VOLEN RESIDENCE

5665 TOYON RD.

SITE DEVELOPMENT PERMIT

SAN DIEGO, CALIFORNIA

APPROVED EXHIBIT "A"
THE CITY OF SAN DIEGO
Development Services Department
PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager

LEGAL OWNER:

MR. JOSHUA VOLEN
873 SAN ANTONIO PLACE
SAN DIEGO, CA 92106
TEL.: (916) 225-0693

PROJECT TEAM:

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TEL. (858) 216-5241
CONTACT: DOMINIC BALLERINO
DOMINIC@BALLERINODESIGN.COM

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7888 SILVERTONE AVE., SUITE J
SAN DIEGO, CA 92126
TEL.: (858) 271-9901
CONTACT: ANTONY CHRISTENSEN

BIOLOGICAL CONSULTING:

KLUTZ BIOLIGICAL CONSULTING
CONTACT: KOREY KLUTZ
EMAIL: KOREY@KLUTZBIONET

LANDSCAPE DESIGN:

HUTTER DESIGNS, INC.
2725 COLLIER AVENUE
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TEL. (619) 337-4044
CONTACT: STEVE HUTTER

GEOTECHNICAL ENGINEER:

CHRISTIAN WHEELER ENGINEERING
3980 HOME AVENUE
SAN DIEGO, CA 92105
TEL. (619) 550-1700
CONTACT: DANIEL ADLER

GENERAL CONTRACTOR:

OWNER-BUILDER

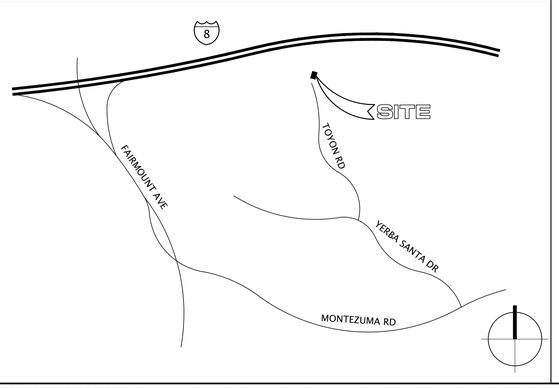
Abbreviations

A/C	AIR CONDITIONING	F.O.M.	FACE OF MASONRY
A.C.	ASPHALTIC CONCRETE	F.O.S.	FACE OF STUD
A.F.F.	ABOVE FINISH FLOOR	F.S.	FINISH SURFACE
ALUM.	ALUMINUM		
A.S.R.	AUTOMATIC SPRINKLER RISER	G.I.	GALVANIZED IRON
		M.O.	MASONRY OPENING
BLK.	BLOCK	MTR.	METER
BLDG.	BUILDING		
		N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT		
C.L.	CENTER LINE	O/	OVER
CLG.	CEILING	O.C.	ON CENTER
CLR.	CLEAR	O.D.	OVERFLOW DRAIN
COL.	COLUMN	O.S.	OVERFLOW SCUPPER
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS		
C.T.	CERAMIC TILE	P.L.	PROPERTY LINE
		P.O.C.	POINT OF CONNECTION
D.S.	DOWN SPOUT		
		R.D.	ROOF DRAIN
E.D.F.	ELECTRIC DRINKING FOUNTAIN		
E.J.	EXPANSION JOINT	SIM.	SIMILAR
E.W.C.	ELECTRIC WATER COOLER		
EXP.	EXPOSED	T.C.	TOP OF CONCRETE
		T.M.	TOP OF MASONRY
F.D.	FLOOR DRAIN	T.P.	TOP OF PARAPET
F.G.	FINISH GRADE	T.S.	TOP OF SHEATHING
F.H.	FIRE HYDRANT	TYP.	TYPICAL
FIN.	FINISH		
FLR.	FLOOR	W/	WITH
		W.H.	WATER HEATER
		WTR.	WATER

Symbols

- GRID NUMBER
- KEYNOTE REFERENCE NUMBER
- BUILDING WALL SECTION (A5.0)
- INTERIOR ELEVATION DIRECTION OF WALLS WALL NUMBER (BHT)
- PLAN CHANGE/BULLETIN
- EXTERIOR MATERIAL COLOR REFERENCE
- ADDENDUM
- DETAIL REFERENCE (A6.0)

Vicinity Map



Project Data

PROJECT CODE INFORMATION:

TYPE OF CONSTRUCTION:	TYPE V-B
TYPE OF OCCUPANCY:	R-3
BUILDING CODE:	CBC 2019, CRC 2019
GOVERNING AGENCY:	CITY OF SAN DIEGO
ZONING:	RS-1-1
YEAR CONSTRUCTED:	N/A
F.A.R. (ALLOWED):	0.45 (13,221 S.F.)
F.A.R. (PROPOSED):	**0.19 (5,502 S.F.)**
COVERAGE:	25% MAX.
GEOLOGIC HAZARD CAT.:	52

APPLICABLE BUILDING CODES:

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

LEGAL DESCRIPTION:

PORTION OF LOT 27, MAP 2823

SITE ADDRESS:

5665 TOYON RD.
SAN DIEGO, CA 92115

ASSESSOR'S PARCEL NUMBER:

461-430-07-00

LOT SIZE:

29,380 S.F.

Scope of Work

CONSTRUCTION OF 1 NEW RESIDENTIAL UNIT & ADU

1. (N) 2-STORY RESIDENCE.
2. (N) ADU OVER (N) DETACHED 2-CAR GARAGE.
2. SITE IMPROVEMENTS INCLUDING NEW LANDSCAPING, AND RETAINING WALLS.

FLOOR AREAS:

SQUARE FOOTAGE SUMMARY

(N) S.F.R.:	
MAIN LEVEL	2,428 SF
LOWER LEVEL	1,990 SF
(N) ADU:	552 SF
(N) DETACHED GARAGE:	577 SF
TOTAL (OVERALL):	5,547 SF

General Notes

NESTING BIRD DISCLOSURE

IT IS UNLAWFUL TO TAKE, POSSESS, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO (CDFG CODE 3503).

REA-AIRPORTS / AIR SAFETY NOTES:

1. ENSURE ALL OVERHEAD LIGHTING IS ALWAYS DIRECTED DOWNWARD TO AVOID GLARE.

2. SECURE ALL TRASH / STORAGE CONTAINERS TO DETER BIRDS FROM FLOCKING IN THE MYF TRAFFIC PATTERN ZONE (TPZ).

Sheet Index

SHT. NO.:	SHEET TITLE:
T100	TITLE SHEET
T101	ENVIRONMENTAL REGULATIONS
SP100	SITE PLAN - OVERALL
SP101	SITE PLAN - ENLARGED
A101	FLOOR PLAN - MAIN LEVEL
A102	FLOOR PLAN - LOWER LEVEL / A.D.U.
A103	ROOF PLAN
A104	EXTERIOR ELEVATIONS
A105	EXTERIOR ELEVATIONS
A106	SECTIONS
A107	RENDERINGS
C01	PRELIMINARY GRADING PLAN
C02	PRELIMINARY GRADING PLAN
L-1	LANDSCAPE DEVELOPMENT PLAN
L-2	BRUSH MANAGEMENT PLAN

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City of SD PTS No.: **688248**

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Sheet Title:
Title Sheet

Signatures:

Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022

Drawn By: DB
Checked By: DB

Date: 04.02.2021

Sheet No.:
T100

Multiple Species Conservation Plan (MSCP) Narrow Endemics

MSCP Narrow Endemic Species were not observed within the study area. Furthermore, no narrow endemic species have the potential to occur within the development footprint. A complete list of all narrow endemic species with their potential to occur is provided in Appendix C.

Multiple Species Conservation Program (MSCP) Subarea Plan Conformance

The Multi-Habitat Planning Area (MHPA) is land that has been included within the City's Multiple Species Conservation Program's (MSCP) Subarea Plan for habitat conservation (City 1997). These areas have been determined to provide the necessary habitat quantity, quality, and connectivity to support the future viability of San Diego's unique biodiversity and thus are considered to be a sensitive biological resource. Vegetation communities occurring within the MSCP study area have been divided into four tiers of sensitivity based on rarity and ecological importance.

Tier I habitats, being the most sensitive, include southern foredunes, Torrey pine forest, coastal bluff scrub, maritime succulent scrub, maritime chaparral, native grasslands, and oak woodlands. Tier II includes coastal sage scrub and coastal sage scrub/chaparral. Tier IIIA includes mixed chaparral and chamise chaparral. Tier IIIB includes non-native grassland. Tier IV, the least sensitive classification, includes disturbed land, agriculture, and ornamental vegetation. In general, wetlands are considered highly sensitive habitats. Mitigation ratios are provided in the City Biological Guidelines (City 2018) for impacts to biological resources or vegetation communities and vary depending on the resource sensitivity (i.e., tier classification), and whether impacted resources are located within or outside of the MHPA.

Narrow Endemic species were not observed within the study area. Furthermore, no narrow endemic species have the potential to occur within the development footprint.

The project site contains lands both within and outside of the MHPA. Measurable impacts associated with the proposed project are less than 25% of the total parcel size. Neither a MHPA boundary line correction or adjustment are required (Figure 4). However, since the project parcel is within and adjacent to the MHPA the City's MHPA Land Use Adjacency Guidelines will apply.

MHPA Land Use Adjacency Guidelines

Land uses planned or existing adjacent to the MHPA must comply with the MHPA Land Use Adjacency Guidelines. These guidelines are detailed in the City's MSCP Subarea Plan (City of San Diego 1997) and include guidance to ensure minimal impacts to the MHPA occur because of adjacent land uses. Specific items that must be addressed by projects adjacent to the MHPA include: Drainage, Toxics, Lighting, Noise, Barriers, Invasive, Brush Management, and Grading/Land Development. A discussion of the how the proposed project will comply with the MHPA Land Use Adjacency Guidelines is provided below. Each of these guidelines are considered conditions of approval and are included as such on the civil and brush management drawings.

1. Drainage – The proposed project improvements will not drain directly into the MHPA. Developed areas onsite will not release toxins, chemicals, petroleum products, exotic plant materials and other elements

that may degrade or harm the habitat quality within the adjacent MHPA. Areas on-site but outside of the development footprint will maintain the existing natural drainage patterns.
2. Toxics – As detailed in the drainage discussion toxic waste or chemicals will not be allowed to impact the habitat quality of the adjacent MHPA. The proposed project will not directly drain any toxics chemicals or waste into the MHPA.
3. Lighting – The proposed project will comply with the MHPA lighting guidelines by ensuring that all lighting onsite is directed away from the MHPA.
4. Noise – The project is designed to minimize noise impacts to the adjacent MHPA. Furthermore, the topography of the site which slopes steeply to the south (approximately 100-foot elevation differences between site pad and native scrub habitat) will minimize noise impacts to the MHPA.
5. Barriers – The project will install a new chain link fence between the development footprint and the MHPA. In addition, the topography of the site which slopes steeply to the south (approximately 100-foot elevation differences between site pad and native scrub habitat) creates a natural barrier that will prevent unnecessary intrusion into the MHPA.
6. Invasives – The proposed project will not introduce invasive non-native plant material into or adjacent to the MHPA.
8. Brush Management – The proposed project complies with City regulation regarding the necessary brush management areas. This includes the establishment of brush management zones (BMZ) one and two. BMZ Zone 1 is included within the development footprint and BMZ Zone 2 is considered impact neutral and is allowed to occur within the MHPA.
9. Grading/Land Development – Per the direction provided in the land use adjacency guidelines all grading and land improvements proposed have been included in the development footprint.

Project Impact Analysis

Vegetation Communities
The proposed development will impact approximately 24% of the total property (Tables 1 & 2, Figure 4). Direct impacts to 0.16-acre (or 6,991 square feet) of non-native grassland habitat will occur (Table 1). Measurable impacts to DCSS (Tier II) habitat will not occur. However, the portion of DCSS that occurs within BMZ 2 will be selectively thinned as part of the required brush management activities in accordance with City regulations (Table 3). Per City of San Diego Biological Guidelines (2018), BMZ Zone 2 thinning activities, while having the potential to adversely affect biological resources, are not considered potentially significant inside the MHPA and are treated as impact neutral (Table 3, Figure 4).

