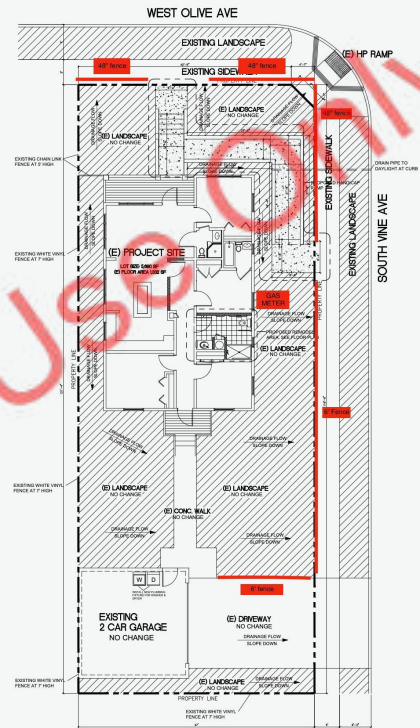
MARK KEYNOTES
EXISTING WALL TO REMAIN
NEW INTERIOR WALL
NEW 1/2" DOOR
EXISTING WINDOW TO REMAIN

SYMBOLS

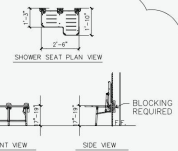
MARK KEYNOTES
EXIT SIGN
SMOKE ALARM
CARBON MONOXIDE DETECTOR
FIRE EXTINGUISHER



5 PROPOSED FLOOR PLAN
1/4" = 1'-0"



1 EXISTING SITE PLAN
1/8" = 1'-0"



6 SHOWER SEAT DETAIL
NTS

ELECTRICAL PANEL NOTE:

1. RELOCATE EXISTING 100A ELECTRICAL SERVICE PANEL.
2. A FRONT WORKING CLEARANCE MIN. 36 INCHES.
3. DISTANCE MEASURED FROM FACE OF ENCLOSURE MIN. AT 36".
4. WORKING SPACE HEIGHT AT 6 FEET.

MCA

Metro Coast Associates, Inc.
8 Corporate Park, Suite 300
Irvine, California 92608



Owner

EDGAR NAVARRO

2700 WEST OLIVE AVE
FULLERTON, CALIFORNIA 92633

Project:

RCFE
RENOVATION

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE
PROFESSIONAL
DESIGNER

Title:

PROPOSED PLANS

Project Number: 2005

Drawn by: GF

Date: 08/30/20

Revised:

OWNER'S REVISIONS

08/30/20

P.C. CORR. 10/20/20

REVISED SET

08/30/20

CONSTRUCTION SET

10/30/20

Sheet:

A-1.3

RESIDENTIAL CARE FACILITY FOR THE ELDERLY

SITE & INTERIOR RENOVATION

2700 WEST OLIVE AVE
FULLERTON, CALIFORNIA 92833

GENERAL NOTES

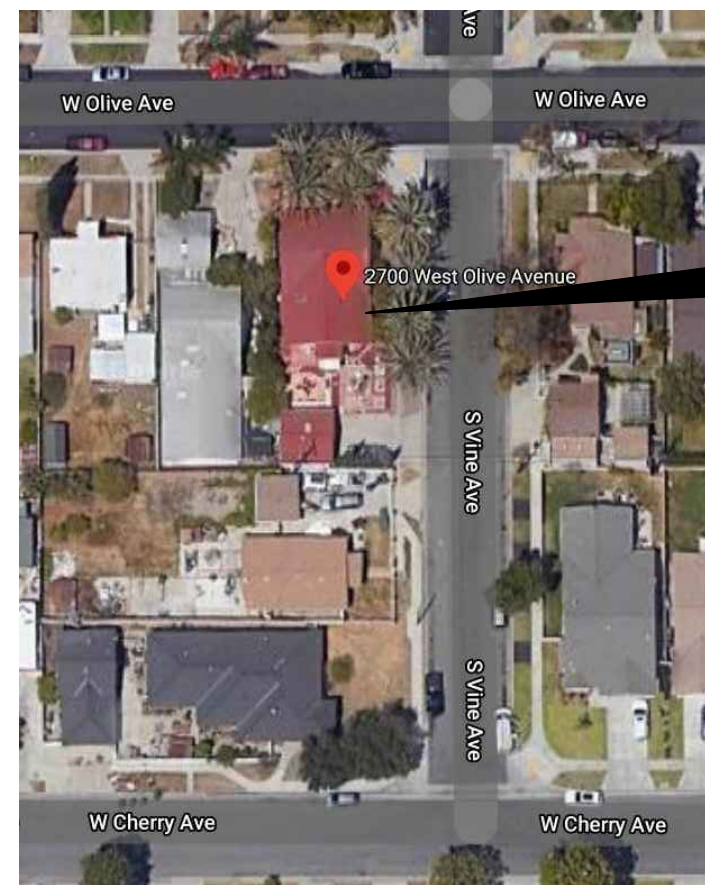
- DIVISION 1-GENERAL**
- ALL CONSTRUCTION, INCLUDING WORKMANSHIP AND MATERIALS, SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT EDITIONS OF NATIONAL, STATE AND LOCAL CODES, AND ANY OTHER WORK, INCLUDING THE THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, PLUMBING OR RELATED WORK SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CODES THAT HAVE JURISDICTION.
 - THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT OR THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS, INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER TRADES AND THEIR WORK TO ENSURE COMPLIANCE OF DRAWINGS AND SPECIFICATIONS. ALSO, HE SHALL VERIFY SIZES AND LOCATIONS OF ALL OPENINGS FOR MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT WITH THESE SUBCONTRACTORS, AS WELL AS SHOP DRAWINGS AS APPROVED BY ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
 - THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERING, FIRE PREVENTION AND OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF THE CONSTRUCTION CONTRACT.
 - IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SUPERVISE ALL CUTTING AND PATCHING OF FINISHED WORK ALREADY INSTALLED IF MADE NECESSARY BY ERRORS, CHANGES OR OTHER REASON AND ALL REPLACEMENT WORK SHALL MATCH ADJOINING SURFACE.
 - THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR CONTINUOUS CLEANING UP OF THE JOB SITE, INCLUDING ALL DEBRIS WHETHER MADE BY HIS WORK OR THE WORK OF HIS SUBCONTRACTORS, AND SAFETY OF ALL PERSONS AND PROPERTY DURING THE EXECUTION OF WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN APPROVAL BY THE BUILDING INSPECTOR FOR ALL CONCEALED WORK BEFORE CLOSING UP.
 - APPROVAL BY THE INSPECTORS DOES NOT MEAN APPROVAL OF FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN THAT IS UNCLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ARCHITECT OR ENGINEER FOR INTERPRETATION OR CLARIFICATION.
 - CONSTRUCTION MATERIAL STORED ON THE JOB SITE SHALL BE SPREAD TO DISTRIBUTE LOADING. LOAD NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
 - THE DESIGN, ADEQUACY, AND SAFETY OF CONSTRUCTION BRACING AND TEMPORARY SHORING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO COMPLETION OF THE JOB WHICH INCLUDES THE APPLICATION OF SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. VISITS TO THE JOB SITE BY THE ENGINEER OR HIS AGENT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEM AS TO ADEQUACY UNLESS SUPPORTED BY A LETTER SO STATING.
 - IN THE EVENT OF OMISSIONS, DISCREPANCIES, OR AMBIGUITIES ARE FOUND IN THE SPECIFICATIONS OR DRAWINGS, OR SHOULD THERE BE DOUBT AS TO THEIR MEANING AND INTENT, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED IN ORDER TO PROVIDE A WRITTEN CLARIFICATION.
 - TRADE NAMES AND/OR MANUFACTURES NAMES REFERRED ARE FOR QUALITY STANDARDS ONLY. EQUAL PRODUCTS ARE PERMITTED IF APPROVED BY THE ARCHITECT AND/OR OWNER.
 - SPECIFICATIONS SHEETS ARE PART OF THESE DOCUMENTS. ALL ADDENDA, BULLETINS AND NOTICES ISSUED LATER SHALL BE CONSIDERED AS PART OF THE WORK.
 - THE DESIGNER SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN, ON OR ABOUT THE JOB SITE, METHODS OR PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE WORK.
 - WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ON FLOOR PLANS ARE TO FACE OF MASONRY, CENTERLINE OF COLUMN AND/OR DEMISING PARTITIONS AND FACE OF STUDS, UNLESS OTHERWISE NOTED OR DETAILED. DIMENSIONS ON LARGER SCALES, DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND SHALL VERIFY SAME IN THE FIELD.
 - UPON COMPLETION OF PROJECT, GENERAL CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH COMPLETE, MARKED UP SET OF PRINTS INDICATING ACTUAL CONSTRUCTION METHODS USED WHICH DEVIATED FROM CONDITIONS REPRESENTED WITHIN THE CONSTRUCTION DOCUMENTS.
 - PLANS IDENTIFIED AS "BID SET" ON ANY OR ALL SHEETS MAY BE SUBJECT TO REVIEW BY THE DESIGNER, OR OTHERS SUCH AS THE BUILDER, BUILDING INSPECTION DEPARTMENT, ETC. THIS REVIEW MAY RESULT IN CHANGES WHICH MAY BE MADE TO THE PLANS PRIOR TO ISSUANCE OF THE FINAL CONSTRUCTION SET WHICH WILL CONTAIN NO "BID SET" DESIGNATIONS.
 - ALL REQUIRED PERMITS MUST BE OBTAINED FROM THE FIRE PREVENTION BUREAU BEFORE THE BUILDING IS OCCUPIED.
- DIVISION 2 - SITE WORK & UTILITIES**
- ALL STUMPS AND ROOTS SHALL BE REMOVED FROM THE SOIL TO A DEPTH OF AT LEAST 12" BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING OR PROPOSED STRUCTURE, OR AS RECOMMENDED BY THE SOIL ENGINEER.
 - ALL WOOD FORMS WHICH HAVE BEEN USED IN PLACING CONCRETE, IF WITHIN THE GROUND OR BETWEEN FOUNDATION SILL AND THE GROUND, SHALL BE REMOVED BEFORE A BUILDING IS OCCUPIED OR USED FOR ANY PURPOSE.
 - PLANTER BOXES INSTALLED ADJACENT TO A WOOD FRAME WALL SHALL COMPLY WITH C.B.C. SECTION 2306.2.
 - MIN. SOIL BEARING VALUE OF 1,000 P.S.F. SHALL BE USED FOR STRUCTURAL CALCULATIONS.
 - THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS AND ANY OTHER LINES NOT SHOWN ON THESE DRAWINGS.
 - SEPARATE PERMITS WILL BE REQUIRED FOR FENCES AND WALLS NOT INDICATED AS PART OF THESE DOCUMENTS.
 - FINISH GRADES SHALL BE CONSTRUCTED SO THAT SURFACE WATERS WILL NOT POND WITHIN 10'-0" OF FOUNDATIONS OR EXTERIOR SLAB ON GRADE.
- DIVISION 3 - CONCRETE**
- CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 2,500 P.S.I. AT 28 DAYS FROM INITIAL DATE OF POURING AND SHALL ALSO COMPLY WITH ALL REQUIREMENTS OF CHAPTER 19, VOLUME #2 OF THE C.B.C. AND THE C.B.C. STANDARDS.
 - THE BACKFILL SOIL AT PERIMETER FOOTINGS SHALL BE COMPACTED.
 - ALL PATIO SLABS AND STOOPS SHALL SLOPE AWAY FROM BUILDING(S) A MINIMUM 1/8" PER FOOT.
 - ANCHOR BOLTS, DOWELS, INSERTS, ETC. SHALL BE SECURED IN POSITION AND INSPECTED PRIOR TO POURING CONCRETE BY THE LOCAL INSPECTOR OR BY SPECIAL INSPECTOR AS REQUIRED.
 - REFER TO ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR ITEMS TO BE CAST INTO CONCRETE.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATION OF EXPANSION JOINTS, SCORING, ETC. FOR CONCRETE WALKS AND SLABS.
 - BEFORE CONCRETE IS PLACED THE GENERAL CONTRACTOR SHALL COORDINATE AND CHECK WITH ALL TRADES TO ENSURE THE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, INSERTS, CURBS, DEPRESSIONS, ETC. RELATING TO THE WORK AS SHOWN IN THE DRAWINGS, ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PLACING OF CONCRETE.
 - SEE STRUCTURAL DRAWINGS FOR NOTES AND DETAILS.
- DIVISION 4 - MASONRY**
- ALL MASONRY SHALL COMPLY WITH REQUIREMENTS OF CHAPTER 21, VOLUME #2 OF THE C.B.C. A. CONCRETE BLOCK UNITS TO BE IN ACCORDANCE WITH C.B.C. STANDARD 21-4. B. BRICK UNITS TO BE IN ACCORDANCE WITH C.B.C. STANDARD 21-4.
 - REFER TO STRUCTURAL DRAWINGS FOR MASONRY NOTES.
- DIVISION 5 - METALS**
- ALL OPENINGS IN EXTERIOR WALLS TO HAVE MINIMUM 24 GA. GALVANIZED SHEET METAL FLASHING OR OTHER APPROVED WEATHERPROOFING ALL AROUND.
 - ALL VENTS THROUGH EXTERIOR WALLS TO HAVE A MAXIMUM 1/4" GALVANIZED HARDWARE CLOTH COVERING.
 - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL "METAL, STRUCTURAL STEEL AND WELDING NOTES".

