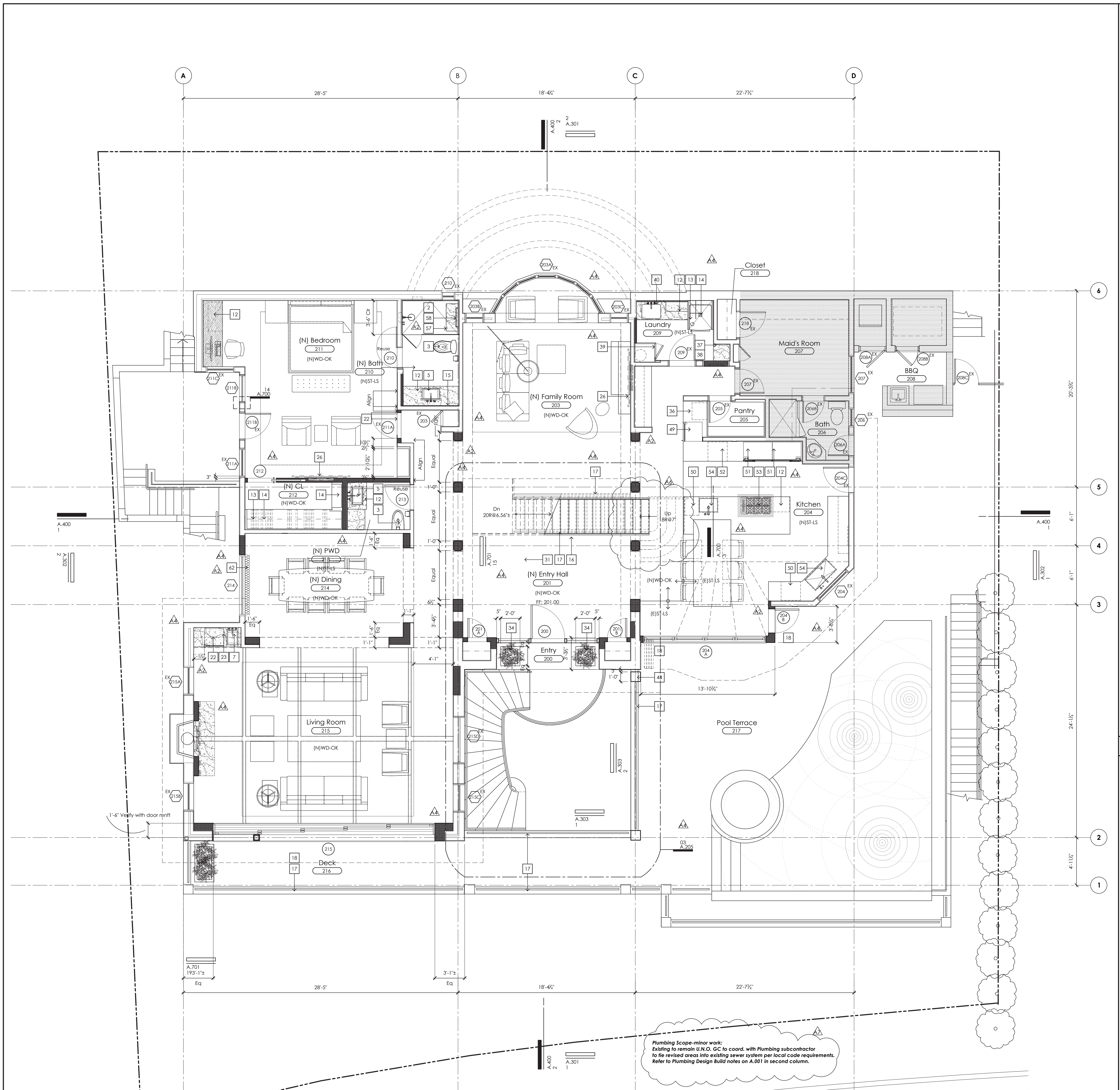




Construction Typical Notes Keyed on Plan:

