



SCOPE PROPERTY INSPECTIONS

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SCOPE RESIDENTIAL INSPECTION

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07/06/2026



Inspector

SCOPE Team Inspector

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ITEMS INSPECTED



MAINTENANCE ITEM



RECOMMENDATION

SUMMARY

- 🔧 5.2.1 Roof - Coverings: Debris Accumulation
- 🔧 5.2.2 Roof - Coverings: Organic Growth
- 🔧 5.2.3 Roof - Coverings: Tree Contacting Roof Surface
- 🔧 5.5.1 Roof - Roof Drainage Systems: Debris Accumulation
- 🔧 5.5.2 Roof - Roof Drainage Systems: Improper Downspout Discharge
- 🔧 6.5.1 Garage - Floor: Floor Cracking
- 🔧 8.3.1 Built-in Appliances - Range Hood / Exhaust Hood: Light Not Functioning
- 🔧 9.2.1 Electrical - Receptacles, Switches & Lighting: Cover Plates Damaged
- 🔧 9.2.2 Electrical - Receptacles, Switches & Lighting: Receptacle not functional
- ⚠️ 10.6.1 HVAC - Cooling Equipment & Distribution: Cooling Equipment - Nearing End Of Life
- 🔧 11.4.1 Plumbing - Water Heater & Sump Pump: Missing Firestop Seal at Water Heater Penetration
- 🔧 11.7.1 Plumbing - Showers & Bathtubs: Shower Valve/Handle Leak

1: INSPECTION DETAILS

Information

General: In Attendance
Access Granted

General: Occupancy
Owner-occupied

General: Type of Building
Single-family residence

General: Style
Contemporary

General: Temperature
85 Fahrenheit (F)

General: Weather Conditions
Clear

2: STRUCTURE

Information

General: Inspection Method Visual	Foundation / Crawlspace / Basements : Foundation Type Slab on Grade	Foundation / Crawlspace / Basements : Crawlspace Access Location N/A
Foundation / Crawlspace / Basements : Basement/Crawlspace Floor N/A	Floor Structure: Material N/A	Floor Structure: Sub-floor N/A

3: EXTERIOR

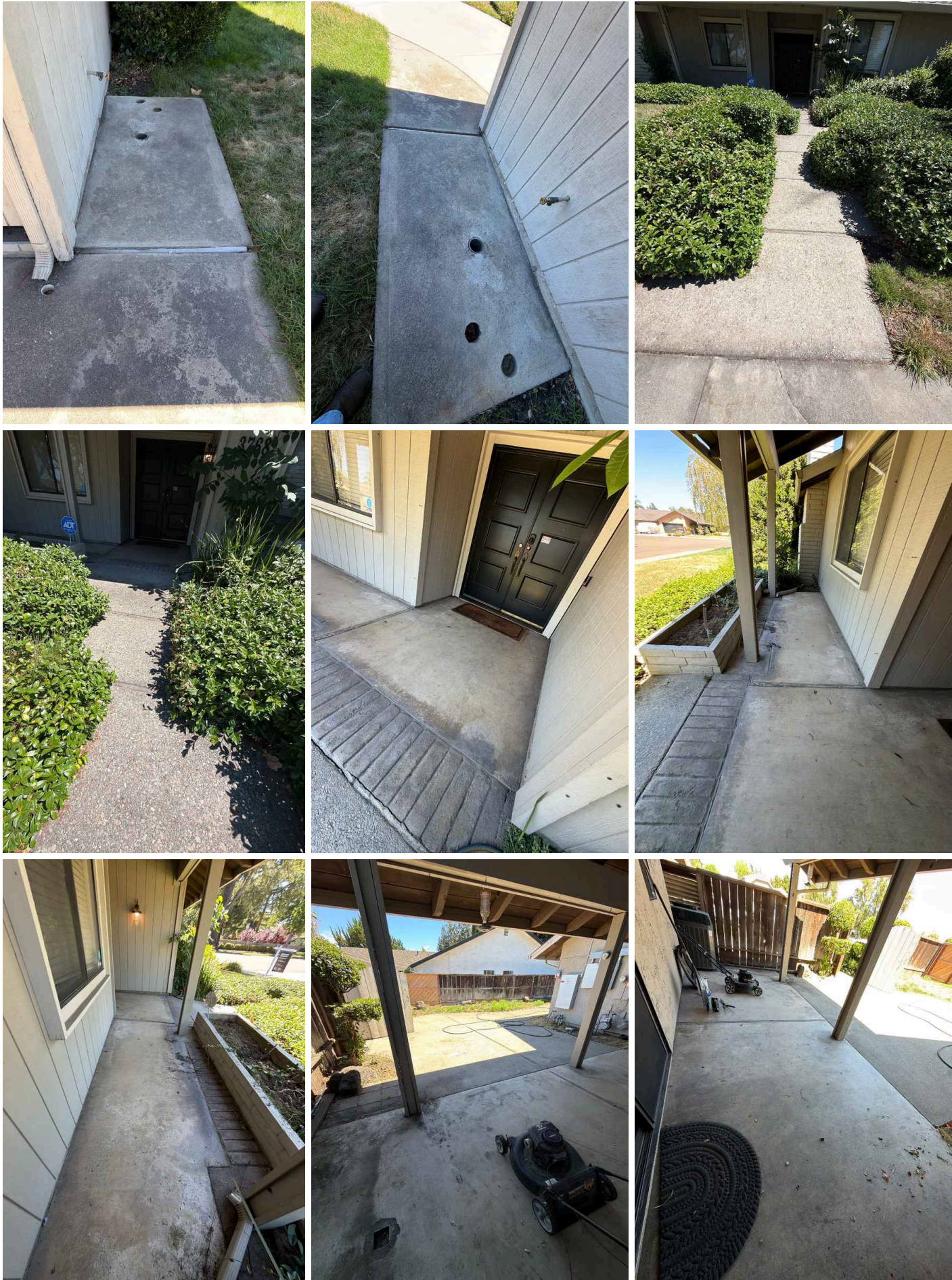
Information

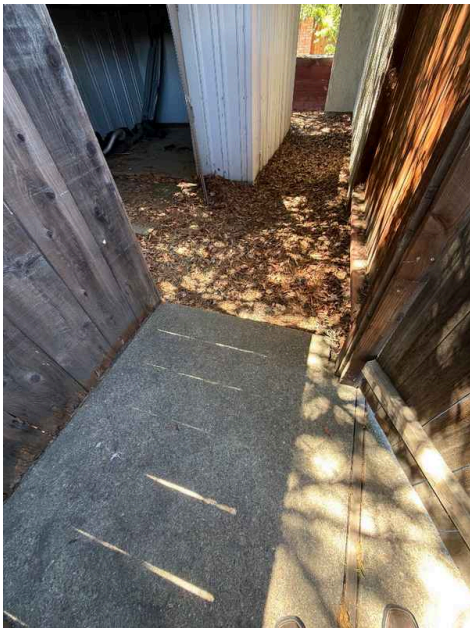
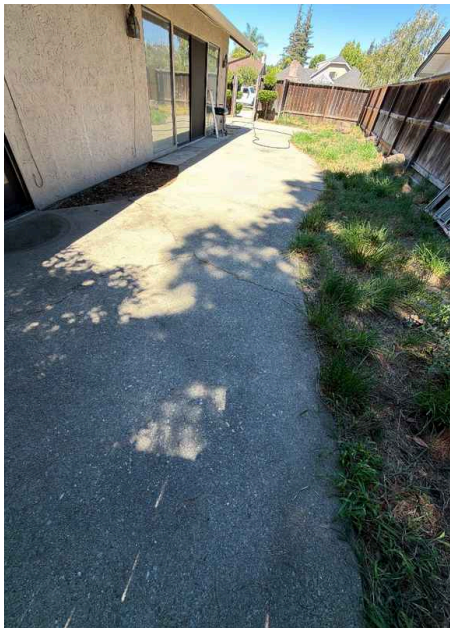
General: Inspection Method Visual	Hardscape (Driveways, Walkways & Platforms): Materials Concrete	Siding / Trim / Flashing : Trim & Flashing Material Wood
		
Eaves / Soffits / Fascia: Eave Type Open Eaves	Eaves / Soffits / Fascia: Soffit Material Wood	Eaves / Soffits / Fascia: Fascia Material Wood, Gutter Wrapped
		
Grading & Drainage: Site Topography Flat, Gently Sloped		

Hardscape (Driveways, Walkways & Platforms): Driveway Material
Concrete



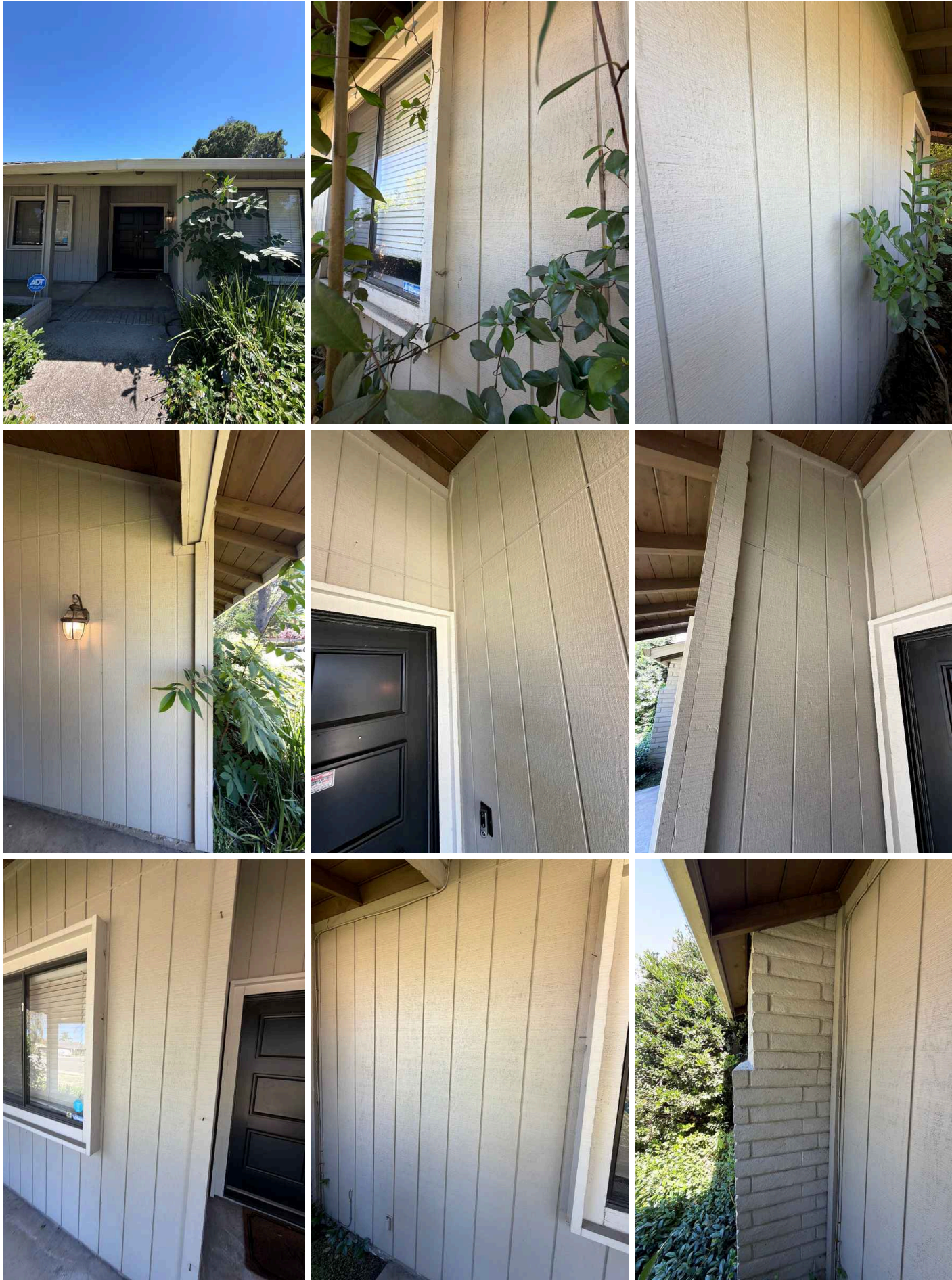
Hardscape (Driveways, Walkways & Platforms): Features & Additional Structures
Porch, Patio, Walkway