- DIVISION 6- WOOD & PLASTICS**
- ALL FRAMING MEMBERS SHALL BE GRADE MARKED, AND CONFORM TO THE PROVISION OF CHAPTER 23, C.B.C.
 - ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY WHICH IS IN DIRECT CONTACT WITH EARTH SHALL FOUNDATION GRADE REDWOOD OR PRESSURE TREATED DOUGLAS FIR.
 - FIRE AND DRAFT STOPS
FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER BETWEEN STORIES AND BETWEEN A TOP STORY ROOF SPACE IT SHALL BE USED IN SPECIFIC LOCATIONS AS FOLLOWS:
A. IN EXTERIOR OR INTERIOR STUD WALLS, OR CEILINGS AND FLOOR LEVELS.
B. IN ALL STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES SO PLACED THAT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACES IS NOT OVER 10 FEET.
C. BETWEEN STAR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS ALONG AND IN LINE WITH OF STAIR AND JOINING STUD WALLS AND PARTITIONS.
D. AROUND TOP BOTTOM, SIDES AND ENDS OF SLIDING DOOR POCKETS.
E. IN SPACES BETWEEN CHIMNEYS AND WOOD FRAMING, LOOSE NONCOMBUSTIBLE MATERIALS SHALL BE PLACED IN NONCOMBUSTIBLE SUPPORTS, OR METAL COLLAR TIGHTLY FITTED TO THE CHIMNEY.
BE AND NAILED TO THE WOOD FRAMING MAY BE USED.
 - DRAFT STOPS, IN WOOD FRAME FLOOR CONSTRUCTION WHERE SUSPENDED CEILINGS OCCUR, THE SPACE BETWEEN THE CEILING AND THE FLOOR ABOVE SHALL BE DIVIDED INTO AREAS NOT EXCEEDING 1,000 SQ. FT. A MANNER REQUIRED FOR PARTITIONING ATTIC SPACE IN C.B.C. SECTION 1905.2.
 - WHERE WOOD FRAME WALLS AND PARTITIONS ARE COVERED ON THE INTERIOR WITH PLASTER, TILE OR SIMILAR MATERIAL AND ARE SUBJECT TO MOISTURE, THE FRAMING SHALL BE PROTECTED WITH AN APPROVED WATERPROOF PAPER CONFORMING TO SECTION 1402.1 OF THE C.B.C.
 - REFER TO THE STRUCTURAL DRAWINGS FOR "WOOD" NOTES.
- DIVISION 7 - THERMAL AND MOISTURE PROTECTION**
- PROVIDE INSULATION AS NOTED AND SHOWN ON DRAWINGS.
 - ALL INSULATION SHALL MEET MINIMUM ENERGY INSULATION STANDARDS AS ESTABLISHED BY THE CALIFORNIA ADMINISTRATIVE CODE.
 - THE INSULATION INSTALLER SHALL POST A SIGN CERTIFICATE, IN A CONSPICUOUS PLACE IN THE BUILDING, STATING THE INSULATION COMPLIES WITH TITLE 24, CHAPTER 25.3 AND TITLE 20, CHAPTER 2, SUBCHAPTER ARTICLE 3.
 - STORAGE TYPE WATER HEATERS TO BE WRAPPED WITH INSULATION BLANKET (R-12 MINIMUM OR FACTORY INSTALLED INSULATION PLUS ADDITIONAL TO TOTAL R-16), PROVIDE INSULATION WRAPPING ON FIRST FIVE FEET OF PIPING IN UNCONDITIONED SPACE. (R-3)
 - ALL SWINGING DOORS AND WINDOWS LEADING TO UNCONDITIONED AREAS SHALL BE FULLY WEATHER-STRIPPED.
 - FOR INFILTRATION CONTROL, ALL OPENINGS AND PENETRATIONS MUST BE CAULKED AND SEALED, SUCH AROUND WINDOWS, AT SOLE PLATES AND OPENINGS FOR UTILITY PIPES AND WIRES.
 - ALL EXTERIOR OPENINGS SHALL BE FLASHED WITH "JIFFY-SEAL" BY "PROTECTOR WRAP COMPANY". "JIFFY-SEAL" SHALL EXTEND A MINIMUM 6" BEYOND AN OPENING.
 - FLASHING SHALL BE INSTALLED AS DETAILED IN ACCORDANCE WITH CURRENT SPECIFICATIONS FOR THE TYPE OF FLASHING REQUIRED, FLASHING, DOWNSPOUTS, ETC. TO BE MINIMUM 25 GA. GALVANIZED SHEET METAL UNLESS OTHERWISE NOTED.
 - WATERPROOF MEMBRANE AT EXTERIOR WALLS BELOW GRADE TO BE "JIFFY-SEAL". INSTALL PER MANUFACTURER'S RECOMMENDATIONS FOR BELOW GRADE INSTALLATION. PROTECT ALL WATERPROOF MEMBRANES FROM PUNCTURE OR DAMAGE DURING CONSTRUCTION. PROVIDE PROTECTION BOARD OVER MEMBRANE (J-DRAIN #502" BY JDR ENTERPRISES).
 - ROOFING UNDERLAYMENT SHALL BE 2-LAYERS OF 40 LBS. ROOFING FELT.
 - PROVIDE A WEATHER-RESISTIVE BARRIER AT EXTERIOR WALL OF THE BUILDING AS PER CHAPTER 14, SECTION 1402.1 OF THE C.B.C. ("TYVECK" STUCCO WRAP AT AREAS TO RECEIVE STUCCO FINISH AND HOUSE WRAP AT OTHER AREAS) OR ARCHITECT APPROVED SUBSTITUTE.
 - ROOFING TO BE: SEE ROOF NOTES SHEET A4
- DIVISION 8 - DOORS, WINDOWS & GLASS**
- ALL TEMPERED GLASS SHALL BE A MINIMUM OF 3/16" TEMPERED GLASS THROUGHOUT WITH LABEL AND ALL OTHER REQUIREMENTS PER CHAPTER 24 OF THE C.B.C.
 - SHOWER AND TUB ENCLOSURES AND DOORS, FOR SAME LOCATIONS AS INDICATED ON FLOOR PLANS SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. REF. CHAPTER 24 SECTION 2406.
 - DOORS AND WINDOWS TO BE CERTIFIED AND LABELED AS COMPLYING WITH THE ENERGY REGULATIONS.
 - DOORS AND WINDOWS TO BE CERTIFIED AND LABELED AS MEETING ANSI OR NWMA STANDARDS FOR AIR INFILTRATION.
 - ALL DOORS INTO BEDROOMS OF BATHROOMS SHALL BE UNDERCUT 1/2" ABOVE FINISHED FLOOR FOR PROPER RETURN AIR FLOW.
 - DOORS AND WINDOWS, INCLUDING SKYLIGHTS, BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULLY WEATHER-STRIPPED.
- DIVISION 9 - FINISHES**
- ALL REGISTERS, GRILLS, VENTS, ETC. TO BE PAINTED TO MATCH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
 - FLOOR COVERINGS OF CLOSETS, WARDROBES, ETC. SHALL MATCH COVERINGS OF ADJACENT ROOM UNLESS NOTED OTHERWISE.
 - GYPSUM BOARD AND STUCCO SHALL CONFORM TO CHAPTER 25 OF THE C.B.C. STUCCO SHALL BE APPLIED OVER "TYVECK" STUCCO WRAP OR 3/8" RIBLATH OVER 15 LBS. FELT.
 - FINISHES SHALL CONFORM TO FLAME SPREAD CLASSIFICATION AS REQUIRED BY CHAPTER 8. PLASTIC MATERIAL SHALL CONFORM TO CHAPTER 26.
 - PROVIDE ONE-HOUR FIRE RATED 5/8" TYPE "X" GYPSUM BOARD ON GARAGE SIDE OF DWELLING/GARAGE COMMON WALL WITH ALL JOINTS TAPED. RATED GYPSUM BOARD TO BE CONTINUOUS FROM FLOOR LINE TO ROOF SHEATHING.
 - PAIN ALL AREAS, BOTH EXTERIOR AND INTERIOR. ALL COLORS AND STAINS SHALL BE SELECTED BY THE OWNER.
- DIVISION 10 - SPECIALTIES**
- PROVIDE 22"x30" ATTIC SCUTTLE TO ALL ATTIC AREAS THAT HAVE A MINIMUM CLEAR DIMENSION OF 30" BETWEEN TOP OF CEILING FRAMING MEMBER AND BOTTOM OF ROOF FRAMING MEMBER.
 - PROVIDE METAL CARPET EDGE STRIP AT LINE OF MATERIAL CHANGE FROM CARPET TO OTHER FLOOR FINISHES.
 - ALL FIRE DAMPER ASSEMBLIES, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
 - AT ALL WARDROBES PROVIDE MINIMUM (1) ONE 1"x12" SHELF AT 6'-0" ABOVE FINISHED FLOOR AND (1) ONE 1 1/2" DIAMETER WOOD CLOTHES POLE AT 5'-10" ABOVE FINISHED FLOOR AND INSTALL 12" SHELF FROM FACE OF REAR WALL.
- DIVISION 11 - EQUIPMENT**
- CABINET WORK MANUFACTURER / CONTRACTOR SHALL VERIFY WITH GENERAL CONTRACTOR ALL APPLIANCES, ETC. THAT ARE INTEGRAL WITH THE CABINET WORK OR THAT DEPEND UPON PROPER CABINET WORK DESIGN TO INSURE THEIR NORMAL OPERATION. CABINET WORK MANUFACTURERS/ CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF APPLIANCES AND CABINET WORK WITH GENERAL CONTRACTOR PRIOR TO FABRICATION OR INSTALLATION TO INSURE THAT ALL ITEMS FIT PROPERLY AND MANUFACTURER/CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CHANGES REQUIRED IN THE CABINET WORK DESIGN PRIOR TO FABRICATION OR INSTALLATION OF CABINETS.
 - ELEMENTS OF APPLIANCES IN GARAGES WHICH CREATE A GLOW, SPARK OR FLAME WITHIN 18" OF GARAGE FLOOR SHALL BE LOCATED ON AN 18" HIGH (ABOVE GARAGE FINISH FLOOR) WOOD PLATFORM.

