

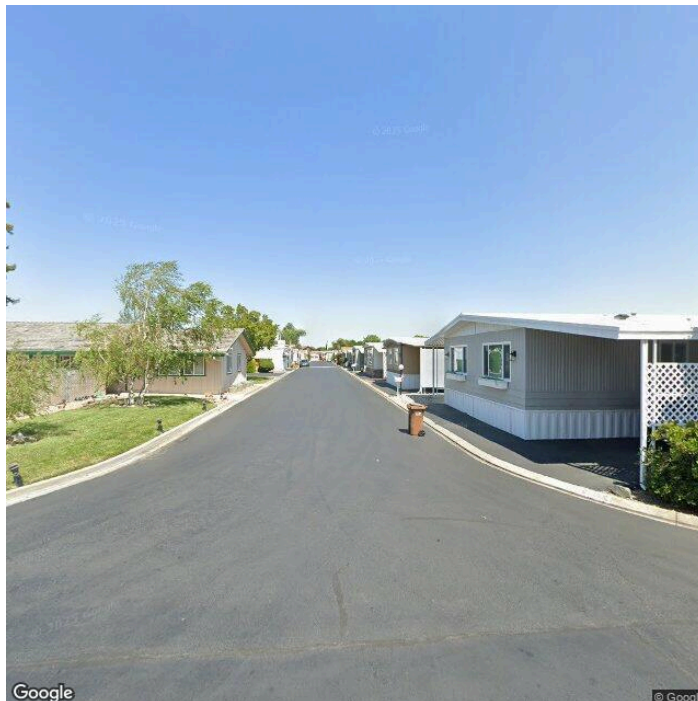


ROB BOWLEN HOME INSPECTION INC.

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RESIDENTIAL REPORT

3660 Walnut Blvd 43
Brentwood, CA 94513

Charmaine Ehrhart

03/25/2026



Inspector

Rob Bowlen

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Inspection Details

CONVENTIONS USED IN THIS REPORT

For your convenience, the following conventions have been used in this report.

Major Concern: a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

Safety Issue: denotes a condition that is unsafe and in need of prompt attention.

Repair: denotes a system or component which is missing or which needs corrective action to assure proper and reliable function.

Monitor: denotes a system or component needing further investigation and/or monitoring in order to determine if repairs are necessary.

Improve: denotes improvements which are recommended but not required.

Deferred Cost: denotes items that have reached or are reaching their normal life expectancy or show indications that they may require repair or replacement anytime during the next five (5) years.

Please note that those observations listed under “Discretionary Improvements” are not essential repairs, but represent logical long term improvements.

For the purpose of this report regarding locations the terms Right, left, front and rear are used in the context as if you are standing in front of the house street side and looking towards the structure.

THE SCOPE OF THE INSPECTION

All components designated for inspection in the InterNACHI Standards of Practice are inspected, except as may be noted in the “Limitations of Inspection” sections within this report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this Inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in this report, and no opinion of the inspector,

should be construed as advice to purchase, or not to purchase, the property. It is the goal of the inspection to put a home buyer in a better position to make a buying decision.

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. The property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence of health related molds. You should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances.

Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly.

Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

1: INSPECTION DETAILS

Information

General Information: Age of home

10-15 years

General Information: Type of building

manufactured home

General Information: In Attendance

Seller, Sellers agent

General Information: Weather Condition

Inspected on a dry day

General Information: OCCUPANCY

Furnished, Occupied

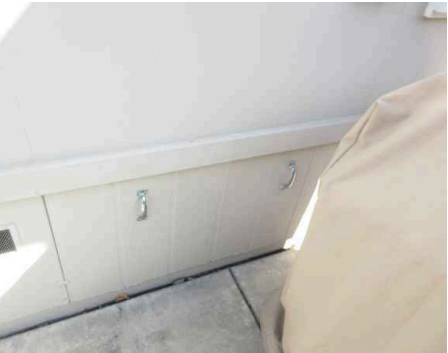
2: STRUCTURE

Information

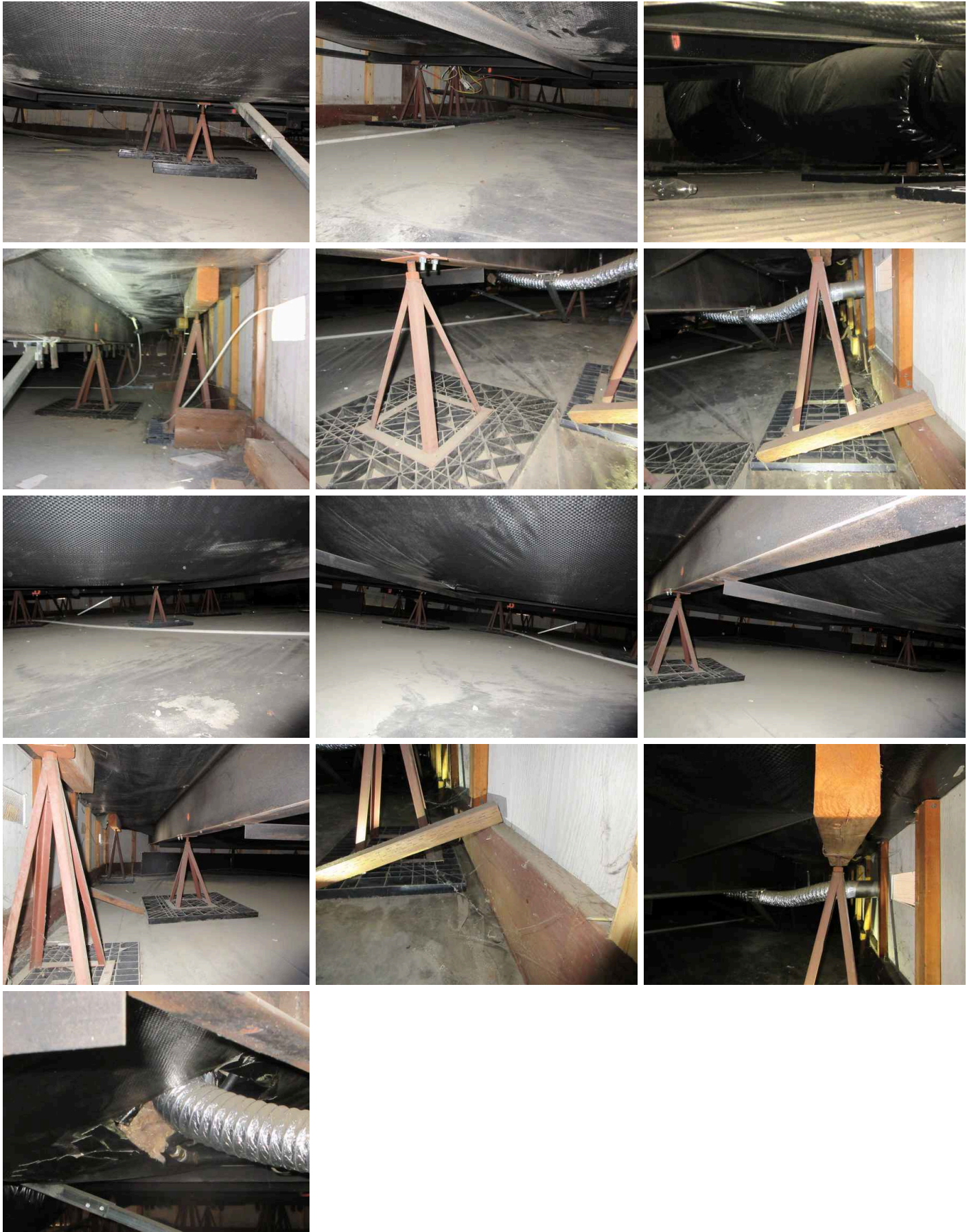
Foundation: Material
unit placed on metal jacks

