

Cornerstone Inspection

Property Inspection Report



794 Cardinal Ct, Arroyo Grande, CA 93420

Inspection prepared for: David Hubbell

Real Estate Agent: -

Date of Inspection: 7/14/2026 Time: 1:00 PM

Age of Home: 1986 Size: 3000

Inspector: Greg Hines

Order ID: 13919

CREIA #166634

P.O. Box 1511, Pismo Beach, 93449

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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Site and Other Comments

Page 6 Item: 2	Environmental Comments	2.3. There are no carbon monoxide detectors present adjacent to some of the sleeping areas which is an important safety component that should be installed within the home and is required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.
Page 8 Item: 3	Pool/Spa	3.13. The pool or spa does not include two of the seven drowning safety features as required by California law SB 552. We recommend a qualified licensed pool contractor familiar with the recent changes in SB 552 evaluate and make the required improvements to meet this new standard.

Exterior

Page 14 Item: 6	Electrical Components	6.3. The exterior outlets are functional, but should be upgraded to have ground fault protection.
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Fireplace

Page 27 Item: 1	Living Fireplace Comments	1.16. The void around the gas pipe in the sidewall of the fireplace should be sealed with refractory sealant to prevent any possibility of back-drafting a flame beyond the combustion chamber, where it could come into contact with combustible material such as the wood framing.
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Plumbing Components

Page 30 Item: 3	Irrigation and Hose Bibb Information	3.3. A hose bib at the left side leaks and should be serviced.
Page 31 Item: 4	Gas Water Heater Comments	4.14. The vent pipe is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away. 4.15. The discharge pipe appears to be plumbed incorrectly to discharge into the sub area which is improper and should be plumbed to discharge at the exterior and terminate at a point no more than twenty-four inches above grade and no less than six inches to it.

Interior Space

Page 37 Item: 3	Dining Room	3.8. One or more of the single-hung windows will need to be serviced to function properly. Single-hung windows are typically designed so that the lower panel opens. The hardware needs to be serviced as the window will not properly stay in place when opened.
Page 38 Item: 4	Family Room	4.9. The outlets are functional, but should be upgraded to have ground-fault protection.

Bedrooms

Page 41 Item: 1	Master Bedroom Observations	1.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.
Page 41 Item: 2	Bedroom 2	2.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.
Page 42 Item: 3	Bedroom 3	3.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended. 3.5. A lock on the window is missing or does not engage and should be serviced.

Kitchen

Page 43 Item: 4	Electrical Components	4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.
Page 45 Item: 10	Gas Range & Cook Top	10.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

Page 46 Item: 1	Master Bathroom Observations	1.16. The toilet is loose, and should be secured.
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Page 47 Item: 2	Hallway Bathroom	2.15. The toilet is loose, and should be secured.
Attics		
Page 51 Item: 1	Attic	1.9. The vent pipe of the gas appliance is too close or in contact with the combustibles and should be serviced. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled type should be one inch away.
Garages		
Page 54 Item: 1	Double-Car Garage	1.19. The fire rating of the house entry door has been nullified by the addition of a foot operated door stop. 1.20. A pet door has been added that violates the firewall and the door should be replaced. 1.21. The voids in the garage firewall under stairs must be repaired, in order to maintain the necessary firewall separation between the garage and the residence. 1.22. There is evidence of moisture intrusion that you may wish to have further evaluated. It appears to be the result of the above balcony. 1.23. The outlets that were tested are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature. 1.24. The pressure settings on the garage door opener are not sensitive enough, which is designed to cause it to reopen the door if an obstruction is present, and should be adjusted.

Site and Other Comments

1. Site and General Information

Observations:

1.1. The clients were present during the inspection.

1.2. The residence is furnished, and in accordance with California Real Estate Inspection Association(CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.3. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.4. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report.

1.5. If you have received this report without a signed contract agreement, contact Cornerstone Inspection immediately at (805) 619-5092 to arrange for a contract. This inspection is invalid without a signed contract. The contract may be signed after the inspection has been performed and can be sent and received by e-mail or FAX. Our insurance requires a contract for every inspection, and without one, there is no insurance coverage.

1.6. The home has an intercom or speaker system that we do not have the expertise to evaluate.

1.7. The property has been renovated or remodeled. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve or tacitly endorse any work done without permits, and latent defects could exist.

1.8. Additions have been made to this property. Therefore, you should request documentation that would include permits and any warranties or guarantees that might be applicable, because we do not approve of, or tacitly endorse, any work that was completed without permits, and latent defects could exist.

Site and Other Comments (continued)

2. Environmental Comments

Observations:

2.1. The carbon-monoxide detectors are functional but should be checked periodically.

2.2. It is recommended that smoke alarms older than 10 years old be replaced for safety reasons as the sensors may no longer be effective.

2.3. There are no carbon monoxide detectors present adjacent to some of the sleeping areas which is an important safety component that should be installed within the home and is required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.

Site and Other Comments (continued)

3. Pool/Spa

Observations:

3.1. We do not evaluate pools or spas as part of our inspection service. Therefore, you should have a pool/spa contractor evaluate them before the close of escrow, and you should be aware of local ordinances governing pool and spa safety.

3.2. We do not verify any testing agency listing or approval, effectiveness, adequacy, compliance with local or other regulations or for proper installation or function of pool or spa barrier systems. California Health and Safety lists 7 systems with at least 2 recommended for proper safety. The property currently has 0 of the 7 safety barriers.

3.3. For pool safety we recommend you follow the California safety requirements at:

<http://www.cdph.ca.gov/HealthInfo/environhealth/water/Documents/RecHealth/SwimmingPoolSafetyAct.pdf>

The seven drowning safety features identified in SB 552 are:

3.4. 1-A pool enclosure that meets the requirements of Section 115923 and isolates the swimming pool or spa from the private single-family home.

3.5. 2-Removable mesh fencing that meets the ASTM International F2286 standard in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.

3.6. 3-A manually operated or power-operated safety pool cover that is accompanied by a label verifying that the cover meets the specifications of the ASTM International F1346-23 standard.

3.7. 4-Exit alarms on the private single-family home's doors and windows that provide direct access to the swimming pool or spa without any intervening enclosure. Whenever any door or window is opened or left ajar, exit alarms shall make either an audible, continuous alarm sound or a repeating verbal warning, such as a notification that "the door to the pool is open." An exit alarm may be battery operated or connected to the electrical wiring of the building.

3.8. 5-A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.