- DIVISION 12 - FURNISHINGS**
- NOT USED
- DIVISION 13 - SPECIAL INSPECTION**
- EPOXY USED FOR EMBEDMENT TO BE PERFORMED BY A CERTIFIED DEPUTY SPECIAL INSPECTION APPROVED BY THE CITY OF GLENORA BUILDING DEPARTMENT
- DIVISION 14 - CONVEYING SYSTEMS**
- NOT USED
- DIVISION 15 - MECHANICAL**
- ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED EDITION OF THE UNIFORM MECHANICAL CODE AND ANY OTHER GOVERNING MECHANICAL CODES.
 - BATHROOM EXHAUST FANS SHALL PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR.
 - ALL RETURN AIR DUCTS SHALL BE OF INCOMBUSTIBLE CONSTRUCTION.
 - FOR GAS FIRED FORCED AIR UNITS:
A. PROVIDE 100 SQUARE INCHES OF OUTSIDE COMBUSTION AIR VENT THROUGH ROOF AND DUCT IN ATTIC FOR F.A.U. SIZE OF 100 B.T.U. OR UNDER.
B. PROVIDE 1 SQ. IN. OF OUTSIDE COMBUSTION AIR FROM VENT THROUGH ROOF AND CUT IN ATTIC FOR EACH 1,000 B.T.U. FOR F.A.U. SIZES OVER 100 M.B.T.U.
 - PROVIDE MINIMUM OF 48 SQ. IN. OF EXHAUST VENT ABOVE ALL RANGES.
 - DUCTS PENETRATING ONE-HOUR FIRE RATED WALLS BETWEEN LIVING UNIT AND GARAGE SHALL BE OF 26 GA. GALVANIZED STEEL.
 - ALL VENTS THROUGH ROOF ASSEMBLY SHALL BE LOCATED TOWARD THE REAR OF ROOF HIGH POINT WHERE POSSIBLE.
 - WHERE A PARTITION CONTAINING PLUMBING, HEATING, ELECTRICAL OR OTHER SYSTEMS RUNS PARALLEL TO THE FLOOR JOISTS, PROVIDE DOUBLE JOISTS SPACED AND BRIDGED TO PERMIT THE PASSAGE OF SUCH SYSTEMS. WHERE SYSTEMS ARE PARTIALLY OR WHOLLY WITHIN THE PARTITION AND REQUIRE ANY CUTTING OF THE SOLE OR TOP PLATES, PROVIDE A METAL TIE 1/8" THICK BY 1 1/2" WIDE, FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN 4-16 D NAILS. (REF. 2320.11.7)
 - DUCTS FOR EXHAUST FANS, RANGE HOODS, HEAT OR AIR CONDITIONING SUPPLY, ETC. THAT PENETRATE FLOOR CONSTRUCTION ABOVE SHALL BE OF MINIMUM 26 GA. GALVANIZED SHEET METAL IN LIEU OF SHEET METAL DUCT, PROVIDE A ONE-HOUR RESISTIVE SHAFT.
 - DUCTS EXHAUSTING AIR TO HAVE BACK-DRAFT OR AUTOMATIC DAMPERS.
 - HEATING OR COOLING SYSTEMS (EXCEPT HEAT-PUMPS) SHALL HAVE AN AUTOMATIC THERMOSTAT WITH MECHANISM WHICH CAN BE MANUALLY PROGRAMMED TO AUTOMATICALLY SET BACK THE THERMOSTAT SET POINTS FOR AT LEAST TWO PERIODS WITHIN 24 HOURS.
 - ALL DUCTS SHALL COMPLY WITH CHAPTER 10 C.B.C. AND SHALL BE TIGHTLY SEALED WITH MASTIC OR TAPE.
 - ALL PLUMBING WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE CALIFORNIA PLUMBING CODE AND ANY OTHER ADOPTED GOVERNING PLUMBING CODES.
 - PROVIDE MINIMUM CLEARANCE OF 24" IN FRONT OF AND 30" IN WIDTH FOR WATER CLOSET COMPARTMENTS. (REF. 2904).
 - A WATER PRESSURE REGULATOR IS REQUIRED IF SERVING PRESSURE IS OVER 80 P.S.I. (REF. 680.2 C.P.C.).
 - HOSE BIBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE AN APPROVED BACKFLOW PREVENTION DEVICE. (REF. 603.1 C.P.C.)
 - ALL CIRCULATING HOT WATER PIPES IN UNCONDITIONED SPACES SHALL BE INSULATED.
 - ALL GA FIRED HEATING AND COOLING APPLIANCES, SHOWERS AND FAUCETS SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS.
 - ALL RETURN AIR DUCTS SHALL BE OF INCOMBUSTIBLE CONSTRUCTION.
 - WATER HEATER TO HAVE WRAP OF R-13 EXTERNAL INSULATION.
 - WHERE WATER HEATER IS IN UNCONDITIONED SPACE, THE FIRST FIVE (5) FEET OF OUTLET PIPE TO HAVE R-13 INSULATION.
 - ALL F.A.U. AND WATER HEATERS TO BE ON CEO APPROVED LIST.
 - GAS FURNACE EFFICIENCY TO BE 71% MIN.
 - WATER HEATER TO BE: INSTANT GAS TAKAGI T-K2
 - SHOWER HEADS TO HAVE MAXIMUM 2.5 GPM FLOW.
 - STATE, HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING
- DIVISION 16 - ELECTRICAL**
- ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ANY OTHER GOVERNING ELECTRICAL CODE.
 - THERMOSTATS AND WALL SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISH FLOOR LEVEL (DIMENSION TAKEN TO BOTTOM OF FIXTURE.)
 - TELEPHONE, T.V. AND ELECTRICAL CONVENIENCE OUTLETS SHALL BE SECURED TO A WALL STUD AND LOCATED AT 9" ABOVE FINISH FLOOR LEVEL, (DIMENSION TAKEN TO BOTTOM OF FIXTURE).
 - CONVENIENCE OUTLETS SHOWN ON DRAWINGS AS BEING ABOVE AND ADJACENT COUNTER SURFACE SHALL BE INSTALLED A MINIMUM OF 8" ABOVE THE ADJACENT COUNTERTOP. (DIMENSION TAKEN TO BOTTOM OF FIXTURE).
 - GENERAL LIGHTING IN KITCHENS MUST PROVIDE 25 LUMENS PER WATT.
 - "UFER" GROUND TO BE PROVIDED.