Wall Structure: Wall Strcture
Wood Frame

Crawlspace: Crawlspace Access Hatch Location
Exterior right and exterior left side (2)



Crawlspace: Pictures of crawlspace



Limitations

General

STRUCTURAL LIMITATION

Structural components concealed behind finished surfaces could not be inspected.

Only a representative sampling of visible structural components were inspected.

Furniture and/or storage restricted access to some structural components.

Engineering or architectural services such as calculation of structural capacities, adequacy, or integrity are not part of a home inspection.

Foundation

IMPORTANT SOILS INFORMATION

We are not soil or geotechnical engineers and cannot render an opinion regarding soil stability or potential soil movement. If desired qualified specialists should be consulted on these matters.

Crawlspace

PORTIONS OF THE CRAWLSPACE NOT VISABLE

Several portions of the crawlspace were inaccessible for inspection due to lack of proper clearance to crawl, stored items, ducting, under carriage metal framing and jacks stands and were not inspected. No opinion is given regarding inaccessible areas.



Crawlspace

SUBFLOOR INSULATED

The subfloor is insulated making the substructure framing and subfloor inaccessible for inspection. No opinion is given regarding inaccessible areas.

Crawlspace

CRAWLSPACE UNDERSIDE INACCESSIBLE

The underside and areas below front porches and steps were inaccessible and not inspected.

Additional Construction

ADDITIONAL CONSTRUCTION

Various modifications may have been made to the building since its original construction. Some but not necessarily all of the modifications were made to the following components and areas:

Plumbing, electrical and HVAC upgrades and repairs,

Prior to the close of escrow we recommend a permit history be obtained from the local building department to determine if modifications to the building were made with permit. If no permits were issued and signed off, we recommend having all modifications completely evaluated by the appropriate government agency for code compliance. Buyers can take on significant risk on all non-permitted construction and modification.

Wood Boring Insects

NOT A WDO INSPECTION

This is not a Wood Destroying Organism Inspection. Should you desire information regarding the presence or absence of Wood Destroying Organisms such as but not limited to Termites, Beetles, Fungus and Dry-rot damage we recommend you contact a qualified Branch 3 Termite Company for inspection and written report.

Attic Area

ATTIC NOT ACCESSIBLE

The attic area could not be inspected because no access hatch is installed. Without an access point, a complete evaluation of insulation, ventilation, structural components, and potential moisture issues cannot be performed.

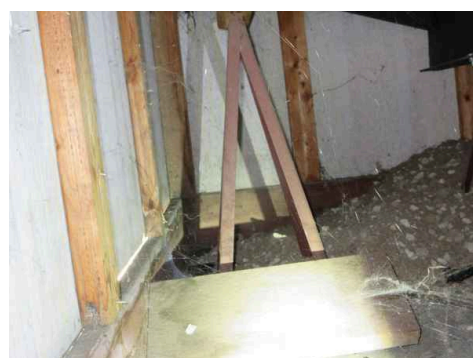
Deficiencies

2.1.1 Foundation

MISSING SUPPORT PAD UNDER JACK

Recommendations

An undercarriage support jack was observed without a proper pad beneath it. Support jacks require adequate bearing surfaces to distribute load safely and prevent damage to the foundation or floor structure. A qualified professional should inspect the jack installation and install appropriate support pads to ensure proper load distribution and structural integrity.



2.2.1 Crawlspace

DAMAGED UNDERCARRIAGE INSULATION COVERING

Recommendations

The underbelly fabric covering at the undercarriage is damaged. This protective layer shields the insulation and mechanical systems from weather exposure and pest intrusion. Damaged covering can allow moisture infiltration, accelerate insulation deterioration, and create entry points for rodents and insects. The affected areas should be patched.