3.9. 6-An alarm in good repair and operable as designed that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM International F2208 standard that includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.

Site and Other Comments (continued)

3.10. 7- Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by ASTM International, the American Society of Mechanical Engineers, or another nationally recognized standards development organization, and the feature is accompanied by a label verifying that the protection meets those standards.

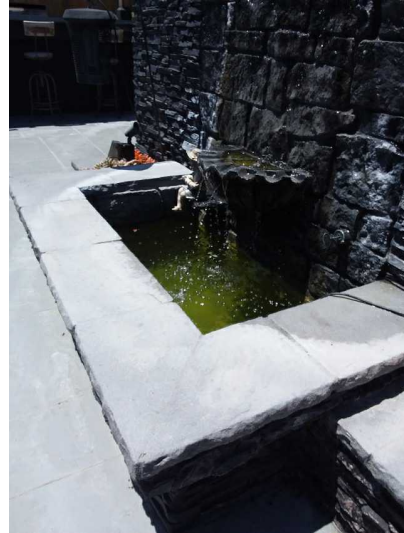
3.11. Note: A pool isolation fence, as described in Section 115923 of the Health and Safety Code, is the most studied and effective drowning prevention safety feature for preventing a child from accessing a pool or spa unsupervised, according to the American Academy of Pediatrics Policy Statement, "Prevention of Drowning," published in 2019.

3.12. The requirements of, "two of the seven drowning safety features" as required by the Swimming Pool Safety Act as updated by SB 552, do not apply to Spas or hot tubs with locking type covers complying with ASTM International F1346 standard. We cannot confirm the hot tub cover meets this standard. We recommend further evaluation by a qualified licensed swimming pool specialist and service or correct and required to meet current safety standards.

3.13. The pool or spa does not include two of the seven drowning safety features as required by California law SB 552. We recommend a qualified licensed pool contractor familiar with the recent changes in SB 552 evaluate and make the required improvements to meet this new standard.



We do not evaluate pools or spas as part of our inspection service. Therefore, you should have a pool/spa contractor evaluate them before the close of escrow, and you should be aware of local ordinances governing pool and spa safety.



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Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have been apparent otherwise.

1.2. The landscaping includes pre-cast concrete accessories, such as benches, fountains, bird-baths, large pots, or statuary. Although we disclaim an evaluation of all such items, many consist of heavy, stacked or balanced, components that can represent a safety hazard, particularly to children. Therefore, you should verify that such components are adequately anchored or otherwise safe.

1.3. We do not evaluate ponds or water features as a part of our inspection.

1.4. There is a BBQ on the property that we do not evaluate, unit should be demonstrated as functional by the sellers.

1.5. There is a fire pit on the property that we did not evaluate. You may wish to have it demonstrated by the sellers as functional. However, you should be aware that components employing natural gas are inherently dangerous.

Exterior (continued)

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirm moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation, hard surfaces, area drains, and full or partial gutters. We did not observe any evidence of moisture threatening the living space. However, the area drains must be kept clean or moisture intrusion could result.

2.3. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

2.4. There are planter beds that will trap water against the walls of the residence which can never be sensibly approved. This condition may allow the possibility of moisture intrusion into the residence. If they are to remain, they should be retrofitted to have several one-inch weep holes at their base. It would be prudent to periodically monitor the adjacent interior walls.

2.5. The property is served by area drains that appear to be in acceptable condition. However, because it is impossible to see inside them, the seller should verify that the drains are functional. Surface water carries minerals and silt that is deposited inside the pipes and hardens in the summer months to the consistency of wet concrete, which can impede drainage and require the pipes to be cleared by a roofer service.

2.6. There are area drains in planter beds or yards that will be subject to contamination by dirt, which should be periodically monitored and kept free of dirt.

Exterior (continued)



There are planter beds that will trap water against the walls of the residence which can never be sensibly approved. This condition may allow the possibility of moisture intrusion into the residence. If they are to remain, they should be retrofitted to have several one-inch weep holes at their base. It would be prudent to periodically monitor the adjacent interior walls.

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with a combination of stucco and cement-fiber siding.

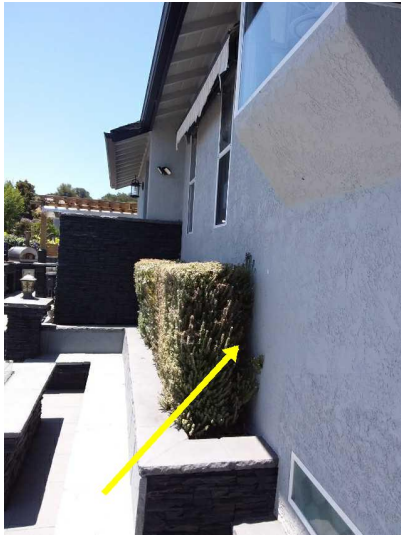
3.2. Most of the house wall finish is in acceptable condition.

3.3. Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.

3.4. There are stucco patches or repairs that should be explained by the sellers.

3.5. Portions of the siding are dry rot or moisture damaged, and should be evaluated by a termite inspector.

Exterior (continued)



Vines, shrubs or bushes are growing on the house walls and although they are attractive they can introduce pests and rodents and accelerate deterioration. Therefore, you may wish to consider having them removed or cut back to 12 inches away from the home.



Portions of the siding are dry rot or moisture damaged, and should be evaluated by a termite inspector.

4. Hard Surfaces

Observations:

- 4.1. The driveway is in acceptable condition.
- 4.2. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.3. There is one or more offsets in the driveway that could prove to be trip-hazards.
- 4.4. The walkways are in acceptable condition.
- 4.5. The patio surface is in acceptable condition.
- 4.6. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. The cracks could be caused by the lack of expansion joint, or a tree that is too close to the concrete decking.
- 4.7. There is one or more offsets in the walkways that could prove to be trip-hazards.

Exterior (continued)



There is one or more offsets in the walkways that could prove to be trip-hazards.



There is one or more offsets in the driveway that could prove to be trip-hazards.



There is one or more offsets in the walkways that could prove to be trip-hazards.

5. Wood Trim, Facia and Eave

Observations:

5.1. The fascia board and trim has been recently painted, and are in acceptable condition.

Exterior (continued)

6. Electrical Components

Observations:

6.1. We were not able to activate some of the exterior lights which may be operated on a timer, sensors, or a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.

6.2. We do not evaluate low-voltage or decorative lights, such as Malibu lights, which you may wish to have the sellers demonstrate.