ALL METAL FASTENERS IN PRESSURE TREATED WOOD TO BE CORROSION RESISTANT HOT DIPPED ZINC COATED, OR GALVANIZED.

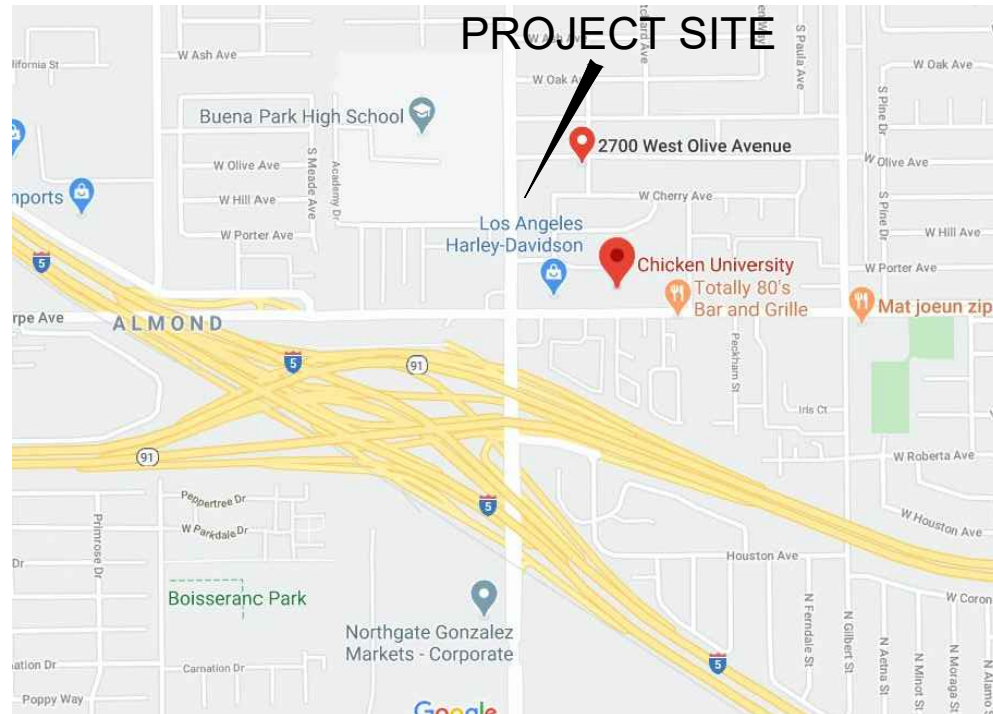
STREET MAP



PROJECT SITE

NORTH

VINCINITY MAP



NORTH

SCOPE OF WORK

- HOUSE INTERIOR REMODEL:
- HOUSE INTERIOR
 - REMOVE KITCHEN ISLAND
 - NEW ELECTRICAL PANEL LOCATION
 - ADD HP SHOWER SEAT
 - REVERSE DOOR SWING #108
 - REMOVE WATER HEATER TANK, REPLACE WITH TANKLESS WATER HEATER

OWNER'S INFORMATION:

OWNER'S NAME: EDGAR NAVARRO
TELEPHONE NO: PH (714) 427-2281
STREET ADDRESS: 2700 WEST OLIVE AVE, FULLERTON, CA 92833

PROJECT INFORMATION:

ASSESSOR'S PARCEL NO.: 2700 ZONE: R3.1
OCCUPANCY GROUP: RS (RESIDENTIAL)
FIRE SPRINKLER: NO
BUILDING CONSTRUCTION TYPE: VB
FLOOD ZONE: X

LOT COVERAGE ANALYSIS:

LOT SIZE: 1.332 SQ. FT. (1,332 SF)
TOTAL EXISTING HOUSE: 1,332 SF (NO CHANGE)
1,332 SQ. FT. (1,332 SF) = 23.41% LOT COVERAGE
TOTAL PROPOSED INTERIOR REMODEL AREA = 120 SQ. FT.

APPLICATION CODE:

2019 California Residential Code (CRC)
2019 California Mechanical Code (CMC)
2019 California Plumbing Code (CPC)
2019 California Electrical Code (CEC)
2019 California Green Building Standards Code (CGS)
2019 California Energy Efficiency Standards (CEES)
City of Fullerton Regulations and Ordinances

PROJECT REPRESENTATIVES:

OWNER: EDGAR NAVARRO
303 WEST ASPEN AVE, FULLERTON, CA 92833
PH (714) 427-2281

ARCHITECT: METRO COAST ASSOC.
8 CORPORATE PARK # 300, IRVINE, CA 92618
CONTACT: FRANCIS WANG
PH (949) 882-4240
Email: francis@mcaworld.com

CIVIL ENGINEER:

TBD

STRUCTURAL ENGINEER:

TBD

M.E.P. ENGINEER:

TBD

GENERAL CONTRACTOR:

TBD

LIST OF DRAWINGS:

ARCHITECTURAL:

A-0.1 COVER SHEET & GENERAL NOTES
A-1.3E EXISTING HOUSE PLAN & SITE PLAN
A-1.3 PROPOSED HOUSE PLAN & SITE PLAN

MG DISPOSAL WILL BE USED AT THIS PROJECT

FIRE DEPARTMENT NOTES ADDED, SEE A1.3.

FIRE SPRINKLERS ARE NOT REQUIRED PER FIRE DEPT. - PEGGY CASTANEDA, FIRE PREVENTATION SPECIALIST

MCA

Metro Coast Associates, Inc.
8 Corporate Park, Suite 300
Irvine, California 92606



Francis Wang

Owner

EDGAR NAVARRO

2700 WEST OLIVE AVE
FULLERTON, CALIFORNIA 92833

Project:

RCFE RENOVATION

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: TITLE SHEET & GENERAL NOTES
Project Number: 2005
Drawn by: GF
Date: 08/30/20
Revision: OWNER'S REV. 08/15/2020
P.C. CORR. 10/20/2020

REVISED SET 00/00/20
BID SET 00/00/20
CONSTRUCTION SET 00/00/20

Sheet:

A-0.1



2 WEST ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"

NOTE: 1. ALL ROOMS ARE FOR AMBULATORY AND NON-AMBULATORY CLIENTS ONLY.

2. ALL SMOKE ALARMS AND CARBON MONOXIDE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. PER CBC CHAPTER 9.

3. EMERGENCY EVACUATION MAP TO BE PROVIDED FOR MAPING THE LOCATION OF THE EXITS, AND HOW TO IDENTIFY THE FIRE ALARM SOUND OR VISUAL NOTIFICATION DEVICES AND STATE IN CASE OF AN EMERGENCY DIAL 911.

4. ADDRESS IDENTIFICATION CHARACTER SHALL BE IN CONTRAST WITH THE BACKGROUND. THE NUMBER SHALL BE IN ARABIC OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. THEY SHALL BE NOT LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF HALF AN INCH AND SHOULD BE VISIBLE FROM THE STREET FOR EMERGENCY RESPONSE.

5. FIRE EXTINGUISHERS TO BE 2A:10B:C.

NOTE: 1. HOUSE WAS BUILT IN 1940.