Table 1 Project Impact Summary

Vegetation Type	Total On-Site (acres)	Total Direct Impacts* (acres)	Total Habitat Within Existing Easement Areas (acres)**
Diegan Coastal Sage Scrub	0.34	NA	0.007 (344 square feet)
Non-native Grassland	0.33	0.16	0.07 (3,338 square feet)

*= includes project footprint and brush management zone 1, **= not part of the proposed project

Table 2 Project Impacts to Vegetation Communities Within and Outside of the MHPA

Vegetation Type	Total Impacts (acres)	Impacts within the MHPA (acres)	Impacts outside of the MHPA (acres)
Diegan coastal sage scrub (Tier II)	0	0	0
Non-Native Grassland (Tier III)	0.16	0.15	0.01

Table 3 Brush Management Zone 2 Impacts to Vegetation Communities

	Inside the MHPA (acres)	Outside the MHPA (acres)
Diegan Coastal Sage Scrub	0.25	0.04
Non-native Grassland	0.10	NA

*= impacts associated with BMZ 2 are not considered significant per the City's Biology guidelines and do not require mitigation

In addition to the project impacts detailed above, site development will also require temporary impacts related to realigning the sewer line located along the western portion of the property (Figure 4). These sewer line impacts are considered temporary in nature and will not count as a permanent impact that would require mitigation. Furthermore, these impacts do not count towards the 25% MHPA project encroachment threshold as they are exempt per Section 143.001 of the City's Environmentally Sensitive Lands (ESL) that provides Limited Exceptions for City sewer line projects. Temporary impacts related to the sewer realignment are detailed below in Table 4.

Table 4 Sewer Realignment Impacts

Habitat	Impact Detail
Non-native grassland (within existing easement on-site)	200 square feet (24" trench x 100')
Diegan coastal sage scrub (off-site)	46 square feet (24" trench x 23')

Sensitive Species
The proposed project will conserve on-site moderately suitable habitat for the following sensitive wildlife species: Coronado skink, California rufous-crowned sparrow, Bell's sage sparrow, orange throat whiptail, coastal whiptail, rosy boa, red-diamond rattlesnake, San Diego black-tailed jackrabbit, San Diego desert woodrat, coast horned lizard, and coastal California gnatcatcher.

No sensitive plants were observed on-site or are expected to occur (Appendix C).

Sensitive Habitats
The project will directly impact 0.16-acre of non-native grassland habitat (Tier III) which will require habitat-based mitigation (Table 4). Direct impacts requiring mitigation will not occur DCSS habitat.

Jurisdictional Waters (Wetlands)
As detailed within the survey section, wetlands or waters do not occur within the study area as observed in the field. No impacts will occur to jurisdictional waters or wetland habitat.

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Mitigation

The project as proposed will require mitigation for direct impacts to 0.16-acre of non-native grassland habitat (Tables 1-4). Impacts associated with brush management zone 2 will not require mitigation (Table 3). Table 4 below details the mitigation requirements for the proposed project. Habitat mitigation will be satisfied by purchasing Tier III mitigation credits off-site at a City approved mitigation bank.

Table 4 Project Mitigation Requirements

	Non-native Grassland	Mitigation Ratio	Total Mitigation Requirement
Impacts within the MHPA (acres)	0.15	1:1*	0.15
Impacts outside of the MHPA (acres)	0.01	0.5:1**	0.025
Total (acres)	0.16	NA	0.175

*= Impacts inside the MHPA and conservation inside the MHPA, **= Impacts outside of the MHPA with conservation inside the MHPA

Temporary impacts related to realigning the sewer line will be restored by implementing erosion control measures and applying a native grassland seed mix. The native grassland seed mix will contain at a minimum the following plant species: purple needlegrass (*Stipa pulchra*), dwarf plantain (*Plantago erecta*), goldfields (*Lasthenia californica*), foothill needlegrass (*Stipa lepida*), California poppy (*Eschscholzia californica*), arroyo lupine (*Lupinus succulentus*), tidy tips (*Layia platyglossa*) and owl's clover (*Castilleja exserta*).

Conclusion and Recommendations

The project as proposed will impact 0.16-acre of non-native grassland habitat that will require off-site mitigation. Habitat based mitigation will be accomplished through the purchase of 0.175 mitigation credits at an approved City of San Diego mitigation bank. Due to the projects sites location within and adjacent to the MHPA, implementation of the City's MHPA land use adjacency guidelines will be required as a condition of approval. In addition the project will be subject to coastal California gnatcatcher requirements, and Avian requirements for those species with a moderate potential to occur: rufus-crowned sparrow, and Bell's sage sparrow.

In addition, clearing of vegetation on-site represents a potentially significant impact to nesting bird species. As a mitigation measure for this potential impact, if any construction work is proposed to occur during the migratory bird or raptor breeding season (February 1 through August 31), a qualified biologist will be required to conduct a bird and raptor survey no more than three days prior to scheduled operations to ensure that no nesting birds in the project area would be impacted. If an active nest is identified, a buffer would be established between the construction activities and the nest so that nesting activities are not interrupted. No project construction would be allowed to occur within the fenced zone until the young have fledged and will not be impacted by the project. This will reduce the potential impact to below a level of significance. Specifically for the coastal California gnatcatcher the following measures will apply to the project:

- Avoidance of Breeding Season: No clearing, grubbing, grading, or other construction activities should occur between March 1 and August 15 in areas known to be occupied by the coastal California gnatcatcher.

- Pre-Construction Surveys: If construction activities must occur during the breeding season, a qualified biologist possessing a valid Endangered Species Act Section 10(a)(1)(A) Recovery Permit must survey the habitat areas within the Multi-Habitat Planning Area (MHPA) that would be subject to construction noise levels exceeding 60 decibels (dB(A)) hourly average. These surveys should be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife Service within the breeding season prior to the commencement of any construction.
- Noise Restrictions: Between March 1 and August 15, no construction activities should occur within any portion of the site where such activities would result in noise levels exceeding 60 dB(A) hourly average as measured by a qualified acoustician at the edge of occupied gnatcatcher habitat. If construction noise is expected to exceed this threshold, noise attenuation measures must be implemented to reduce noise levels below 60 dB(A), or construction activities should be rescheduled to avoid the breeding season.

Standard siltation and erosion control Best Management Practices (BMPs) will be implemented during construction, including boundary silt fencing, gravel bags, fiber rolls, weed-free straw wattles and mulch, and slope stabilization. The landscape plan will stipulate that project landscaping will not include exotic plant species listed on the California Invasive Plant Council's (Cal-IPC) "Invasive Plant Inventory" list.

If you have questions regarding the analysis or conclusions presented herein, please contact me at (760) 492-3342.

Korey Klutz
Principal Biologist

Attachments
Figure 1 – Regional Location
Figure 2 – Project Location
Figure 3 – Biological and Jurisdictional Resources
Figure 4 – Project Impacts
Appendix A – Botanical Resources Observed
Appendix B – Zoological Resources Observed
Appendix C – Sensitive Species with the Potential to Occur
Klutz Resume

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5TH SUBMITTAL 08.05.2025 5

Sheet Title:
Environ. Regs.

Signatures:

Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022
Drawn By: DB
Checked By: DB
Date: 04.02.2021
Sheet No.: T101

MHPA ENCROACHMENT ANALYSIS:

LOT SIZE:	29,380 S.F. (.67 AC.)
MAX. DEVELOPMENT AREA:	7,345 S.F. (25%)
DEVELOP. AREAS:	
STRUCT. FOOTPRINT (LWR LVL + GARAGE):	2,546 S.F.
HARDSCAPE / DECKS:	1,082 S.F.
DRIVEWAY:	352 S.F.
LANDSCAPE / BMZ-1	3,008 S.F.
PROPOSED TOTAL DEV. AREA:	6,991 S.F. (24%)
ENCROACHMENT INTO MHPA:	24%

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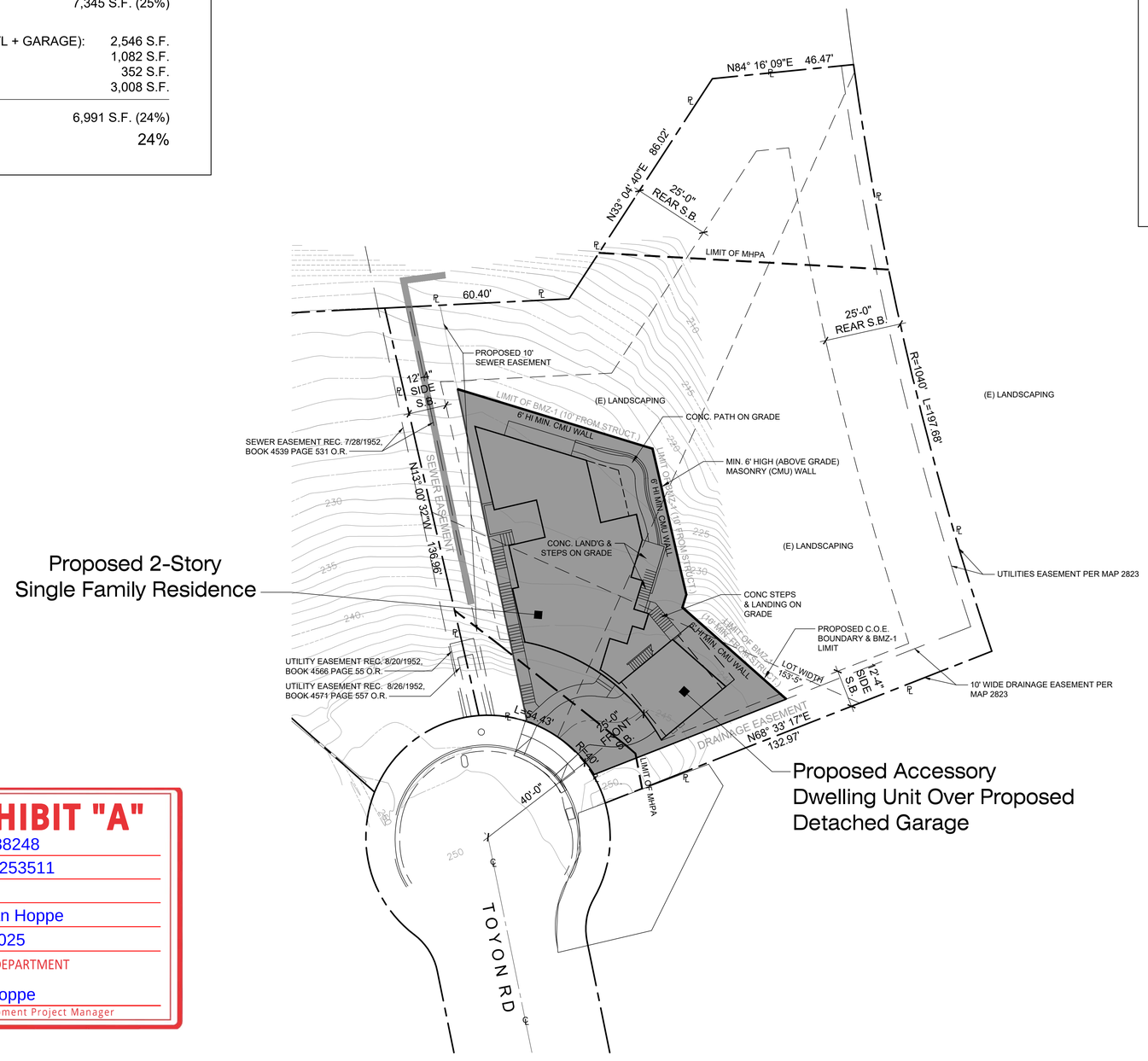
ADDRESS:	5665 TOYON RD. SAN DIEGO, CA 92115
APN:	461-430-07-00
LOT SIZE:	29,380 S.F. (.67 AC.)
ZONING:	RS-1-1
F.A.R.:	0.45 = 13,221 S.F.
F.A.R. PROPOSED:	0.19 = 5,502 S.F.
SETBACKS:	
FRONT:	25'
SIDE	12'-4" = 0.08 X LOT WIDTH
REAR:	25'
HEIGHT LIMIT:	24' / 30'



FIRE ACCESS PLAN NOTES:

1. ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.

2. ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600 OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.

3. LIGHTING OF ALL DEVELOPED AREAS ADJACENT TO THE MHPA SHOULD BE DIRECTED AWAY FROM THE MHPA. WHERE NECESSARY, DEVELOPMENT SHOULD PROVIDE ADEQUATE SHIELDING WITH NON-INVASIVE PLANT MATERIALS (PREFERABLY NATIVE), BERMING, AND/OR OTHER METHODS TO PROTECT THE MHPA AND SENSITIVE SPECIES FROM NIGHT LIGHTING. PLEASE SEE MUNICIPAL CODE §142.0740 FOR FURTHER INFORMATION IF NEEDED.

LEGEND:

R.D.	ROOF DRAIN
T	TRASH BIN
R	RECYCLE BIN
P.L.	PROPERTY LINE
R.W.	RETAINING WALL

NOTES:

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS.

2. NO TRANSIT STOPS IN VICINITY, PRIVATE DEVELOPMENT

3. NO FIRE HYDRANTS WITHIN 600.

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North

Reference North

Site Plan - Overall | SCALE 1" = 20'-0" | 1

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R	RECYCLE BIN
P.L.	PROPERTY LINE
R.W.	RETAINING WALL

Site Plan - Enlarged | SCALE 1" = 10'-0" | 1

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BALLERINO DESIGN ASSOCIATES, LLC
416 W. SAN YSIDRO BLVD. #L-2207
SAN DIEGO, CA 92173
858.216.5244 TEL.
WWW.BALLERINODESIGN.COM

Project Title:
VOLEN RESIDENCE
5665 Toyon Rd.
San Diego, CA

New Single Family Residence

SITE DEVELOPMENT PERMIT

Client / Developer:
MR. JOSHUA VOLEN
873 SAN ANTONIO PLACE
SAN DIEGO, CA 92106
TEL. (916) 225-0693

Revisions:

1ST SUBMITTAL 04.02.2021	1
2ND SUBMITTAL 12.31.2021	2
3RD SUBMITTAL 06.02.2024	3
4TH SUBMITTAL 01.28.2025	4
5TH SUBMITTAL 08.05.2025	5

Sheet Title:
Site Plan Enlarged

Signatures:

Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022
Drawn By: DB
Checked By: DB
Date: 04.02.2021
Sheet No.: SP101

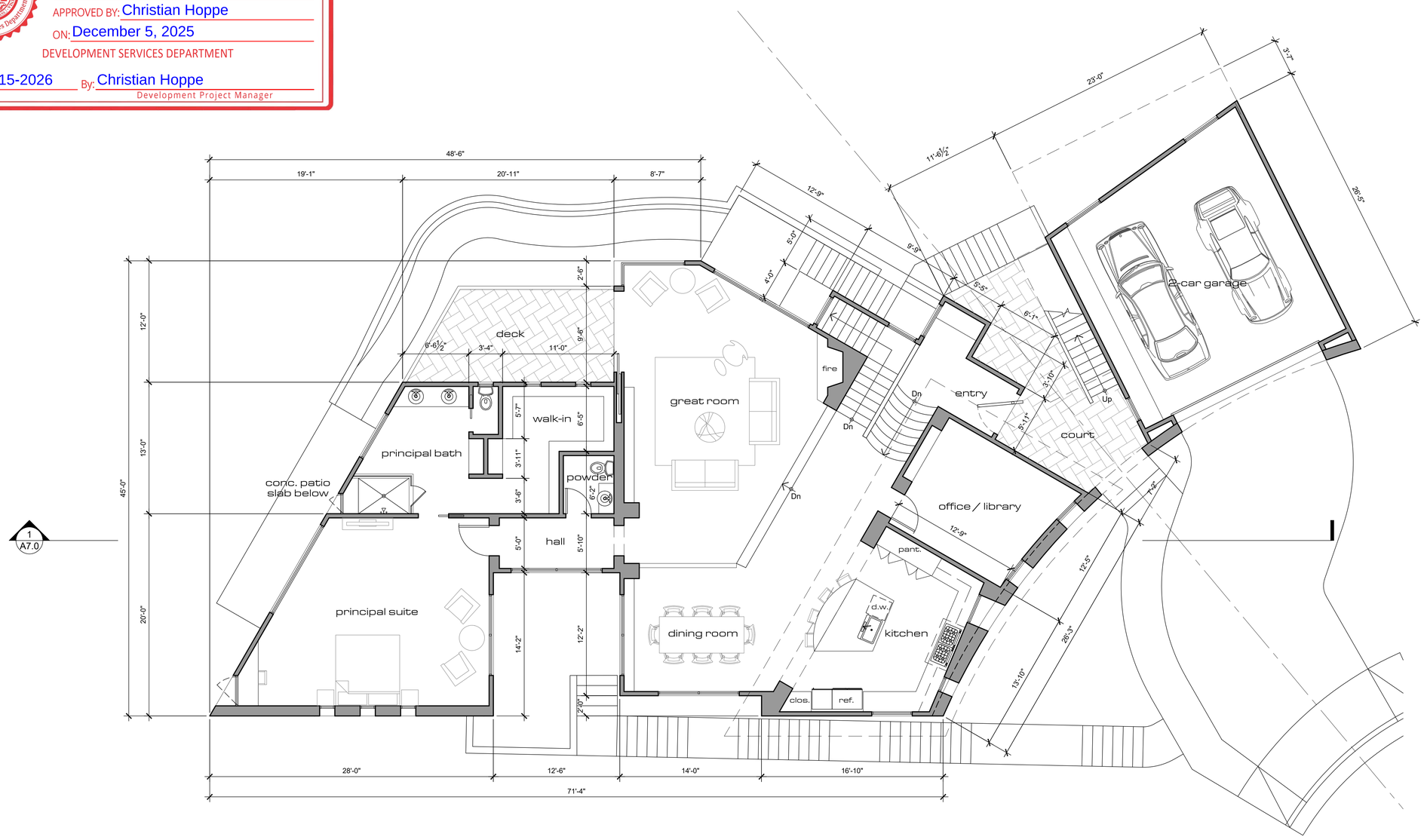
APPROVED EXHIBIT "A"

THE CITY OF SAN DIEGO
Development Services Department

PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511

APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT

DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager



SQUARE FOOTAGE SUMMARY	
(N) S.F.R.:	
MAIN LEVEL	2,428 SF
LOWER LEVEL	1,990 SF
(N) ADU:	552 SF
(N) DETACHED GARAGE:	577 SF
TOTAL (OVERALL):	5,547 SF

Reference North

Floor Plans - Main Level

SCALE 3/16"=1'-0" | 1

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5TH SUBMITTAL 08.05.2025	5

Sheet Title:

Floor Plan
Main Level

Signatures:

Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022

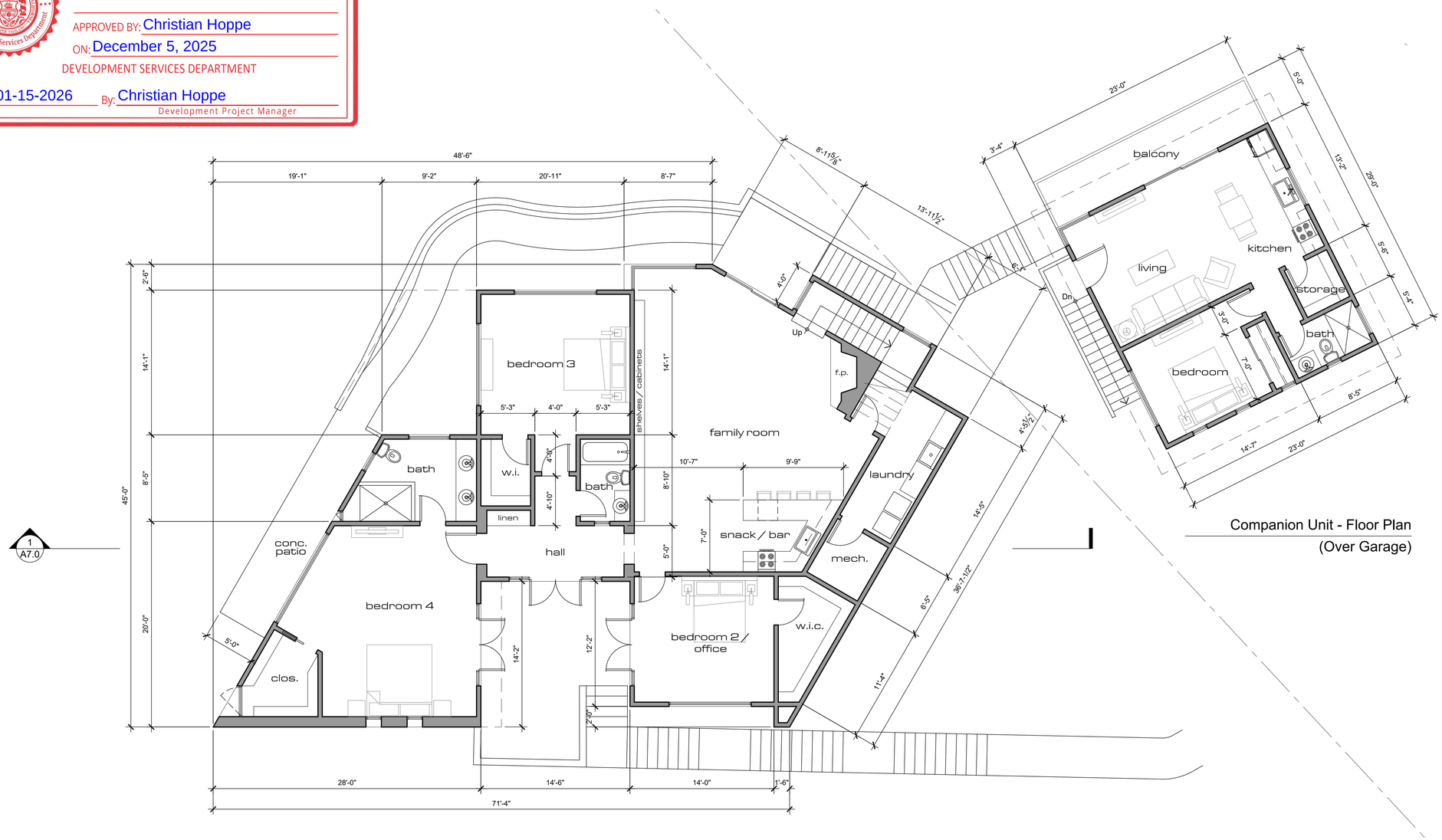
Drawn By: DB
Checked By: DB

Date: 04.02.2021

Sheet No.: A101

APPROVED EXHIBIT "A"

PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager



Companion Unit - Floor Plan
(Over Garage)

SQUARE FOOTAGE SUMMARY	
(N) S.F.R.:	
MAIN LEVEL	2,428 SF
LOWER LEVEL	1,990 SF
(N) ADU:	552 SF
(N) DETACHED GARAGE:	577 SF
TOTAL (OVERALL):	5,547 SF

Reference North

Floor Plan - Lower Level / A.D.U.