6.3. The exterior outlets are functional, but should be upgraded to have ground fault protection.



The exterior outlets are functional, but should be upgraded to have ground fault protection.



The exterior outlets are functional, but should be upgraded to have ground fault protection.

7. Sliding Glass Doors and Screens

Observations:

7.1. The sliding glass door is tempered and in acceptable condition.

7.2. The slider screen is missing, and you may wish to have it replaced.

Exterior (continued)

8. Windows

Observations:

8.1. In accordance with industry standards, we only test a representative sample of windows.

8.2. Dual-pane windows are present that includes hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

8.3. This home has one or more Garden windows. These windows can be problematic if not monitored. Leaks are common due to design factors and we advise that it be monitored regularly to prevent moisture intrusion.

9. Stairs and Handrails

Observations:

9.1. Current building standards require handrails to be installed on steps which have 4 or more risers, and particularly if children or the elderly visit or occupy this property.

9.2. The stair handrails do not have a proper grip which is required by current standards.

9.3. The handrail does not return which is required at the top and bottom of the stairs which is required by current building standards. This condition could allow a purse or clothing to initiate a fall.

9.4. The handrail is not located at the proper height according to current standards. Current standards call for a height between 34" and 38" above stair nosing.



The handrail does not return which is required at the top and bottom of the stairs which is required by current building standards. This condition could allow a purse or clothing to initiate a fall.



Current building standards require handrails to be installed on steps which have 4 or more risers, and particularly if children or the elderly visit or occupy this property.

Exterior (continued)



The handrail is not located at the proper height according to current standards. Current standards call for a height between 34" and 38" above stair nosing.



The stair handrails do not have a proper grip which is required by current standards.

10. Fences and Gates

Observations:

10.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

10.2. The fences and gates have damage that is commensurate with their age such as loose or missing boards, weathered boards, and or posts which could be repaired but is not essential.

10.3. Portions of the fences are obscured by foliage or other material, which prevents a thorough inspection.

10.4. Removing the soil from the bottom of the fences will extend their life.

10.5. It should be disclosed who is responsible for the fences that are located at this property.

10.6. The gates need typical maintenance-type service to open, close, or latch easily.

11. Yard and Retaining Walls

Observations:

11.1. The yard walls may have some cosmetic damage but are functional.

11.2. Some of the planter block-caps are loose or missing and should be serviced.

Exterior (continued)



Some of the planter block-caps are loose or missing and should be serviced.

12. Landscaping

Observations:

12.1. There are trees on this property that we do not have the expertise to evaluate, but which you may wish to have them examined by an arborist.

12.2. Vegetation is encroaching on the structure, and should be kept a minimum of twelve inches away for the general welfare of the walls and foundation.

13. Patio Covers and Arbors

Observations:

13.1. The patio cover or arbor needs maintenance type service such as sealing and painting.

14. Balconies

Observations:

14.1. The balcony is in acceptable condition.

14.2. We cannot guarantee that balcony surfaces will not leak, because their waterproof membrane is concealed and cannot be examined. Therefore, you may wish to ask the sellers if the balcony surface has ever leaked.

14.3. The balcony guardrail does not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is thirty inches or more above grade.

Exterior (continued)



The balcony guardrail does not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is thirty inches or more above grade.

15. Decks

Observations:

15.1. The deck is in acceptable condition, and should be maintained, and periodically sealed if wooden deck boards are present.

15.2. We were unable to inspect the sub-framing area of the deck as it was too close to the grade for access.

16. Guardrails

Observations:

16.1. The balcony/deck guardrail does not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is 30" or more above grade.

16.2. The balusters in the guardrail are more than 4" apart and are not child safe. Therefore, you may wish to add a protective barrier.

16.3. If small children occupy or visit this residence, suitable precautions should be taken to safeguard them.

16.4. Sections of the guardrail need maintenance type service such as sealing, staining and or painting.

16.5. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches, and appropriate precautions should be taken to safeguard children and the elderly.

16.6. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. While there are walk off's less than 30 inches, appropriate precautions should be taken to safeguard children and the elderly.

Exterior (continued)



There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches. While there are walk offs less than 30 inches, appropriate precautions should be taken to safeguard children and the elderly.



There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches, and appropriate precautions should be taken to safeguard children and the elderly.



The balcony/deck guardrail does not conform to common safety standards. Common safety standards require them to be a minimum of 42 inches high when the standing surface is 30" or more above grade.



The balusters in the guardrail are more than 4" apart and are not child safe. Therefore, you may wish to add a protective barrier.

17. Exterior Shower

Observations:

17.1. The exterior shower is functional.

Exterior (continued)

18. Exterior Sink Comments

Observations:

18.1. The sinks are functional.

18.2. The middle faucet leaks around the stem while in use and should be serviced.

18.3. The valves and connector below the sink are functional.

18.4. The trap and drain are functional.



The middle faucet leaks around the stem while in use and should be serviced.

Foundation Comments

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than 1/4" and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. We evaluated the raised foundation by accessing and evaluating the components within the crawlspace.

1.3. We cannot access all areas of the foundation crawlspace, due to the obstruction of ducts pipes or conduit and or limited space. We were able to inspect or view about 50%.

1.4. The crawlspace access is located at the left side exterior.

1.5. The soils in the crawlspace are moist or desiccated, which could indicate a chronic drainage problem that should be evaluated by a specialist.

1.6. The foundation is raised, bolted and built to the standards of the year in which it was constructed, which may well be adequate but which would not meet current structural or seismic standards.

1.7. The intermediate floor framing is in acceptable condition. There may be some deviations from plumb, level, etc, but none that would have any serious structural significance.

1.8. The cripple walls do not include shear panel and will remain seismically vulnerable, and therefore should be upgraded.

1.9. The electrical components that are visible within the crawlspace appear to be in acceptable condition.

1.10. Some of the water supply lines are insufficiently supported and should be serviced.

Foundation Comments (continued)

1.11. The crawlspace ventilation is limited and could be improved. This does not appear to have had any adverse affects on the framing, which should be confirmed by the termite report, but the area should be monitored to ensure that no condensation forms. However, if you do notice a musty odor, or if the finish floors appear to ripple, crack, or otherwise move, the foundation may have to be mechanically ventilated.

1.12. There is a distinct musty odor probably due to less than ideal ventilation, and it would be prudent to monitor the crawlspace at least seasonally to see if the odor is periodic or chronic. However, you may also wish to have the termite inspector comment on this issue.