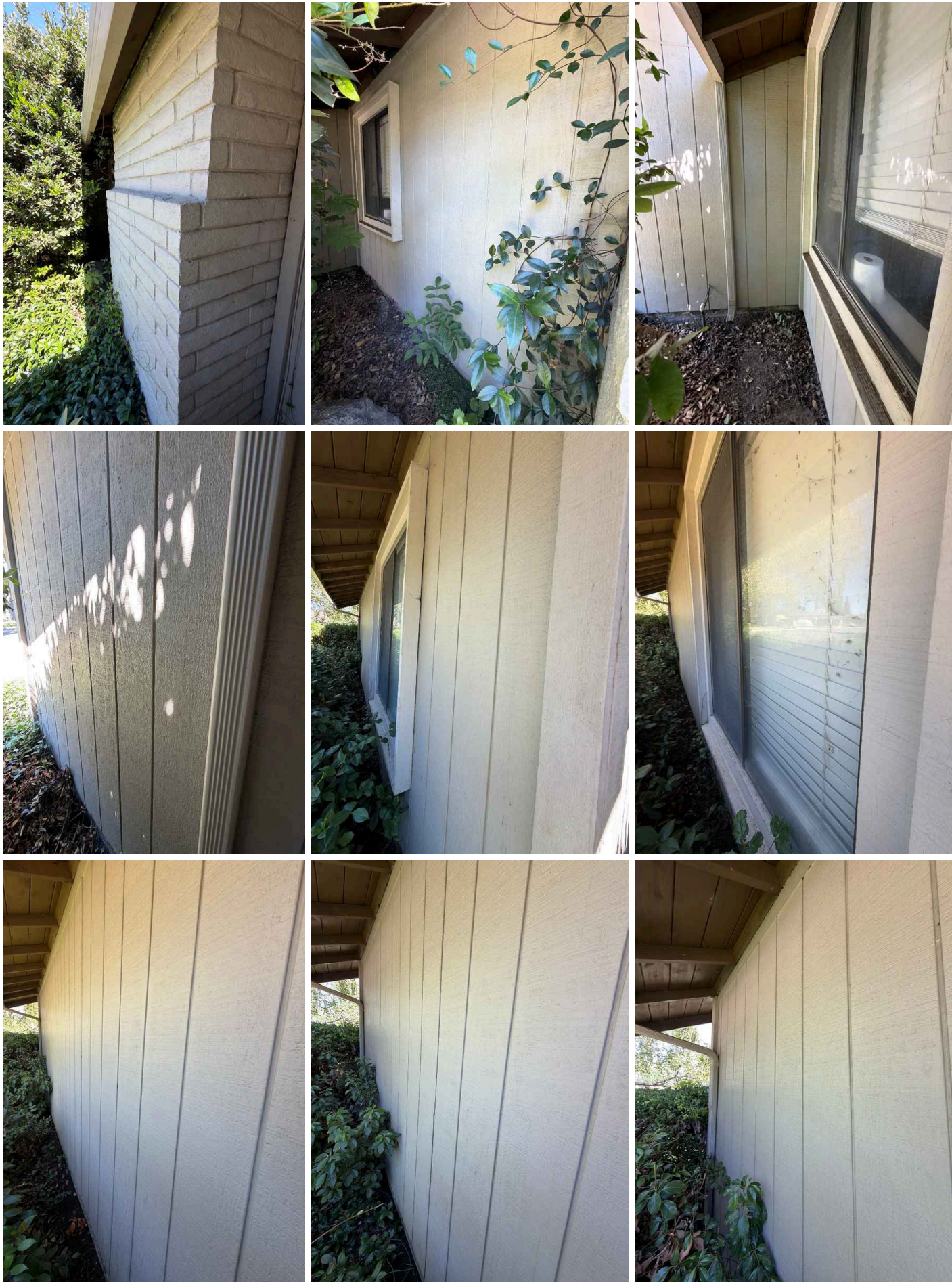


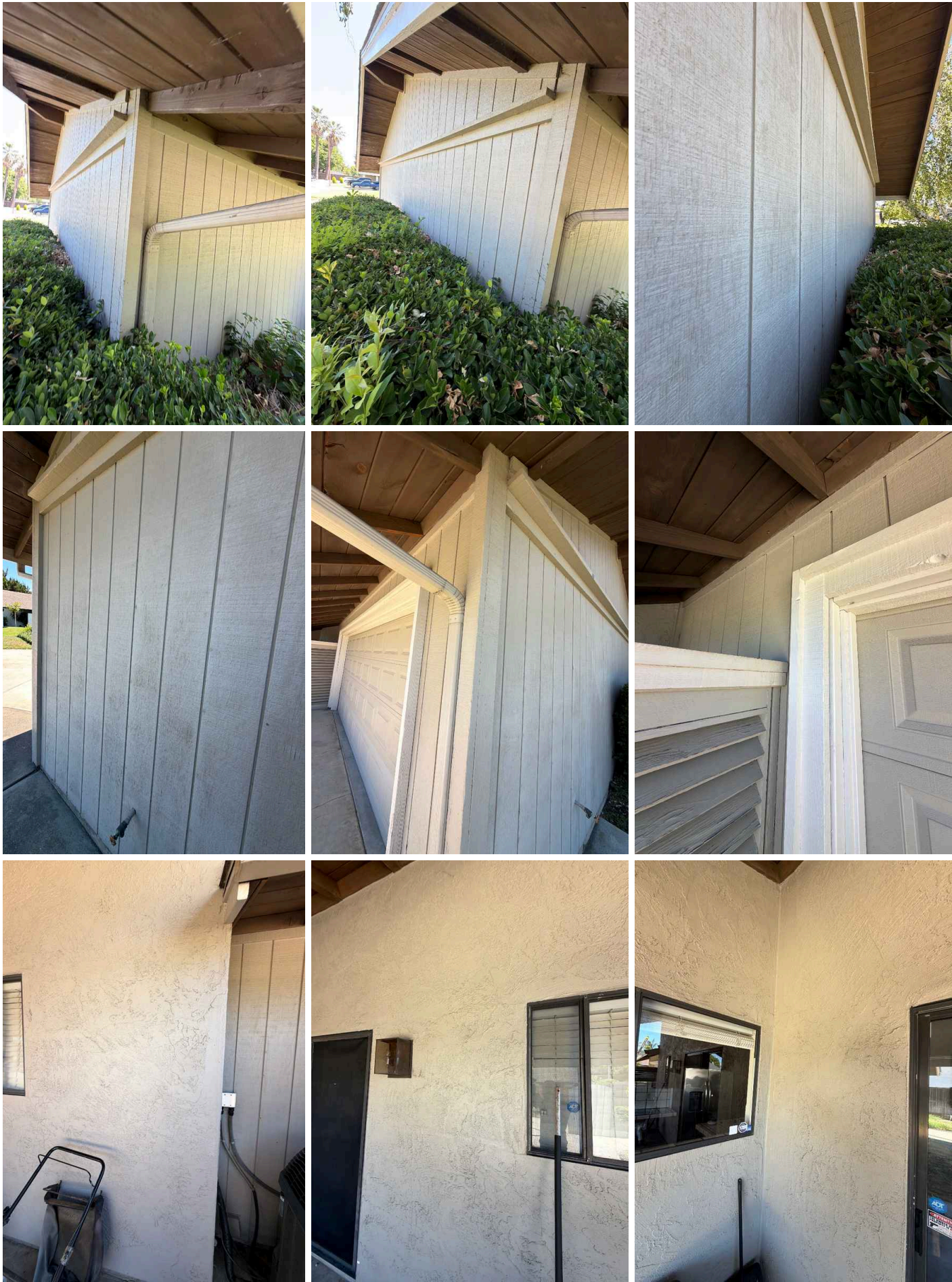


Siding / Trim / Flashing : Siding Material

Wood Siding, Solid Brick / Masonry











Exterior Doors: Door Material
Wood, Glass



4: FUEL SYSTEMS

Information

Main Gas Service & Shut-Off: Fuel Type
Natural Gas

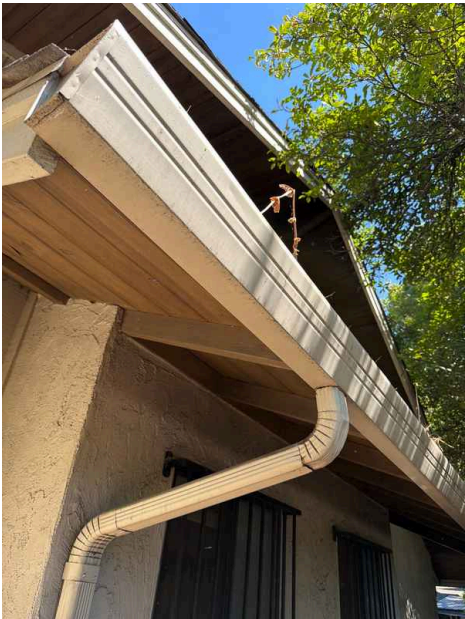
Main Gas Service & Shut-Off: Main Gas Shut-off Location
Gas Meter