SCALE 3/16"=1'-0" | 1

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Project Title:
VOLEN RESIDENCE
5665 Toyon Rd.
San Diego, CA

New Single Family Residence

SITE DEVELOPMENT PERMIT

Client / Developer:
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873 SAN ANTONIO PLACE
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TEL. (916) 225-0693

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3RD SUBMITTAL 06.02.2024 3
4TH SUBMITTAL 01.28.2025 4
5TH SUBMITTAL 08.05.2025 5

Sheet Title:
Floor Plan
Lower Level

Signatures:

Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022
Drawn By: DB
Checked By: DB
Date: 04.02.2021
Sheet No.: A102

APPROVED EXHIBIT "A"

PROJECT NO. PRJ-0688248

APPROVAL NO(S). PMT-253511

APPROVED BY: Christian Hoppe

ON: December 5, 2025

DEVELOPMENT SERVICES DEPARTMENT

DATE: 01-15-2026 By: Christian Hoppe

Development Project Manager

Reference North

Roof Plan | SCALE 3/16"=1'-0" | 1

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Project Title:

VOLEN RESIDENCE
5665 Toyon Rd.
San Diego, CA

New Single Family Residence

SITE DEVELOPMENT PERMIT

Client / Developer:

MR. JOSHUA VOLEN
873 SAN ANTONIO PLACE
SAN DIEGO, CA 92106
TEL. (916) 225-0693

Revisions:

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3RD SUBMITTAL 06.02.2024 3
4TH SUBMITTAL 01.28.2025 4
5TH SUBMITTAL 08.05.2025 5

Sheet Title:

Roof Plan

Signatures:

Drawings Prepared By:

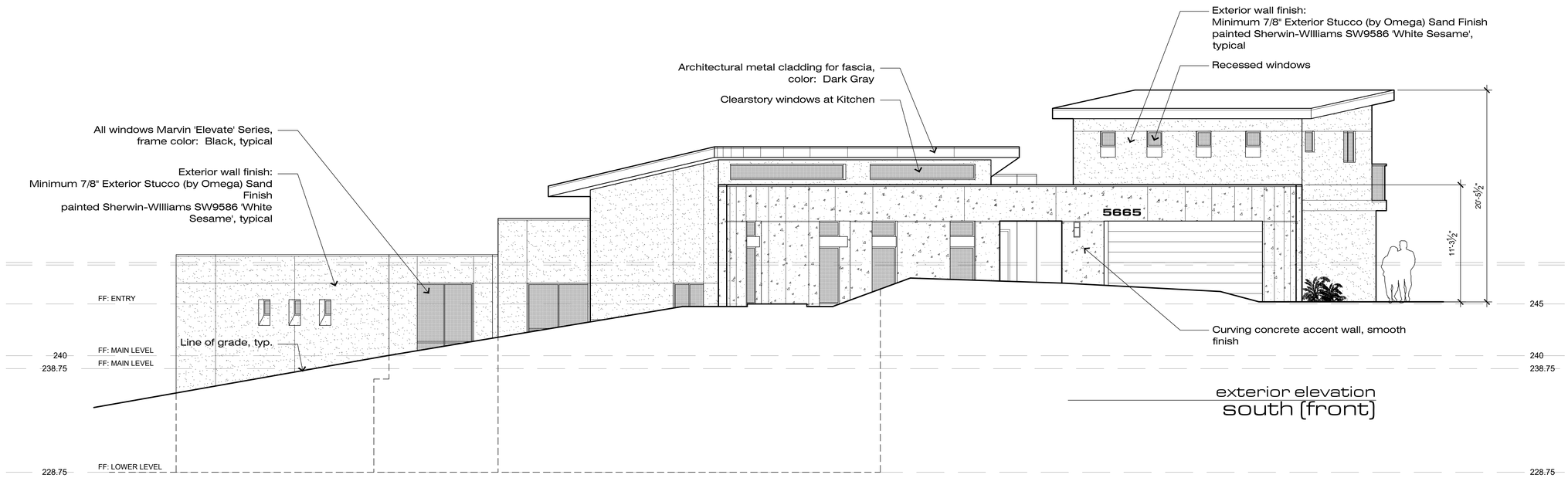
D. Ballerino
Dominic F. Ballerino

Project No.: 20022

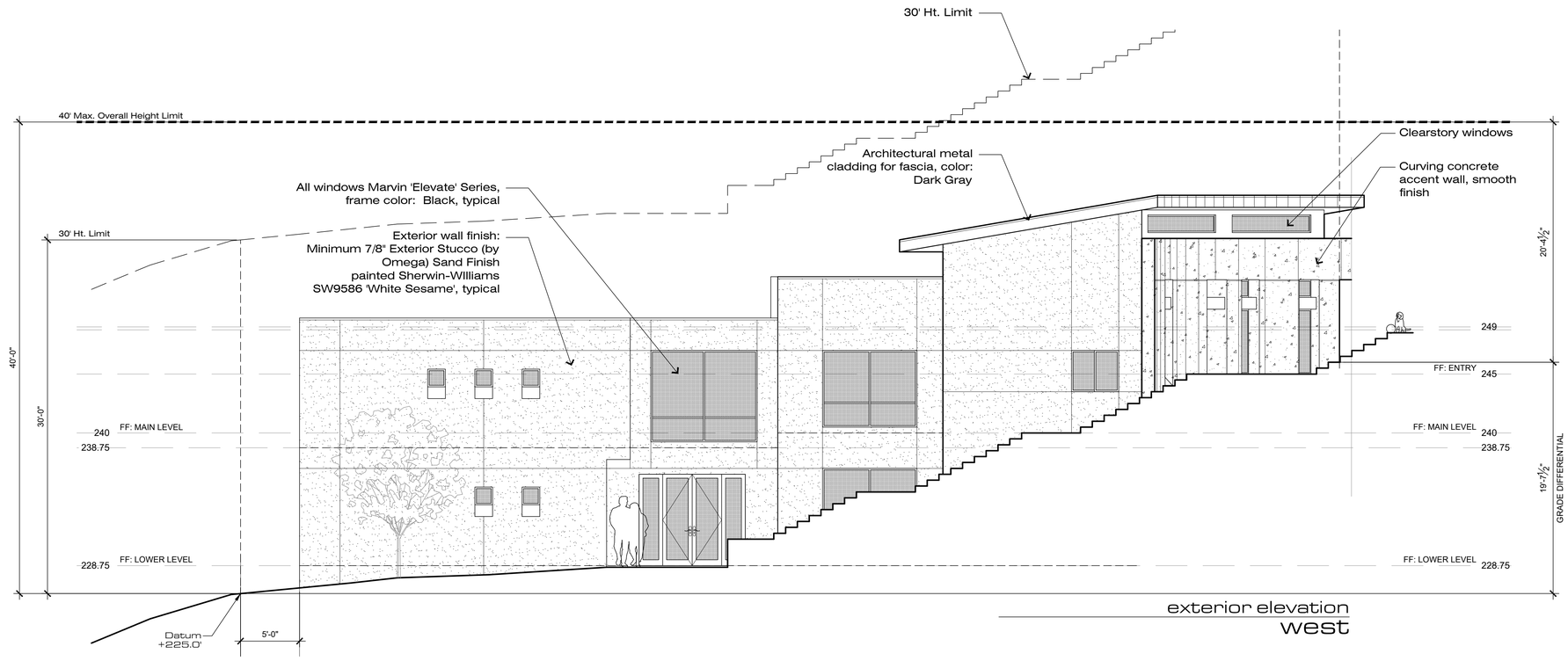
Drawn By: DB | Checked By: DB

Date: 04.02.2021

Sheet No.: A103



exterior elevation
south (front)



exterior elevation
west

APPROVED EXHIBIT "A"
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager

Exterior Elevations | SCALE 3/16"=1'-0" | 1

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Project Title:

VOLEN RESIDENCE
5665 Toyon Rd.
San Diego, CA

New Single Family Residence

SITE DEVELOPMENT PERMIT

Client / Developer:

MR. JOSHUA VOLEN
873 SAN ANTONIO PLACE
SAN DIEGO, CA 92106
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4TH SUBMITTAL 01.28.2025 4
5TH SUBMITTAL 08.05.2025 5

Sheet Title:

Exterior Elevations

Signatures:

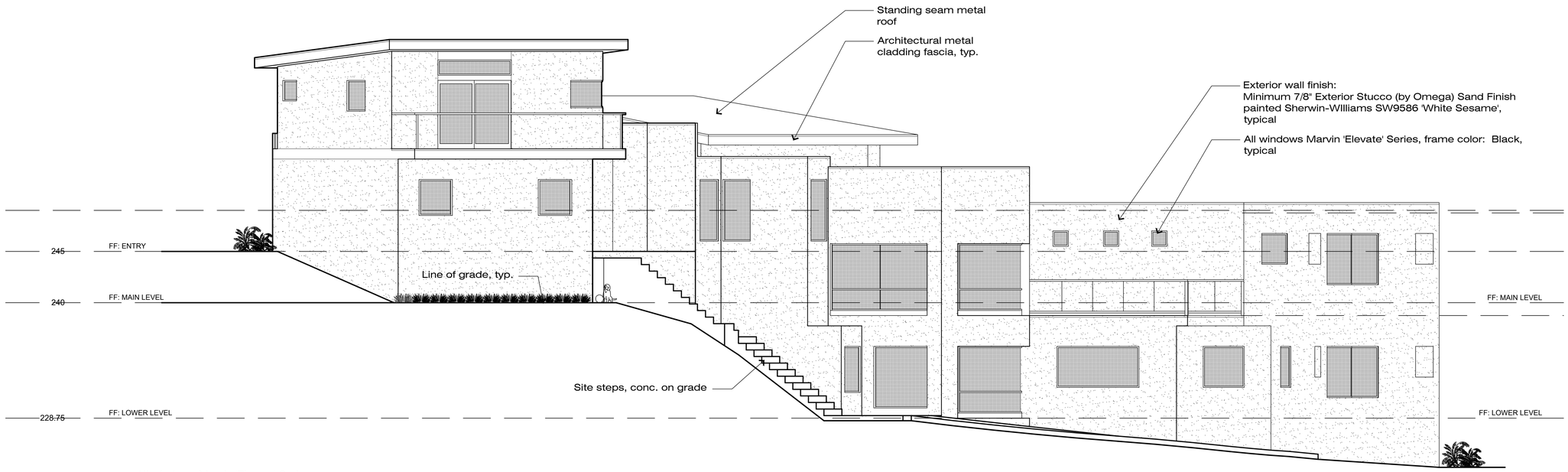
Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022

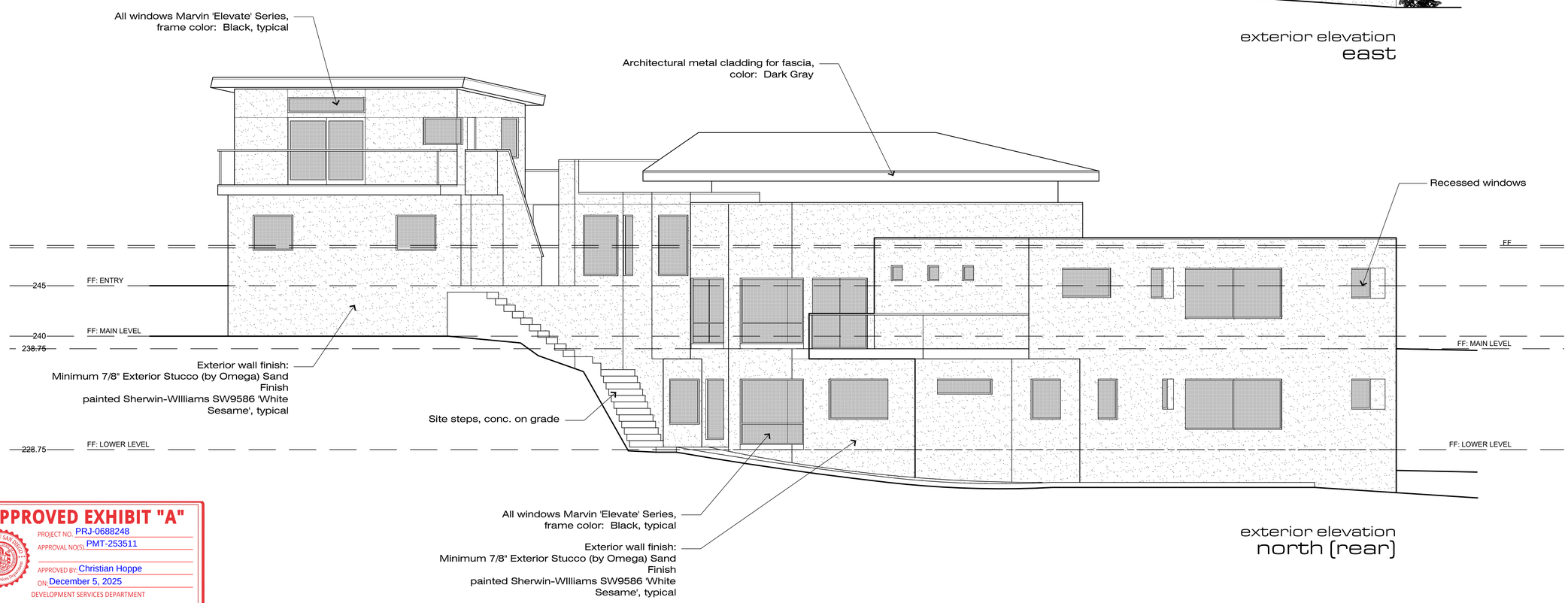
Drawn By: DB
Checked By: DB

Date: 04.02.2021

Sheet No.: A104



exterior elevation
east



exterior elevation
north (rear)