1.13. Some pieces of insulation are hanging or have fallen from between the floor joists. This does not have any serious consequences, but you may wish to have it serviced.



Some of the water supply lines are insufficiently supported and should be serviced.



Some pieces of insulation are hanging or have fallen from between the floor joists. This does not have any serious consequences, but you may wish to have it serviced.



The soils in the crawlspace are moist or desiccated, which could indicate a chronic drainage problem that should be evaluated by a specialist.

Roofing

1. Roof Gutters

Observations:

1.1. The roof gutters appear to be in acceptable condition. However, without water in them it is difficult to judge whether they are correctly pitched to direct water into the downspouts, but they should function as they were intended.

1.2. Some of the gutters need to be cleaned to drain properly.

1.3. It would be prudent to have splash blocks installed at the bottom of the downspouts, to divert water away from the house and its foundation.

1.4. We have noted that the downspouts enter into underground drains, but we cannot confirm their termination points. It should be verified that they are clear, and the termination points be verified.

1.5. Some downspouts are missing or need to be reconnected, and should be serviced.

1.6. We recommend that you install gutter guards to restrict leaves and other debris from entering the gutter system, which could restrict proper drainage.



Some downspouts are missing or need to be reconnected, and should be serviced.



Some of the gutters need to be cleaned to drain properly.

Roofing (continued)



Some of the gutters need to be cleaned to drain properly.



Some of the gutters need to be cleaned to drain properly.

Roofing (continued)

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The composition shingle roof is in the primary stages of decomposition, which means that the roof is in decline and susceptible to leaks. It will need to be maintained and closely monitored, because it is reaching the end of its serviceable life, and you may wish to have a second opinion before the close of escrow.

2.4. We observed repairs done to the roof that should be explained by the sellers as to why these repairs were needed.

2.5. The shingles are losing granules but would not need to be replaced at this time.

2.6. The roofing material has been improperly installed with exposed fasteners and should be monitored closely for leaks.

2.7. The roof flashings are in acceptable condition.

2.8. Some of the roof flashing need to be sealed or serviced. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashing on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks.

2.9. The roof includes one or more skylights, which are notoriously problematic and a common point of leaks. There are different methods of installing them and, although opinions will vary, some methods are better than others. Therefore, it will be important to keep the area around them clean and to monitor them for evidence of leaks.

2.10. The roof needs to be cleaned to promote and insure proper drainage.

Roofing (continued)



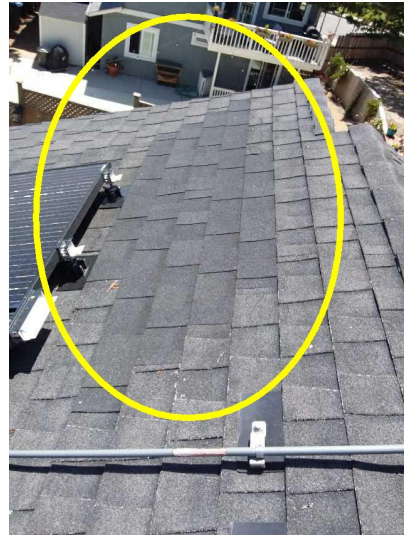
The roofing material has been improperly installed with exposed fasteners and should be monitored closely for leaks.



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The roofing material has been improperly installed with exposed fasteners and should be monitored closely for leaks.



We observed repairs done to the roof that should be explained by the sellers as to why these repairs were needed.

Fireplace

1. Living Fireplace Comments

Observations:

1.1. The chimney is a pre-fabricated chimney, which is constructed on site with approved components. We perform a competent inspection of them, but we are not specialists, and our inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and we cannot guarantee that any particular component is the one stipulated for use by the manufacturer.

1.2. The firebox is in acceptable condition.

1.3. The chimney damper is functional.

1.4. The gas log starter in the fireplace is functional.

1.5. If small children occupy or visit this residence, the control key for the gas valve should be kept beyond their reach.

1.6. The portions of the flue that are visible appear to be in acceptable condition. We recommend that the flue be cleaned once a year if the fireplace is regularly used. You should ask the sellers when the flue was last cleaned.

1.7. A complete view of the chimney flue is not possible, and you may wish to have it video scanned.

1.8. There is evidence that implies the flue may be leaking which should be evaluated to determine if the flue is leaking, or the roof flashing is defective.

1.9. The fireplace glass doors are functional.

1.10. The fireplace hearth is in acceptable condition.

1.11. The fireplace mantle is in acceptable condition.

1.12. The crown which is designed to seal the space between the flue liner and the chimney wall and shed rainwater, is in acceptable condition.

1.13. A functional spark arrestor and a weather-cap are in place on the chimney.

1.14. The chimney walls appear to be in acceptable condition.

1.15. The chimney flashings are in acceptable condition.

1.16. The void around the gas pipe in the sidewall of the fireplace should be sealed with refractory sealant to prevent any possibility of back-drafting a flame beyond the combustion chamber, where it could come into contact with combustible material such as the wood framing.

Fireplace (continued)



The void around the gas pipe in the sidewall of the fireplace should be sealed with refractory sealant to prevent any possibility of back-drafting a flame beyond the combustion chamber, where it could come into contact with combustible material such as the wood framing.



There is evidence that implies the flue may be leaking which should be evaluated to determine if the flue is leaking, or the roof flashing is defective.

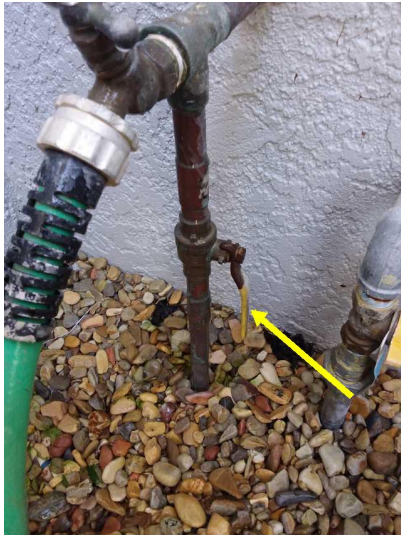
Plumbing Components

1. Water Supply Comments

Observations:

- 1.1. The main water shut-off valve is located at the left side of the house.
- 1.2. The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.
- 1.3. The visible copper water pipes are in acceptable condition and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are located inside walls and we can only view the pipes as they exit walls.
- 1.4. The potable water pipes are in acceptable condition, and we did not observe any leaks on the day of our inspection. Most of the pipes are not visible as they are inside walls which we can only view the pipes as they exit walls.

