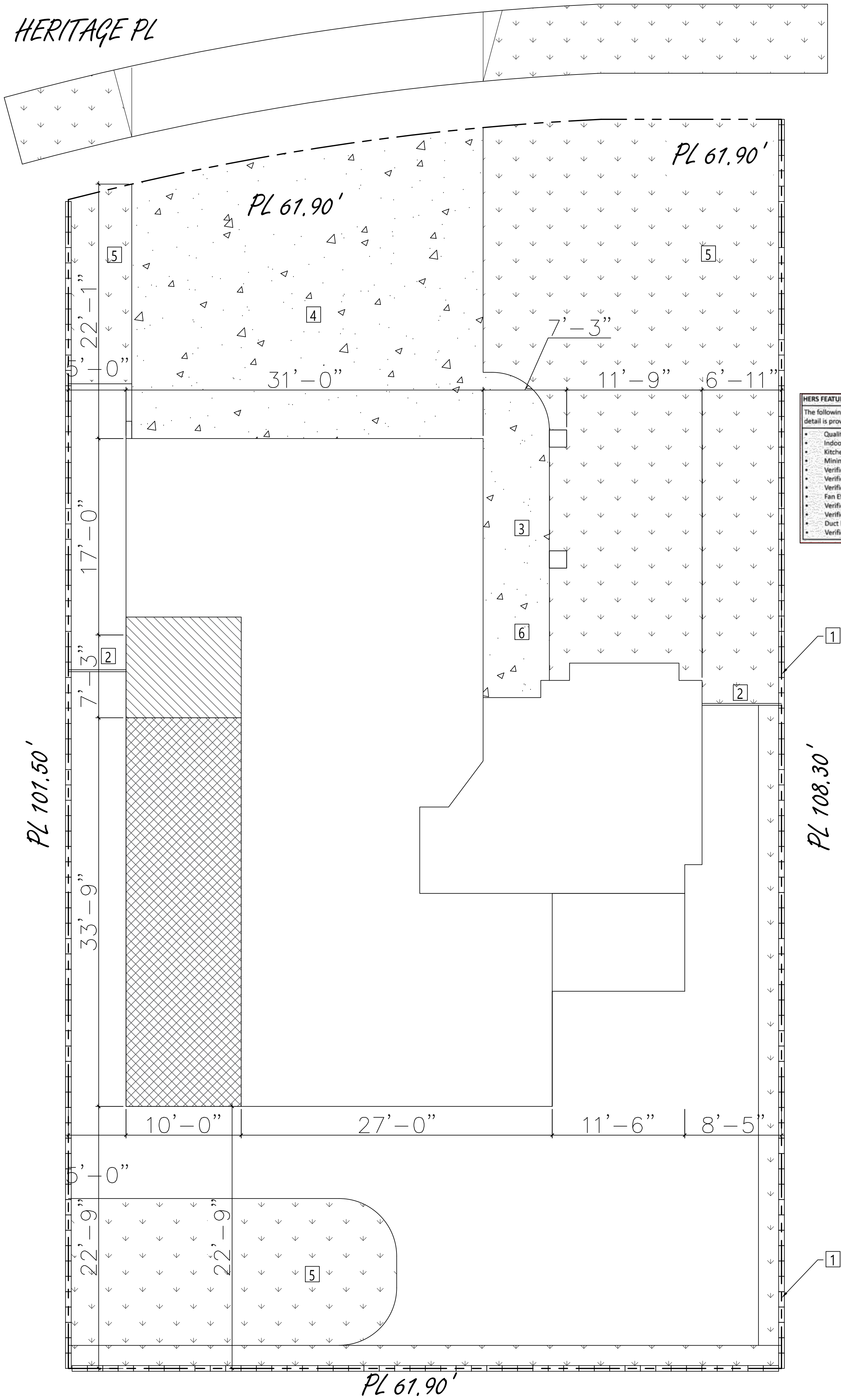




SCOPE OF WORK
HOUSE ADDITION OF TOTAL 772 SQ.FT. AND REMODEL TO CREATE
NEW BED ROOM KITCHEN AND FAMILY RM ON FIRST FLOOR AND
RESIZE THE 2 CAR GARAGE AND FOR SECOND FLOOR
CREATE 4 NEW BED RM AND 3 BATH

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry	
• Quality insulation installation (QII)	
• Indoor air quality ventilation	
• Kitchen range hood	
• Minimum Airflow	
• Verified EER/EEER2	
• Verified SEER/SEER2	
• Verified Refrigerant Charge	
• Fan Efficacy Watts/CFM	
• Verified HSPF	
• Verified heat pump rated heating capacity	
• Duct leakage testing	
• Verified Duct Design	

LEGEND

- PROPERTY LINE
- EXISTING AREA
- NEW WALL
- PROPOSED 1ST FLOOR
- PROPOSED 2ND FLOOR
- PROPOSED 1ST AND 2ND FLOOR
- CONDENSER UNIT SIZE 44"x19"
BRYANT MODEL 124ANS048

SITE PLAN KEYNOTE

- 1 EXISTING 6' HIGH BLOCK WALL TO BE REMAIN
- 2 EXISTING W.I. GATE TO BE REMOVED
- 3 EXISTING WALK WAY
- 4 EXISTING DRIVE WAY
- 5 EXISTING LANDSCAPE
- 6 PORCH