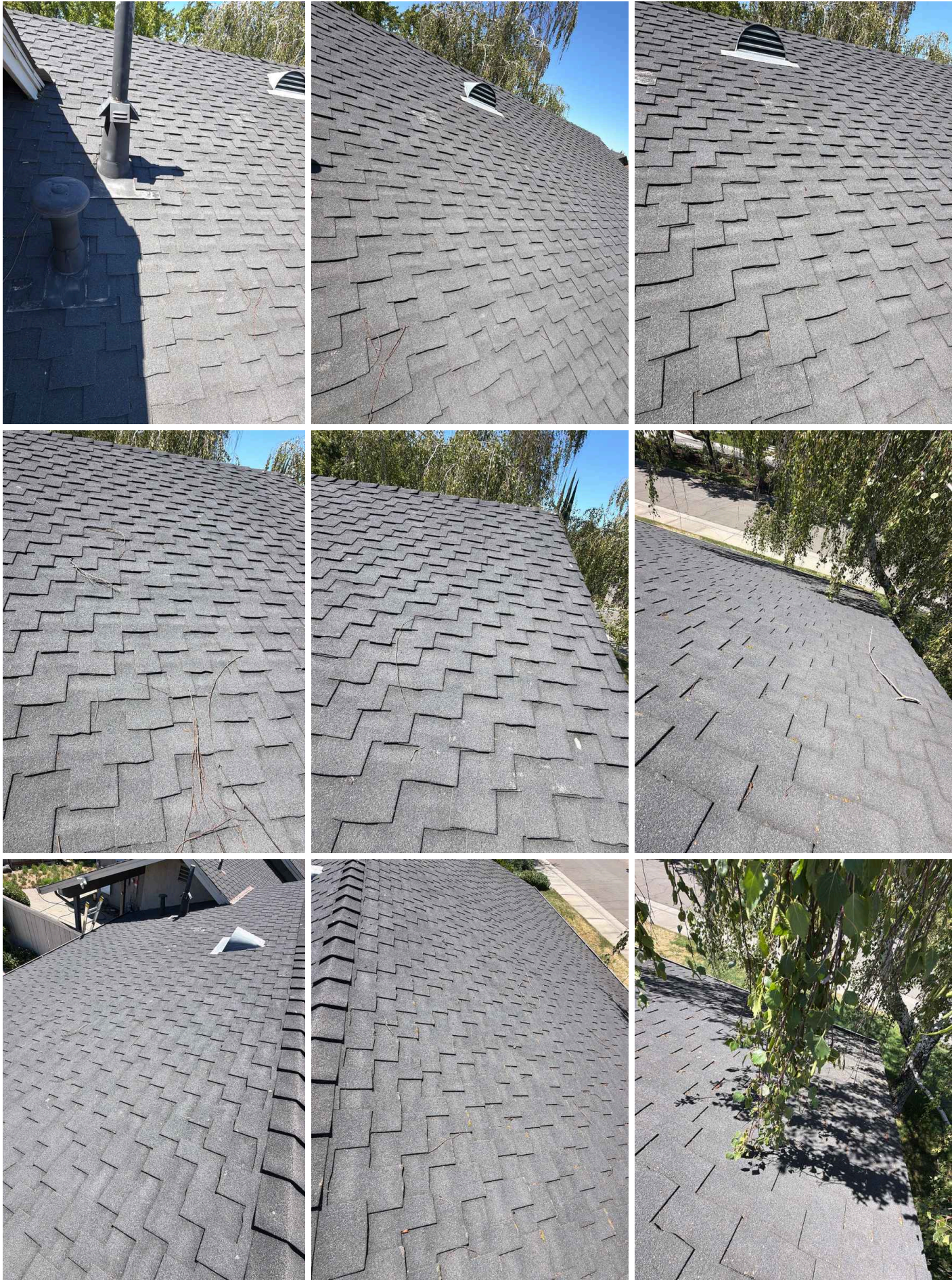
5: ROOF

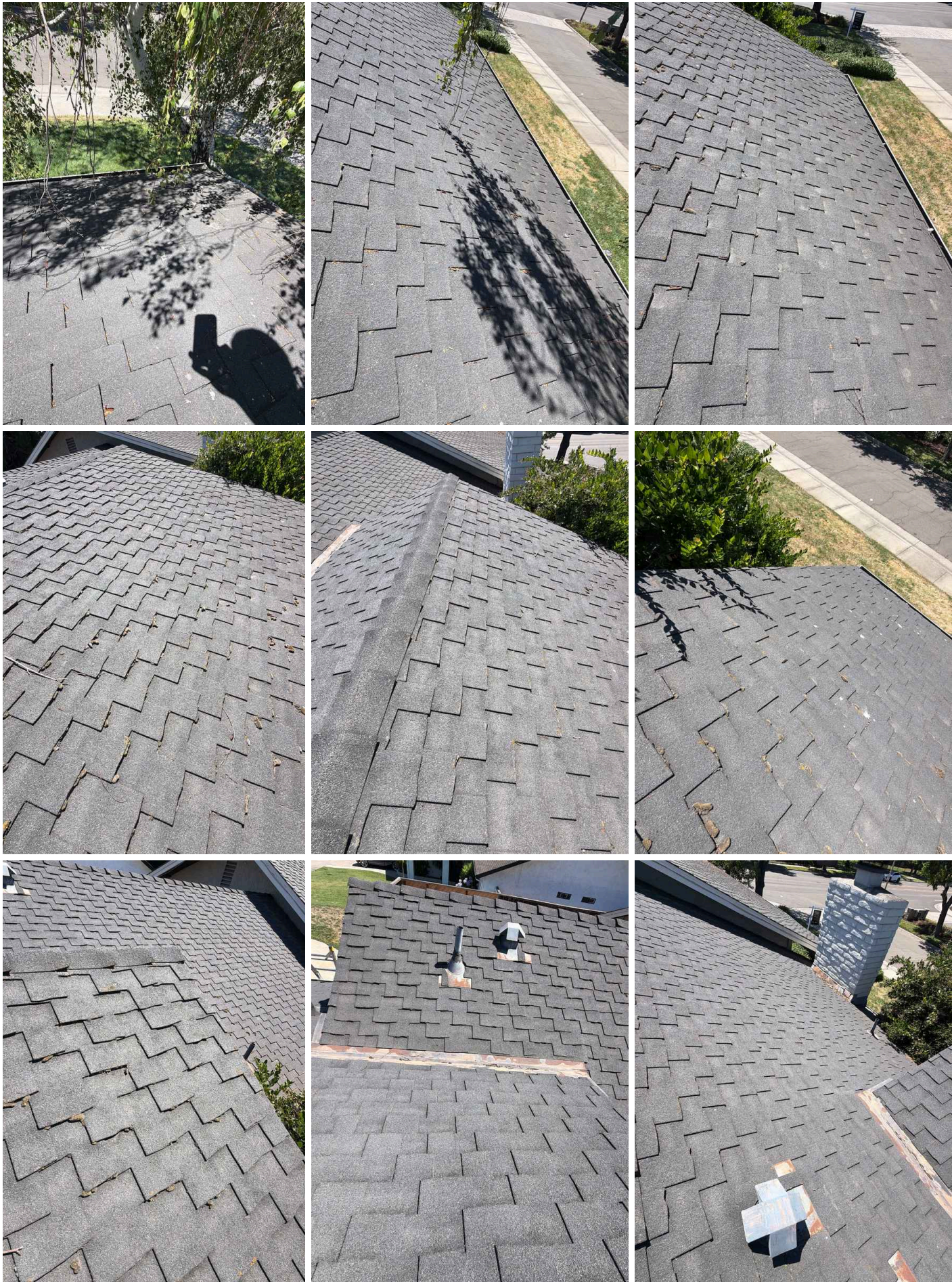
Information

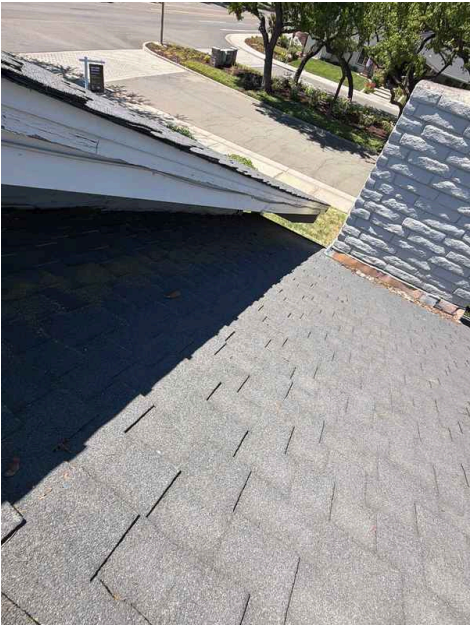
General: Inspection Method Ladder	General: Roof Type/Style Combination	General: Roof Geometry / Complexity Simple
Flashings: Flashing Material Galvanized	Skylights, Chimneys & Other Roof Penetrations: Skylight Present No	Roof Drainage Systems: Gutter & Downspout Material Aluminum