- Free standing tub with anti-scalding fixtures. Provide 12" round cleanouts. Flow rate not to exceed 2gpm at 80psi. EQ-1
- Shower with anti-scalding fixtures. Provide 12" round cleanouts. Wall covering of shower shall be tile, or approved equal, to a height of min. 72" abv. drain inlet. Roof tile over cement plaster backing. Single shower head not to exceed 2 gpm at 80psi. Multiple shower heads combined flow rate not to exceed 2gpm at 80psi. At showers provide curbless system w/ linear drain. EQ-2, EQ-3
- Water Closet - 1.28 gallon/flush to meet standards set by American National Inst. Stds. A112.19.2 H and S Code. Conceal water supply. 24" min. clear in front of water closet. EQ-4
- Lavatory - 1.5 gpm at 80psi. with EQ-7, EQ-8
- Lavatory - 1.5 gpm at 80 psi EQ-12, EQ-13
- Bar Sink and garbage disposal - 1.5 gpm at 80psi EQ-9, EQ-10, EQ-14
- Bar Sink and garbage disposal - 1.5 gpm at 80 psi EQ-14, EQ-15, EQ-16
- Existing Lavatory reused with new faucet to meet 1.5 gpm at 80 psi max EQ-11
- Existing wood burning fireplace to be refaced. Refer to interior elevations
- Line of soffit above
- Line of floor, deck above
- Built-in counter, cabinet below only
- Pole and shelf
- Full height millwork
- Mirror with scheduled frame
- 34"-38" high handrail
- +42" high guardrail
- Pavers to match existing over elastomeric waterproof membrane (Gaco-Western GacoFlex ICC: ESR-1284) - tie into existing system. Min. 2% slope.
- Area and overflow drains
- Gutter to match existing - slope to drains, tie into existing as seamlessly as feasible
- New full height wine refrigerator. EQ-5
- Built-in bookshelf-full height where occurs-see elevations
- Integrated built-in under counter Refrigerator w/ panels, refer to interior elevation. EQ-6
- Fiberglass planter with integral drainage
- Built-in A/V Cabinet with exhaust vent & intake vent. Tie into existing system
- LED Television, owner supplied. Provide backing as required for wall mounting. Provide conduit to A/V cabinet.
- Line of roof above
- Mounted towel bar
- Built-in counter. Refer to interior elevation for height.
- Upper cabinets
- (N) floor raised to main level. Re: Structural 31.
- Dishwasher shall be qualified ENERGY STAR appliance with maximum water use as follows (NBMC 15.11.010) Standard Dishwasher. 4.25 gallons per cycle. Compact Dishwashers: 3.5 gallons per cycle
- Built-in Linen Cabinet - refer to interior elevations
- Decorative planter pot
- Built-in shower seat
- Built-in Miele Coffee Machine - provide power and plumbing per mntf. requirements
- ENERGY STAR compliant tacking washer with recessed pan and drain below. Washing machine. Shall be qualified ENERGY STAR appliance with maximum water use factor of 6 gallons per cubic feet of drum capacity (NBMC 15.11.010)
- Clothes dryer. 4" Ø vent w/ max. (2) 90° bends. 14" max run. Vent to daylight at roof w/ vent cap and back draft damper. Dryer to be equipped with 4"Ø vent with a maximum of (2) 90° bends. 14" maximum run. If roof vent provided vent cap and back draft damper. At side wall installations provide Seihco cap SFB-P anodized to match adjacent wall color. Dryer compartment shall be provided with a minimum opening of 100 square inches for exhaust air in the door or by other approved means.
- New cabinetry at existing clothes chute
- New laundry sink and faucet
- 3-way mirror (reuse from existing master bathroom)
- (E) electrical sub-panel
- Electrical panel relocated
- Revise existing plaster
- New wall safe
- New electronic lock jewelry drawers
- Towel warmer
- Integrated microwave drawer
- Integrated beverage refrigerator
- Integrated dishwasher - Dishwasher shall be qualified ENERGY STAR appliance with maximum water use as follows (NBMC 15.11.010) Standard Dishwasher. 4.25 gallons per cycle. Compact Dishwashers: 3.5 gallons per cycle
- Built-in integrated Freezer+Refrigerator w/ integral panel. Provide H2O supply
- Scheduled Steam Oven
- Scheduled 36" Cooktop with Scheduled Hood
- Kitchen Sink & garbage disposal w/ Faucet - Not to exceed 1.5 gpm @ 60 psi with single faucet control, refer to owner's plumbing fixture specifications.
- Line of wall above
- Walk line. Minimum winder tread depth at walk line to be 10". minimum tread depth to be 6"
- Shower bench
- Towel bar
- Line of stair treads and landing above
- Existing Chimney
- Existing Roof to be cut back.
- Provide window treatment at new window. Privacy and Lighting to be dealt with through window treatment, existing site wall and existing row of trees.

2 Plan Notes

Construction Typical Notes:

- A. All dimensions are to be to the finished face of the partition U.N.O.
- B. All Partitions to be Type "A" U.N.O.
- C. 3 G.C. to layout (in paint) the locations of all partitions, doors, lighting, ceiling elements, switches/dimmers, thermostats, power & communication outlets, millwork and furniture for approval by the Architect before the start of construction.
- D. It is the responsibility of the contractor to bring to the attention of the architect any field conditions that do not allow construction or installation as drawn.
- E. Do not scale drawings. Dimensions as indicated take precedent over drawings.
- F. Repair all existing partitions, doors, frames, etc. that are to receive a new finish.
- G. Provide continuous metal backing for reinforcing of walls to hang millwork furniture shelving or cabinetry.
- H. Provide millwork shop drawings for Architect's approval. Millwork to comply with the recommendations of the woodwork institute of California (WIC).
- I. Any door hardware associated with millwork provided doors is to be ordered by the millworker.
- J. G.C. to provide full-time superintendents supervision on the project.
- K. All bathroom accessories, such as grab bars, towel bars, soap dishes, etc. on or within the walls shall be sealed against moisture. Provide backing as required.
- L. Avoid cut tiles and brick. Layout to consider final requirement, adjust as necessary. Notify Architect of changes.

LEGEND:

- New Partition/Wall
- X
- Hatched Area-not a Part Of Construction
- Existing Partition/Wall (or Areas not a Part Of Construction.)
- (N)ST-LS New stone flooring: 18" x 36" chatted limestone. Stone to be consistent in color
- (N)WD-OK New engineered wood flooring: By reSAWN Timber Company. Custom 080116-A Euro White Oak Hardwax Oil Finish 3/4" x 7", in a rift cut



PROJECT
Rappaport Residence
922 Emerald Bay
Laguna Beach, CA

DRAWING DESCRIPTION		DATE		ISSUE/REVISION	DRAWN	REVIEW
Construction Plan		05.25.2018	Client Review	-	-	-
Main Level		08.15.2018	County Plancheck	-	-	-
		09.21.2018	Addendum 2	-	-	-
		10.05.2018	Addendum 4 Plan Chk & Client Rev	-	-	-
		11.15.2018	Addendum 6 Client Rev Coord.	-	-	-
		11.30.2018	Addendum 7 Plan Chk Corr.	-	-	-