PROPOSED SITE PLAN
3/16"=1'-0"



PROJECT DATA:

12804 HERITAGE PL CERRITOS CA 90703
ASSESSOR ID 7030-010-039
TRACT TRACT NO 42894
LOT 29
OWNER: RAE KOO
CONTACT PERSON: RALPH POON
PHONE: 626 512-5648
PROPOSED BUILDING HEIGHT: ±27'-7"

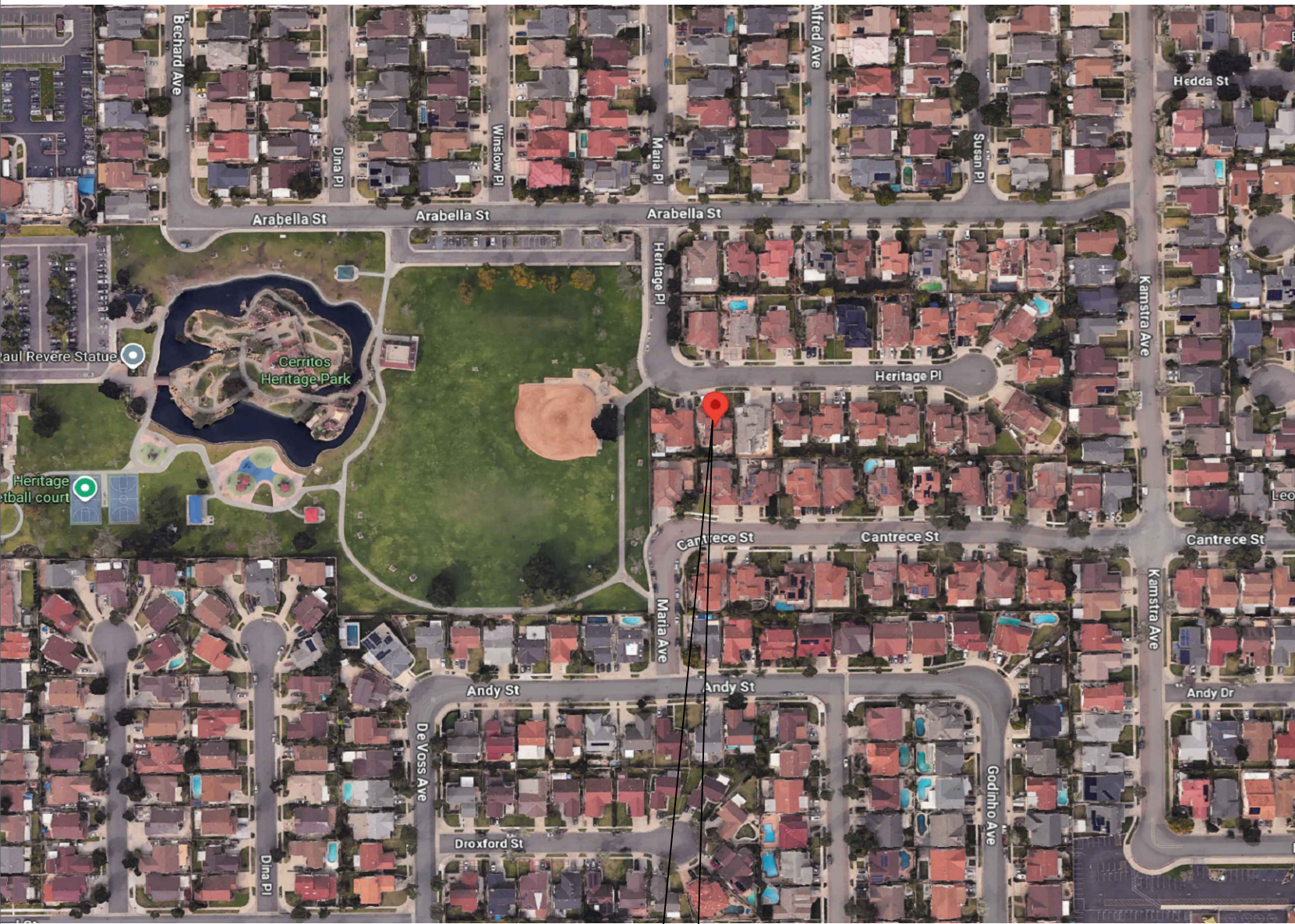
CONSTRUCTION TYPE: VB
OCCUPANCY: R-3/U
BUILDING CODE: 2025 CALIFORNIA BUILDING CODE (CBC)
2025 CALIFORNIA RESIDENTIAL BUILDING CODE (CRC)
2025 CALIFORNIA MECHANICAL CODE (CMC)
2025 CALIFORNIA PLUMBING CODE (CPC)
2025 CALIFORNIA ELECTRICAL CODE (CEC)
2025 CALIFORNIA FIRE CODE (CFC)
2025 CALIFORNIA ENERGY CODE
2025 CALIFORNIA GREEN BUILDING STANDARDS CODE
2025 CALIFORNIA ENERGY EFFICIENCY STANDARD CODE
LA COUNTY AND CITY OF CERRITOS AMENDMENTS
NUMBER OF STORIES : 2
FIRE SPRINKLER: NO