Plumbing Components (continued)



The main water shut-off valve is located at the left side of the house.



The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

2. Gas Service Information

Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

2.2. The gas main shut-off is located on left side of the home, unit or building.

2.3. The visible portions of the gas pipes appear to be in acceptable condition.

2.4. We recommend that a wrench, designed to fit the gas shut off valve, be located on or adjacent to the gas meter to facilitate an emergency shut off.

Plumbing Components (continued)



The gas main shut-off is located on left side of the home, unit or building.

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems beyond the sprinkler valves, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested are functional, but some do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

3.3. A hose bib at the left side leaks and should be serviced.



A hose bib at the left side leaks and should be serviced.

Plumbing Components (continued)

4. Gas Water Heater Comments

Observations:

4.1. Hot water is provided by a 40 gallon gas water heater that is located in the garage.

4.2. The water heater is functional and there were no leaks at the time of our inspection.

4.3. The water heater is about 11 years old.

4.4. The water heater is functional but beyond its warranty period.

4.5. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.

4.6. A re-circulating pump is presently installed that we do not evaluate. We recommend that the sellers verify that it is functional.

4.7. The gas control valve and its connector at the water heater is presumed to be functional.

4.8. The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.

4.9. The drain valve of the gas water heater is in place and presumed to be functional.

4.10. The water heater is not equipped with a drip pan or overflow pipe, which is a recommended upgrade, and which is designed to prevent or minimize water damage from a leak.

4.11. There are no combustion-air vents in an exterior water heater closet. These are essential to support complete combustion, and without them carbon monoxide could be produced. However, because the cabinet or closet is located outside, this should not pose a serious threat to the residence. Regardless, this condition should be corrected.

4.12. There may not be adequate combustion air vents to support proper combustion. We recommend that a licensed plumbing contractor evaluate and make any required corrections.

4.13. The water heater is seismically secured.

4.14. The vent pipe is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away.

4.15. The discharge pipe appears to be plumbed incorrectly to discharge into the sub area which is improper and should be plumbed to discharge at the exterior and terminate at a point no more than twenty-four inches above grade and no less than six inches to it.

Plumbing Components (continued)



The vent pipe is not properly connected. It is required to have a minimum of 3 fasteners where the pipe connects to the draft hood or other single wall vent pipes.



The vent pipe is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away.

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or ABS.

5.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roter service, most of which are relatively inexpensive.

5.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

Electrical Service Panels

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. A photovoltaic solar system has been installed that we do not have the expertise to evaluate. We recommend the sellers provide information regarding its installation, operation and maintenance history, otherwise you may want to have it evaluated by a licensed specialist

1.3. The solar panels need to be cleaned.

1.4. The residence is served by a 100 amp main electrical panel, located at the right side of the home or unit.

1.5. The exterior cover for the main electrical panel is in acceptable condition.

1.6. The interior cover for the main electrical panel is in acceptable condition.

1.7. The main panel and its components have no visible deficiencies.

1.8. The main conductor lines are underground, or contained in what is described as a lateral service entrance. This is characteristic of a modern electrical service but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of service.

1.9. The wiring in the main electrical panel has no visible deficiencies.

1.10. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.11. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.12. The panel is grounded to a water pipe.

Electrical Service Panels (continued)



6 panels on upper rear roof



6 panels on lower front roof



17 panels on lower rear roof



5 panels on upper front roof

Electrical Service Panels (continued)

2. Sub Panel Observations

Observations:

2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

2.2. The sub panel is located at the right exterior side of the home.

2.3. The electrical sub panel has no visible deficiencies.

2.4. The exterior cover for the electrical sub panel is in acceptable condition.

2.5. The interior panel cover is missing one or more of its fasteners or screws and should be serviced.

2.6. There are no visible deficiencies with the electrical wiring in the sub panel.

2.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

2.8. The circuit breakers have no visible deficiencies.

2.9. The grounding system in the sub panel is correct.

3. Sub Panel #2 Observations

Observations:

3.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

3.2. The sub panel is located under the pizza oven on the exterior.

3.3. Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

3.4. The exterior cover for the electrical sub panel is in acceptable condition.

3.5. The interior cover for the electrical sub panel is in acceptable condition.

3.6. There are no visible deficiencies with the electrical wiring in the sub panel.

3.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

3.8. The circuit breakers have no visible deficiencies.

3.9. The grounding system in the sub panel is correct.

Electrical Service Panels (continued)



Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

4. Sub Panel #3 Observations

Observations:

- 4.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.
- 4.2. The sub panel is located downstairs.
- 4.3. The electrical sub panel has no visible deficiencies.
- 4.4. The exterior cover for the electrical sub panel is in acceptable condition.
- 4.5. The interior cover for the electrical sub panel is in acceptable condition.
- 4.6. There are no visible deficiencies with the electrical wiring in the sub panel.
- 4.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.
- 4.8. The circuit breakers have no visible deficiencies.
- 4.9. The grounding system in the sub panel is correct.

Interior Space

1. Main Entry

Observations:

1.1. The front door is functional.

1.2. It would be prudent to add a door stop at the door to protect the wall that it opens into.

1.3. The lights are functional.

2. Living Room

Observations:

2.1. The living room is located adjacent to the main entry.

2.2. We have evaluated the living room, and found it to be in acceptable condition.

2.3. The lights are functional.

3. Dining Room

Observations:

3.1. The dining room is located adjacent to the kitchen.

3.2. The lights are functional.

3.3. One or more of the window screens are missing, which you may wish to have replaced.

3.4. A window is stuck or painted shut, and should be serviced.

3.5. A window will need service to work well such as sanding, shaving, trimming, or servicing the hardware.

3.6. Single or double hung windows do not open smoothly, which could indicate the "balancer" bar needs to be adjusted. We recommend a licensed professional evaluate and service this issue.

For more information regarding this issue click on this web link:

https://www.youtube.com/watch?v=hB_wGFn55ig

3.7. The smoke detector responded to the test button, but should be checked periodically.

3.8. One or more of the single-hung windows will need to be serviced to function properly. Single-hung windows are typically designed so that the lower panel opens. The hardware needs to be serviced as the window will not properly stay in place when opened.

Interior Space (continued)



One or more of the single-hung windows will need to be serviced to function properly. Single-hung windows are typically designed so that the lower panel opens. The hardware needs to be serviced as the window will not properly stay in place when opened.

Single or double hung windows do not open smoothly, which could indicate the "balancer" bar needs to be adjusted. We recommend a licensed professional evaluate and service this issue.