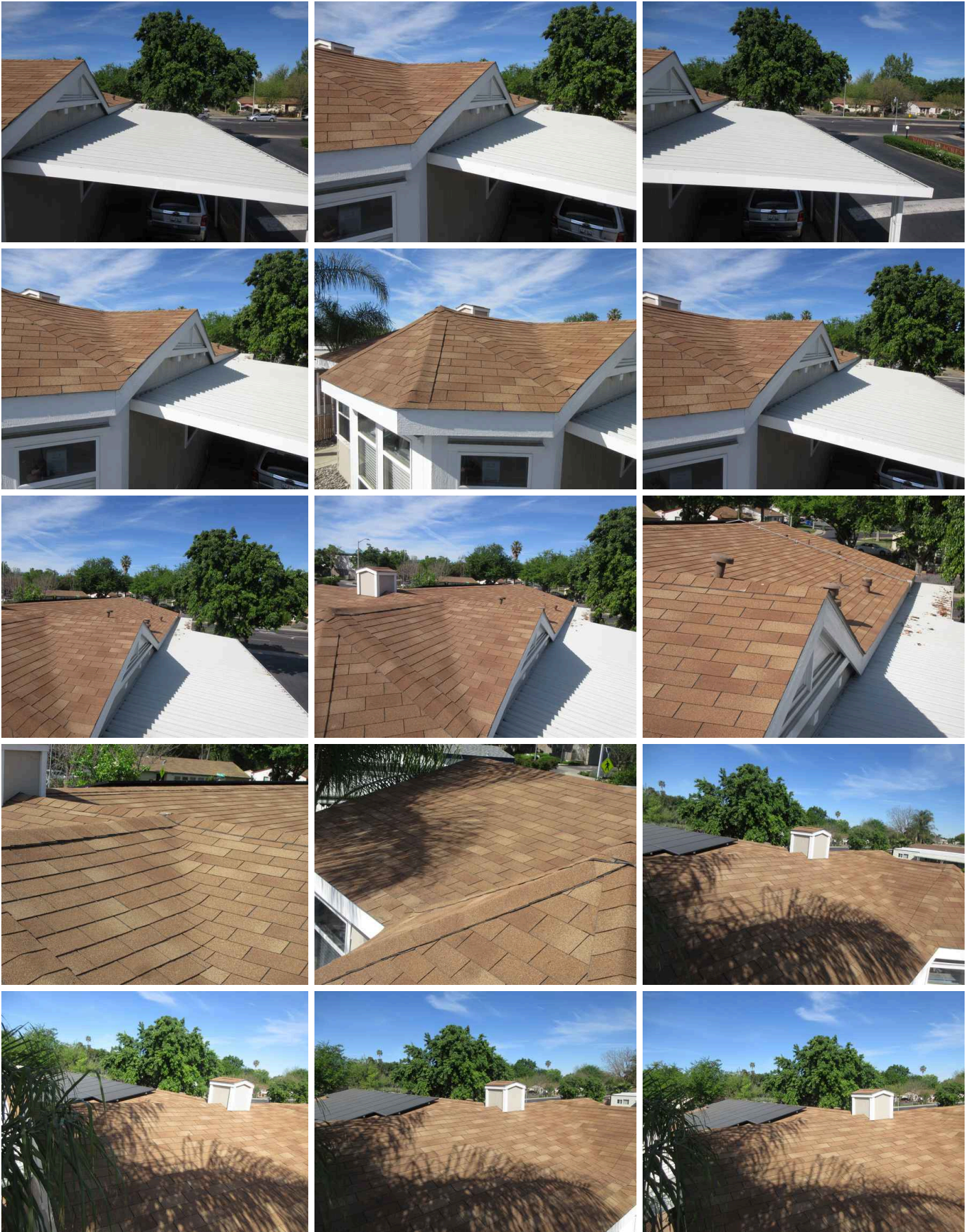


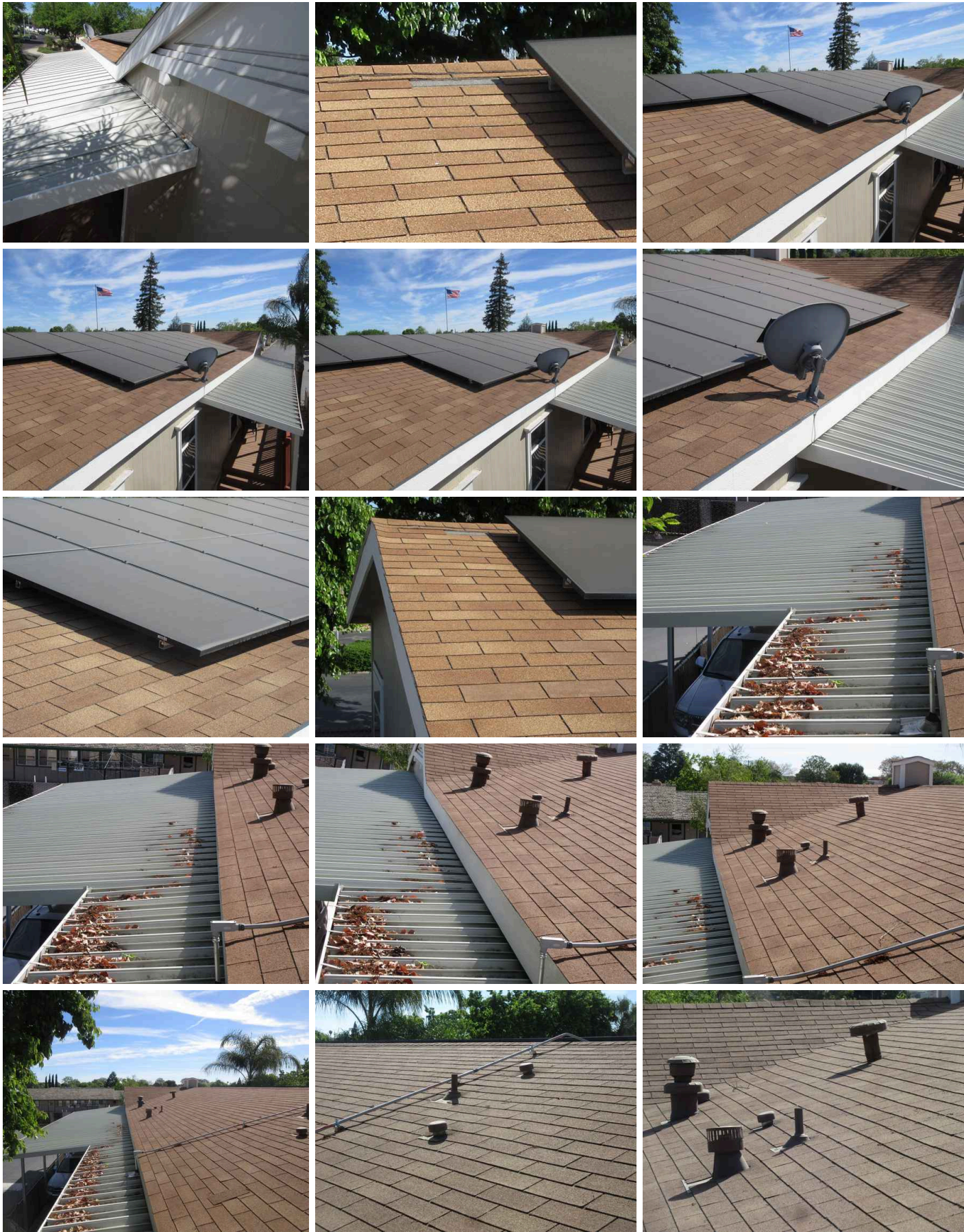
3: ROOF

Information

Roof Type/Style Sloped	Roof age (Approx.) 11 Years	Coverings: Material Composition asphalt shingle
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PICTURES OF THE ROOF







Limitations

General

IF YOU REQUIRE A ROOF CERTIFICATION

This inspection is not a guarantee against future leaks. Should you desire a guarantee against future leak you would need to contact a qualified roofer licensed by the CSLB to perform a complete roof inspection and if the roof qualifies you would need to make any needed repairs and then purchase a "Roof Certification".

General

LIMITATIONS OF ROOFING INSPECTION

Not all of the underside of the roof sheathing is inspected for evidence of leaks.

Evidence of prior leaks may be disguised by interior finishes.

Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage.

Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, and other factors.

Antennae, chimney/flue interiors which are not readily accessible are not inspected and could require repair.

Roof inspection may be limited by access, condition, weather, or other safety concerns.

Coverings

SOLAR PANELS LIMIT TO ACCESS ROOF

Solar panels on the roof restricted the inspection of the roofing below.



Deficiencies

3.1.1 Coverings

TREES NEAR ROOF



Recommendations

The tree limbs and vegetation that are in contact with roof and/or hanging near roof should be trimmed to reduce roof covering deterioration and/or avoid/reduce moisture intrusion.