STATISTICS		
Zoning	RS-6500	
Property Area		6,615 sq.ft.
Existing		
First floor		1,295 sq. ft.
Second floor		1,078 sq. ft.
Garage (3 -car)		684 sq. ft.
Total		3,057 sq. ft.
Proposed		
First-floor addition		342 sq. ft.
Second-floor addition		430 sq. ft.
Garage (3 -car) addition		0 sq. ft.
Total		772 sq. ft.
Resulting Project		
First floor		1,637 sq. ft.
Second floor		1,508 sq. ft.
Garage (3 -car)		684 sq. ft.
Total Floor Area (with garage)		3,829 sq. ft.
Total Floor Area (without garage)		3,145 sq. ft.
Overhangs Over 30"		143 sq. ft.
Building Coverage (First Floor + Garage + Overhangs) ÷ Property Area x 100 (RS-5000: 45% max. allowed; RS-6500: 40% max. allowed)		36%
Floor Area Ratio Total Floor Area with Garage + Property Area (0.70 maximum allowed)		0.67
Rear Yard Open Space (20% minimum required)		1521 sq. ft. (23% of property area)
Front Yard Area		
Existing Front Yard Area		2,050 sq. ft.
Existing Front Yard Landscaping		1,247 sq. ft.
Proposed landscaping		2,050 sq. ft.
(40% minimum required)		(60%) of proposed front yard area

SHEET INDEX

- A1 PROJECT DATA & PROPOSED SITE PLAN
A2 NEIGHBORHOOD PLAN, & ROOF PLAN
A3 PROPOSED 1ST FLOOR PLAN, AND 2ND FLOOR PLAN
A4 ELEVATION
A5 SECTION
A6 GREEN NOTE
A7 GREEN NOTE
D DETAIL
S1 FOUNDATION PLAN
S2 FRAMING PLAN
SD1 DETAIL
SD2 DETAIL
T-24-1 TITLE 24
T-24-2 TITLE 24
T-24-3 TITLE 24
T-24-4 TITLE 24

VICINITY MAP



PROJECT
LOCATION

REVISIONS

STAMP

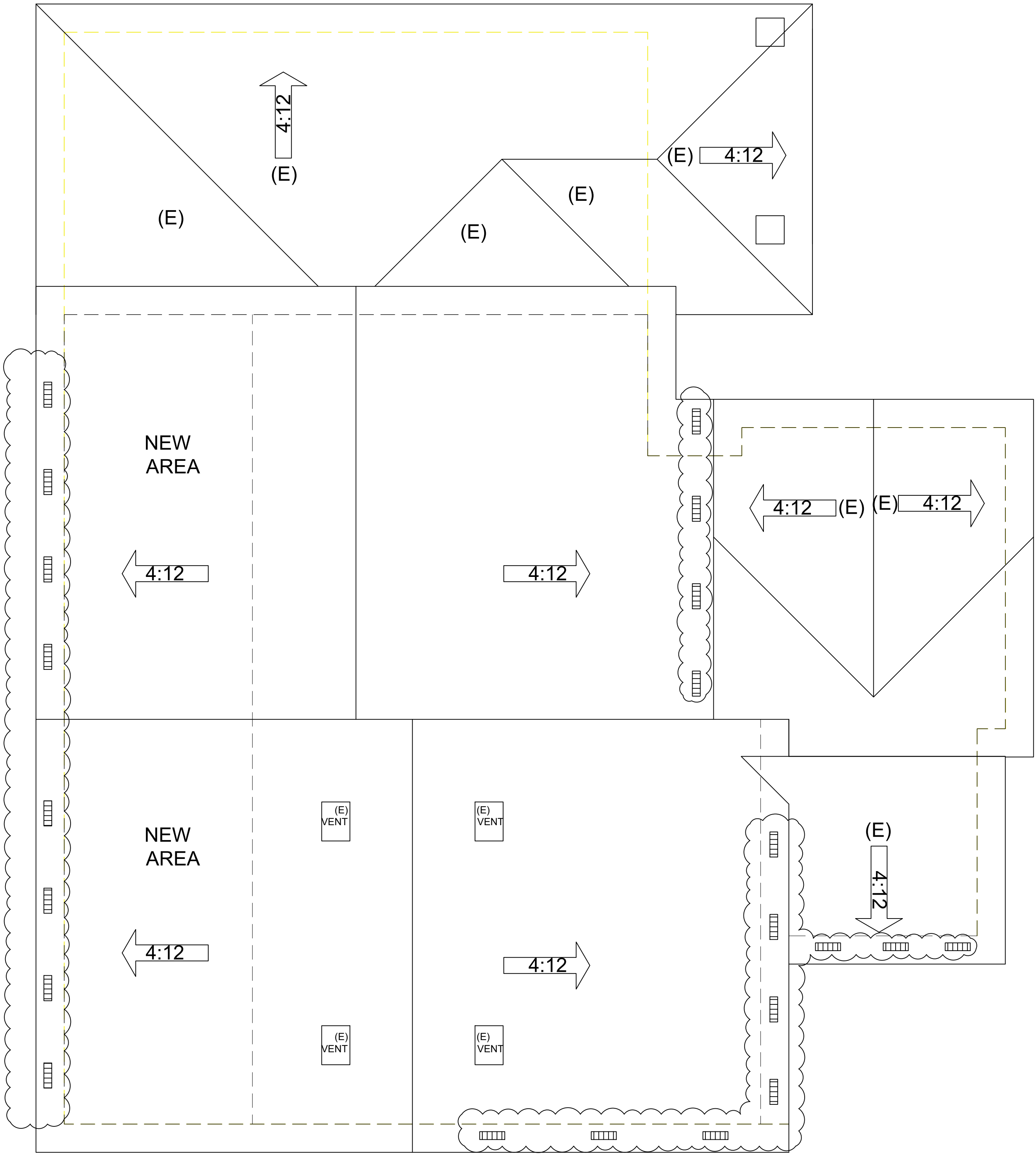
ANGEL IMAGE DESIGN
4316 WALNUT ST. SUITE #A
BALDWIN PARK, CA. 91706
TEL. 626-512-5648
EMAIL: RALPHPOON0611@GMAIL.COM