APPROVED EXHIBIT "A"
THE CITY OF SAN DIEGO
Development Services Department
PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager

Exterior Elevations | SCALE 3/16"=1'-0" | 1

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Project Title:

VOLEN RESIDENCE
5665 Toyon Rd.
San Diego, CA

New Single Family Residence

SITE DEVELOPMENT PERMIT

Client / Developer:

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SAN DIEGO, CA 92106
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5TH SUBMITTAL 08.05.2025 5

Sheet Title:

Exterior Elevations

Signatures:

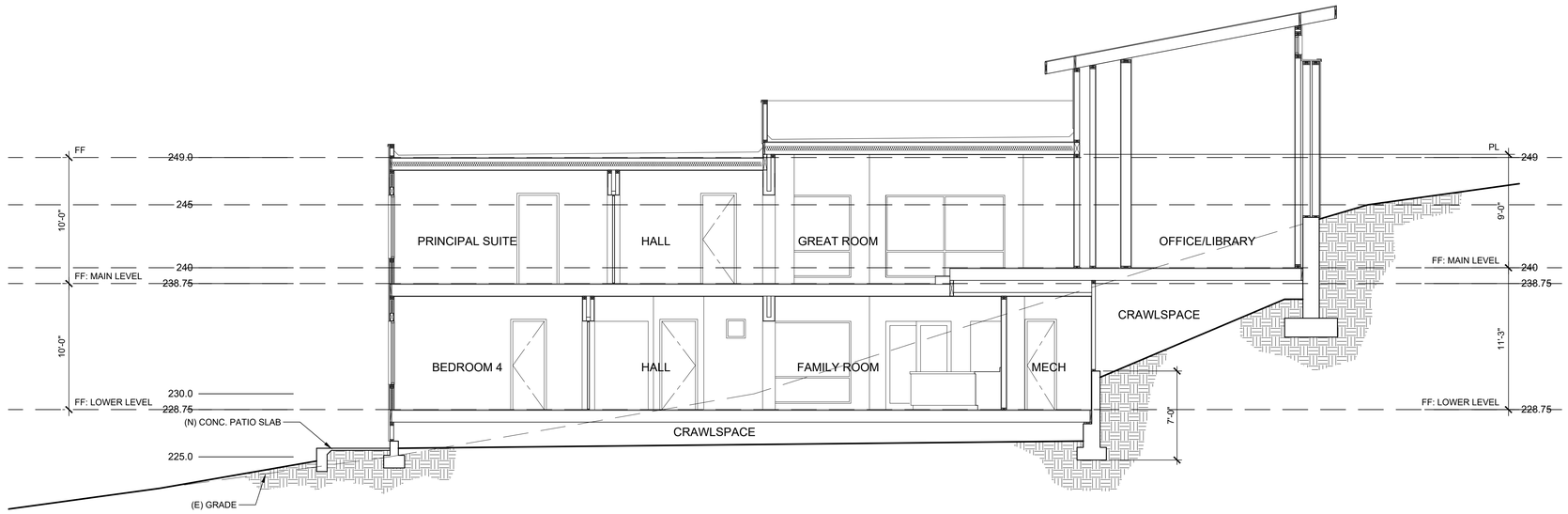
Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022

Drawn By: DB
Checked By: DB

Date: 04.02.2021

Sheet No.: A105



APPROVED EXHIBIT "A"

THE CITY OF SAN DIEGO · Development Services Department

PROJECT NO. PRJ-0688248

APPROVAL NO(S). PMT-253511

APPROVED BY: Christian Hoppe

ON: December 5, 2025

DEVELOPMENT SERVICES DEPARTMENT

DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager

Building Sections | SCALE 1/4"=1'-0" | 1

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Project Title:

VOLEN RESIDENCE
5665 Toyon Rd.
San Diego, CA

New Single Family Residence

SITE DEVELOPMENT PERMIT

Client / Developer:

MR. JOSHUA VOLEN
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SAN DIEGO, CA 92106
TEL. (916) 225-0693

Revisions:

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4TH SUBMITTAL 01.28.2025 4
5TH SUBMITTAL 08.05.2025 5

Sheet Title:

Building Sections

Signatures:

Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022

Drawn By: DB
Checked By: DB

Date: 04.02.2021

Sheet No.: A106

APPROVED EXHIBIT "A"
PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager

Project Renderings / 3d Views (Preliminary)

SCALE	
3/16"=1'-0"	1

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Project Title:

VOLEN
RESIDENCE
5665 Toyon Rd.
San Diego, CA

New Single
Family Residence

SITE
DEVELOPMENT
PERMIT

Client / Developer:

MR. JOSHUA VOLEN
873 SAN ANTONIO PLACE
SAN DIEGO, CA 92106
TEL. (916) 225-0693

Revisions:

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3RD SUBMITTAL
06.02.2024 3

4TH SUBMITTAL
01.28.2025 4

5TH SUBMITTAL
08.05.2025 5

Sheet Title:

Project
Renderings

Signatures:

Drawings Prepared By:
D. Ballerino
Dominic F. Ballerino

Project No.: 20022

Drawn By: DB
Checked By: DB

Date: 04.02.2021

Sheet No.:

A107

LEGEND

- PROPERTY LINE
- EXISTING CONTOUR
- EXISTING OVERHEAD LINES
- EXISTING GAS LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING MANHOLE
- PROPOSED 4" PVC SEWER LATERAL
- PROPOSED 1" WATER SERVICE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED CONCRETE DITCH PER CURRNT CITY STANDARDS
- TURF REINFORCEMENT MAT SWALE
- PROPOSED CATCH BASIN SIZE PER PLAN (BROOKS BOX OR EQUIV)
- PROPOSED PVC DRAIN (SIZE PER PLAN)
- PROPOSED DOWNSPOUT
- RETAINING WALL (HEADWALL)
- AREA DRAIN/DECK DRAIN
- 18' DRIVEWAY PER CURRENT CITY STANDARD (SEE SEPARATE RIGHT OF WAY CONSTRUCTION PLAN)
- LIMIT OF WORK LINE

LEGAL DESCRIPTION:

A PORTION OF LOT 27, ALVARADO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2823, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY NOVEMBER 14, 1951.

APN:461-430-07-00

BENCHMARK

CITY OF SAN DIEGO BRASS PLUG LOCATED IN THE TOP OF CURB AT THE CURB INLET AT THE CUL-DE-SAC OF TOYON ROAD.
ELEVATION 248.715' MEAN SEA LEVEL (N.G.V.D. 1929).

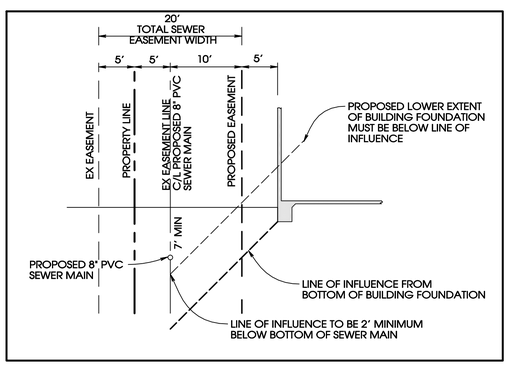
NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS ON THE GROUND SURVEY BY VINCENT JANUSZEWSKI (LS 9214) JULY 2015.
2. THE USE OF PROPOSED LOT IS SINGLE-FAMILY RESIDENCE.
3. THE SUBJECT PROPERTY IS SERVED BY SANITARY SEWER LATERALS AND WATER SERVICES CONNECTED TO CITY OF SAN DIEGO MAINS.
4. ONSITE EASEMENTS ARE AS SHOWN.
5. SITE RUNOFF IS TO BE DIRECTED TO LANDSCAPING AND THEN COLLECTED AND PUMPED TO TOYON ROAD WHERE IT COMMINGLES WITH RUNOFF FROM OTHER PROPERTIES BEFORE ENTERING THE PUBLIC CURB INLET IN TOYON ROAD, ADJACENT TO THE SITE.
6. FOR LANDSCAPE AND HARDSCAPE, SEE LANDSCAPE PLAN.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BMP'S NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
9. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
10. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A TECHNICAL REPORT THAT WILL BE SUBJECT TO FINAL REVIEW BY THE CITY ENGINEER, BASED ON THE STORM WATER STANDARDS IN EFFECT AT THE TIME OF THE CONSTRUCTION PERMIT ISSUANCE.
11. AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE PRIVATE IMPROVEMENTS WITHIN THE RIGHT OF WAY, IF ANY.
12. ALL PROPOSED PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AT THE TIME OF THEIR CONSTRUCTION.

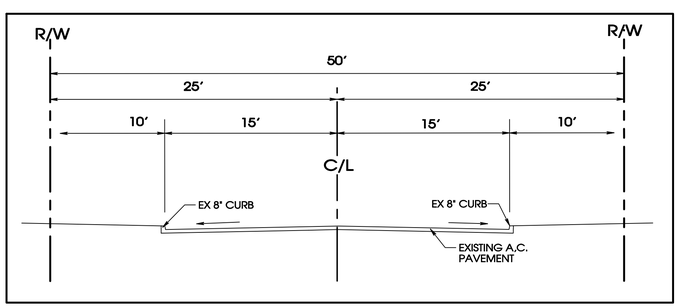
APPROVED EXHIBIT "A"

THE CITY OF SAN DIEGO — Development Services Department

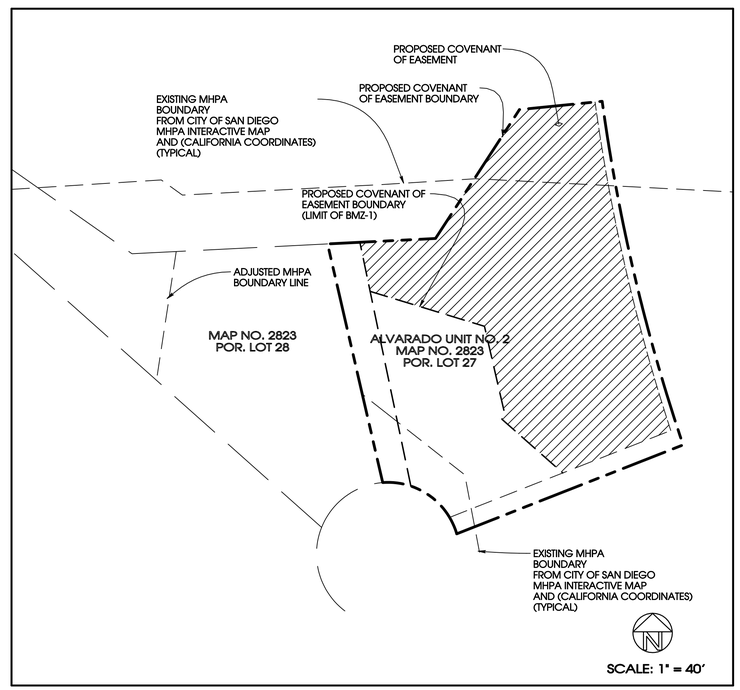
PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager



TYPICAL PROPOSED SEWER MAIN SECTION
NOT TO SCALE



TYPICAL SECTION
TOYON ROAD
NOT TO SCALE



PROPOSED COVENANT OF EASEMEMT

PROJECT STORM WATER CLASSIFICATION

ITEM 7 OF PART "E" OF THE STORM WATER APPICALBILITY CHECKLIST (FORM DS-560) INCLUDES A DEFINITION CONCERNING "ISOLATED DISCHARGE" FROM A PROJECT PROPOSING GREATER THAN 2500 SF OF CREATED OR REPLACED IMPERVIOUS AREA TO AN ENVIRONMENTALLY SENSITIVE AREA (ESA). IF DISCHARGE TO AN ESA IS NOT "ISOLATED", BUT INSTEAD "COMMINGLED WITH DISCHARGE FROM ADJACENT LANDS" IT IS NOT CONSIDERED A "DIRECT DISCHARGE" AND SO IS NOT CLASSIFIED A PRIORITY DEVELOPMENT PROJECT (PDP). FOR STORM WATER PURPOSES, BY THIS DEFINITION, THE SUBJECT PROJECT COLLECTS RUNOFF FROM THE PROPOSED DEVELOPED PART OF THE SITE AND IS PUMPED TO AN EXISTING CURB INLET IN TOYON ROAD, WHERE IT COMMINGLES WITH RUNOFF FROM ADJACENT LANDS THAT FLOW TO THIS SAME CURB INLET AND SO DOES NOT MEET THE REQUIREMENT FOR IT TO BE CONSIDERED A PDP. THE CITY HAS DETERMINED, FOR THE PROPERTY WESTERLY OF THIS PROJECT, THAT IT IS IRRELEVANT IF SUBSEQUENT COMMINGLED LATER DISCHARGE IS TO AN ESA.

THIS PROJECT IS CLASSIFIED AS A STANDARD DEVELOPMENT PROJECT, FOR STORM WATER PURPOSES, AS IT DOES NOT MEET ANY OF THE DEFINITIONS THAT WOULD REQUIRE IT TO BE CLASSIFIED A PDP.

Prepared By:

CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE (858)271-9901

Project Address:

5665 TOYON ROAD
SAN DIEGO, CA 92115

Revision 5:
Revision 4: 01-15-26 REVISE AREA OF COE
Revision 4: 08-04-25 ADD OFFSITE PUBLIC EASEMENT
Revision 2: 11-26-24 ADDRESS CITY COMMENTS REVISE DISTURBANCE AREA
Revision 1: 04-06-24 ADDRESS CITY COMMENTS

Project Name:
VOLEN RESIDENCE SDP
PTS 688248

Original Date: OCTOBER 01, 2023

Sheet Title:

Sheet 1 of 2 Sheets

PRELIMINARY GRADING PLAN

C01

CE &S CHRISTENSEN ENGINEERING & SURVEYING
CIVIL ENGINEERS LAND SURVEYORS PLANNERS
7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
TELEPHONE: (858) 271-9901 FAX: (858) 271-8912

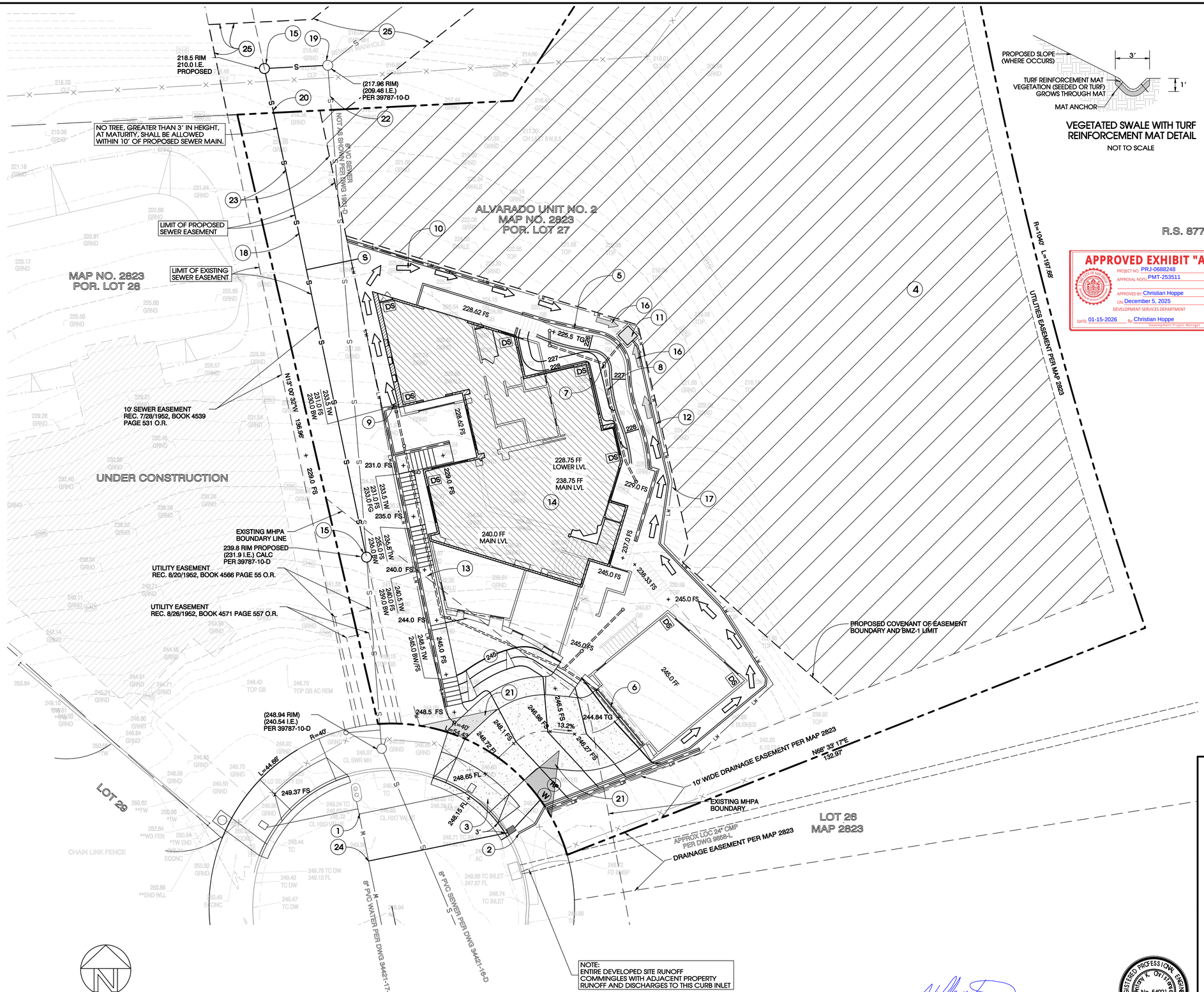
UNAUTHORIZED CHANGES & USES

CAUTION: The Engineer preparing these plans will not be responsible for, or liable for, unauthorized change to or uses of these plans. All changes to the plans must be in writing and must be approved by the preparer of

ANTONY K. CHRISTENSEN, RCE 54021 — JANUARY 15, 2026 Date

REGISTERED PROFESSIONAL ENGINEER — ANTONY K. CHRISTENSEN — No. 54021 — Exp. 12-31-27 — CIVIL — STATE OF CALIFORNIA

JN A2023-33



VEGETATED SWALE WITH TURF REINFORCEMENT MAT DETAIL

NOT TO SCALE

APPROVED EXHIBIT "A"

PROJECT NO: PRJ-0688248
APPROVAL NO(S): PMT-253511
APPROVED BY: Christian Hoppe
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DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager

CONSTRUCTION NOTES

1. KILL EX 1" WATER SERVICE AT MAIN.
2. PROPOSED PRIVATE 4"PVC PRESSURE PIPE FROM 3636 CATCH BASIN PUMP TO EXISTING CURB INLET BOX Q100 = 0.43 CFS
3. PROPOSED 12' DRIVEWAY PER SDG -160 (NO SIDEWALK)
4. PROPOSED COVENANT OF EASEMENT
5. MASONRY SITE RETAINING WALL (TYPICAL)
6. PROPOSED 6" TRENCH DRAIN (TYPICAL)
7. AREA DRAIN (TYPICAL)
8. PROPOSED 4" PVC DRAIN (TYPICAL)
9. PROPOSED 4" DRAIN PROPOSED POINT OF CONNECTION TO PROPOSED CONCRETE DITCH
10. PROPOSED CONCRETE DITCH
11. PROPOSED 3636 CATCH BASIN WITH 5 HP GOULDS PUMP (WS50D4 OR EQUIV.) Q100 = 0.43 CFS; TDH 38.69. TO INCLUDE FLOAT SWITCHES, ALARM AND CHECK VALVE
12. 4" PVC PRESSURE LINE FROM PUMPS
13. PROPOSED CONCRETE STAIRS AND LANDINGS
14. PROPOSED LOWER LEVEL OF BUILDING
15. PROPOSED PUBLIC SEWER MANHOLE (TYPICAL)
16. PROPOSED 3' VEGETATED SWALE WITH TURF REINFORCEMENT MAT SEE DETAIL ABOVE
17. LIMIT OF WORK LINE
18. PROPOSED PVT 4" SEWER LATERAL WITH CLEANOUT. EMRA REQUIRED.
19. PROPOSED PUBLIC 8" PVC SEWER MAIN TO JOIN EXISTING PUBLIC SEWER MANHOLE
20. PROPOSED PIBLIC 8" PVC SEWER MAIN
21. VISIBILITY TRIANGLE
    NO OBSTRUCTION, INCLUDING SOLID WALLS IN THE VISIBILITY AREA, SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILTY AREAS OR ADJACENT PUBLIC RIGHT-OF-WAY, SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
22. EXISTING PUBLIC SEWER MAIN TO BE ABANDONED.
23. PROPOSED 10' PUBLIC SEWER EASEMENT
24. PROPOSED 1" WATER SERVICE
25. POTENTIAL 20' WIDE OFFSITE PUBLIC SEWER EASEMENT TO BE OBTAINED (IF REQUIRED) BY THE CITY OF SAN DIEGO. THE APPLICANT IS NOT AN AGENT OF THE CITY OF SAN DIEGO AND CANNOT ENTER INTO NEGOTIATIONS ON THE CITY'S BEHALF. AS SHOWN, ADDITION PUBLIC SEWER MAIN EXISTS NORTH-EASTERLY OF THE REALIGNED SEWER SEGMENT.