The Inspector recommends having tree limbs trimmed by a Qualified Tree Professional/Contractor as necessary.



3.1.2 Coverings

MINOR REPAIRS NEEDED TO ROOF



Recommendations

Minor repairs to the roofing are needed. Damaged or missing roofing material should be repaired. All roof penetrations should be examined by a qualified roofer and sealed as necessary.



3.1.3 Coverings

DEBRIS ON ROOF



Recommendations

Debris should be removed from the roofing to reduce risk of leaks and early roof wear.



4: EXTERIOR

Information

Siding, Flashing & Trim: Siding Material

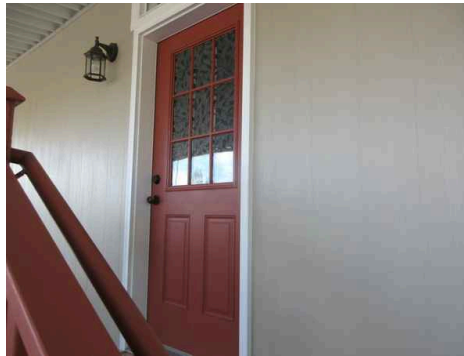
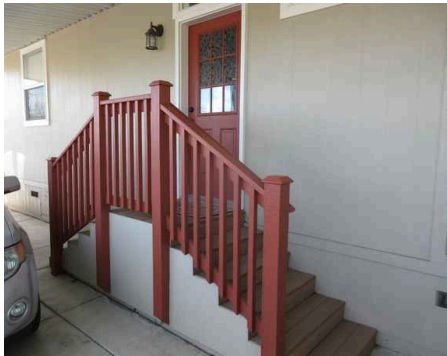
Fiber Cement

Exterior Doors: Exterior Entry Door

Metal, Wood

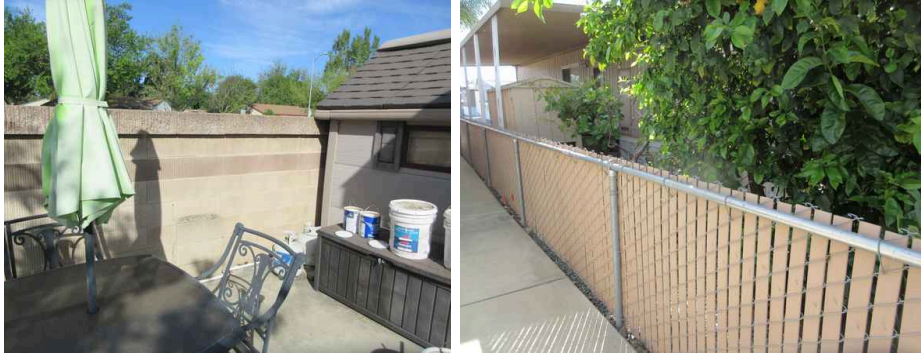
Walkways, Patios & Driveways: Walkway Material

Concrete

General: Pictures of the exterior

Fences and Gates: Fence Material

Wood, Masonry



Limitations

General

EXTERIOR LIMITATIONS

A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards.

Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report.

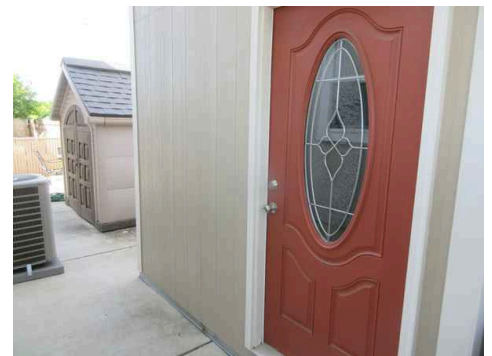
The inspection does not include an assessment of geological conditions, site stability and property surface and/or underground drainage runoff.

Exterior areas above eight feet were not inspected.

General

OUTBUILDINGS AND SHEDS NOT INSPECTED

Outbuildings and sheds were not inspected during this evaluation. These structures were outside the scope of the standard home inspection and their condition, structural integrity, and systems remain unknown.



Walkways, Patios & Driveways

DRIVEWAY LIMITED INSPECTION

Access to the driveway was limited due to the car parked in the driveway during the inspection.

Walkways, Patios & Driveways

WALKWAYS INACCESSIBLE FOR INSPECTION

The majority of the walkways were inaccessible for inspection due to leaves covering these areas. We recommend the leaves be removed and the area be further inspected.

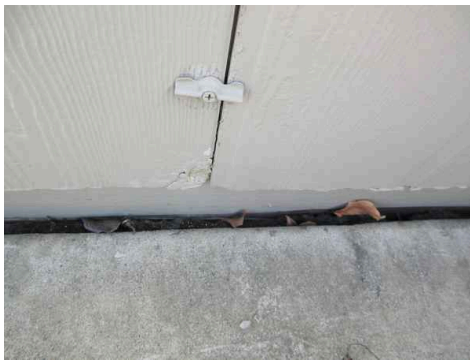


Deficiencies

4.2.1 Siding, Flashing & Trim

CEMENT BOARD SIDING DAMAGED

Damaged or cracked siding was noted at exterior walls. Repair as needed to prevent water entry.



4.4.1 Decks, Balconies, Porches & Steps

BASE OF FRONT PORCH MINIMAL DAMAGE

The base of the front porch step framing has minimal damage and is in earth to wood contact. Ideally the steps should be placed on concrete



4.4.2 Decks, Balconies, Porches & Steps

DEBRIS ON CARPORT COVER

Debris was observed accumulating on the carport cover during inspection. Accumulated debris can trap moisture, promote deterioration of the cover material, and potentially damage the structure if weight becomes excessive. The carport cover should be cleared of all debris and a regular maintenance schedule established to prevent future buildup.



4.7.1 Walkways, Patios & Driveways

TYPICAL SIZE CRACKS WALKWAYS

Typical size cracks note in the walkway and patio. Cracks more than 1/8 inch high can present a trip hazard.



5: GARAGE

6: ELECTRICAL

Information

Service Ground

Copper Ground Wire

Service Entrance Conductors: Electrical Service Conductors

Below Ground

GFCI & AFCI: Ground Fault Circuit Interrupters

Kitchen, Exterior, Hall bathroom

Carbon Monoxide Detectors:

Carbon Monoxide Detector

Present

All Electrical Repairs Listed are Safety Items

Important Safety Notice: All electrical repairs listed in this report should be considered as important safety items as they present risk of fire or shock. These items should receive high priority for action.

Picture of main panel

Exterior right



Picture of Sub Panel

Laundry room



Smoke Detectors: SMOKE DETECTORS ARE PRESENT

The smoke detectors were adequately distributed throughout the living areas, bedrooms, etc., and properly functioning at the time of the inspection. We recommend the new home owner to re-test the smoke detectors and change the batteries upon moving into your home. Smoke detectors can sometimes stop working after the home inspection has been completed. It is further recommended to change the batteries yearly. Smoke detectors should not remain in service for longer than 10 years from the date of manufacture and should be replaced thereafter.