Project:
HOUSE ADDITION

Address:
12804 HERITAGE PL., CERRITOS, CA. 90703

JOB#: 2025004
Date: 04-11-2025
DRAW BY: RALPH POON

A1



PROPOSED ROOF PLAN
1/4"=1'-0"

EAGLE ROOF BEL AIR 4595 DARK CHARCOAL
(CRR# 0918-0100 I.C.C./UL ER 1900/ SRI-21)

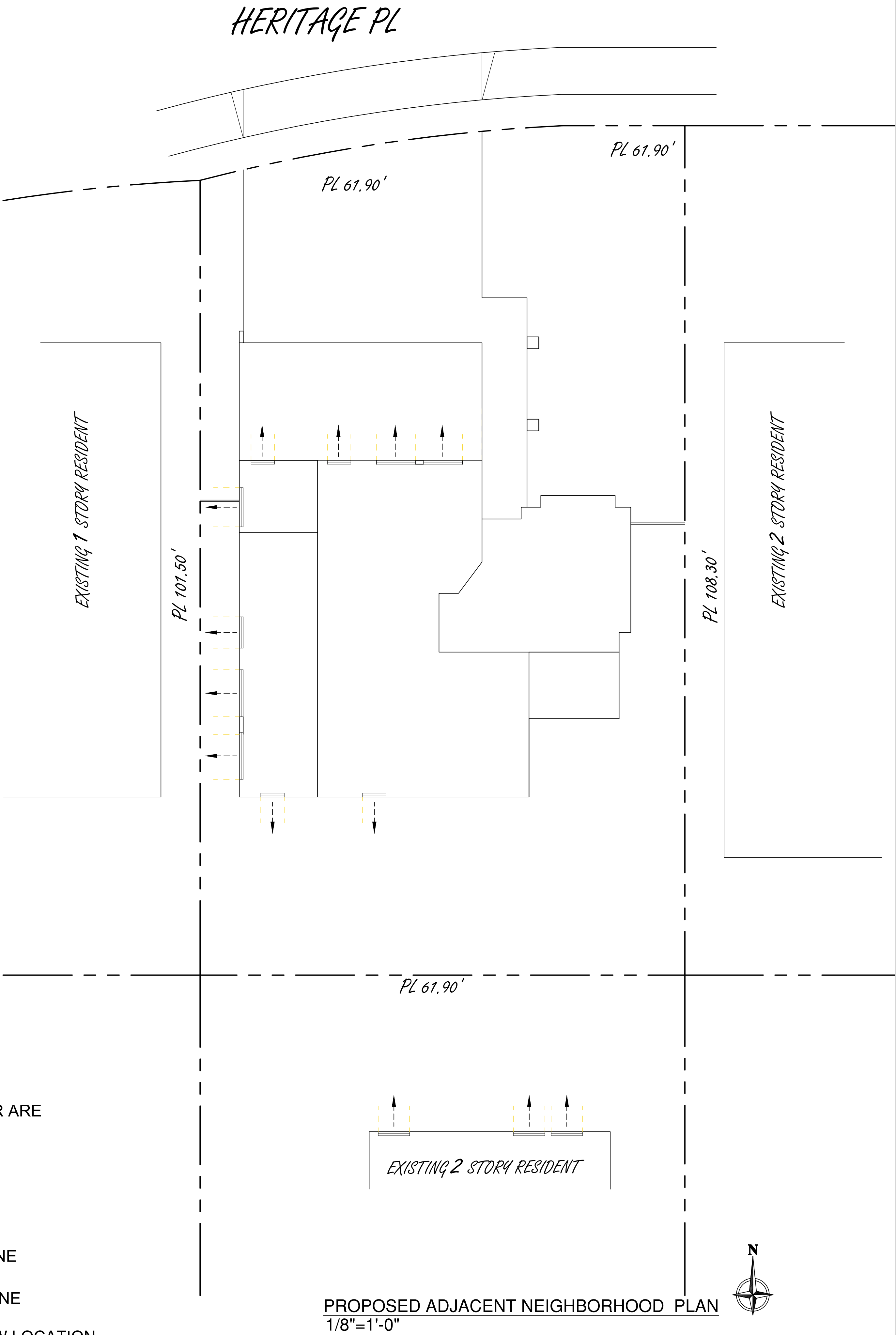
OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR
OTHER APPROVED MATERIAL WITH 1/16-IN. MINIMUM AND 1/4-IN.
MAXIMUM OPENING