GRADING DATA

AREA OF SITE - 29,830 S.F. (0.675 AC)
AREA OF SITE TO BE GRADED - 6,991 SF
PERCENT OF SITE TO BE GRADED - 23.4%

AMOUNT OF CUT - 315 CY C.Y.
AMOUNT OF FILL - 285 C.Y.
AMOUNT OF EXPORT - 30 C.Y
EARTHWORK ASSUMES 5" SLAB AND 4" SAND BUILDING, 5' DRIVEWAY SECTION, 4" PATIO/WALKWAYS)
MAXIMUM HEIGHT OF FILL SLOPE - 4'
MAXIMUM HEIGHT OF CUT SLOPE - 3'
MAXIMUM HEIGHT OF VERTICAL CUT: 9' INSIDE BUILDING,
4 FEET OUTSIDE BUILDING
MAXIMUM HEIGHT OF VERTICAL FILL: 9' FEET WITHIN BUILDING,
5' OUTSIDE OF BUILDING

RETAINING WALL: 95' ; MAX HEIGHT 5' (4.5' RETAINING)

EXISTING IMPERVIOUS AREA = 0.0 AC (0%)
PROPOSED (CREATED/REPLACED) IMPERVIOUS AREA = 4,873 SF 0.112 AC (16.3%)

Prepared By:

CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE "J"
SAN DIEGO, CA 92126
PHONE (858)271-9901

Project Address:

5665 TOYON ROAD
SAN DIEGO, CA 92115

Revision 5:
Revision 4: 01-15-26 REVISE AREA OF COE
Revision 3: 08-04-25 ADD OFFSITE PUBLIC EASEMENT
Revision 2: 11-26-24 ADDRESS CITY COMMENTS
REVISE DISTURBANCE AREA
Revision 1: 04-06-24 ADDRESS CITY COMMENTS

Project Name:
VOLEN RESIDENCE SDP
PTS 688248

Original Date: OCTOBER 01, 2023

Sheet Title:

Sheet 2 of 2 Sheets

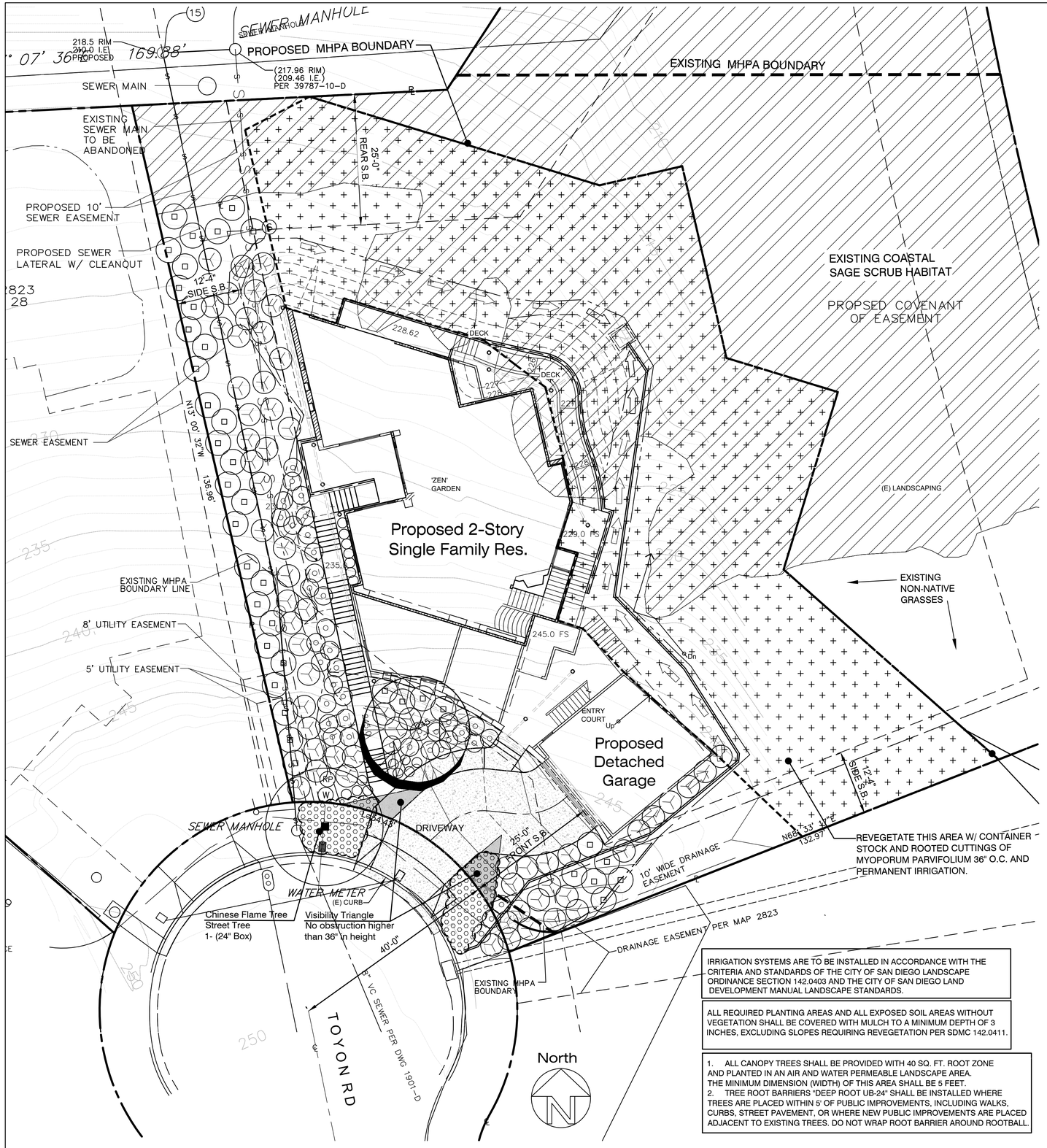
PRELIMINARY GRADING PLAN

C02

JN A2023-33

ANTONY K. CHRISTENSEN, RCE 54021 — JANUARY 15, 2026 Date

REGISTERED PROFESSIONAL ENGINEER — ANTONY K. CHRISTENSEN — No. 54021 — Exp. 12-31-27 — STATE OF CALIFORNIA



PLANT LEGEND

STREET TREE

SYMBOL	BOTANICAL NAME / COMMON NAME	SIZE	MATURE HT X SPD
	KOELREUTERIA BIPINNATA CHINESE FLAME TREE	24" BOX	35'X25'

ACCENT TREE

	ARBUTUS UNEDO "MARINA" STRAWBERRY TREE	24" BOX	20'X20'
	BAUHINIA BLAKEANA HONG KONG ORCHID TREE	24" BOX	20'X20'

LARGE ACCENT SHRUBS

BOTANICAL NAME / COMMON NAME	SIZE	MATURE HT X SPD
LIGUSTRUM TEXANUM TEXAS PRIVET	5 GAL.	5'X5'
PHORMIUM TENAX NEW ZEALAND FLAX	15 GAL.	4'X6'
RHAPHIOLEPIS INDICA 'PINK LADY' PINK INDIA HAWTHORN	5 GAL.	4'X4'

MEDIUM ACCENT SHRUBS

ANIGOZANTHOS FLAVIDUS KANGAROO PAW	5 GAL.	3'X3'
CALLISTEMON CIT. 'LITTLE JOHN' DWARF BOTTLEBRUSH	5 GAL.	3'X3'
MYRTUS COMMUNIS COMPACTA COMPACT MYRTLE	5 GAL.	3'X3'

SMALL ACCENT SHRUBS

FESTUCA OVINA BLUE FESCUE	1 GAL.	12"x12"
NANDINA DOMESTICA 'GULFSTREAM' HEAVENLY BAMBOO HYBRID	5 GAL.	18"X18"
TULBAGHIA VIOLACEA SOCIETY GARLIC	1 GAL.	12"x12"

VINES

BOUGAINVILLEA SPP. BOUGAINVILLEA VINE	5 GAL.	4'X4'
DISTICTIS BUCCINATORIA RED TRUMPET VINE	5 GAL.	6'X2'

GROUND COVER

LANTANA "NEW GOLD" NEW GOLD LANTANA	1 GAL	2'x5' (PLANT 30" O.C. TRIANGULAR SPACING)

SLOPE REVEGETATION (ZONE 1 PLANTINGS)

MIMULUS AURANTIACUS STICKY MONKEY FLOWER	1 GAL	4'x5'
RIBES SPECIOSUM GOOSEBERRY	1 GAL	5'x5'
RHUS INTEGRIFOLIA LEMONADE BERRY	1 GAL	8'x10'
SALVIA APIANA CALIFORNIA WHITE SAGE	1 GAL	2'x5'
MYOPORUM PARVIFOLIUM PROSTRATE MYOPORUM	ROOTED CUTTINGS	12"x6' (PLANT 36" O.C. TRIANGULAR SPACING)

MHPA LAND USE NOTES:

DRAINAGE:
All new and proposed parking lots and developed areas in and adjacent to the preserve must not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials and other elements that might degrade or harm the natural environment or ecosystem processes within the MHPA

TOXICS:
This project incorporates measures to reduce impacts to the MHPA by installing drainage swales and catch basins fronting the MHPA areas. these swales and catch basins will be maintained as necessary

LIGHTING:
All lighting shall be directed away from the MHPA, development shall provide shielding with non-inasive plant material to protect sensitive species in the MHPA.

BARRIERS:
Owner shall provide signage along the MHPA boundary to discourage any access to the area.

BRUSH MANAGEMENT:
Brush management plans have been prepared for this project, see sheet L-2.

DRAINAGE:
All new and proposed parking lots and developed areas in and adjacent to the preserve must not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials and other elements that might degrade or harm the natural environment or ecosystem processes within the MHPA

ALL PLANTERS SHALL RECEIVE 3" LAYER OF SHREDDED BARK MULCH

MINIMUM TREE SEPARATION DISTANCE:
DRIVEWAYS - 10 FEET
TRAFFIC SIGNAL, STOP SIGN - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, POLES, ETC.) - 10 FEET

APPROVED EXHIBIT "A"
PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE 01-15-2026 By Christian Hoppe
Development Project Manager

NOTE:
1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
3. A RAISED CONCRETE OR OTHER CURB OF AT LEAST 6 INCHES IN HEIGHT WILL BE PROVIDED TO ALL LANDSCAPE AREAS IN OR ADJACENT ALL VUA AREAS FOR PROTECTION FROM VEHICULAR DAMAGE.

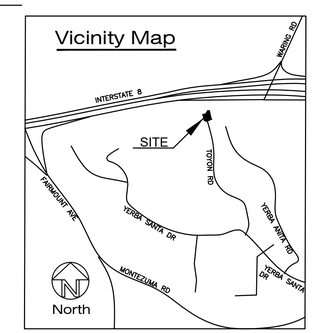
IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.

ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

1. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FT. ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
2. TREE ROOT BARRIERS "DEEP ROOT UB-24" SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS, INCLUDING WALKS, CURBS, STREET PAVEMENT, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. DO NOT WRAP ROOT BARRIER AROUND ROOTBALL.

Notes:

1. All Landscape and Irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other Landscape related City and Regional Standards.
2. Maintenance: All required landscape areas shall be maintained by Owner. Landscape and irrigation areas in the public right-of-way shall be maintained by Owner. The landscape areas shall be maintained free of debris and litter,and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
3. A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5).
4. Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the San Diego Municipal Code, Section 142.0403(b)(10).
5. Tree Maintenance: All pruning shall comply with the standards if the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted.
6. If any required landscape indicated on the approved construction documents plan is damaged, or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.



Landscape Development Plan | SCALE 1" = 10'-0" | 1

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DATE: 5/14/2024

Hutter Designs, Inc.
Landscape Architects
2725 Collier Avenue
San Diego, Ca 92116
T: (619) 337-4044

REGISTERED LANDSCAPE ARCHITECT
STEVEN H. HUTTER
No. 3362
SIGNATURE
11/28/23
DATE
EXP. 3/31/25
STATE OF CALIFORNIA

Project Title:
TOYON ROAD RESIDENCE
Toyon Rd.
San Diego, CA

New Single Family Residence

SITE DEVELOPMENT PERMIT

Developer:
JOSHUA VOLEN
-
SAN DIEGO, CA 92100
TEL. (000) 000-0000

Revisions:
PLANCHECK CORRECTIONS 1
PLANCHECK CORRECTIONS 2
PLANCHECK CORRECTIONS 3

Sheet Title:
Landscape Development Plan

Signatures:

Drawings Prepared By:
Steven H. Hutter

Project No.: 21003

Drawn By: SH
Checked By: SH

Date: 3/10/2023

Sheet No.:
L-1

BRUSH MANAGEMENT REQUIREMENTS (SDMC Section 142.0412).

Any property containing a habitable structure and native or naturalized vegetation is required to provide 100 feet of brush management in two distinct zones: Zone 1 and Zone 2. Special requirements may apply (i.e. pre-1989 development). Check with Fire-Rescue or DSD before you begin brush management work.

Brush Management Zone 1 typically extends 35 feet out from the habitable structure towards flammable vegetation, and occurs on the level portion of a property.