2. ALL ROOMS ARE FOR AMBULATORY AND NON-AMBULATORY CLIENTS, SEE FLOOR PLAN.

WALL LEGEND

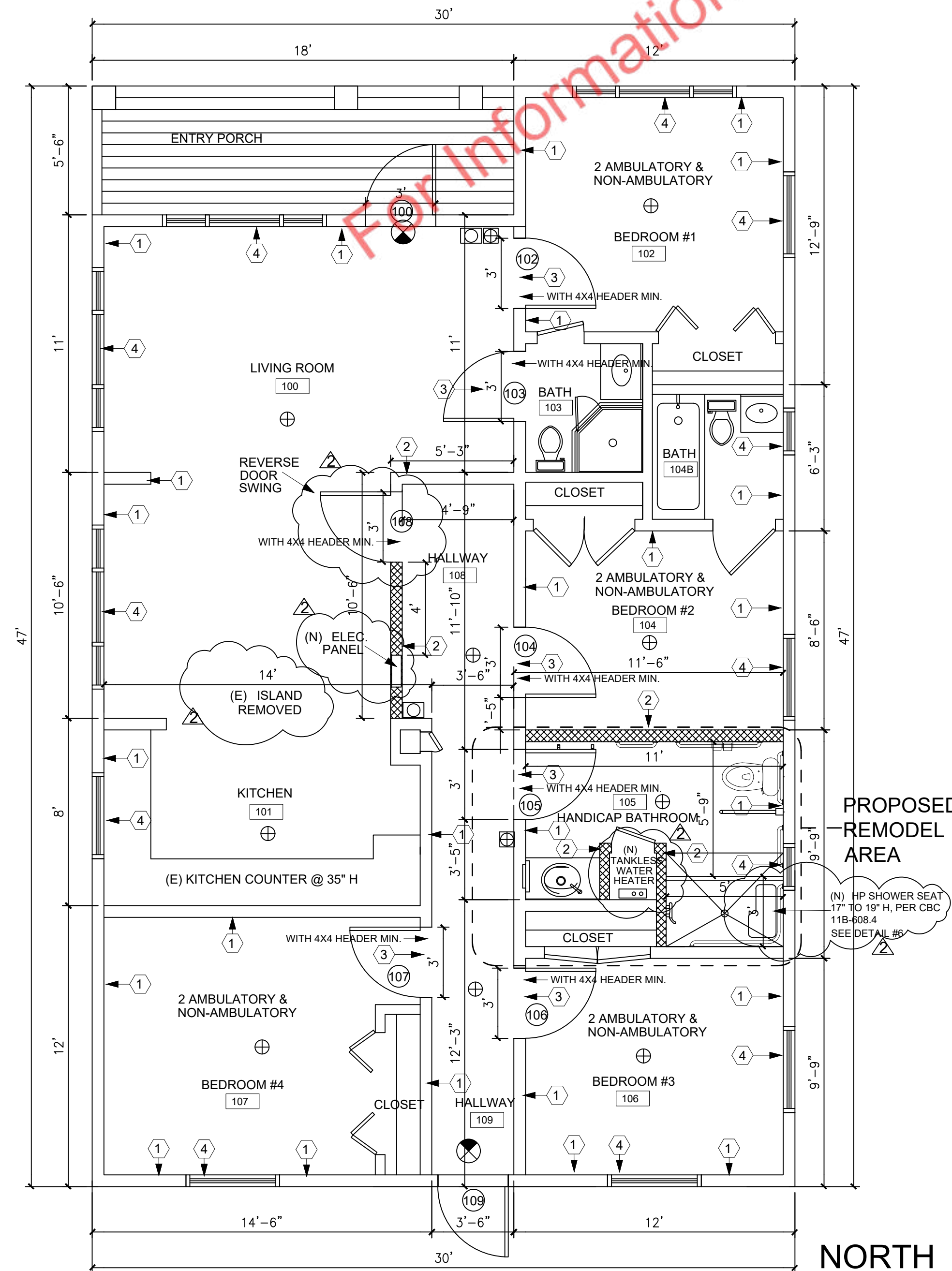
	EXISTING WALLS TO REMAIN
	NEW INTERIOR WALL

PLAN KEYNOTES

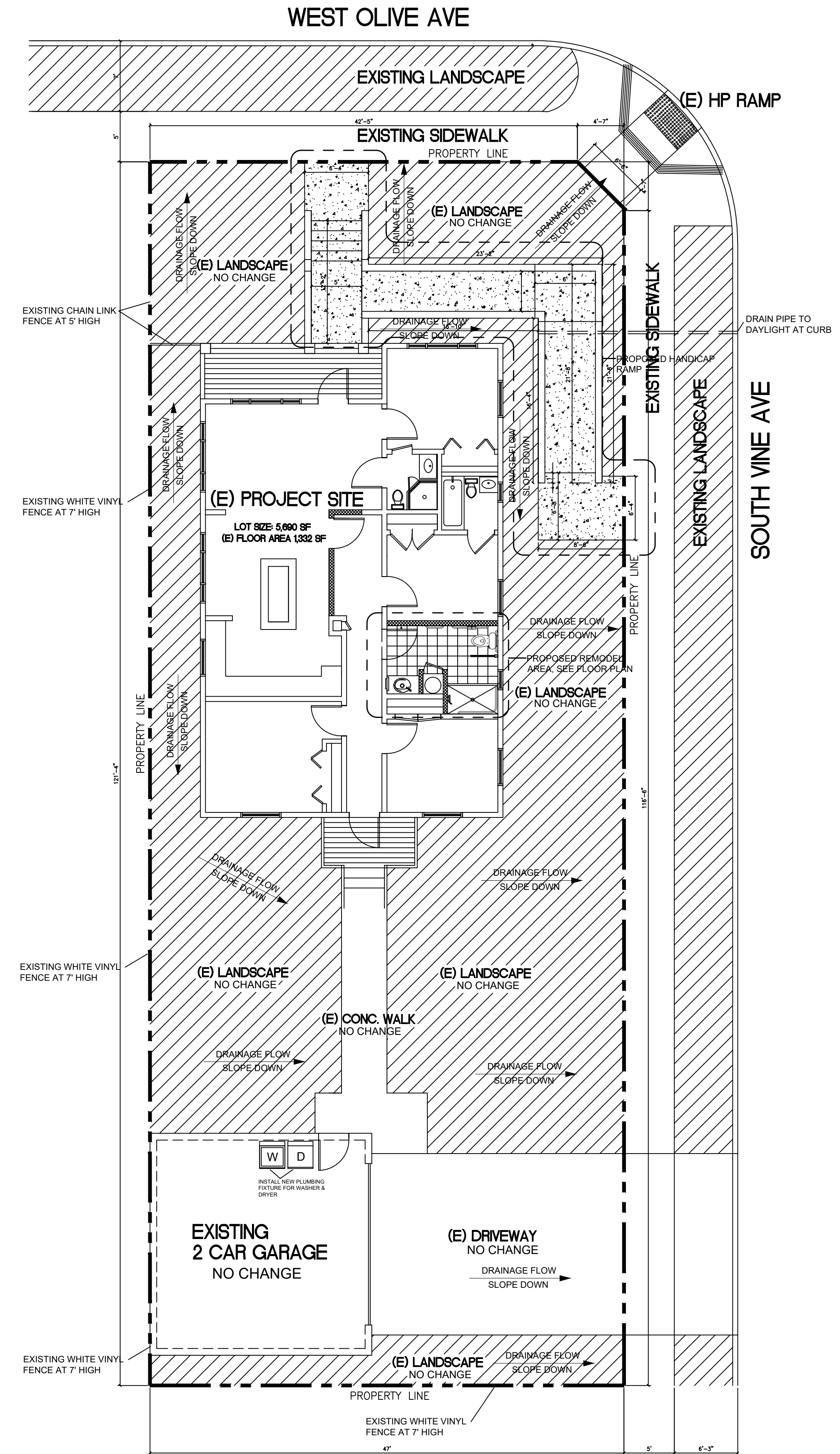
MARK	KEYNOTES
①	EXISTING WALL TO REMAIN
②	NEW NON BEARING, NON SHEAR 2X STUD WALL TO MATCH
③	NEW 3X7 DOOR
④	EXISTING WINDOW TO REMAIN

SYMBOLS

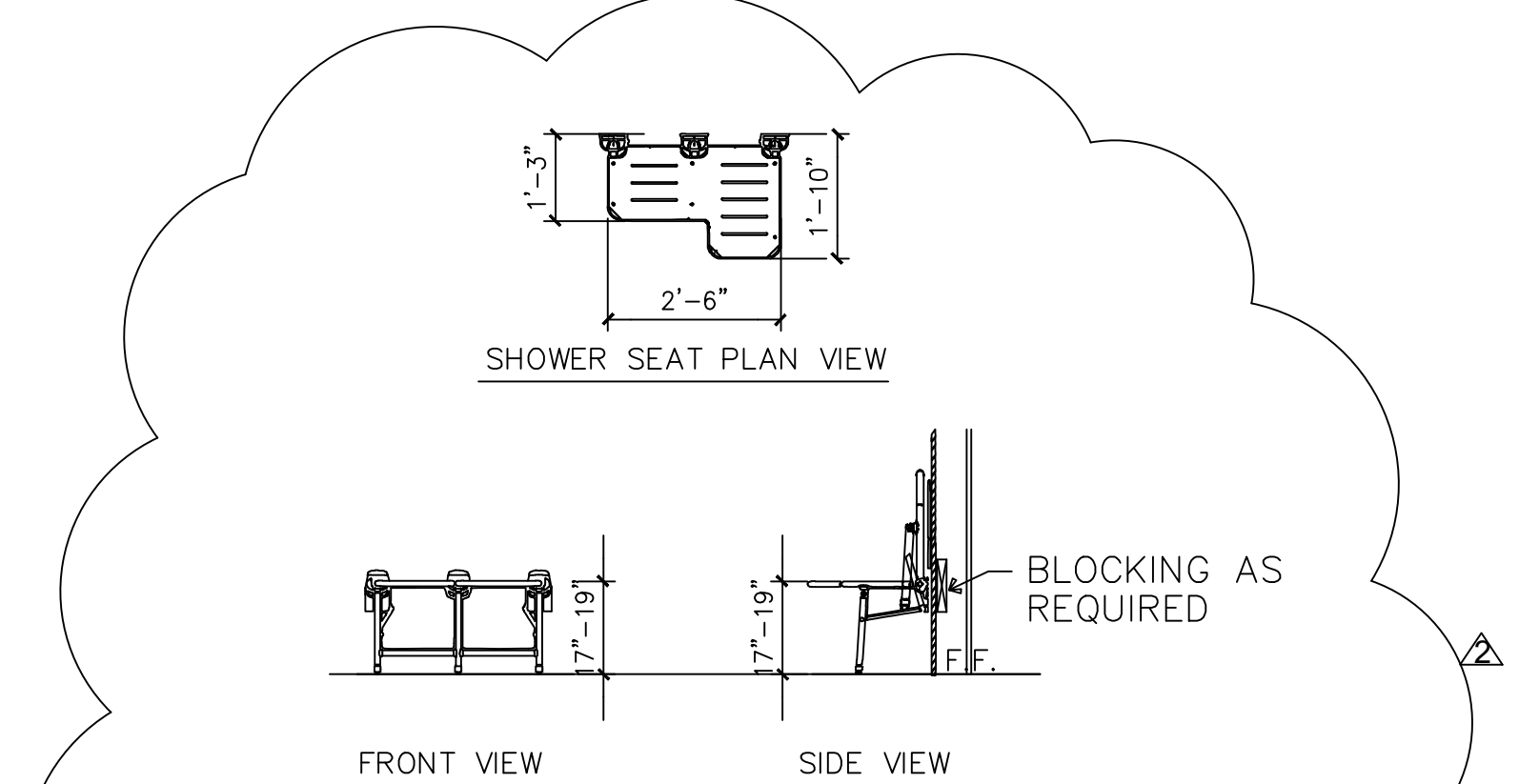
MARK	KEYNOTES
	EXIT SIGN
	SMOKE ALARM
	CARBON MONOXIDE DETECTOR
	FIRE EXTINGUISHER