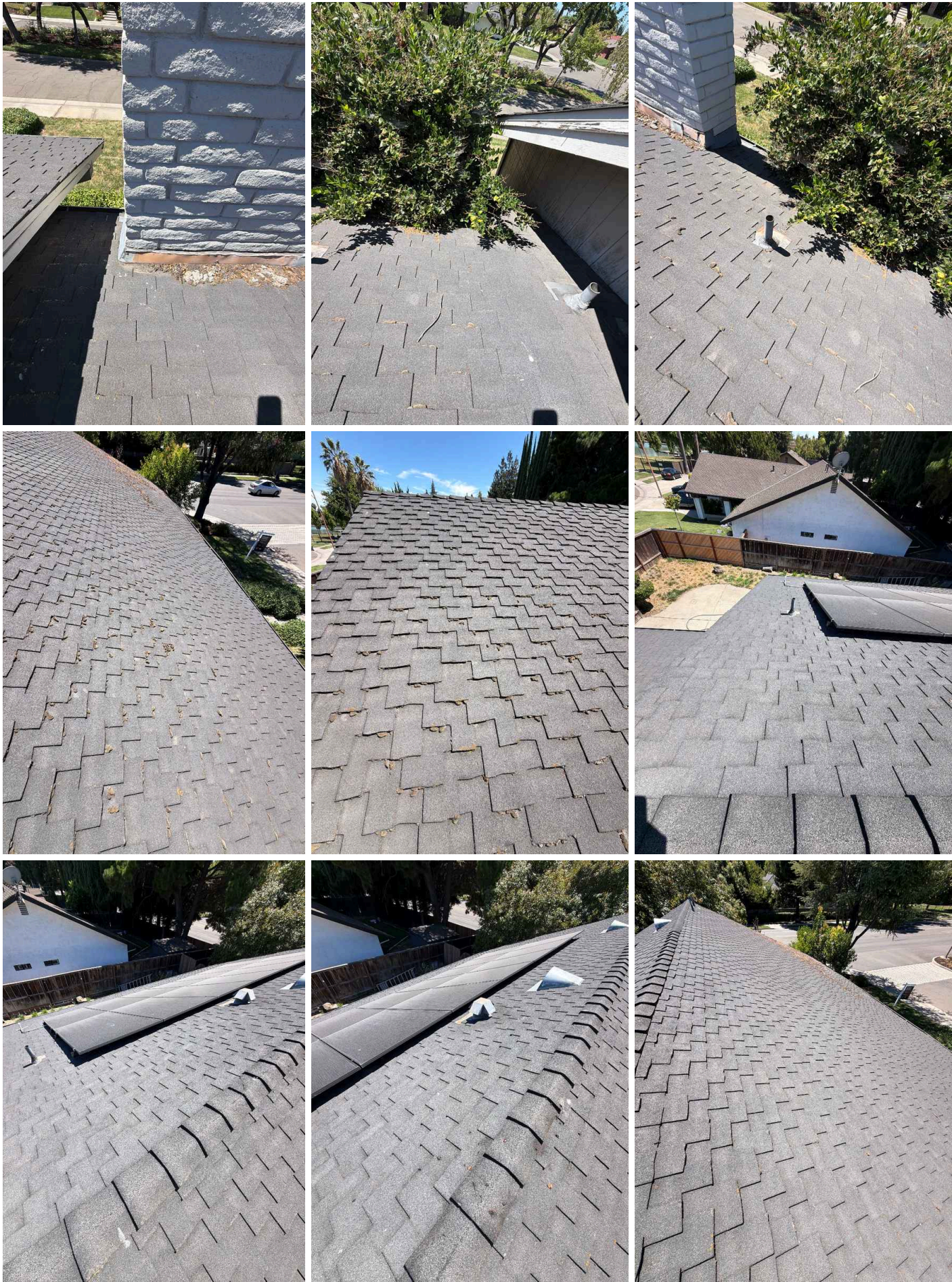


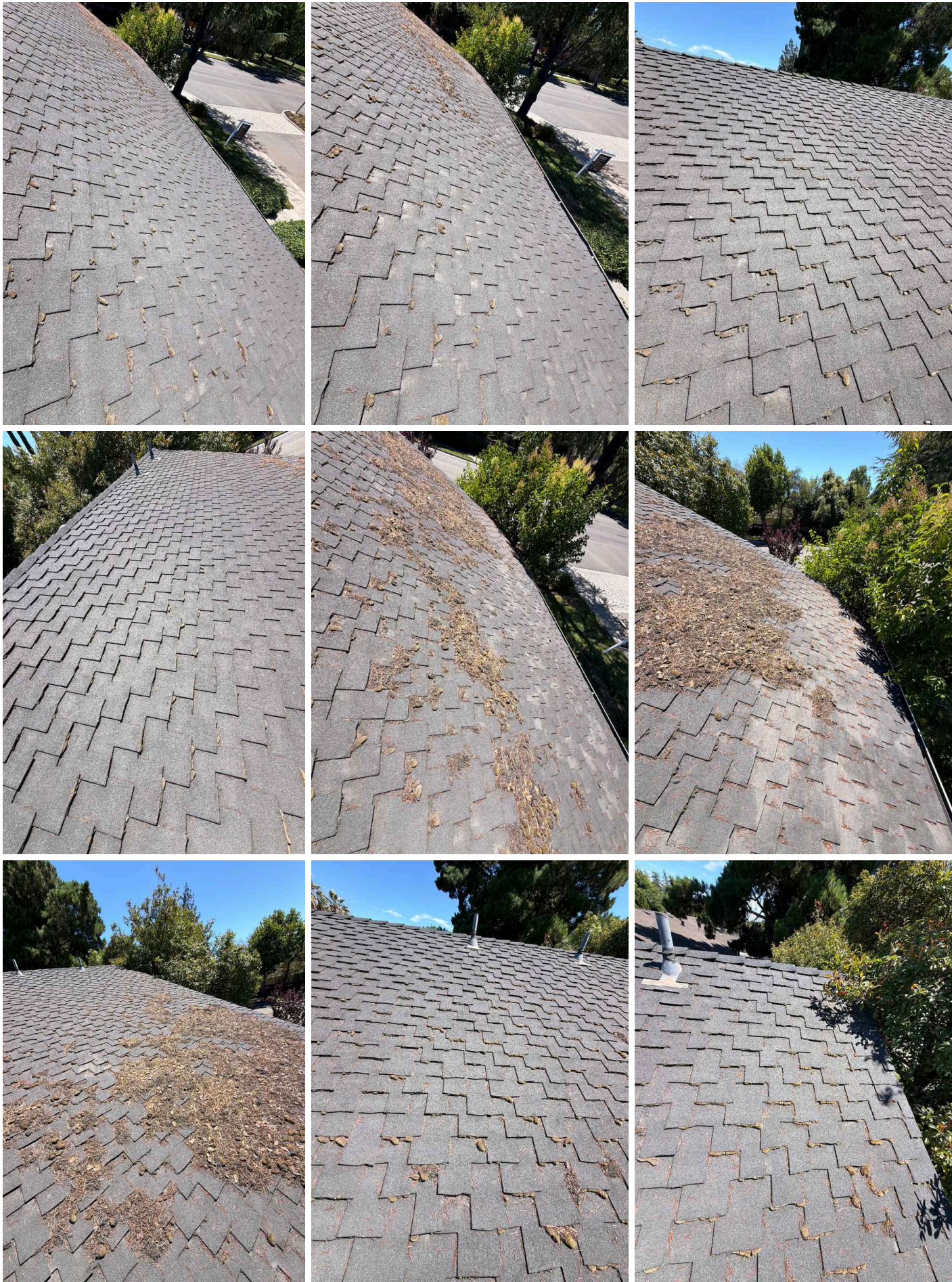
Coverings: Material
Composition (Asphalt)