For more information regarding this issue click on this web link:

https://www.youtube.com/watch?v=hB_wGFn55ig

4. Family Room

Observations:

4.1. The Family room is located at the bottom of the stairs.

4.2. The Family room appears to have been remodeled or part of an addition. If so, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

4.3. The lights are functional.

4.4. The smoke detector responded to the test button, but should be checked periodically.

4.5. The bar sink is functional.

4.6. The bar sink does not appear to have been part of the original construction, and you should verify this with the sellers or through researching the permits.

4.7. The bar sink does not have a standard drain trap, and should be evaluated by a plumber.

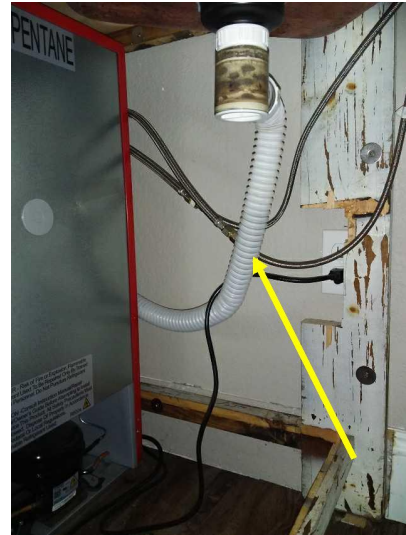
4.8. The sink employs an unconventional flexible drainpipe that could contribute to blockages.

4.9. The outlets are functional, but should be upgraded to have ground-fault protection.

Interior Space (continued)



The outlets are functional, but should be upgraded to have ground-fault protection.



The bar sink does not have a standard drain trap, and should be evaluated by a plumber.

5. Main Hallway

Observations:

- 5.1. This hallway leads to the bedrooms.
- 5.2. We have evaluated the hallway, and found it to be in acceptable condition.
- 5.3. The smoke detector responded to the test button, but should be checked periodically.
- 5.4. The carbon monoxide detector is functional, but should be checked periodically.
- 5.5. The lights are functional.

6. Upstairs Hallway

Observations:

- 6.1. This hallway leads to the Master Bedroom.
- 6.2. We have evaluated the hallway, and found it to be in acceptable condition.
- 6.3. The smoke detector responded to the test button, but should be checked periodically.
- 6.4. The lights are functional.

Interior Space (continued)

7. Stairs

Observations:

7.1. We have evaluated the stairs and landing, and found them to be in acceptable condition.

7.2. The Guardrail at the top of the stairs is not the recommended 42 inches high when the standing surface is more than 30 inches below.

7.3. The handrail does not return which is required at the top and bottom of the stairs which is required by current building standards. This condition could allow a purse or clothing to initiate a fall.

7.4. The treads or risers are unequal in depth or height, and could prove to be a trip hazard. The rise should not be less than 4 inches, nor greater than 7 3/4 inches, and the treads should not be less than 11 inches. In addition, the dimensions of the treads and the risers should not exceed 3/8 of an inch of the smallest on the entire run of the stairs.

7.5. The smoke detector at the landing area of the stairs responded to the test button, but should be checked periodically.

7.6. The lights are functional.

7.7. A ceiling light bulb does not respond, and should be serviced.



The treads or risers are unequal in depth or height, and could prove to be a trip hazard. The rise should not be less than 4 inches, nor greater than 7 3/4 inches, and the treads should not be less than 11 inches. In addition, the dimensions of the treads and the risers should not exceed 3/8 of an inch of the smallest on the entire run of the stairs.

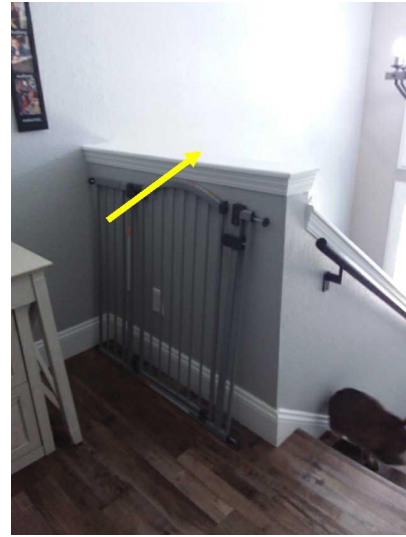


The handrail does not return which is required at the top and bottom of the stairs which is required by current building standards. This condition could allow a purse or clothing to initiate a fall.

Interior Space (continued)



A ceiling light bulb does not respond, and should be serviced.



The Guardrail at the top of the stairs is not the recommended 42 inches high when the standing surface is more than 30 inches below.

Bedrooms

1. Master Bedroom Observations

Observations:

- 1.1. This bedroom is located up the stairs to the left.
- 1.2. The closet door rubs and needs to be serviced to open and close smoothly.
- 1.3. One or more window screens are damaged, which you may wish to have repaired.
- 1.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the end of the main hallway.
- 2.2. The closet doors do not roll smoothly and should be serviced.
- 2.3. A ceiling fan is functional but noisy and you may wish to have it evaluated.
- 2.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

Bedrooms (continued)



The closet doors do not roll smoothly and should be serviced.

3. Bedroom 3

Observations:

3.1. This bedroom is located at the 1st bedroom door on the left going down the hallway.

3.2. Closet doors are missing and you may wish to have it installed.

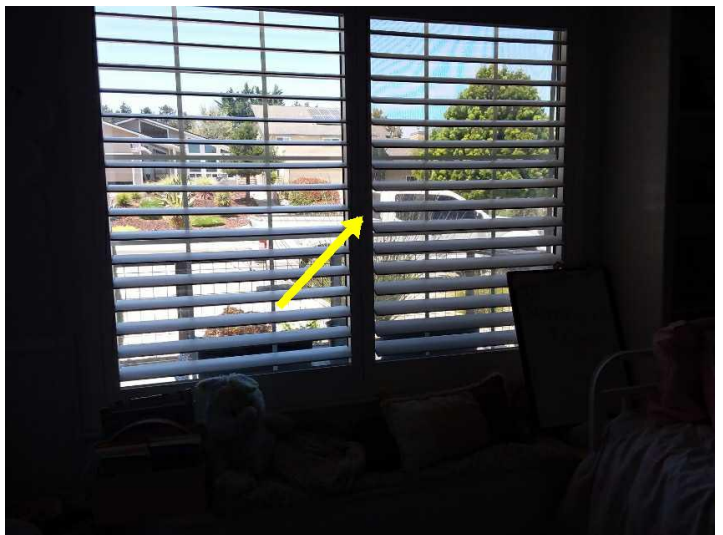
3.3. A ceiling fan is functional but noisy and you may wish to have it evaluated.