Limitations

General

PORTIONS OF THE ELECTRICAL SYSTEM ARE INACCESSIBLE

Several portions of the electrical system are inaccessible and were not inspected. Electrical enclosed in walls is not inspected. Electrical behind stored items is not inspected. We recommend you have a qualified electrician evaluate the entire electrical system and repair/replace if/as needed.

General

ELECTRICAL LIMITATIONS

Electrical components concealed behind finished surfaces are not inspected.

Only a representative sampling of outlets and light fixtures were tested.

Furniture and/or storage restricted access to some electrical components which may not be inspected.

The inspection does not include remote control devices, alarm systems and components, low voltage wiring, systems, and components, ancillary wiring, systems, and other components which are not part of the primary electrical power distribution system.

Lights with built in motion sensors are not tested and are not part of this inspection.

Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow or breakers trip regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits.

Inspection of the installation, wiring and function of an electrical vehicle charger is excluded from this report. We recommend consulting the vehicles manufacturer specifications for further information on installation, testing and operation.

Main & Subpanels, Service & Grounding, Main Overcurrent Device

SUB PANEL COVER NOT REMOVED

The auxiliary/sub panel cover plate (dead front) could not be removed at the time of inspection.

Outlets

GFCI OUTLETS NOT TESTED

GFCI outlets were not tested as the home is occupied and testing can cause damage to some plugged in components.

Deficiencies

6.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

DEAD FRONT COVER MISSING

The inner dead front cover of the main panel is missing and should be added as a safety measure.



Recommendations



6.4.1 Outlets

COVER PLATES MISSING



One or more receptacles are missing a cover plate due to a room being painted. This causes short and shock risk. Recommend installation of plates. The home owner is aware to have the covers installed after the painting is completed.

6.5.1 GFCI & AFCI

GFCI RECOMMENDATIONS



The installation of ground fault circuit interrupter (GFCI) devices is advisable on exterior, garage, bathroom and some kitchen outlets. Any whirlpool or swimming pool equipment should also be fitted with GFCI's as they offer protection from shock or electrocution.

7: HEATING

Information

Equipment: Brand Revolv	Equipment: Furnace Location Utility room closet	Normal Operating Controls: Thermostat Location Hallway
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Normal Operating Controls:
Number of Visible Thermostats
One

Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

THE SYSTEM RESPONDED PROPERLY TO OPERATING CONTROLS

The furnace responded to normal operating controls and the components appear to be in serviceable condition. Routine maintenance will keep it functional and maximize service life.



Equipment: PICTURES OF THE HEATING SYSTEM



Limitations

General

LIMITATIONS OF HEATING INSPECTION

The adequacy of heat supply or distribution balance is not inspected.

The interior of flues or chimneys which are not readily accessible are not inspected.

The furnace heat exchanger, humidifier, or dehumidifier, and electronic air filters are not inspected.

Solar space heating equipment/systems are not inspected.

As per current standards the heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, most local utility companies will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.

Inspection of the heater and/or air conditioner thermostat is limited to operating the units(s) on and off function only.

Testing of the thermostat timer, temperature accuracy, clock, set back functions, etc. were not performed.

As per current standards determining furnace heat supply adequacy or inadequacy, distribution balance or sizing of the unit or units is not a part of this inspection.

The wall mount and/or window mounted air conditioning unit (if applicable) was not inspected and are excluded from this report.

Heating and/or air conditioning registers where accessible were visually inspected. Manual operation of the registers was not performed.

Deficiencies

7.3.1 Distribution Systems

DUCT CLEANING IS RECOMMENDED

Duct cleaning is recommend.



Information/Observation

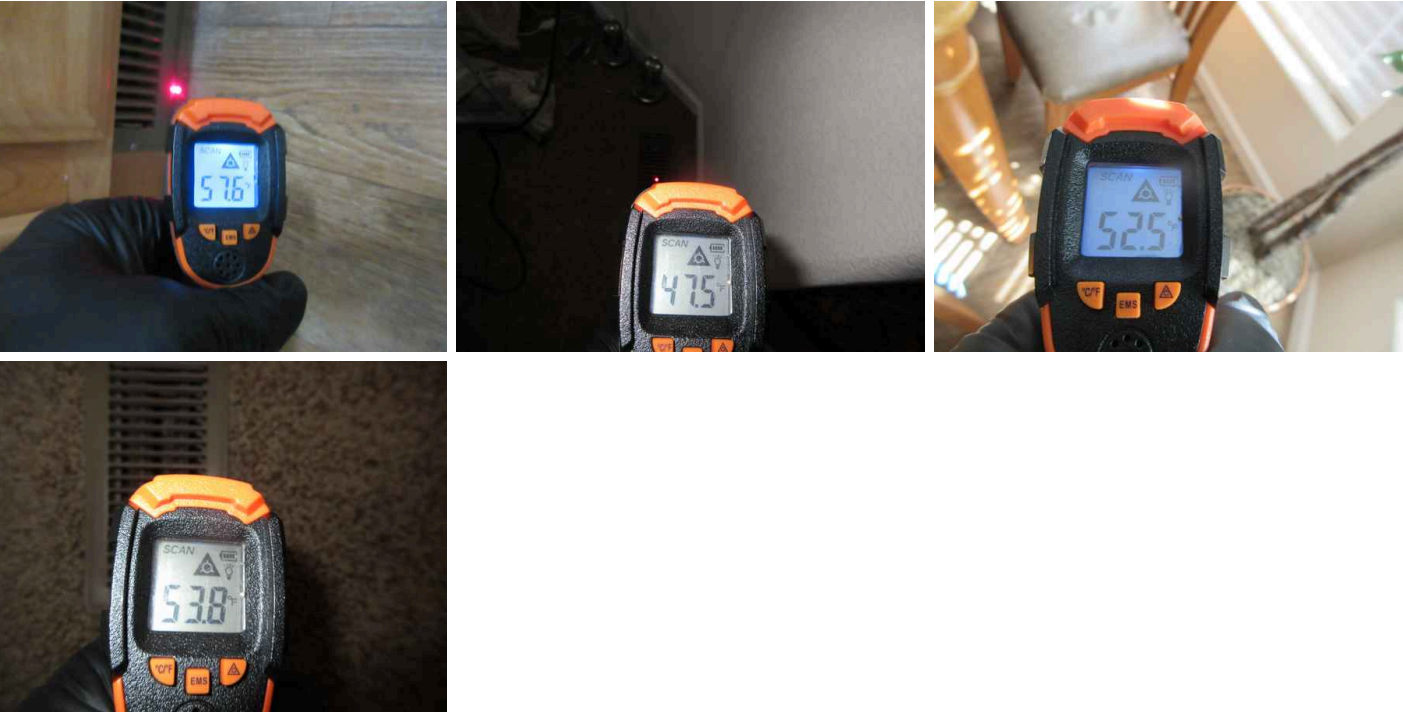


8: COOLING

Information

Cooling Equipment: Brand Goodman	Cooling Equipment: Energy Source/Type Electric	Cooling Equipment: Location Exterior Rear
Cooling Equipment: Number of units One	Cooling Equipment: Refrigerant Type R410A	

THE SYSTEM RESPONDED PROPERLY TO OPERATING CONTROLS



Pictures of cooling equipment



Limitations

General

LIMITATIONS OF COOLING / HEAT PUMPS INSPECTION

Window mounted air conditioning units are not inspected.