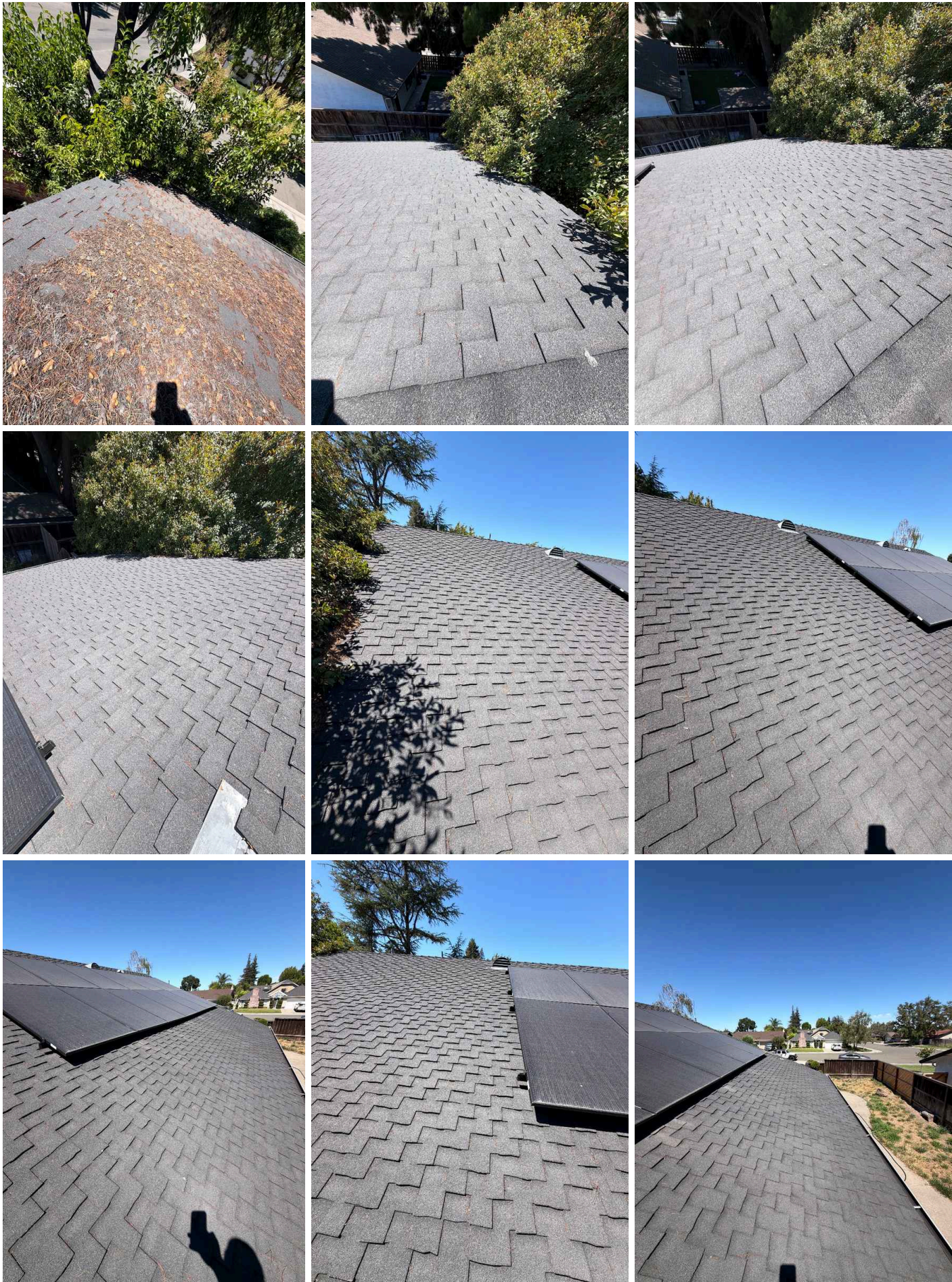






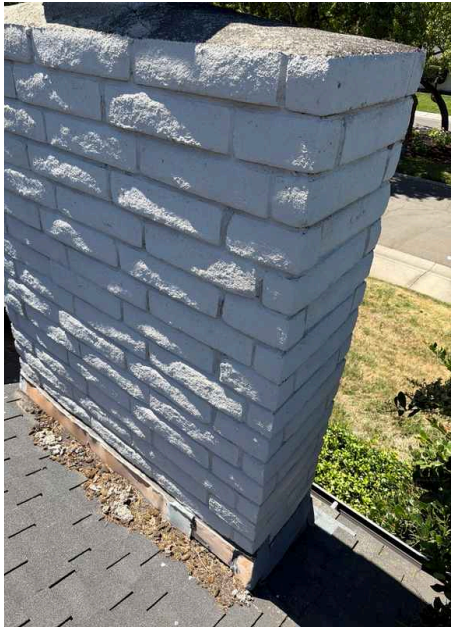




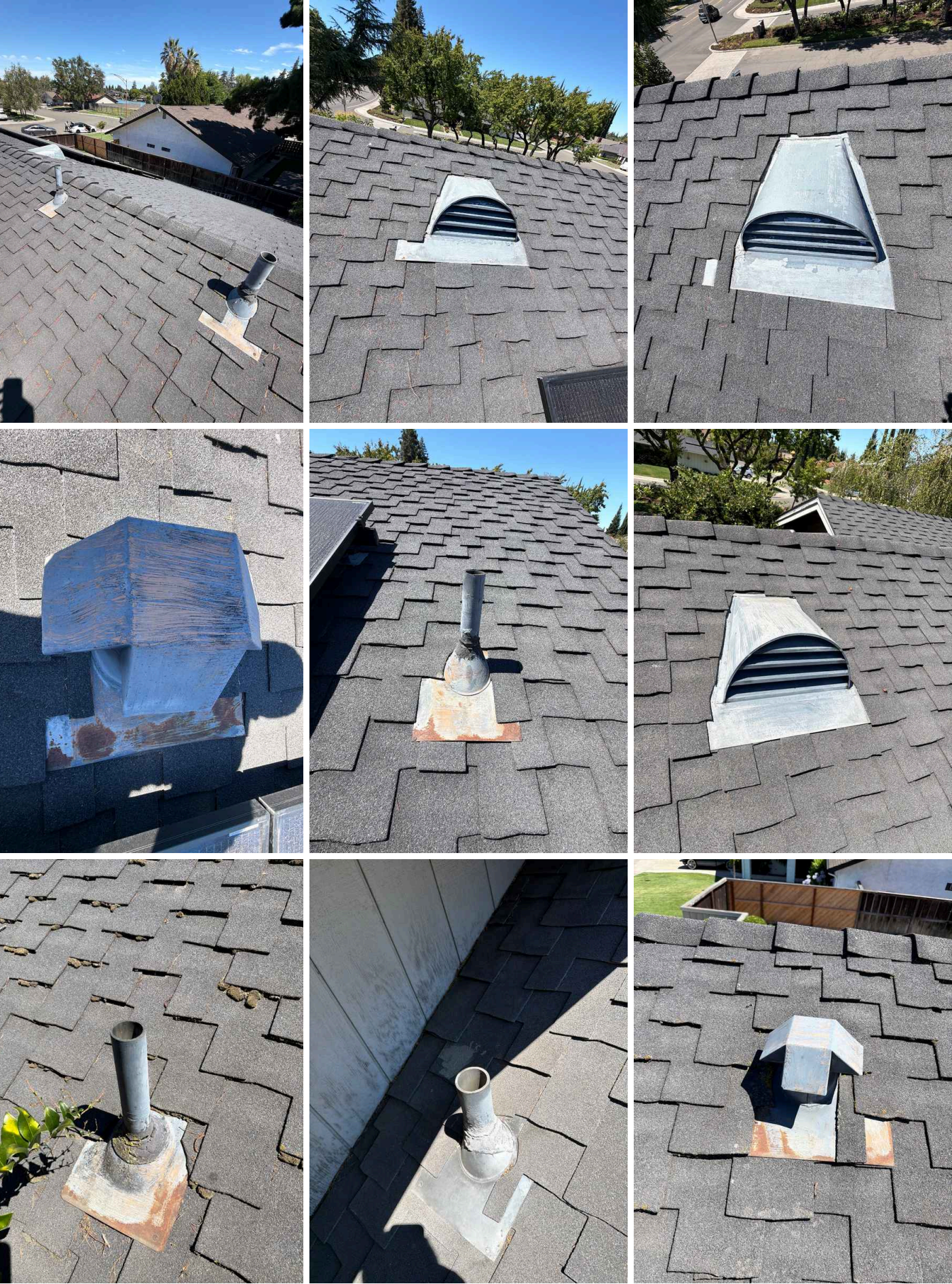


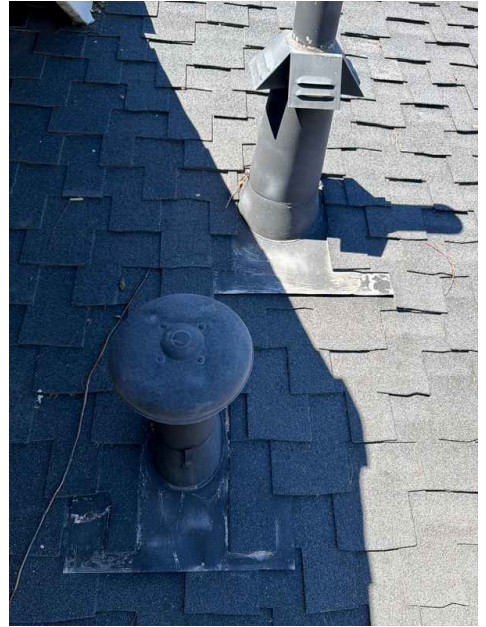


Skylights, Chimneys & Other Roof Penetrations: Chimney Present
Yes



Skylights, Chimneys & Other Roof Penetrations: Roof Penetrations Present



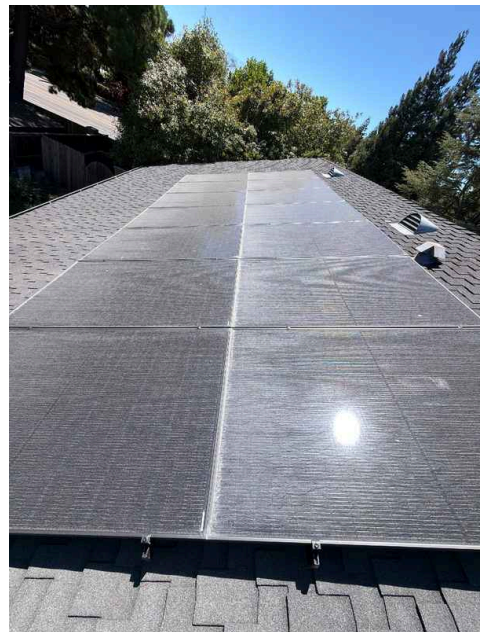


Limitations

General

SOLAR PANELS PRESENT

Solar panels were present and limited visibility of portions of the roof covering and related components. Areas concealed by solar equipment were not fully visible and could not be completely evaluated.



Deficiencies

5.2.1 Coverings

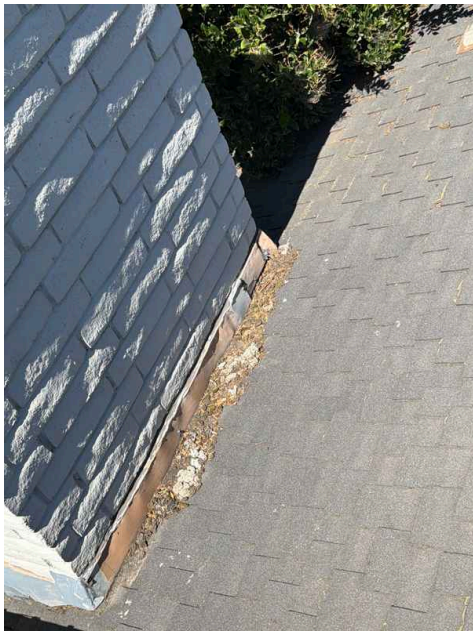
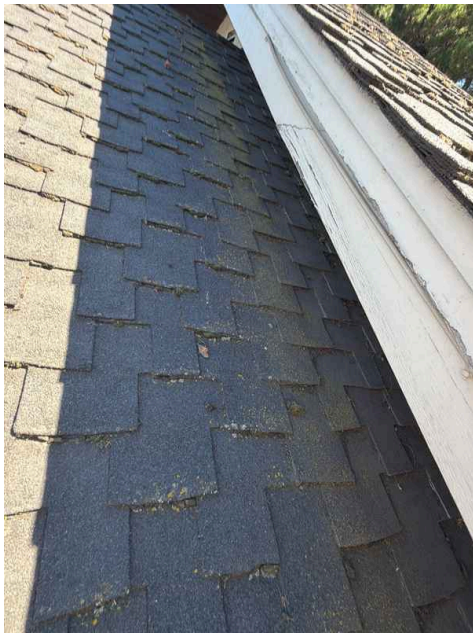
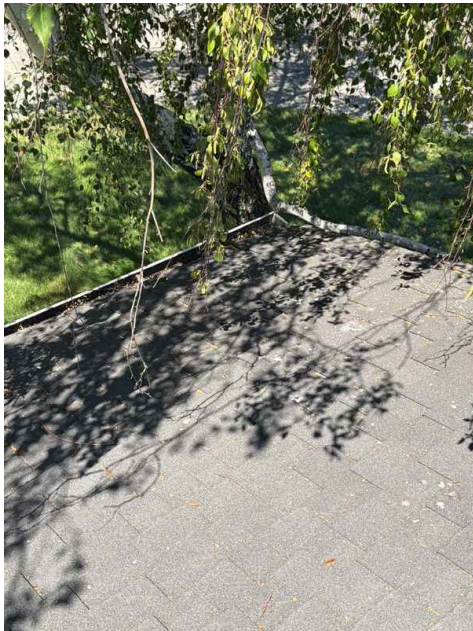
DEBRIS ACCUMULATION

Debris accumulation was observed on the roof surface. Accumulated debris may impede drainage, retain moisture, contribute to deterioration of roofing materials, and conceal defects. Recommend cleaning and maintenance as needed.

Recommendation

Contact a qualified professional.





5.2.2 Coverings



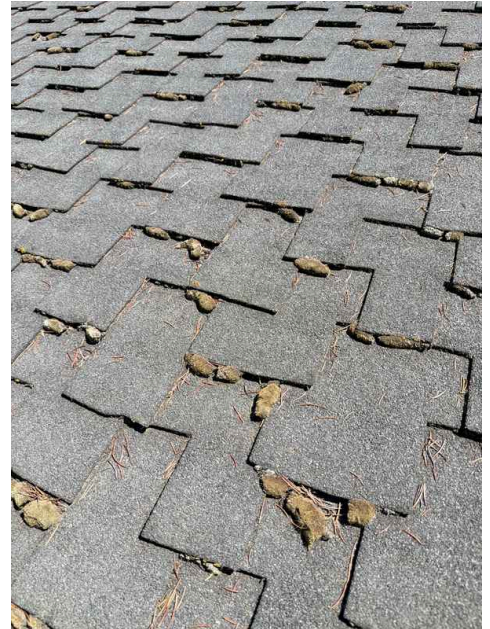
Maintenance Item

ORGANIC GROWTH

Organic growth such as moss, algae, lichen, or similar biological material was observed on the roof covering. Organic growth may retain moisture, accelerate deterioration, conceal defects, and reduce the service life of roofing materials. Recommend further evaluation and correction as needed.