3.4. There is no smoke alarm, and although one may not be mandated it is strongly recommended.

3.5. A lock on the window is missing or does not engage and should be serviced.



Closet doors are missing and you may wish to have it installed.



A lock on the window is missing or does not engage and should be serviced.

Bedrooms (continued)

4. Bedroom 4

Observations:

4.1. This bedroom is located adjacent to the family room.

4.2. We have evaluated the bedroom components, and found it to be in acceptable condition.

4.3. The smoke alarm responded to the test button, but should be checked and tested periodically.

4.4. The bedroom appears to be either an addition, or a part of one, and we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

3. Countertop

Observations:

3.1. The counter top is functional.

4. Electrical Components

Observations:

4.1. The lights are functional.

4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

Kitchen (continued)

5. Microwave Oven

Observations:

5.1. The built-in microwave is functional but we did not test it for leakage, which would require a specialized instrument.

6. Sink and Faucet

Observations:

6.1. The sink is functional.

6.2. The sink faucet is functional.

6.3. The valves and connector below the sink are functional.

6.4. The trap and drain are functional.

7. Garbage Disposal Comments

Observations:

7.1. The garbage disposal is functional.

8. Dishwasher Comments

Observations:

8.1. The dishwasher is functional.

9. Exhaust Fan

Observations:

9.1. The exhaust fan or downdraft is functional.

9.2. The range hood exhaust-fan is closer than the recommended 24 inches and should be used with caution.



The range hood exhaust-fan is closer than the recommended 24 inches and should be used with caution.

Kitchen (continued)

10. Gas Range & Cook Top

Observations:

10.1. The gas range is functional, but was neither calibrated nor tested for its performance.

10.2. The gas cook top is functional.

10.3. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

1. Master Bathroom Observations

Observations:

- 1.1. This bathroom is a three-quarter and is located adjacent to the master bedroom.
- 1.2. The cabinets are in acceptable condition.
- 1.3. The sink countertop is functional.
- 1.4. The bathroom sinks are functional.
- 1.5. The mechanical sink stoppers will need to be adjusted to engage.
- 1.6. The trap and drain are functional.
- 1.7. The outlets are ground-fault protected and controlled from a GFCI outlet/breaker in the hallway bathroom.
- 1.8. The lights are functional.
- 1.9. The exhaust fan is functional.
- 1.10. The toilet is functional.
- 1.11. The toilet is identified as being a low-flush type. 1.6gpf
- 1.12. The stall shower is functional.
- 1.13. We do not pressure test shower pans, which can be performed by a licensed plumber or leak detection company. Some termite/pest control operators do this test on a single-story home, but you should inquire them to verify this.
- 1.14. The walls have cosmetic damage that is commensurate with time and use, which you should view for yourself.
- 1.15. The door handle does not include a privacy lock, which you may wish to have installed.
- 1.16. The toilet is loose, and should be secured.

Bathrooms (continued)

2. Hallway Bathroom

Observations:

2.1. The hallway bathroom is a three-quarter and is located adjacent to the hallway.

2.2. The cabinets are in acceptable condition.

2.3. The sink countertop is functional.

2.4. The sink is functional.

2.5. The mechanical sink stopper will need to be adjusted to engage.

2.6. The trap and drain are functional.

2.7. The outlets are functional and include ground-fault protection.

2.8. The lights are functional.

2.9. The exhaust fan is functional.

2.10. The toilet is functional.

2.11. The toilet is identified as being a low-flush type. 1.6gpf

2.12. The flapper valve in the toilet tank sticks, which causes the toilet to free-flow, or cycle fill and should be serviced.

2.13. The shower is functional and the showerhead is 2.5 gpm.

2.14. We do not pressure test shower pans, which can be performed by a licensed plumber or leak detection company. Some termite/pest control operators do this test on a single-story home, but you should inquire them to verify this.

2.15. The toilet is loose, and should be secured.

Bathrooms (continued)

3. 1st Guest Bathroom

Observations:

- 3.1. This bathroom is a three-quarter and is located adjacent to the family room.
- 3.2. The sink countertop is functional.
- 3.3. The sink is functional.
- 3.4. The sink faucet and its components are functional.
- 3.5. The trap and drain are functional.
- 3.6. The outlets are functional and include ground-fault protection.
- 3.7. The lights are functional.
- 3.8. The exhaust fan is functional.
- 3.9. The toilet is functional.
- 3.10. The toilet is identified as being a low-flush type. 1.28gpf
- 3.11. The stall shower is functional.
- 3.12. We do not pressure test shower pans, which can be performed by a licensed plumber or leak detection company. Some termite/pest control operators do this test on a single-story home, but you should inquire them to verify this.

Laundry

1. Laundry Room

Observations:

- 1.1. The laundry room is located adjacent to the garage.
- 1.2. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 1.3. There is no provision installed to vent the dryer to the exterior which is required and should be installed.
- 1.4. The gas line for the dryer is capped and would require a standard three-quarter inch shut-off valve
- 1.5. The outlets that were tested are functional.
- 1.6. A 220 volt receptacle for the dryer is not in use and was not tested.
- 1.7. The lights are functional.
- 1.8. The cabinets are functional, and do not have any significant damage.

2. Laundry Area

Observations:

- 2.1. The laundry area is located within the family room.
- 2.2. Most if not all of the components behind the washer/ dryer were obstructed from view and were not inspected.
- 2.3. The water supply to washing machines is commonly left on, and over time, the rubber hoses that are commonly used to supply water can become stressed and burst. For this reason we recommend replacing all rubber supply hoses with metal-braided ones that are coupled with emergency water shut off devices for better protection.
- 2.4. The gas line and its components were obstructed from view and was not inspected.
- 2.5. The lights are functional.
- 2.6. There is no exhaust fan or openable window, which is required by current standards and should be evaluated and serviced as needed for optimal safety.