• Zone 1 must be maintained on a regular basis by thinning and pruning trees and plants, controlling weeds, and maintaining irrigation systems.

• No habitable structures are permitted. New construction (i.e. fences, walls, palapas, play structures, gazebos, and decks) must be non-combustible and/or have a minimum 1-hour fire resistance rating. Previously conforming structures (legally constructed prior to ordinance) may remain unless they constitute a distinct danger to life or property.

• Plants should be primarily low-growing (less than 4 feet in height), low-fuel, and fire-resistive.

• All portions of trees, other than the trunk, which extend within ten feet of a structure or the outlet of any chimney, must be cut back.

• Trees adjacent to or overhanging any building must be free of dead wood.

• Roof and rain gutters must be free of leaves, needles, or other dead vegetative growth. Brush Management Zone 2 is the remaining 65 feet that extends beyond Zone 1, typically comprised of undisturbed vegetation on a slope subject to sensitive biological resource protections.

• Zone 2 must be maintained on a regular basis by controlling weeds and removing invasive species. (See back of Bulletin under additional information.)

• Selective thinning and pruning of native and non-native plants is required to reduce the fuel-load. Do not grade or grub native plants, soils or habitats. Non-native plants must be pruned before native plants. See detailed instructions provided in this Bulletin. Violators will be responsible for restoration and mitigation costs as applicable.

• Brush management activity is not allowed March 1 through August 15 in coastal sage scrub, maritime succulent scrub, or coastal sage-chaparral habitats, unless an exception is specifically granted.

• NO structures or permanent irrigation are allowed in Zone 2.
• A permit is required to re-vegetate or reconfigure Brush Management Zone 2. Failure to obtain the required permits could result in costly corrective action.

Brush Management: Brush Management Zone One shall be least flammable and shall typically consist of pavement and permanently irrigated ornamental planting. Zone Two consists of thinned, native or naturalized non-irrigated vegetation.

FPB Policy B-08-1: "Brush management activities are prohibited within coastal sage scrub, maritime succulent shrub, and chaparral habitats during the breeding season of federally protected species, from March 1 to August 15, except where documented to the satisfaction of the City of San Diego that the thinning would be consistent with the conditions of species coverage described in the City of San Diego's MSCP Subarea Plan."

Brush Management Zone One: Zone one shall not encroach into MHPA and areas containing sensitive biological resources / steep hillsides (ESL). Brush Management Zone One is not typically allowed on slopes with a gradient greater that 4:1 (4 horizontal feet to 1 vertical foot) unless the property received Tentative Map Approval before November 15, 1989.

-Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive.

-Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity.

Structures in Zone One shall be of noncombustible, one-hour fire-rated or Type IV heavy timber construction as defined in the California Building Code. Landscape staff appreciates the proposed structure conforming to SDMC 145.0706.

Structures: Previously conforming, legal structures (such as wooden fences, gazebos, decks) within Zone One shall be allowed to remain. However, they must meet the fire-rating criteria per SDMC 142.0412(g)(2) upon repair and/or replacement.

"All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of the Owner, Joshua Volen. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition."

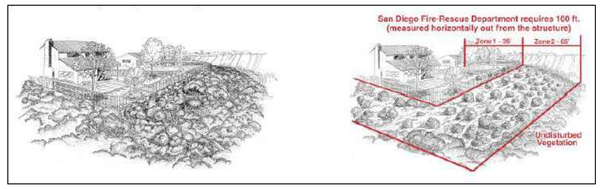
MSCP LAND USE AGENCY GUIDELINES:

Zone 2 may be located in the MHPA upon granting of an easement to require it to be located outside of the MHPA. Brush management zones will not be greater in size that is currently required by the City's regulations. The amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with City standards and shall avoid / minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush management in the Zone 2 area will be the responsibility of a homeowners association or other private party.

How to Selectively Thin and Prune Plants and Trees in Zone 2 and Avoid Clearing Sensitive Vegetation in Violation of the Code.

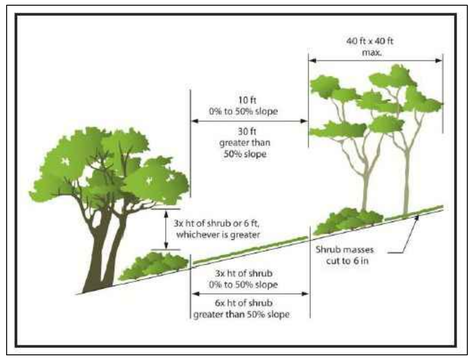
Step 1: Remove…. as much dead wood as you can and invasive species within the Brush Management Zone areas.

Step 2: Thin…. the entire Zone 2 area. Start by cutting down 50% of the plants over 2 feet in height to a height of 6 inches. Don't go any lower than 6 inches so the roots remain to control soil erosion. The goal is to create a "mosaic" or more natural look, as shown below, so do your cutting in a "staggered" pattern. Leave uncut plant groupings up to 400 square feet — that's a 20x20-foot area, or an area that can be encircled by an 80-foot rope — separated by groupings of plants cut down to 6 inches. Thinning should be prioritized as follows: 1) invasive non-native species; 2) non-native species; 3) flammable native species; 4) native species; and 5) regionally sensitive species.



Before Brush Management — After Thinning and Pruning

Step 3: Prune…. all plants or plant groupings that are left after the thinning process to achieve the horizontal and vertical clearances shown in the illustration below. (For trees in Eucalyptus Woodlands areas, see FPB Policy B-08-1.)



Tree and Shrub Spacing

Remaining plants, 4 feet or more in height, should then be cut and shaped into "umbrellas." This means pruning one half of the lower branches to create umbrella-shaped canopies. This allows you to see and deal with what is growing underneath. Upper branches may then be shortened to reduce fuel load as long as the canopy is left intact. This keeps the plant healthy and the shade from the plant canopy reduces weed and plant growth underneath. Vegetation that is less than 4 feet in height, like coastal sage scrub, should be cut back to within 12 inches of the root crown.

Chaparral Plant Before Pruning — Chaparral Plant After Pruning

Step 4: Dispose…. of the cuttings and dead wood by either hauling it to a landfill; or, by chipping/mulching it on-site and spreading it out in the Zone 2 area to a depth of not more than 6 inches.
Step 5: Thin and prune annually…. because plants will grow back.

Additional Information

• Property restrictions (easements, permits, deed or title): County Recorder (619) 237-0502.

• Obtaining permits for brush management on private property with restrictions: City of San Diego Development Services Department (619) 446-5000. http://www.sandiego.gov/development-services

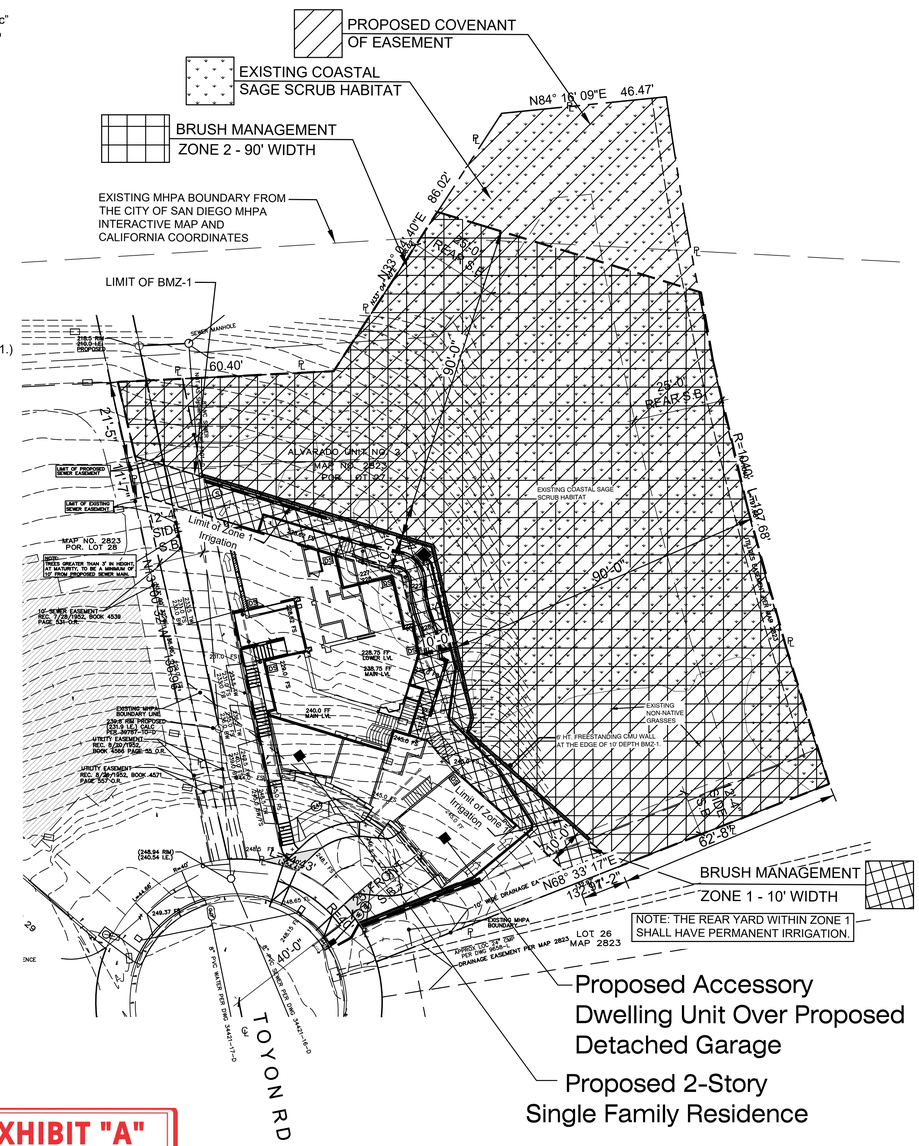
• See Bulletin #2: Use of Goats for Brush Management for an alternative way to thin brush. http://www.sandiego.gov/fire/pdf/ goatspermit.pdf

• City of San Diego Landscape Standards: Guidance on plant materials (prohibited invasive species) and brush management techniques. http://www.sandiego.gov/ development-services/pdf/industry/ standards09.pdf

APPROVED EXHIBIT "A"
THE CITY OF SAN DIEGO Development Services Department
PROJECT NO. PRJ-0688248
APPROVAL NO(S). PMT-253511
APPROVED BY: Christian Hoppe
ON: December 5, 2025
DEVELOPMENT SERVICES DEPARTMENT
DATE: 01-15-2026 By: Christian Hoppe
Development Project Manager

BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS	COMMENTS
ZONE ONE WIDTH W/ PERMANENT IRRIGATION	10 FT.	ALL WALLS AND DOORS FACING BRUSH MANAGEMENT ZONE 1 SHALL BE 1 HR RATED AND ALL WINDOWS SHALL BE DUAL GLAZED / TEMPERED GLASS.
ZONE TWO WIDTH	90 FT.	



All Structures in Zone One shall be of noncombustible, one-hour fire-rated as defined in the California Building Code. Proposed structures shall conform to SDMC 145.0706.

Landscape Irrigation: The entire rear yard landscaping within Zone 1 shall have permanent irrigation.

North

Brush Management Plan | SCALE 1" = 20'-0" | 1

DATE: 1/9/2026

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REGISTERED LANDSCAPE ARCHITECT
STEVEN H. HUTTER
No. 3382
SIGNATURE
4/2/2025
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EXP. 3/31/27
STATE OF CALIFORNIA

Project Title:
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Toyon Rd.
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New Single Family Residence

SITE DEVELOPMENT PERMIT

Developer:
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-
SAN DIEGO, CA 92100
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PLANCHECK CORRECTIONS 1
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PLANCHECK CORRECTIONS 3

Sheet Title:
Brush Management Plan

Signatures:

Drawings Prepared By:
Steven H. Hutter

Project No.: 21003

Drawn By: SH
Checked By: SH

Date: 3/10/2023

Sheet No.: L-2