5 PROPOSED FLOOR PLAN
1/4" = 1'-0"



1 EXISTING SITE PLAN
1/8" = 1'-0"



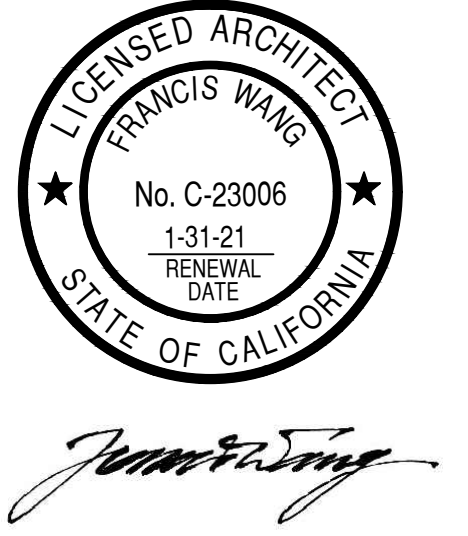
6 SHOWER SEAT DETAIL
NTS

ELECTRICAL PANEL NOTE:

1. RELOCATE EXISTING 100A ELECTRICAL SERVICE PANEL.
2. A FRONT WORKING CLEARANCE MIN. 36 INCHES.
3. DISTANCE MEASURED FROM FACE OF ENCLOSURE MIN. AT 36".
4. WORKING SPACE HEIGHT AT 6 FEET.

MCA

Metro Coast Associates, Inc.
8 Corporate Park, Suite 300
Irvine, California 92606



Owner

EDGAR NAVARRO

2700 WEST OLIVE AVE
FULLERTON, CALIFORNIA 92833

Project:

RCFE
RENOVATION

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title:
PROPOSED PLANS

Project Number: 2005

Drawn by: GF

Date: 08/30/20

Revision: OWNER'S REVISIONS

08/30/20

P.C. CORR. 10/20/20

REVISED SET 00/00/20

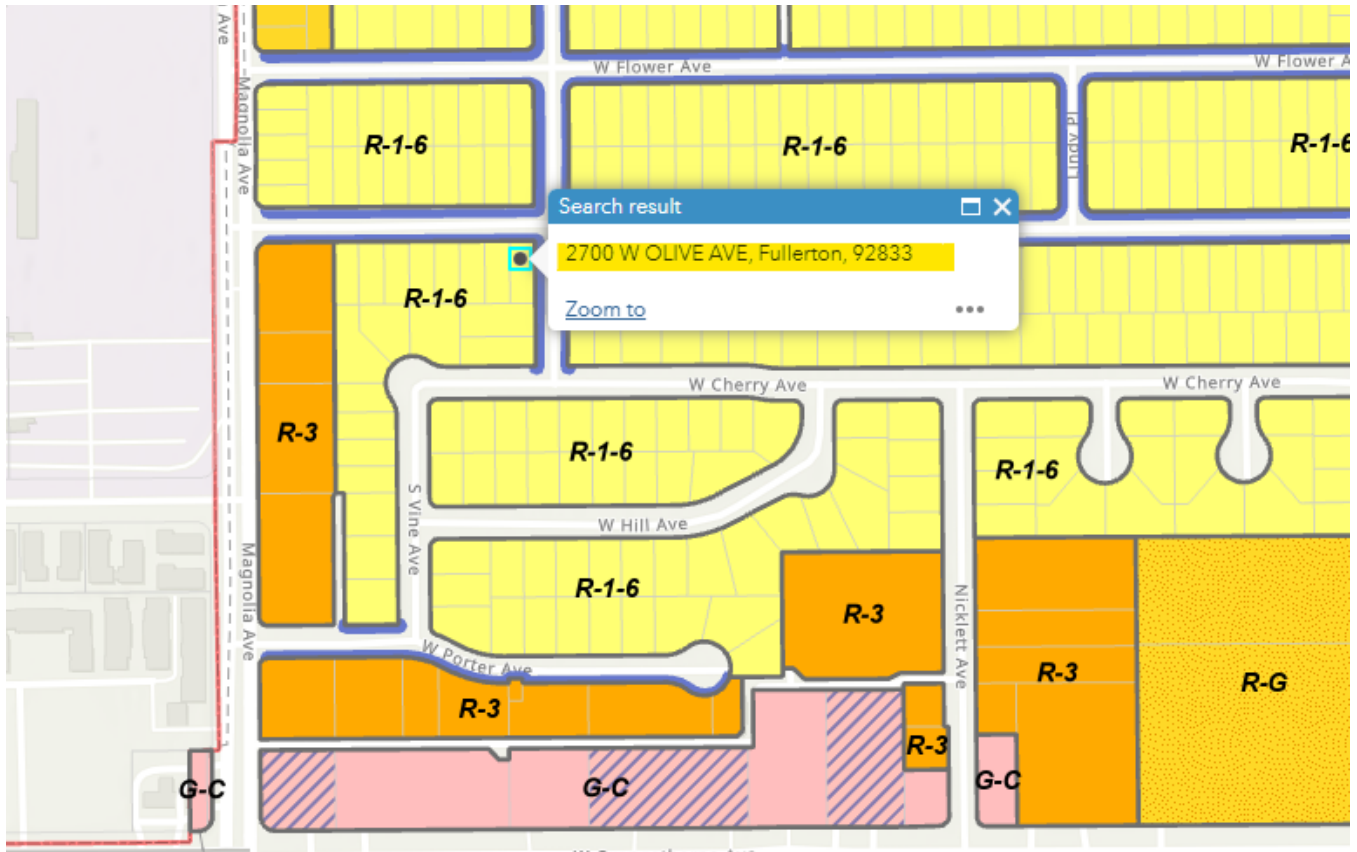
BID SET 00/00/20

CONSTRUCTION SET 00/00/20

Sheet:

A-1.3

Zoning – Olive Ave.



Source:

<https://gis.cityoffullerton.com/portal/apps/webappviewer/index.html?id=38a7db5f8a8748b1818bc31269bfa3b0>

§ 15.08.020 ZONE CLASSIFICATIONS AND DEGREE OF RESTRICTIVENESS.

(A) In order to accomplish the purpose of this chapter, 26 use classifications are established in each of which regulations are prescribed concerning the permissible uses, the height and bulk of buildings, the area of yards and other open spaces about buildings, and density of population. Such classifications are known as follows.

<i>Residential Zone Classifications</i>	
<i>Residential Zone Classifications</i>	
PRD	Planned Residential Development
PRD-I	Planned Residential Development Infill
R-1	One-Family Residential
R-1P	One-Family Residential Preservation
R-2	Two-Family Residential
R-2P	Two-Family Residential Preservation
R-G	Garden-Type Multiple Residential
R-3	Limited Density, Multiple Residential
R-3P	Limited Density, Multiple Residential Preservation
R-3R	Restricted (single story) Multiple Residential
R-4	Medium Density, Multiple Residential
R-5	Maximum Density, Multiple Residential
R-MH	Mobile Home Park

<i>Commercial Zone Classifications</i>	
C-3	Central Business District Commercial
C-G	Commercial Greenbelt
C-M	Commercial, Manufacturing
G-C	General Commercial
O-P	Office Professional

<i>Industrial Zone Classifications</i>	
M-G	Manufacturing, General
M-P	Manufacturing Park

<i>Special Zone Classifications</i>	
<i>Special Zone Classifications</i>	
ES	Emergency Shelter Overlay Zone
HIOZ	Housing Incentive Overlay Zone
LCO	Life Care Overlay
O-	Oil Overlay
O-G	Oil Gas
O-S	Open Space
P	Residential Preservation Zone
P-L	Public Land
ROD	Restaurant Overlay District
RS-PC	Rural Street Overlay Zone – Pico-Carhart
SPD	Specific Plan District

(B) For the purpose of this chapter, ***MORE RESTRICTIVE USES*** means the following:

(1) The uses first permitted in the R-1 and R-1P Zones are the most restrictive; and

(2) All other uses are less restrictive in the order they are first permitted in the zones in the following sequence: PRD; R-2P; R-2; R-G; R-3R; R-3P; R-3; R-4; R-5; O-P; C-G; C-3; C-M; M-P; and M-G.