Heating & Air conditioning

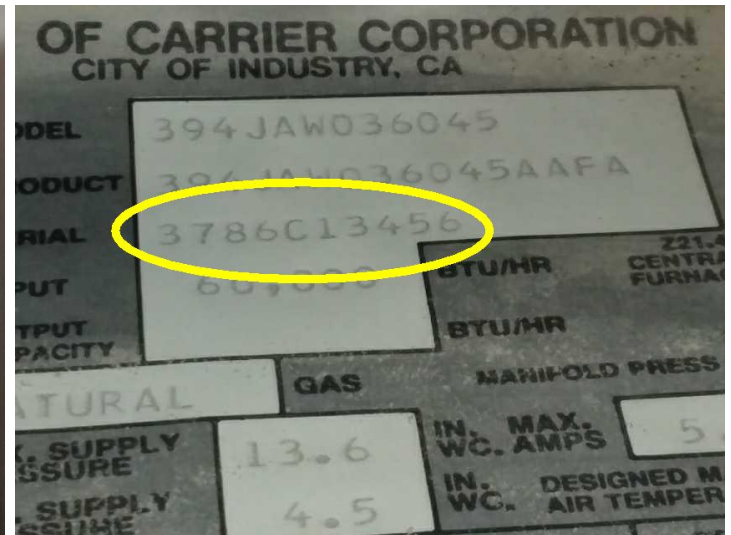
1. Forced Air Furnace

Observations:

- 1.1. Central heat is provided by a forced-air furnace that is located in the garage.
- 1.2. The double-walled vent pipe should be one inch away from combustibile materials, or it could create pyrophoric conditions and a fire-hazard, and should be serviced by an HVAC contractor.
- 1.3. The vent pipe transition spacer is missing as it enters the attic area, which is important as it separates the vent pipe from combustibile material.
- 1.4. The gas valve and connector are in acceptable condition.
- 1.5. The combustion-air vents for the gas furnace are functional.
- 1.6. There is no air filter within the heating system, which should be installed.
- 1.7. The circulating fan is clean and functional.
- 1.8. The thermostat is functional.
- 1.9. Significant portions of the supply ducts are concealed and cannot be viewed.
- 1.10. The registers are reasonably clean and functional.



Central heat is provided by a forced-air furnace that is located in the garage.



Serial number 3786C13456 - manufactured 1986

2. Wall Furnace

Observations:

- 2.1. The building is served by one or more electric wall furnaces.
- 2.2. The wall furnace is functional.
- 2.3. The thermostat is functional.

Heating & Air conditioning (continued)

3. Window Units

Observations:

3.1. Our service does not include an evaluation of thru-wall or thru-window air-conditioning units. The older ones are typically noisy and inefficient and, relative to the more modern ones, are expensive to operate.

Attics

1. Attic

Observations:

1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

1.2. The attic can be accessed through a hatch located in the hallway ceiling.

1.3. We evaluated the attic by direct access.

1.4. We were unable to access the entire attic due to conditions of clearance and obstructions. We were able to access approximately 80% of the attic.

1.5. There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.

1.6. The electrical components that are fully visible appear to be in acceptable condition.

1.7. The visible roof framing consists of a factory - built truss system that is in acceptable condition. It is comprised of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

1.8. Ventilation is limited, and could be improved. Therefore, we recommend that you have a second opinion from a licensed contractor.

1.9. The vent pipe of the gas appliance is too close or in contact with the combustibles and should be serviced. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled type should be one inch away.

Attics (continued)



The vent pipe of the gas appliance is too close or in contact with the combustibles and should be serviced. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled type should be one inch away.



There are moisture stains on the attic ceiling at a roof penetration that indicate a past or present leak. This is a common area for leaks. We are unable to determine if the leak is current, or a past leak, in any case it should be further investigated or explained.

Garages

1. Double-Car Garage

Observations:

- 1.1. The side door is functional.
- 1.2. The garage side door is functional but not fully weather sealed due to a pet door that has been installed that we do not evaluate.
- 1.3. The deadbolt does not engage smoothly and should be serviced.
- 1.4. It would be prudent to add a door stop at the doors to protect the walls that they open into.
- 1.5. The slab floor is in acceptable condition. Small cracks are common and result as a consequence of the curing process, seismic activity, common settling, or the presence of expansive soils, but are not structurally threatening. Also, you may notice some salt crystal formations that are activated by moisture penetrating the slab.
- 1.6. The garage is too full to permit a clear view of the entire slab and other components of the garage.
- 1.7. There are no ventilation ports to vent exhaust fumes. Therefore, vehicle engines should not be left running with the garage door closed or carbon monoxide poisoning could result.
- 1.8. The firewall separating the garage from the residence is functional.
- 1.9. The garage walls are too full or covered to provide a clear view of them and other components of the garage.
- 1.10. There is a moisture stain on the garage ceiling, the cause of which should be explained or explored further. However, we were not able to confirm that it is being caused by an active leak.
- 1.11. The storage space may have been added without the benefit of a permit, which could stress the roof framing. You may wish to verify this with the sellers. Regardless, you should limit the storage to lightweight items.
- 1.12. There has been a drywall/plaster repair that should be explained by the seller.
- 1.13. A ceiling light does not respond, and should be serviced.
- 1.14. A light is missing its globe or cover and should be serviced.
- 1.15. The smoke alarm responded to the test button, but should be checked and tested periodically.
- 1.16. The garage door and its hardware are functional.
- 1.17. The garage door opener is functional.
- 1.18. Screens are missing which you may want to have installed.

Garages (continued)

1.19. The fire rating of the house entry door has been nullified by the addition of a foot operated door stop.

1.20. A pet door has been added that violates the firewall and the door should be replaced.

1.21. The voids in the garage firewall under stairs must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.

1.22. There is evidence of moisture intrusion that you may wish to have further evaluated. It appears to be the result of the above balcony.

1.23. The outlets that were tested are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

1.24. The pressure settings on the garage door opener are not sensitive enough, which is designed to cause it to reopen the door if an obstruction is present, and should be adjusted.



A pet door has been added that violates the firewall and the door should be replaced.



The fire rating of the house entry door has been nullified by the addition of a foot operated door stop.

Garages (continued)



The garage is too full to permit a clear view of the entire slab and other components of the garage.



The storage space may have been added without the benefit of a permit, which could stress the roof framing. You may wish to verify this with the sellers. Regardless, you should limit the storage to lightweight items.



There is a moisture stain on the garage ceiling, the cause of which should be explained or explored further. However, we were not able to confirm that it is being caused by an active leak.



There is evidence of moisture intrusion that you may wish to have further evaluated. It appears to be the result of the above balcony.

Garages (continued)



A ceiling light does not respond, and should be serviced.



The voids in the garage firewall under stairs must be repaired, in order to maintain the necessary firewall separation between the garage and the residence.