Recommendation

Contact a qualified professional.



5.2.3 Coverings



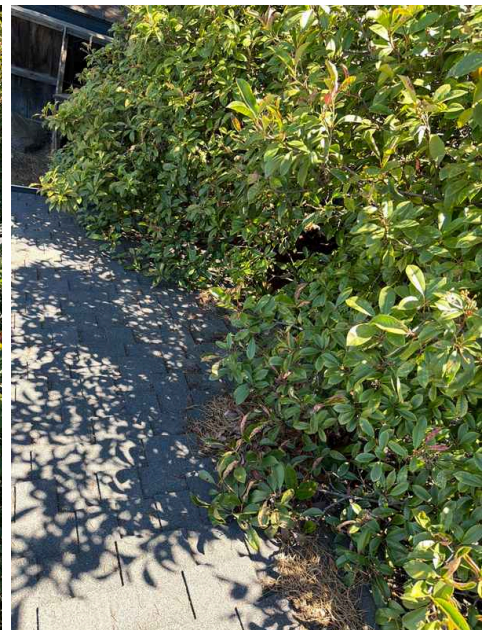
Maintenance Item

TREE CONTACTING ROOF SURFACE

Tree branches or vegetation were observed contacting or overhanging the roof surface. Vegetation contact may contribute to physical damage, moisture retention, debris accumulation, pest activity, and accelerated deterioration of roofing materials. Recommend trimming and maintenance as needed.

Recommendation

Contact a qualified professional.



5.5.1 Roof Drainage Systems



Maintenance Item

DEBRIS ACCUMULATION

Debris accumulation was observed within the roof drainage system. Accumulated debris may restrict water flow, contribute to blockage, promote deterioration, and reduce system performance. Recommend cleaning and maintenance as needed.

Recommendation

Contact a qualified professional.



5.5.2 Roof Drainage Systems

IMPROPER DOWNSPOUT DISCHARGE



Maintenance Item

One or more downspouts discharged too close to the structure, into areas susceptible to moisture accumulation, or in a manner that may not effectively direct water away from the foundation. Recommend further evaluation and correction by a qualified professional.

Recommendation

Contact a qualified professional.



6: GARAGE

Information

General: Garage Type
Built-In

General: Vehicle Capacity
2-Car

General: Garage Finish
Partially Finished



Garage Door: Door Material
Metal

Garage Door: Insulated Door
No

Garage Door: Door Type
Sectional Overhead



Garage Door Opener:
Manufacturer



Occupant Door (Garage to House): Self-Closing Hinge Present
Yes

Walls & Firewalls: Wall Material
Drywall



Ceiling: Ceiling Material
Open Framing



Floor: Floor Material

Concrete Slab

**Deficiencies**

6.5.1 Floor



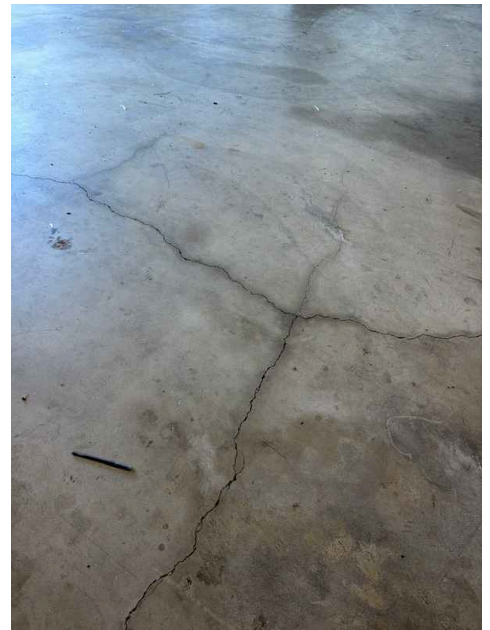
Maintenance Item

FLOOR CRACKING

Cracking was observed in the garage floor. Cracking is common in concrete slabs; however, excessive cracking may indicate movement, settlement, shrinkage, or other conditions. Recommend monitoring and repair as needed.

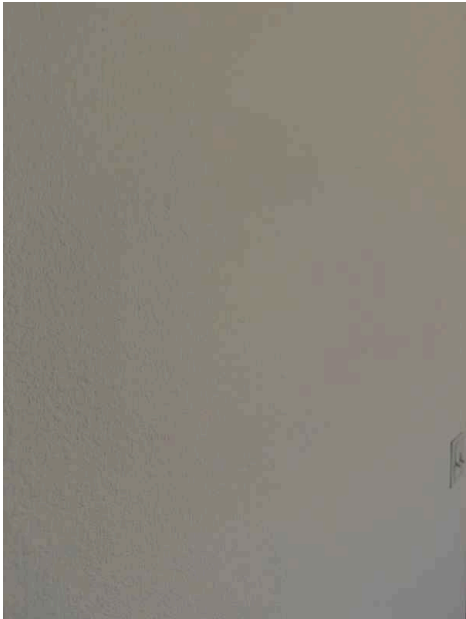
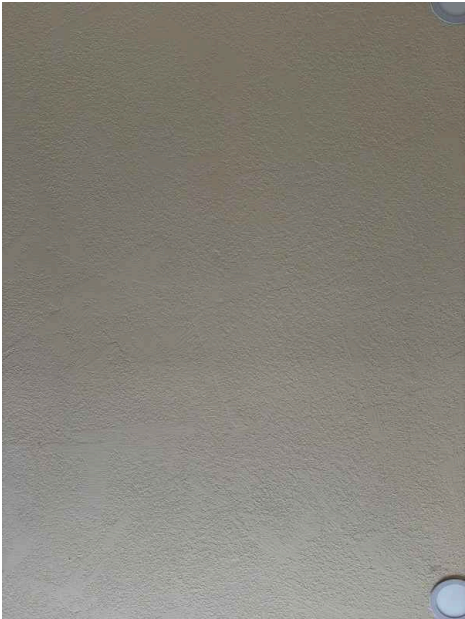
Recommendation

Contact a qualified professional.



7: INTERIOR

Information

General: Occupancy Status Vacant	Walls: Wall Material Drywall	Ceilings: Ceiling Material Gypsum Board
		

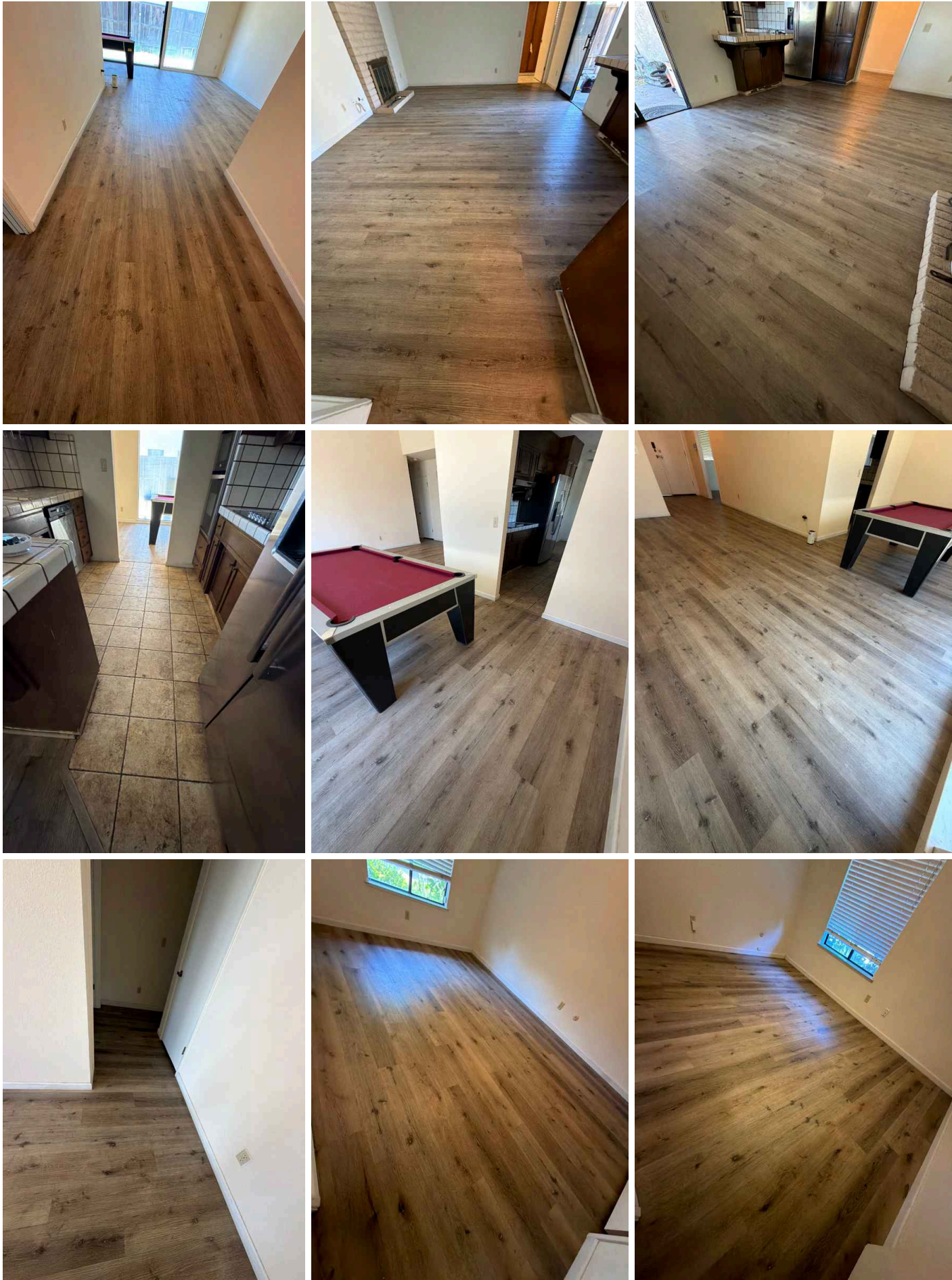
Fireplace - General: Fireplace Present

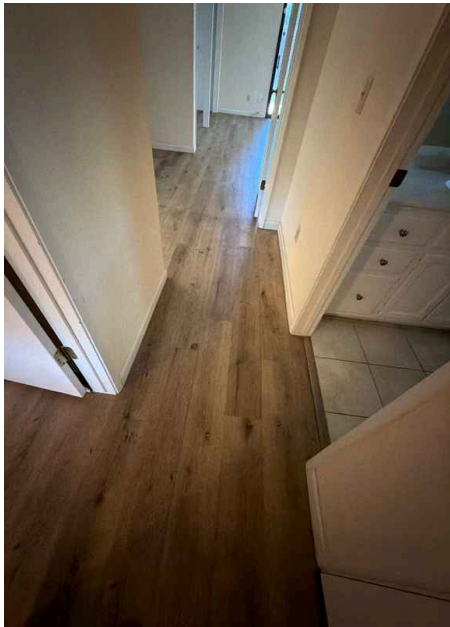
Yes

A fireplace was present at the property at the time of inspection.