ATTIC VENTILATION CALCULATION
ADDITION ATTIC VENT AREA REQUIRED: 430/150 = 2.86 S.F.
OHAGIN VENT MODEL NO. 50046-S
NET FREE AREA 97.5"=0.68 S.F.
TOTLA VENT 4.21/0.68 = 4.2
PROVIDE 5 PCS

ONLY WINDOWS ON SECOND FLOOR ARE
SHOWN

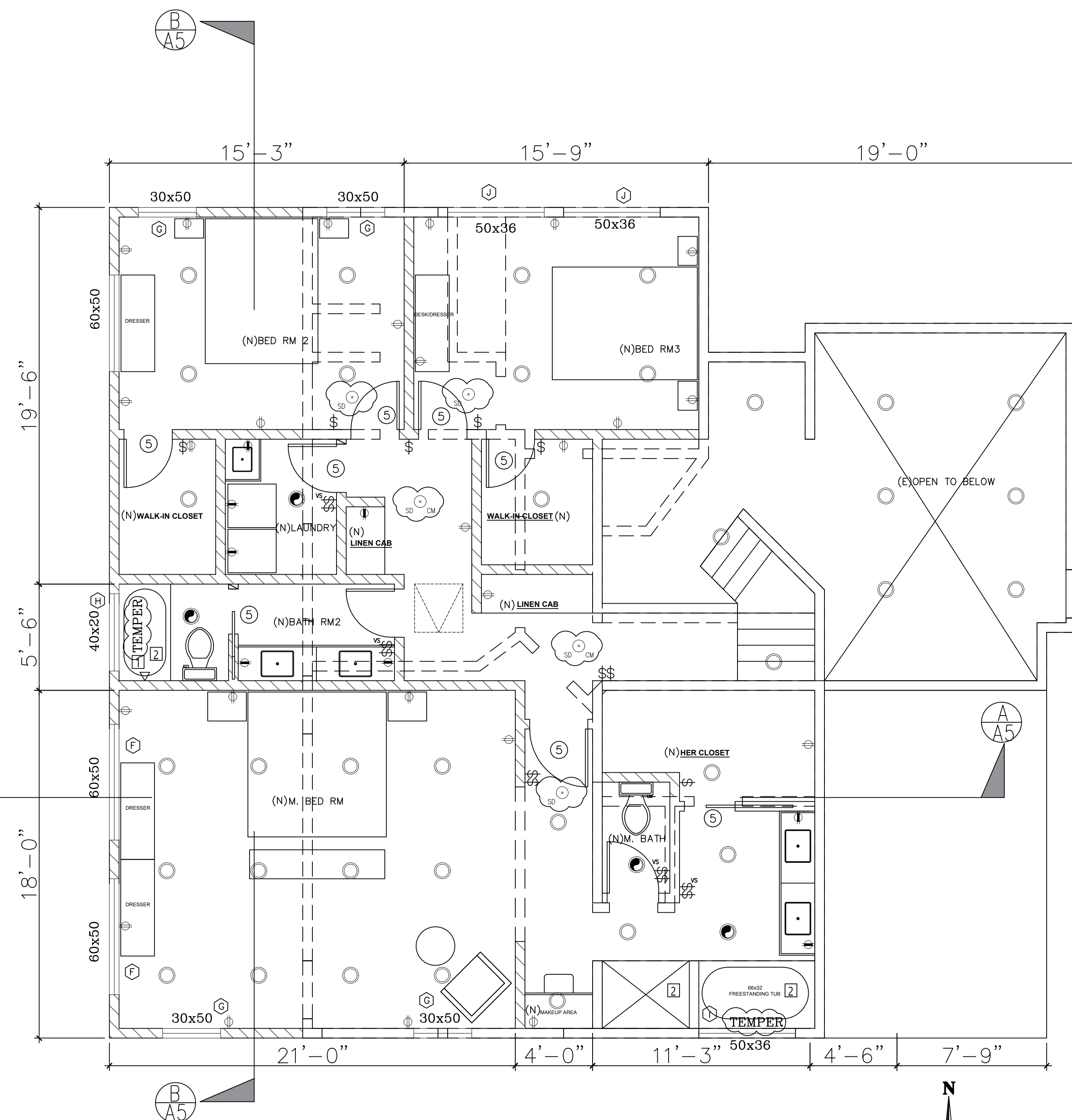
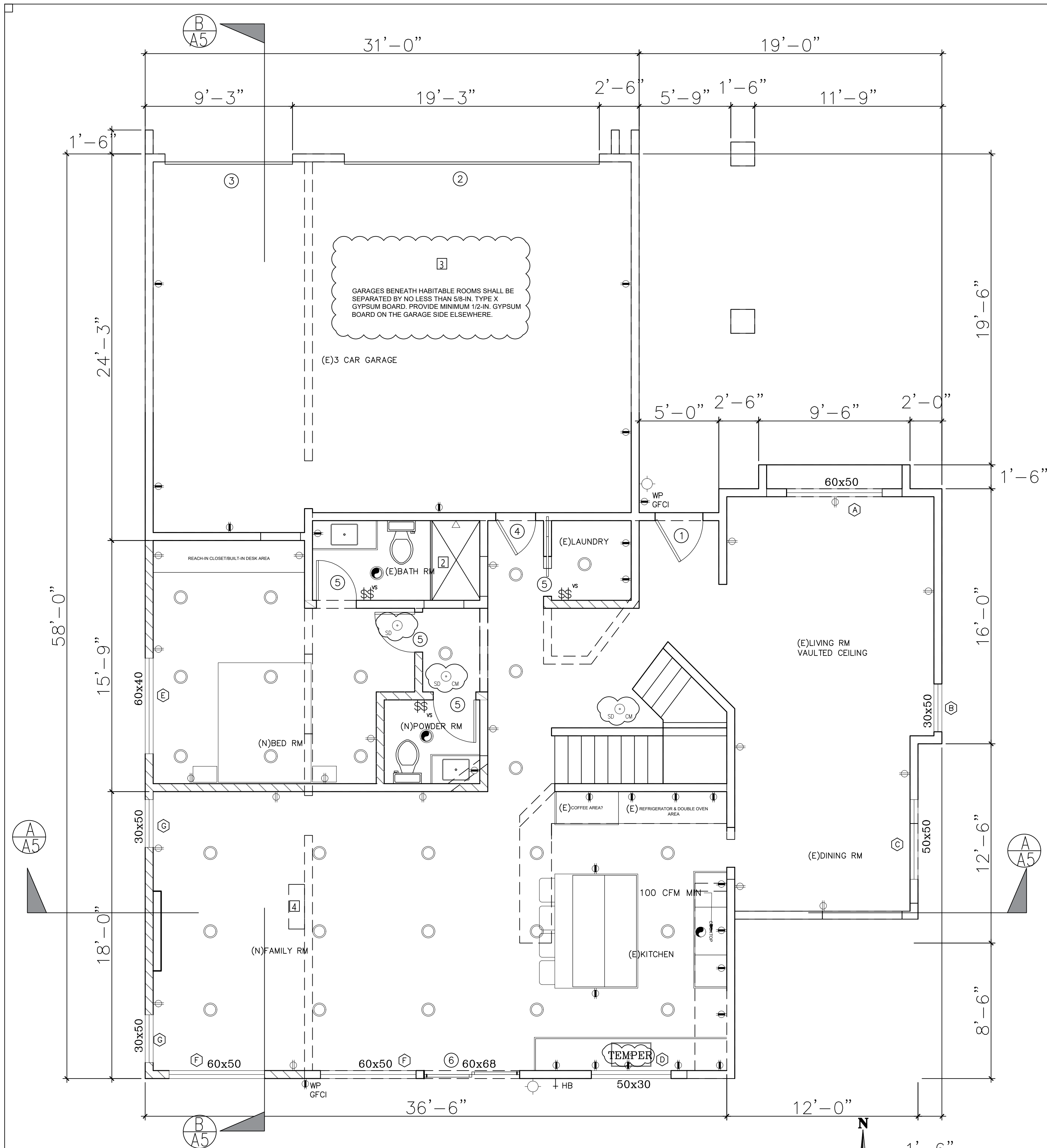
LEGEND