(C) Except as provided in this title, no building shall be erected, reconstructed or structurally altered, nor shall any building or land be used for any purpose except as hereinafter specifically provided and allowed in the same zone in which such building, land or use is located or proposed to be located.

(Ord. 2982, passed - -2001; Ord. 3222, passed - -2015; Ord. 3229, passed - -2016; Ord. 3232, passed - -2016; Ord. 3335, passed - -2025)

§ 15.08.050 REQUIRED LOT AREA SHOWN ON ZONING MAP.

Where a number follows the zoning symbol on the zoning map, it shall represent the number of thousands of square feet of area required in lieu of the minimum areas established in each zone as herein defined. Pursuant to § 15.17.050, no new lot shall be created in any R-1 or R-1P Zone which is less in area than the minimum lot size indicated on the city's official zoning map for the area in which it is located, except as provided in Title 16 of this code. If no number follows the zoning symbol, the areas prescribed in the chapter governing such zone shall apply. The minimum lot sizes as shown on the zoning map are further defined as follows.

	<i>Minimum Lot Size</i>
	<i>Minimum Lot Size</i>
M-P-30	30,000 square feet
M-P-40	40,000 square feet
M-P-80	80,000 square feet
M-P-100	100,000 square feet
M-P-200	200,000 square feet
R-1-6	6,000 square feet
R-1-7.2	7,200 square feet
R-1-8	8,000 square feet
R-1-8.5	8,500 square feet
R-1-9	9,000 square feet
R-1-10	10,000 square feet
R-1-12	12,000 square feet
R-1-13	13,000 square feet
R-1-15	15,000 square feet
R-1-20	20,000 square feet
R-1-40	40,000 square feet

(Ord. 2982, passed - -2001; Ord. 3232, passed - -2016)

CHAPTER 15.17: RESIDENTIAL ZONE CLASSIFICATIONS

Section

- 15.17.010 Intent and purpose
- 15.17.015 Residential zones
- 15.17.020 Permitted uses
- 15.17.030 Conditions of permitted uses
- 15.17.040 General site development standards
- 15.17.050 Site development standards for R-1, R-1P, R-2 and R-2P Zone classifications
- 15.17.060 Additional site development standards and review for Residential Preservation Zone classifications (R-1P, R-2P and R-3P)
- 15.17.070 Site development standards for multiple-family and mobile home zone classifications
- 15.17.075 Site development standards for the Housing Incentive Overlay Zone (HIOZ) classification
- 15.17.080 Parking standards
- 15.17.085 Access and circulation standards
- 15.17.090 Residential conversion standards
- 15.17.100 Accessory and junior accessory dwelling units
- 15.17.110 Sororities and fraternities
- 15.17.120 Density bonus
- 15.17.130 Two-unit housing development

§ 15.17.010 INTENT AND PURPOSE.

This chapter establishes the city's residential zones, including permitted uses and physical development standards.

(Ord. 2982, passed - -2001)

§ 15.17.015 RESIDENTIAL ZONES.

The following residential zones are established.

(A) R-1 (Single-Family Residential) is designed for neighborhoods of single-family type residences on individual lots. Minimum lot sizes within the R-1 Zone are further described in § 15.08.050 and as they appear on the zoning map.

(B) R-1P (Single-Family Residential Preservation) is designed for mature single-family neighborhoods where the existing housing and environment is a valuable asset to the city and should be preserved.

(C) R-2 (Two-Family Residential) is designed for neighborhoods where a limited increase in population density is acceptable by permitting two dwelling units on a single lot. This zoning is applicable primarily to older neighborhoods with deep lots.

(D) R-2P (Two-Family Residential Preservation) is designed for mature neighborhoods where the existing housing and environment is a valuable asset to the city and should be preserved, and where a limited increase in population density is acceptable by permitting two dwelling units on a single lot. Opportunities for additional and replacement housing are also provided where appropriate.

(E) R-G (Garden-Type Multiple-Family Residential) is designed for neighborhoods where limited-density apartment and condominium development must fit compatibly within an area of single-family type residences.

(F) R-3R (Restricted Multiple-Family Residential) is designed for use where limited density apartment and condominium development must fit compatibly in close proximity to an area of single-family type residences.

(G) R-3P (Multiple-Family Residential Preservation) is designed for mature neighborhoods where the existing housing and environment is a valuable asset to the city and should be preserved, while opportunities for additional and replacement housing are also provided where appropriate.

(H) R-3 (Limited-Density Multiple-Family Residential) is designed for use where apartment and condo- minium development can be physically separated from single-family type residences by a street or terrain feature.

(I) R-4 (Medium-Density Multiple-Family Residential) is designed for use where physical separation from single-family residential areas is possible, where proximity to shopping and service centers is available, and where frontage exists on major, primary or secondary collector streets for facilitating the flow of heavier residential traffic.

(J) R-5 (Maximum-Density Multiple-Family) is designed for high-rise apartments and condominiums to meet the specialized needs for high-density housing. Locations that would be close to the colleges or to central business districts and isolated where possible from single-family residential areas are considered most appropriate for such high-density zoning.

(K) R-MH (Mobile Home Park) is designed for mobile home neighborhoods and compatible activities associated therewith.

(B) The more restrictive of any additional qualifications, limitations or conditions set forth in the use definitions of Chapter 15.04 of this title shall apply.

(C) Any activity or use not specifically listed in Table 15.17.020(A) shall be considered an unpermitted use unless determined by the Director of Community and Economic Development to be similar to a listed permitted use in the zone and consistent with the zone's purpose.

Table 15.17.020(A)									
Permitted Uses in Residential Zone Classifications									
	Reference § 15.17.030	R-1/ R-1P	R-2/ R-2P	R-G	R-3R	R-3/ R-3P	R-4	R-5	R-MH
Table 15.17.020(A)									
Permitted Uses in Residential Zone Classifications									
	Reference § 15.17.030	R-1/ R-1P	R-2/ R-2P	R-G	R-3R	R-3/ R-3P	R-4	R-5	R-MH
Residential Uses									
Single-family	(A)	X	X	X	X	X	X	X	
Two-family	(A)		X	X	X	X	X	X	
Multiple-family	(A), (B)			X	X	X	X	X	
Manufactured housing	(A), (C)	X	X	X	X	X	X	X	X
Mobile home	(A), (D)	X						X	
	See also § 15.17.070(H)								
Dormitory		CUP	CUP	CUP	CUP	CUP	CUP	CUP	
Accessory dwelling unit, including junior accessory dwelling unit	See § 15.17.100	X	X	X	X	X	X	X	
Sorority and fraternity	See § 15.17.110	CUP	CUP	CUP	CUP	CUP	CUP	CUP	
Supportive housing	(E)	X	X	X	X	X	X	X	
Transitional housing	(E)	X	X	X	X	X	X	X	
Residential care facilities									
Small group home (six or fewer persons)	(F)	X	X	X	X	X	X	X	
Large group home (more than six persons)	(A), (B)	X	X	X	X	X	X	X	
Unlicensed Group Home	(A), (B)	X	X	X	X	X	X	X	
Small residential care facility for the elderly (six or fewer persons)	(F)	X	X	X	X	X	X	X	
Large residential care facility for the elderly (more than six persons)	(A), (B)	X	X	X	X	X	X	X	
Retirement complex, Type I	See § 15.55.030(H)	CUP	CUP	CUP	CUP				
Independent detached cluster units									
Retirement complex, Type II	See § 15.55.030(H)		CUP	CUP	CUP	CUP	CUP		
Independent detached cluster units									
Retirement complex, Type III	See § 15.55.030(H)					CUP	CUP	CUP	
Congregate low-rise multi-unit									
Retirement complex, Type IV	See § 15.55.030(H)					CUP	CUP	CUP	
Congregate low-rise retirement hotel									
Retirement complex, Type V	See § 15.55.030(H)						CUP	CUP	
Congregate mid/ high-rise multi-unit									

Retirement complex, Type VI	See § 15.55.030(H)							CUP	CUP	
Congregate mid/ high-rise retirement hotel										
Childcare facilities										
Small family childcare home (eight or fewer children)	(G)	X	X	X	X	X	X	X	X	X
Large family childcare home (nine to 14 children)	(H)	X	X	X	X	X	X	X	X	
Childcare center (15 or more children)	See § 15.55.030(E)	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	
Accessory buildings, structures and uses										
Accessory buildings and structures	(I)	X	X	X	X	X	X	X	X	X
Domestic animals	(J)	X	X	X	X	X	X	X	X	X
Kennel, non- commercial	(J)	X								
Traditional domestic animals	(J)	X	X	X	X	X	X	X	X	X
Non-traditional domestic animals	(K)	X								
Livestock	(L)	X								
Exotic animals	(M)	NP	NP	NP	NP	NP	NP	NP	NP	NP
Animal fostering	(N)	X	X	X	X	X	X	X	X	X
Garage sales	(L)	X	X	X	X	X	X	X	X	X
Beekeeping	(S)	X								
Commercial uses										
Bed and breakfast inn	See § 15.55.030(A)		CUP	CUP	CUP	CUP	CUP	CUP	CUP	
Boarding and lodging house						X	X			
Commercial telecommunication facility	See § 15.55.020(B)	MSP	MSP	MSP	MSP	MSP	MSP	MSP	MSP	MSP
Commercial stable	See § 15.55.030(D)	CUP								
Home business	(M)	X	X	X	X	X	X	X	X	X
Cemetery		CUP								
Parking structure		CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	
Private parking area	(N)	CUP	CUP	X	X	X	X	X	X	
Rented room	(O)	X	X	X	X	X	X	X	X	X
Private school	See § 15.55.030(E)	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	
Special event	See § 15.55.020(D)	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Temporary commercial use	See § 15.55.020(E)									
Other uses										
Agriculture	See § 15.55.020(A)	X	X	X	X	X	X	X	X	X
Religious institution	See § 15.55.030(E)	CUP	CUP	CUP	CUP	CUP	CUP			
Cannabis cultivation		NP	NP	NP	NP	NP	NP	NP	NP	NP
Communication facility, non- commercial	See § 15.55.020(C)	X	X	X	X	X	X	X	X	X
Community/social service facility	See § 15.55.030(D)	CUP	CUP	CUP	CUP	CUP	CUP			
Convenience shops	(P)								X	
Electric distribution substation		CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP	CUP
Golf course		CUP								
Marijuana related use and/or activity		NP	NP	NP	NP	NP	NP	NP	NP	NP
Parking and/or storage of resident's recreational vehicles	(Q)	X	X	X	X	X				