Floors: Floor Coverings
Laminate

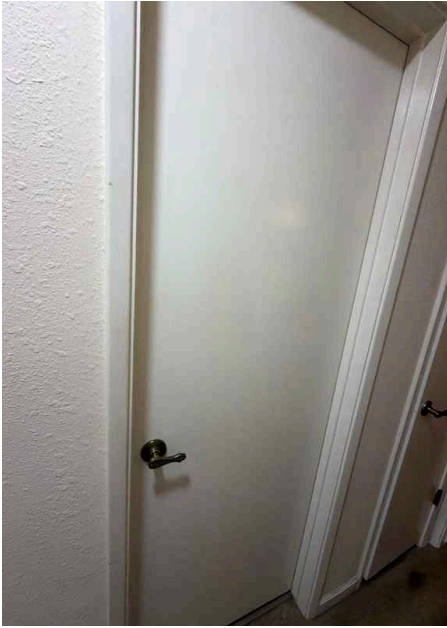




Doors: Door Material

Hollow Core

The primary door material observed at the time of inspection was documented.

**Doors: Door Type**

Hinged, French Door

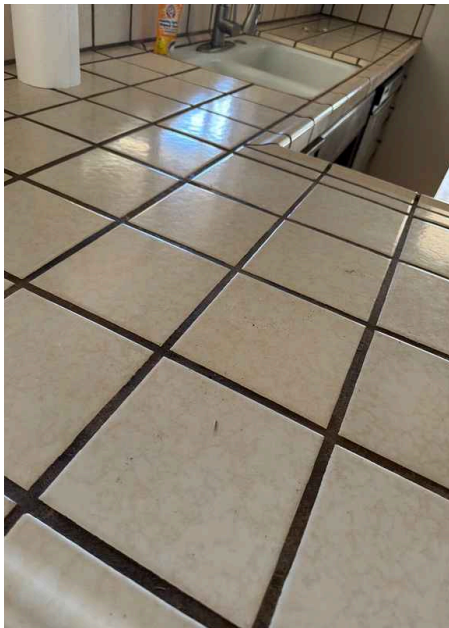
The primary interior door style observed at the time of inspection was documented.



Countertops & Cabinets: Countertop Material

Tile, Marble

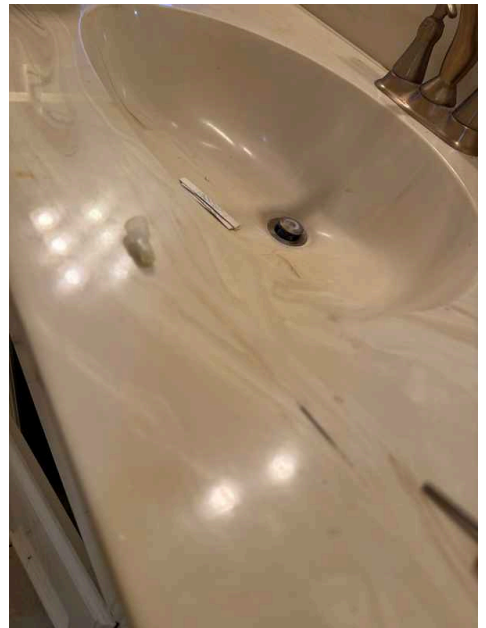
The primary countertop material observed at the time of inspection was documented.



Kitchen



Hall Bathroom



Master Bathroom



Bathroom 2

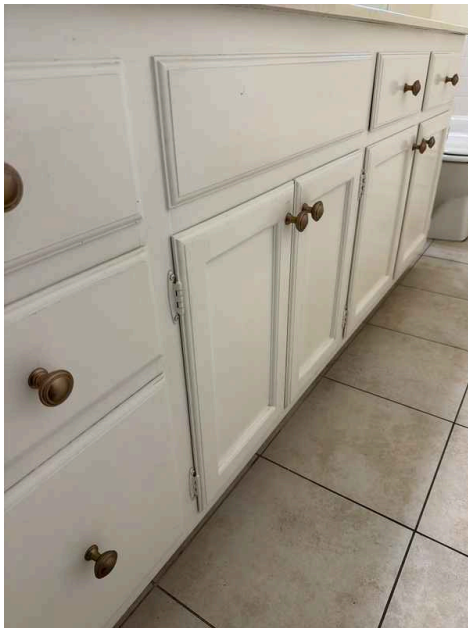
Countertops & Cabinets: Cabinet Material

Wood, Laminate

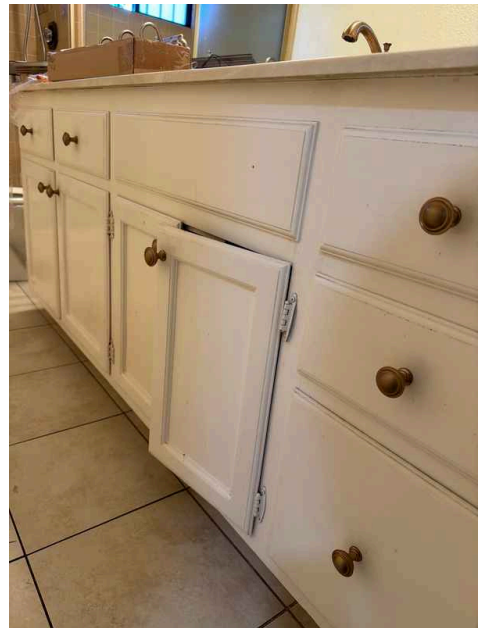
The primary cabinet material observed at the time of inspection was documented.



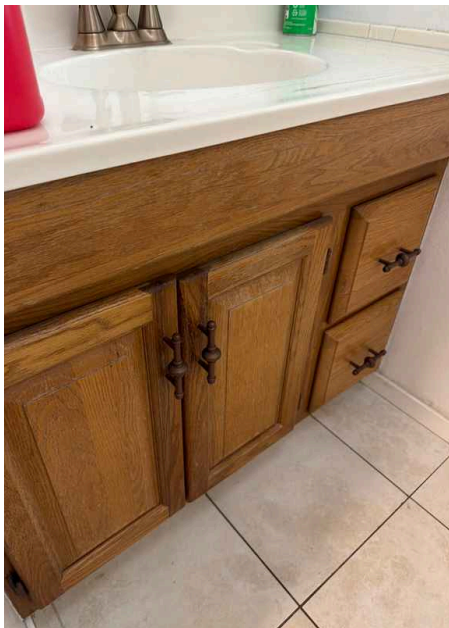
Kitchen



Hall Bathroom



Master Bathroom



Bathroom 2

Fireplace - General: Fireplace Type

Wood Burning, Gas

The type of fireplace observed at the time of inspection was documented.



Limitations

General

OCCUPANT BELONGINGS

Stored personal belongings limited portions of the inspection. Areas concealed by stored items were not fully evaluated.

8: BUILT-IN APPLIANCES

Information

Range Hood / Exhaust Hood: Type

Under Cabinet

Range Hood / Exhaust Hood: Light Present

Yes

Oven & Cooktop: Manufacturer

Kitchenaid



Garbage Disposal: Operation

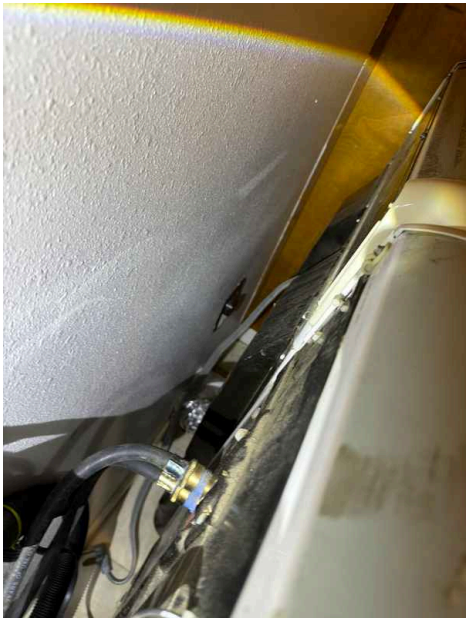
Yes

Clothes Dryer: Power Source

Electric

Clothes Dryer: Dryer Vent Material

Flexible Metal



Clothes Dryer: Dryer Vent Discharge
Exterior



Clothes Washer: Loading Type
Top Load



Clothes Washer: Supply Hose Type
Rubber



Dishwasher: Manufacturer
Kitchenaid



Refrigerator: Manufacturer
GE



Oven & Cooktop: Fuel Type

Electric



Deficiencies

8.3.1 Range Hood / Exhaust Hood

LIGHT NOT FUNCTIONING

The range hood light did not operate properly when tested.

Recommendation

Contact a qualified professional.