The cooling supply adequacy or distribution balance are not inspected.

Deficiencies

8.1.1 Cooling Equipment

MISSING INNER COVER ON A/C DISCONNECT

 Recommendations

The inner cover on the air conditioning disconnect is not attached as it is the improper cover. This exposes electrical components during inspection and creates a potential shock hazard for anyone contacting the exposed parts. The disconnect cover should be replaced by a qualified HVAC or electrical professional to ensure proper safety and protection of the electrical components.



9: ATTIC, INSULATION & VENTILATION

Information

Ventilation: Ventilation Type Soffit Vents	Ventilation: Crawl Space Ventilation Exterior Wall Vents	Exhaust Systems: Exhaust Fan Locations Bathrooms
		

DRYER VENT: DRYER VENT CLEAN UPON MOVE IN

The inspector recommends cleaning the dryer ducting at move-in and every 2 years thereafter. Dirty dryer ducting is a major cause of household fires. Recommend consulting with a qualified tradesman for further evaluation and cleaning.

Limitations

General

LIMITATIONS OF INSULATION / VENTILATION INSPECTION

Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed.

Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.

An analysis of indoor air quality is not part of our inspection unless explicitly contracted-for and discussed in this or a separate report.

Any estimates of insulation R values or depths are rough average values.

Attic Insulation

ATTIC NOT INSPECTED

No access was gained to the attic. The attic was not inspected.

Deficiencies

9.4.1 Exhaust Systems



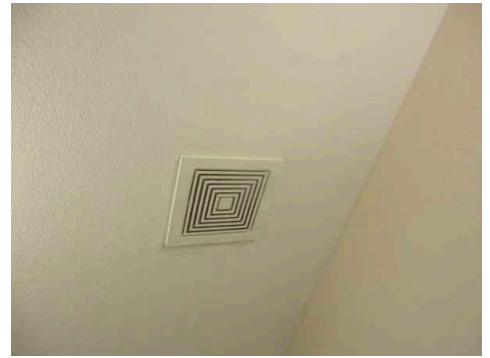
Recommendations

EXHAUST FANS NEED CLEANING

Bathroom vent fans serve an important function in your home by removing excessive humidity, which can cause mold and mildew to form. To make sure your fans are in good working order, clean and test them every six months.

To Clean and test a bathroom fan:

1. Turn off the power. Flip the switch that controls the fan or turn off the circuit breaker before cleaning the fan.
2. Remove the cover from the vent fan. Most vent fan covers are removed by pulling the cover down, then squeezing the metal springs on each side of the cover together.
3. Use a vacuum cleaner crevice tool attachment to remove dirt and debris from the inside of the fan housing.
4. Replace the vent fan cover.
5. Turn the power back on.
6. Test the fan



10: PLUMBING

Information

Water Source

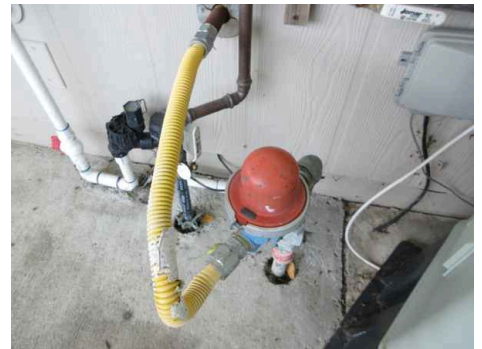
Unknown

Picture of main water shut off

Exterior right



Seismic Gas shut off valve- Present



Drain, Waste, & Vent Systems: Material

ABS



Water Supply, Distribution Systems & Fixtures: Water Supply Material

Plastic Material, Copper, Portions
not visible

Hot Water Systems, Controls, Flues & Vents: Location

Closet accessed from the exterior

Hot Water Systems, Controls, Flues & Vents: Power Source/Type

Gas

Hot Water Systems, Controls, Flues & Vents: PICTURE HOT WATER

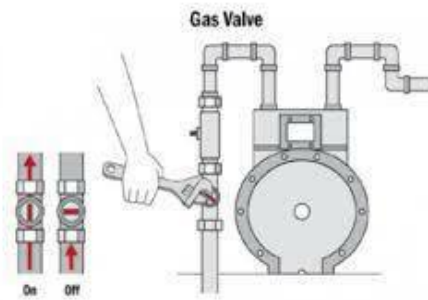


Hot Water Systems, Controls, Flues & Vents: Water Heater Size (Gallons)

40

Picture of main gas shut off Valve

Exterior right



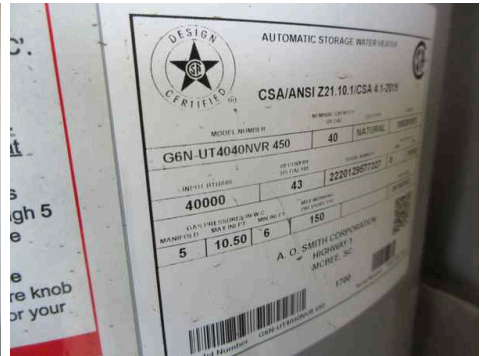
Hot Water Systems, Controls, Flues & Vents: Manufacturer