Recreational area, lighted	(R)	MSP	MSP	MSP	MSP	MSP	MSP	MSP	MSP
Short-term rental	See § 15.55.020(F)	X	X1	X1	X1	X1	X1	X1	
Notes to Table:									
X: denotes that the use is permitted.									
1 Up to 10% of the units within a multi-family development, or a minimum of 1, whichever is greater may be utilized as a short-term rental subject to compliance with § 15.55.020(F). A conditional use permit (CUP) shall be required for multi-family developments requesting more than 10% of units to be used as short-term rentals.									
2 All such facilities are subject to the base zone except as may be modified.									
MSP denotes that the use is permitted with the approval of a minor site plan in accordance with Chapter 15.47 of this title.									
CUP denotes that the use is permitted with the approval of a conditional use permit in accordance with Chapter 15.70 of this title.									
NP denotes that the use is not permitted.									

(Ord. 2982, passed - -2001; Ord. 3026, passed - -2003; Ord. 3190, passed - -2013; Ord. 3197, passed - -2013; Ord. 3222, passed - -2015; Ord. 3227, passed - -2016; Ord. 3232, passed - -2016; Ord. 3247, passed - -2017; Ord. 3252, passed - -2017; Ord. 3255, passed - -2018; Ord. 3290, passed - -2020; Ord. 3326, passed - -2023; Ord. 3340, passed - -2025)

§ 15.17.030 CONDITIONS OF PERMITTED USES.

The following qualifications, limitations and conditions apply to the uses described in Table 15.17.020(A). The more restrictive of any additional qualifications, limitations or conditions set forth in the use definitions of Chapter 15.04 of this title shall apply.

(A) *Occupancy restrictions.*

(1) No use of a residential unit may exceed the occupancy load set out in the City Housing Code, i.e., at least one room with 120 square feet of floor area, and at least 70 square feet in each additional sleeping room, plus an additional 50 square feet for each extra person beyond two people in any such room.

(2) No use of a residential unit may exceed an occupancy load that would result in fewer than 100 square feet of usable open space, as defined in § 15.17.040(E) of this chapter, on the premises per occupant.

(B) *Multiple-family dwellings.* Multiple-family dwellings shall include cooperatively owned apartments and condominiums.

(C) *Manufactured housing.*

(1) Manufactured homes shall have exterior siding extending to the ground or to the top of a solid foundation and consisting of materials found by the Community Development Director or his or her designee to be those customarily utilized in conventionally built single-family dwelling.

(2) Manufactured homes shall have a shingled roof with at least 12-inch eave overhangs.

(3) Any accessory buildings shall be designed with the same exterior materials and roof designs as the manufactured home.

(D) *Mobile homes and house trailers.*

(1) A mobile home or house trailer, as defined in Chapter 15.04, may only be used for living or sleeping accommodations when located in a mobile home park or on a permanent foundation in specific R-1 Zones, subject to the provisions set forth in division (C) above.

(2) The storage of a mobile home or house trailer is regulated by division (Q) below.

(E) *Transitional and supportive housing.*

(1) Transitional and supportive housing shall be considered a residential use of property, permitted in dwellings designed for non-transient occupancy, and shall be subject to the development standards of the zoning district in which they are located.

(2) Transitional or supportive housing which cannot be made to comply with the underlying zoning standards may be permitted by conditional use permit. In such case, the conditional use permit will be evaluated based on the factors listed in § 15.70.040(C) and the following:

- Compatibility between proposed project and existing/surrounding development.
- Potential impacts on surrounding uses involving noise, parking, traffic, activity and security.
- Provision of a full-time on-site manager.
- Proximity of property to transit and social service agencies.

(F) *Group home or 24-hour care facility; small residential care facility for the elderly.*

(1) For the purpose of this division (F), the following definitions shall apply unless the context clearly indicates or requires a different meaning.

GROUP HOME or 24-HOUR CARE FACILITY. A dwelling licensed by the state to accept and care for six or fewer mentally disordered or otherwise handicapped persons or dependent and neglected children.

SMALL RESIDENTIAL CARE FACILITY FOR THE ELDERLY. A dwelling licensed by the state to accept six or fewer residents who are over 60 years of age, which provide varying levels and intensities of care and supervision or personal care.

(2) These types of facilities are permitted in all residential zones provided the number of persons cared for at any one time does not exceed six.

(3) When an outdoor recreational area is provided for the use of the occupants, it must be fenced and maintained in such a manner as not to constitute a nuisance to surrounding or adjoining residential properties.

(G) *Small family childcare home.* For the purpose of this division (G), **SMALL FAMILY CHILDCARE HOME** means a detached single-family dwelling, comprising the only dwelling on a residentially zoned lot, which provides licensed family childcare to eight or fewer children, including children who reside at the home. A small family childcare home is governed by the Cal. Health and Safety Code, which effectively prohibits any local regulations of these facilities.

(H) *Large family childcare home.* A large family childcare home (caring for between nine and 14 children, inclusive) may exist in detached single-family dwellings, comprising the only dwelling on a residentially zoned lot, and shall be subject to the following conditions:

(1) No large family childcare home shall locate closer than 300 linear feet to any other childcare home or childcare center regardless of size. A large family childcare home that is operated on property of a religious institution or a college is exempt from this provision. A large family childcare home located within 300 feet of another childcare facility (i.e., a small or large childcare home or a childcare center) may be approved through a conditional use permit when findings of insignificant impact can be made.

(2) A large family childcare home shall provide off-street vehicular loading areas with on-site circulation such that children may be safely loaded and unloaded from vehicles off the street, and pedestrian/vehicle conflicts are minimized. Under no circumstances shall children be required to cross a street to access the facility.

(3) One off-street parking space shall be provided for each daycare worker on duty, in addition to the parking originally required for the dwelling. One guest space shall also be provided for each six children, or portion thereof, cared for by the facility. The spaces shall not be located in a required street setback area, but may be located in tandem when site conditions make it infeasible to provide the required parking otherwise.

(4) A large family childcare home shall maintain an outdoor play area that adjoins any residentially zoned property in such a manner so as not to constitute a nuisance to the residential use. A solid six-foot high masonry wall shall be constructed along the perimeter of the facility adjacent to all such outdoor play areas in the side and rear yards to mitigate noise.

(5) A large family childcare home shall comply with noise and maintenance regulations of the zone and will be subject to applicable abatement/ nuisance procedures if necessary to mitigate incompatibility with the surrounding neighborhood and the intent of these regulations.

(I) *Accessory buildings and structures.* The requirements for a one-story accessory building or structure are indicated below.

(1) A habitable accessory building is subject to the following requirements.

(a) It shall comply with the front yard setback and height requirements for the main building on the property.

(b) When physically attached to the main building, it shall also comply with the side and rear setback requirements for the main building on the property.

(c) When detached from the main building:

1. If less than 600 square feet in area and not more than ten feet in height at the property line, it shall be exempt from side and rear yard setback requirements for the main building on the property, provided all drainage is directed to the property on which the building is located and the building meets applicable fire separation requirements per the City Building Code. Within a required side or rear yard, height of the building may increase one foot for each foot of setback from the property line, with maximum height not to exceed the requirements of the zone in which it is located; and

2. If 600 or more square feet in area or more than ten feet in wall height, it shall be located in accordance with setback requirements for the main building on the property. A minor reduction in side- or rear-yard setback may be granted subject to approval of a minor exception pursuant to Chapter 15.66 of this title.

(d) The architectural design shall be visually compatible with the main dwelling unit on the property and with the neighborhood character, as determined by the Director of Community and Economic Development or his or her designee. The determination may be appealed to the Planning Commission.

(e) Applicant shall prepare a land use agreement for the property, subject to review and approval by the Director of Community and Economic Development, that prohibits the conversion of any or all of the accessory building to a separate dwelling unit. Once approved, the applicant shall provide an executed and notarized agreement to the city to be recorded with the County Recorder, and future sale of the property shall be subject to the agreement.

(2) A non-habitable accessory building is subject to the following requirements.

(a) It shall comply with the front yard setback and height requirements for the main building on the property.

(b) When physically attached to the main building, it shall also comply with the side and rear setbacks as specified for the main building on the property.

(c) When detached from the main building:

1. If less than 600 square feet in area and not more than ten feet in height at the property line, it shall be exempt from side and rear yard setback requirements for the main building on the property, provided all drainage is directed to the property on which the building is located and the building meets applicable fire separation requirements per the City Building Code. Within a required side or rear yard, height of the building may increase one foot for each foot of setback from the property line, with maximum height not to exceed the requirements for the main building on the property; and

2. If 600 or more square feet in area or more than ten feet in wall height, it shall be located to meet setback requirements for