- PROPERTY LINE
- - - - - 1ST FLOOR WALL LINE
- _____ 2ND FLOOR WALL LINE
- ===== 2ND FLOOR WINDOW LOCATION
- × OBSCURE GLASS @ SECOND FLOOR WINDOWS
FIX TO 5'

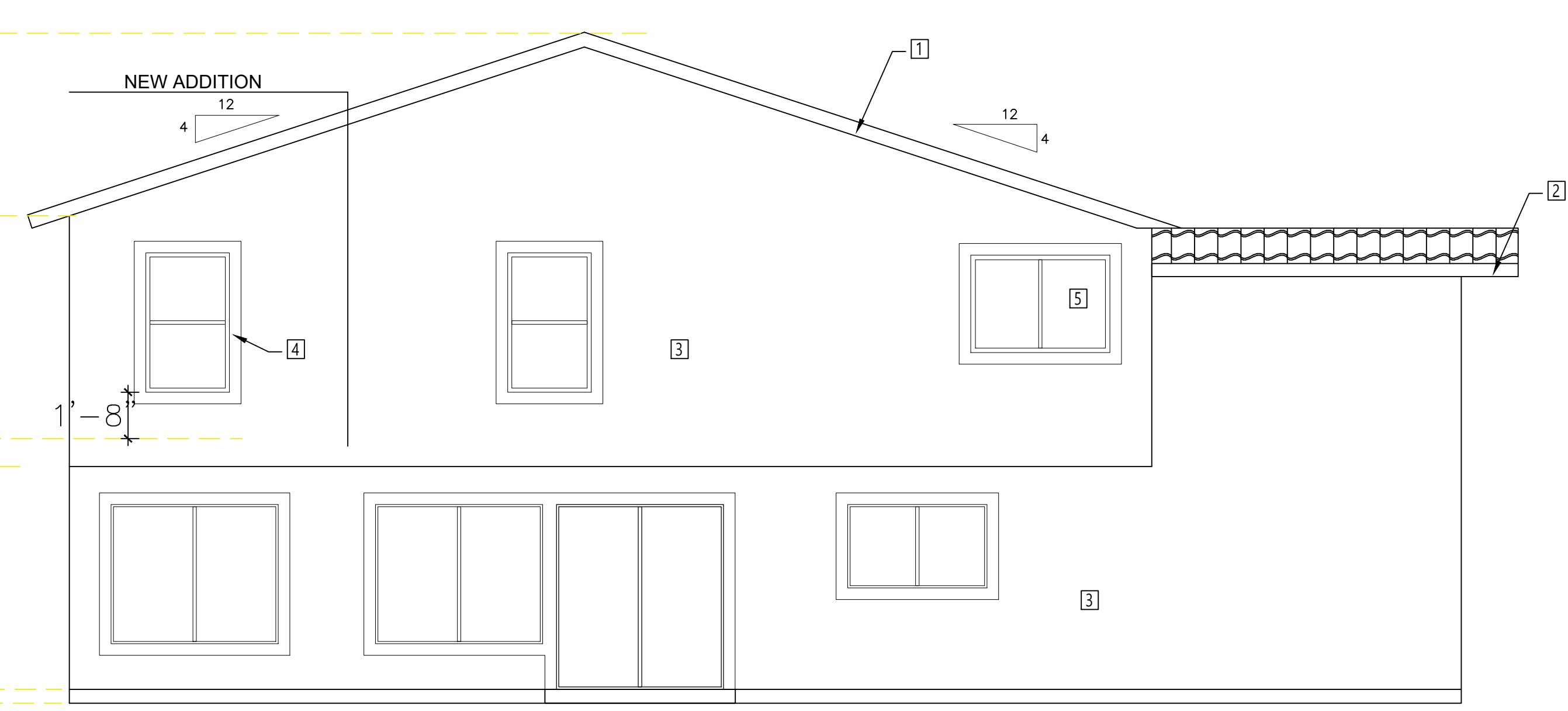


PROPOSED ADJACENT NEIGHBORHOOD PLAN
1/8"=1'-0"

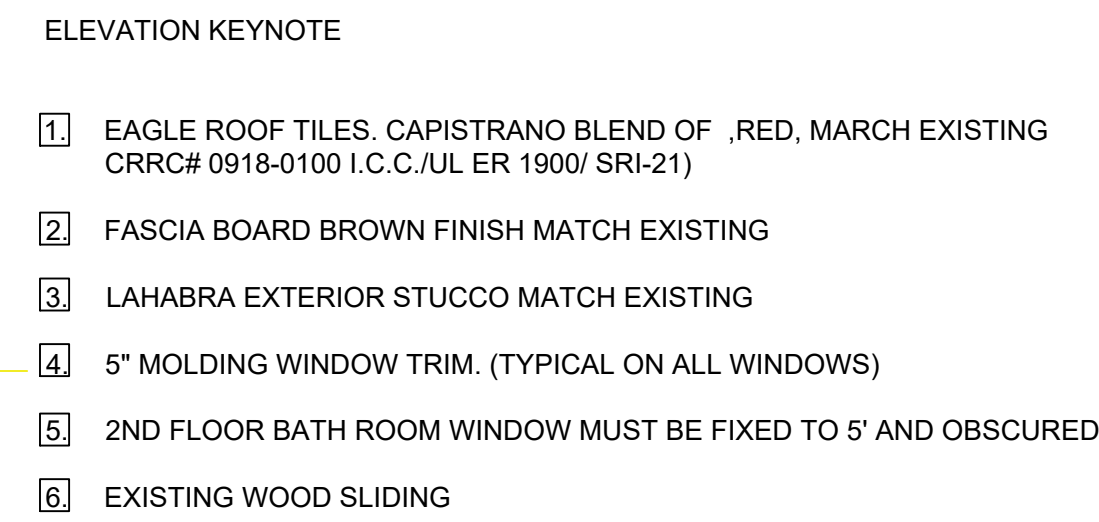
REVISIONS	
STAMP	
ANGEL IMAGE DESIGN 4316 WALNUT ST. SUITE #A BALDWIN PARK, CA. 91706 TEL. 626-512-5648 EMAIL: RALPHPOON0611@GMAIL.COM	
Project:	HOUSE ADDITION
JOB#:	2025004
Date:	04-11-2025
DRAW BY:	RALPH POON
Address:	12804 HERITAGE PL., CERRITOS, CA. 90703
A2	



A3		RAW BY: RALPH POON		Date: 04-11-2025	JOB#: 2025004	Address: 12804 HERITAGE PL., CERRITOS, CA. 90703		Project: HOUSE ADDITION		ANGEL IMAGE DESIGN 4316 WALNUT ST. SUITE #A BALDWIN PARK, CA. 91706 TEL. 626-512-5648 EMAIL: RALPHPOON0611@GMAIL.COM		STAMP		REVISIONS	
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SOUTH ELEVATION
1/4"=1'-0"