AO Smith

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

Hot Water Systems, Controls, Flues & Vents: PICTURE OF THE WATER HEATER

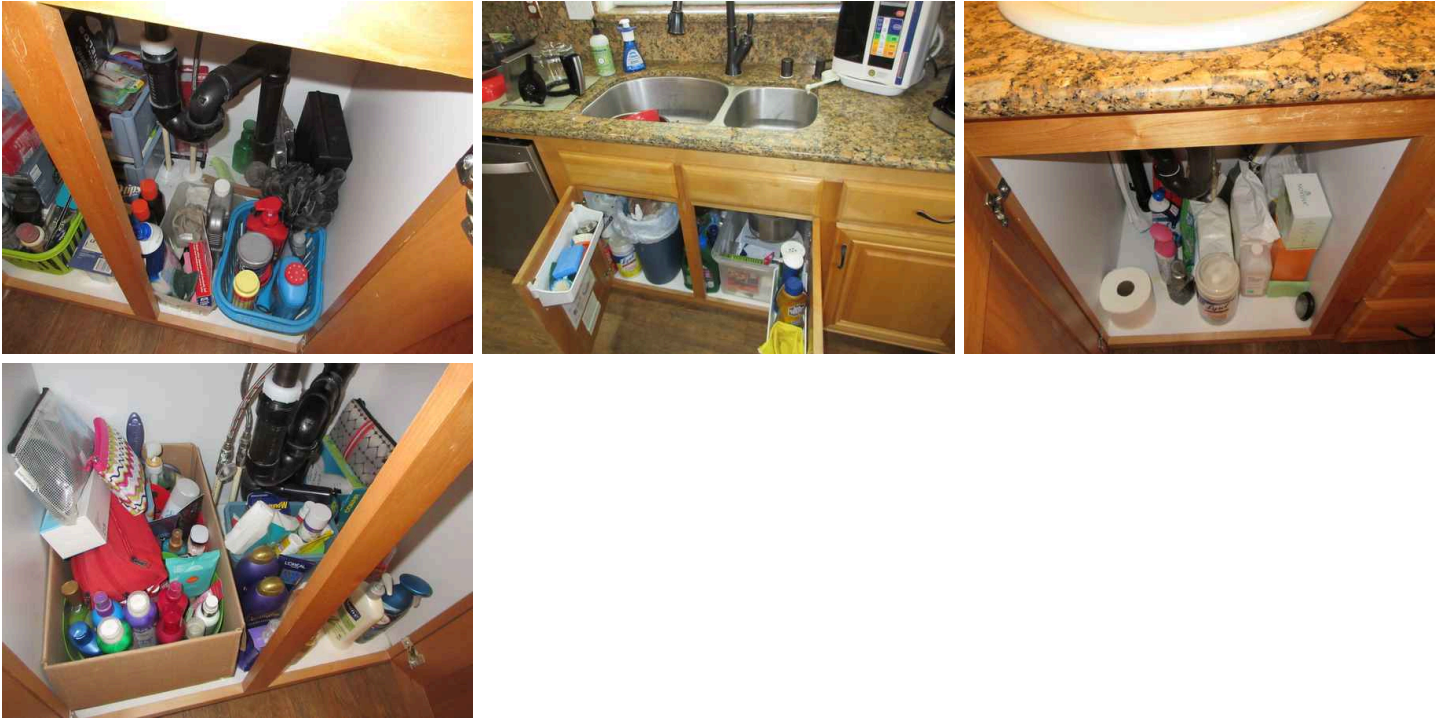


Limitations

General

HOME IS OCCUPIED-BELOW SINKS PORTIONS INACCESSIBLE.

Access below the sinks at cabinets and vanities in the bathrooms, laundry room and kitchen were limited due to stored items. Portions were not visible for inspection.



General

SEVERAL PORTIONS OF THE PLUMBING SYSTEM ARE INACCESSIBLE

Several portions of the plumbing system are inaccessible for inspection. Plumbing enclosed in walls is not inspected. Plumbing behind stored items and furniture is not inspected. Plumbing in inaccessible portions of the crawlspace is not inspected. Plumbing covered by concrete slabs is not inspected. We recommend you have a qualified plumber evaluate the entire plumbing system and repair/replace if/as needed.

General

WATER CONSERVATION

Effective January 1, 2017, a new California law requires the installation of water conserving or low-flow plumbing fixtures in

all single-family residences built prior to 1994. The bill is not a time-of-sale requirement, but applies to all single-family

residences constructed prior to 1994, regardless of whether a property is being sold. If a property includes any non-compliant plumbing fixtures, the law requires the owner to disclose this in writing at time of sale. Effective January 1, 2019, this law will also apply to multi-family residences. Verifying if fixtures are compliant with this requirement, regardless of

any labeling that may or may not be present on the fixture, is beyond the scope of this inspection.

General

LIMITATIONS OF PLUMBING INSPECTION

This is a visual inspection to the accessible areas only. We do not determine whether the properties' water supply and sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, or beneath the ground surface are not inspected.

Water quantity and water quality are not tested unless explicitly contracted-for and discussed in this or a separate report.

Clothes washing machine connections are not inspected. • Interiors of flues or chimneys which are not readily accessible are not inspected.

Water conditioning systems, solar water heaters, fire and lawn sprinkler systems, and private waste disposal systems are not inspected unless explicitly contracted-for and discussed in this or a separate report.

Water pressure is not tested unless noted in this report.

When a home is furnished or occupied the plumbing below bathroom and kitchen sinks is not inspected and is excluded from this report.

The effect and amount of lead content in solder and/or supply lines is beyond the scope of this inspection.

Should pools or spas exist on the property they are not part of this inspection.

The washing machine faucets were not tested.

This is a visual inspection to the accessible areas only. We do not determine whether the properties' water supply and sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

Rob Bowlen Home Inspection Inc. does not determine if any fixtures or toilets are water conserving.

The interior portions of the water heater were restricted. For additional information we recommend the services of a licensed plumbing contractor. As a free public service, the local utility company will perform a "safety" review of the interior of the water heater and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.

SEWER LATERAL NOT PART OF THIS INSPECTION

THIS INSPECTION DOES NOT INCLUDE INSPECTION OF THE SEWER LATERAL

When purchasing a home we always recommend you contact a qualified plumber to perform a sewer lateral inspection.

Deficiencies

10.5.1 GAS METER, GAS PIPES

SURFACE RUST ON GAS PIPE



Surface rust was observed on the exterior gas pipe during inspection. Rust on gas pipes can compromise structural integrity and potentially lead to gas leaks if corrosion progresses. The affected pipe should be evaluated by a qualified professional who can determine if treatment, coating, or replacement is necessary.

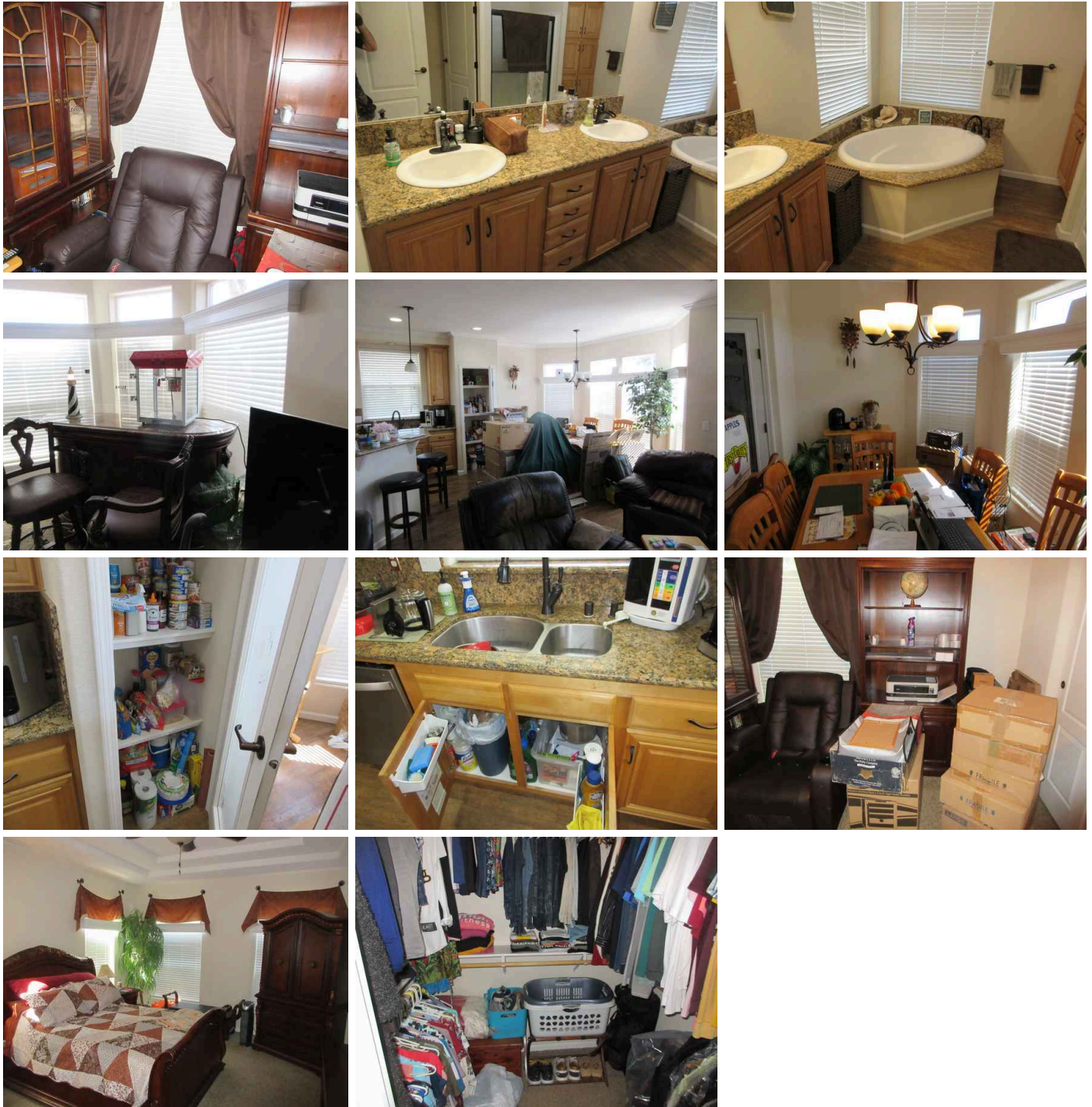


11: INTERIOR

Information

Walls: Wall Material Drywall	Doors: Doors Wood-Solid Core, Wood-Hollow Core, Metal	Windows: Window Type Fixed Pane, Single-hung, Sliders
Floors: Floor Coverings Carpet, Vinyl, Wood or Laminate		

PICTURES OF INTERIOR



Limitations

General

LIMITATIONS OF INTERIOR INSPECTION

Furniture, storage, appliances and/or wall hangings are not moved to permit inspection and may block defects.

Carpeting, window treatments, central vacuum systems, household appliances, recreational facilities, paint, wallpaper, and other finish treatments are not inspected.

The insides of cabinets and vanities were not inspected and are not included in this report.

Interior areas above eight feet from ground level were not inspected.

Windows

EVALUATION OF DUAL PANE WINDOWS

The evaluation of the thermal pane windows ("dual pane/glazed") is limited to accessible windows exhibiting noticeable conditions at the time of our inspection, such as condensation and/or evidence of moisture between the panes of glass. Due to known design and/or characteristics associated with thermal pane windows, conditions may be discovered at a later date, however seal failure can occur at any time. Note: Some of the windows were not visible at the time of inspection.

Windows

WINDOWS INACCESSIBLE DUE TO FURNISHINGS

Some of the windows were inaccessible for inspection due to furnishing or stored items.

ENVIRONMENTAL ISSUES

NOT A VERMIN INSPECTION

This is not a vermin inspection. This inspection does not identify the presence or absence of vermin and vermin droppings.

ENVIRONMENTAL ISSUES

THIS IS NOT A MOLD INSPECTION

The General Home inspection is not an inspection for mold and the inspector specifically disclaims and assumes no responsibility for identifying the presence of mold fungi. Mold fungi are present in all homes and may be present at levels at which sensitive people may react physically to their presence, even at levels at which fungal colonies are not visible, or when fungal colonies are hidden in inaccessible portions of the home. Any mention of apparent mold growth in this report is made as a courtesy only, and meant to refer the client to a specialist. If you are concerned with mold, the Inspector recommends that you hire a specialist to perform further testing.

Deficiencies

11.1.1 Walls

PATCHING DETECTED

Evidence of patching was detected.

Information/Observation

11.1.2 Walls

INTERIOR CRACKS WALLS AND/OR CEILING

Cracks were noted at interior walls and/or ceilings.

Information/Observation

11.5.1 Floors

VINYL FLOOR SEAMS POOR

KITCHEN

Seams in the vinyl flooring are not in ideal condition. Improvement is discretionary. Beware of a possible trip hazard.



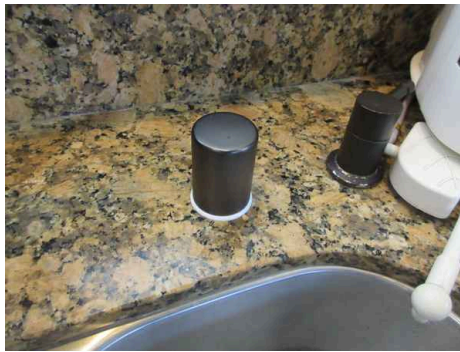
12: BUILT-IN APPLIANCES

Information

The dishwasher is functional



The Air Gap serving the dishwasher is functional



The waste disposal is functional



The cook top fan is functional



The electric range is functional



Limitations

General

LIMITATIONS OF APPLIANCES INSPECTION

Thermostats, timers and other specialized features and controls are not tested.

The temperature calibration, functionality of timers, effectiveness, efficiency and overall performance of appliances is outside the scope of this inspection.

All appliances not “built in” to the structure such as washing machine, dryer and refrigerator were not inspected and are excluded from this report.

No refrigerators and no microwaves whether “built in” or portable are operated, inspected or tested.

The operation of the dishwasher was limited to filling and draining cycle only, however due to time limitations timers, dryer cycles and/or higher functions were not tested. For additional information in regards to the operation and full function of the dishwasher we recommend consultation with the owner or appropriate trades.

Fireplace screens or doors were not inspected and are excluded from this report.