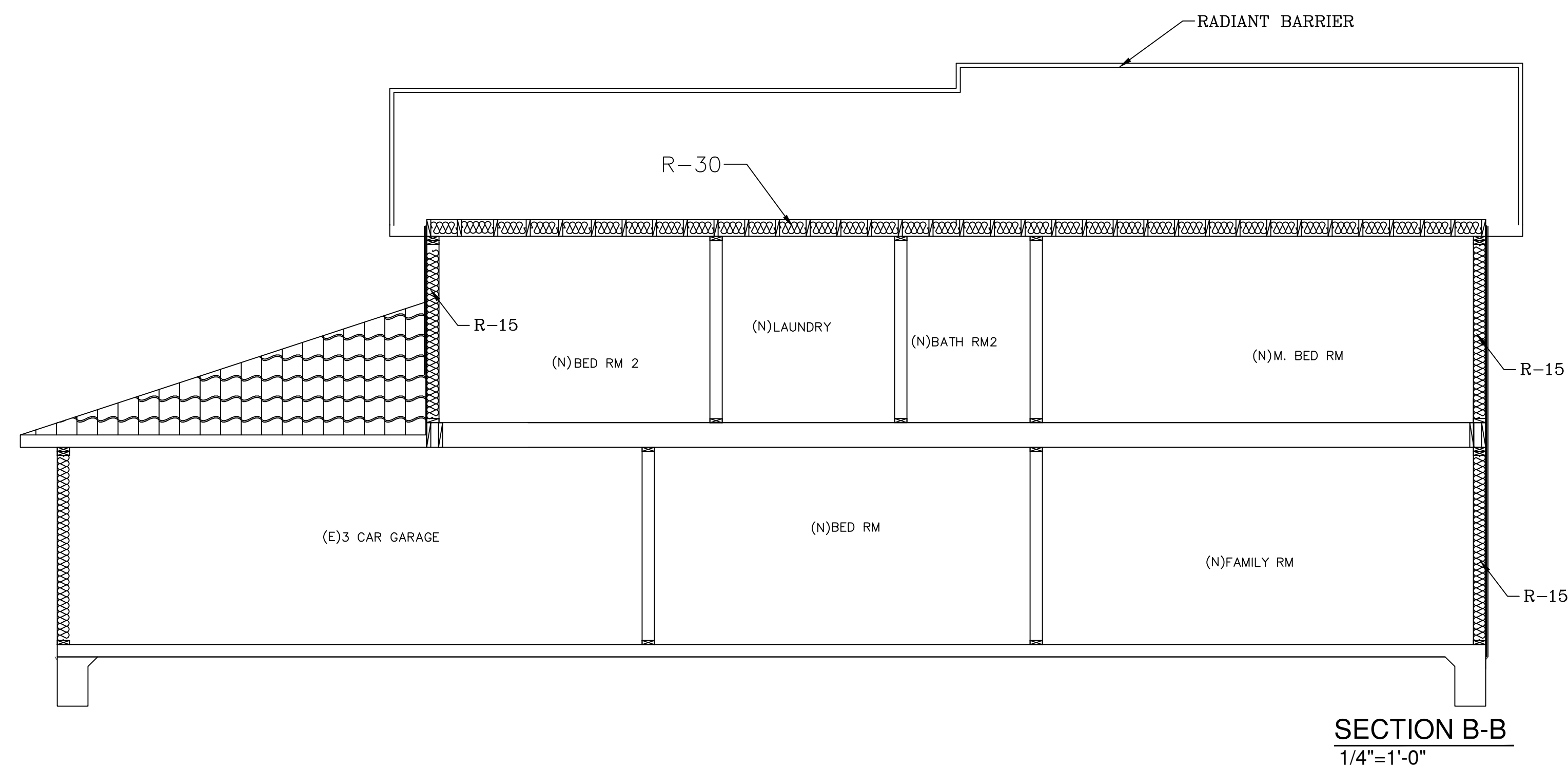


This architectural elevation drawing illustrates a building facade with a mix of existing and new construction. The drawing includes the following elements:

- Vertical Scale and Levels:** On the left, a vertical line marks four levels: 1ST.FF (First Floor Finish), 1ST.CL (First Floor Ceiling), 2ND.FF (Second Floor Finish), and 2ND.CL (Second Floor Ceiling). The vertical distances are specified as 8'-0" between 1ST.FF and 1ST.CL, 7'-2" between 1ST.CL and 2ND.FF, and 1/4" ≈ 1'-0" between 2ND.FF and 2ND.CL.
- Rooflines:**
 - The existing roof is shown as a gable with a 12/4 pitch (12 horizontal units for every 4 vertical units).
 - The new addition features a flat roof, indicated by a horizontal line labeled 'NEW'.
- Windows:**
 - Existing windows are shown on the left side of the facade.
 - New windows are added to the right side, including a large double window (labeled 3), a smaller double window (labeled 5), and a single window (labeled 4).
- Labels and Callouts:**
 - 'EXISTING' and 'NEW ADDITION' are used to distinguish between the original structure and the new construction.
 - Callout numbers 1 through 6 are placed near specific features: 1 points to the existing roof, 2 to the new flat roof, 3 to a new double window, 4 to a new single window, 5 to a new double window, and 6 to a new vertical element (possibly a chimney or vent).

WEST ELEVATION
1/4"=1'-0"

Project:		HOUSE ADDITION		ANGEL IMAGE DESIGN 4316 WALNUT ST. SUITE #A BALDWIN PARK, CA. 91706 TEL. 626-512-5648 EMAIL: RALPHPOON0611@GMAIL.COM	
JOB#:		2025004			
Date:		04-11-2025			
RAW BY:		RALPH POON			

[illegible][illegible]



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