Maintenance Item



9: ELECTRICAL

Information

Service / Panels / Wiring: Service Type
Underground

Service / Panels / Wiring: Service Entrance Conductor Material
Copper

Service / Panels / Wiring: Main Panel Location
Patio Area



Service / Panels / Wiring: Main Panel Manufacturer
N/A

Service / Panels / Wiring: Panel Type
Main Panel

Service / Panels / Wiring: Panel Capacity
200 AMP

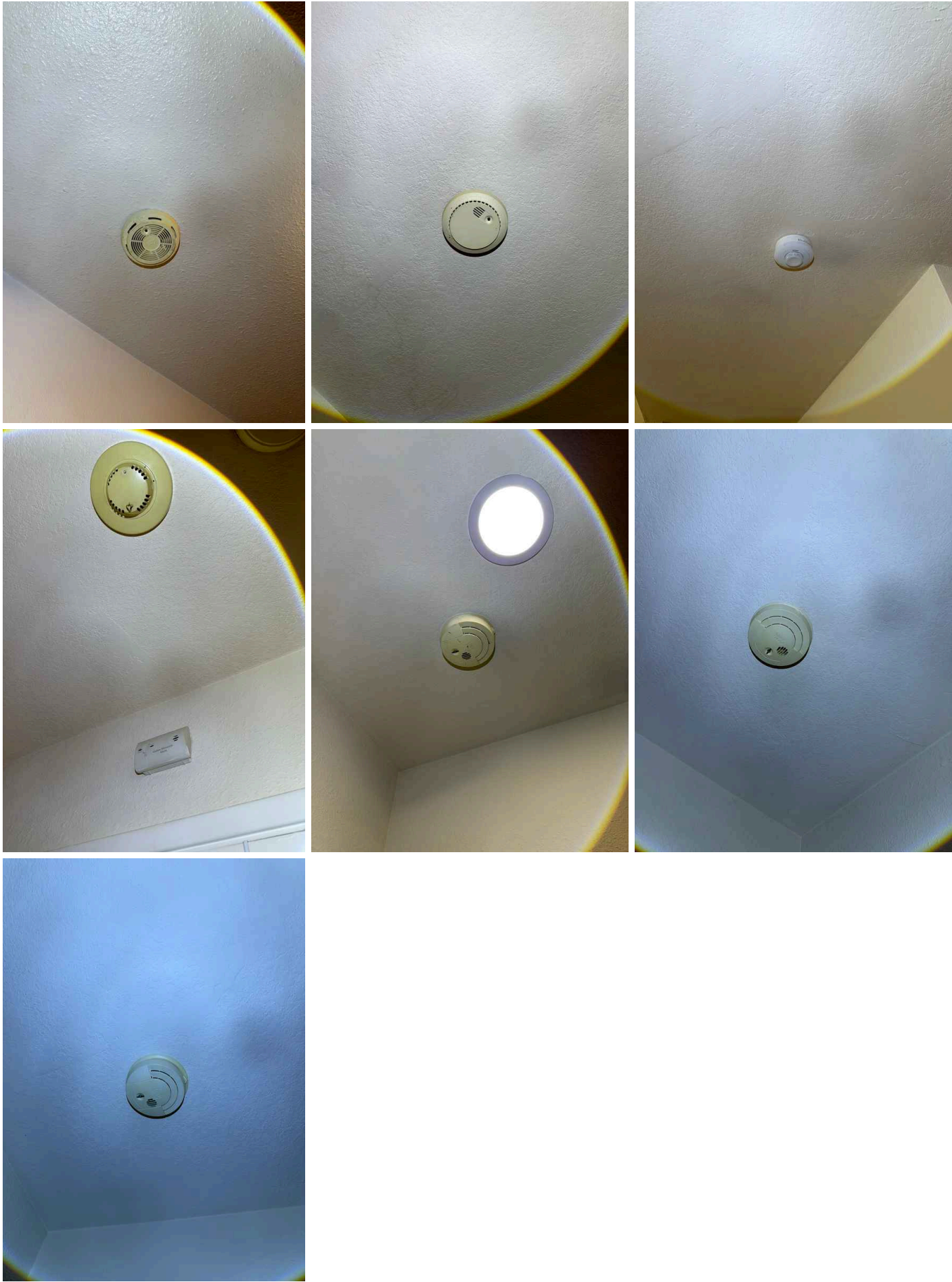


Service / Panels / Wiring: Subpanel Present
No, N/A

Service / Panels / Wiring: Wiring Method
NM-B (Romex)

Service / Panels / Wiring: Branch Circuit Wiring
Copper

Smoke & Carbon Monoxide Detectors: Detectors Present



Deficiencies

9.2.1 Receptacles, Switches & Lighting

COVER PLATES DAMAGED

One or more receptacles have a damaged cover plate. Recommend replacement.



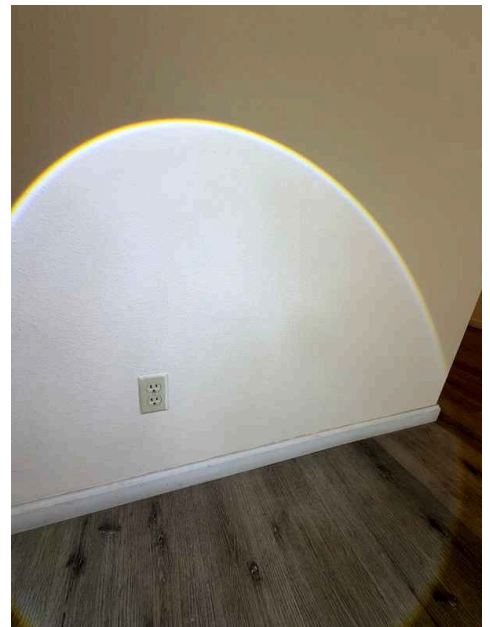
9.2.2 Receptacles, Switches & Lighting

RECEPTACLE NOT FUNCTIONAL

Receptacle was not functional during time of inspection. Recommend further evaluation and correction by a licensed electrician.

Recommendation

Contact a qualified professional.



10: HVAC

Information

HVAC Operating Controls:
Thermostat



Heating Equipment &
Distribution: Heating Energy
Source
Gas



Heating Equipment &
Distribution: Heating Equipment
Type
Forced Air, Gas-Fired Heat

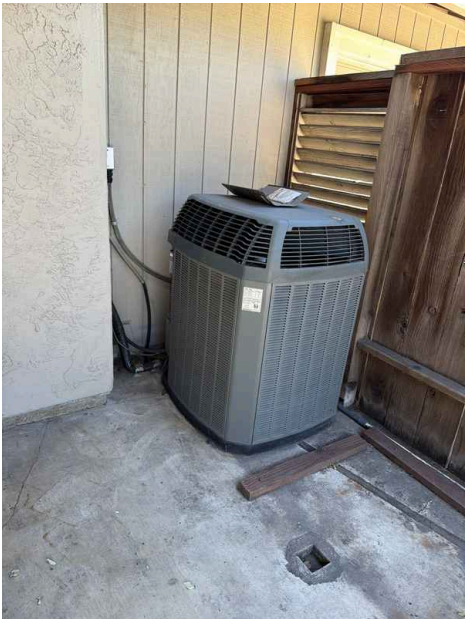
Heating Equipment &
Distribution: Heating Equipment
Brand
Trane



Heating Equipment &
Distribution: Heating Ductwork
Insulated



Cooling Equipment &
Distribution: Cooling Equipment
Location
Patio Area



Cooling Equipment &**Distribution: Cooling Distribution System**

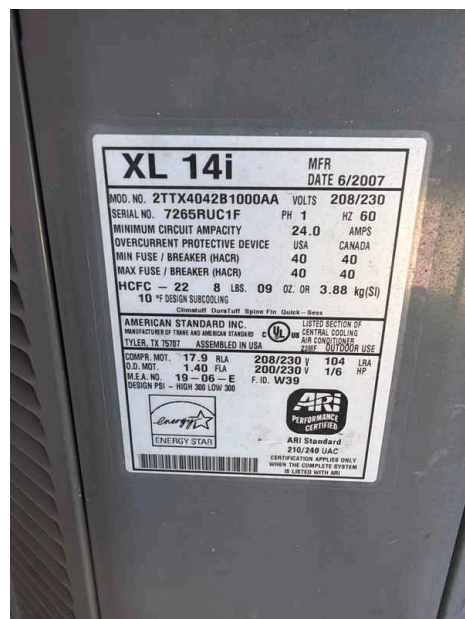
Central

Cooling Equipment &**Distribution: Cooling Energy Source**

Electric

Cooling Equipment &**Distribution: Cooling Equipment Brand**

American standard

**Heating - General: AFUE Rating**

80

AFUE (Annual fuel utilization efficiency) is a metric used to measure furnace efficiency in converting fuel to energy. A higher AFUE rating means greater energy efficiency. 90% or higher meets the Department of Energy's Energy Star program standard.

Heating - General: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system as an air filter, be sure to keep that filter cleaned.

Cooling Equipment & Distribution: SEER Rating

21 SEER

Modern standards call for at least 13 SEER rating for new install.

Read more on energy efficient air conditioning [at Energy.gov](https://www.energy.gov).

Presence of Installed Cooling Source in Each Room: -



Deficiencies

10.6.1 Cooling Equipment & Distribution

COOLING EQUIPMENT - NEARING
END OF LIFE

The condenser for the cooling system showed signs of aging along with sun damage. This would suggest that it's nearing the end of its life cycle. The label was also faded. Recommend the entire cooling system be tested and checked by a qualified HVAC technician.

Recommendation

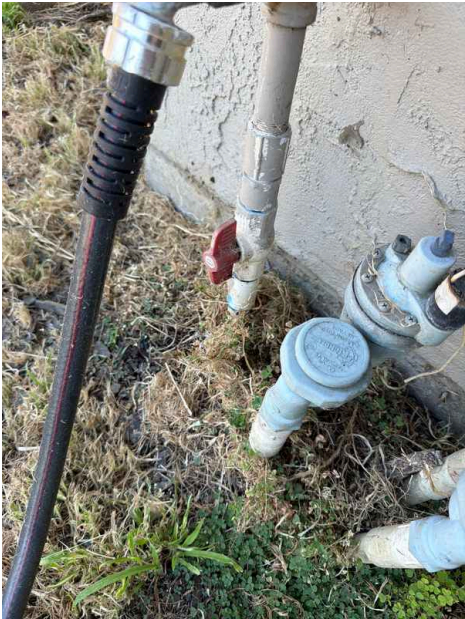
Contact a qualified professional.

 Recommendation



11: PLUMBING

Information

General: Filters None	General: Water Source Public	Main Water Shut-off: Location Exterior A photograph showing an exterior water shut-off valve and meter. The valve is a red-handled ball valve on a white pipe, located next to a blue water meter. The pipes are surrounded by dry grass and some green weeds. A black hose is visible on the left side of the frame.
Water Supply / Distribution: Water Supply Material Copper	Water Supply / Distribution: Distribution Material Copper	Water Heater & Sump Pump: Water Heater - Location Garage A photograph of a white tank water heater in a garage. The heater is wrapped in white insulation. To its right is a grey furnace or boiler unit. A box labeled '50' and 'FENCE POST' is on the floor in front of the heater. The background shows a white wall and a ceiling.

Water Heater & Sump Pump:
Water Heater Power -
Source/Type
Gas

Water Heater & Sump Pump:
Water Heater - Capacity
00 gallons

Water Heater & Sump Pump:
Sump Pump - Location
N/A



Drain, Waste, & Vent Systems:
Drain Size
1 1/2", 2"

Water Heater & Sump Pump: Water Heater - Manufacturer
N/A

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.
[Here is a nice maintenance guide from Lowe's to help.](#)

Drain, Waste, & Vent Systems: Drain Material

ABS, PVC



Kitchen



Bathroom 2



Master Bathroom



Hall Bathroom

Limitations

Water Heater & Sump Pump

WATER HEATER - WRAPPED IN INSULATION

Water heater was wrapped in insulation during time of inspection.
Water heater appears to be very old and near end of life.



Deficiencies

11.4.1 Water Heater & Sump Pump

MISSING FIRESTOP SEAL AT WATER HEATER PENETRATION

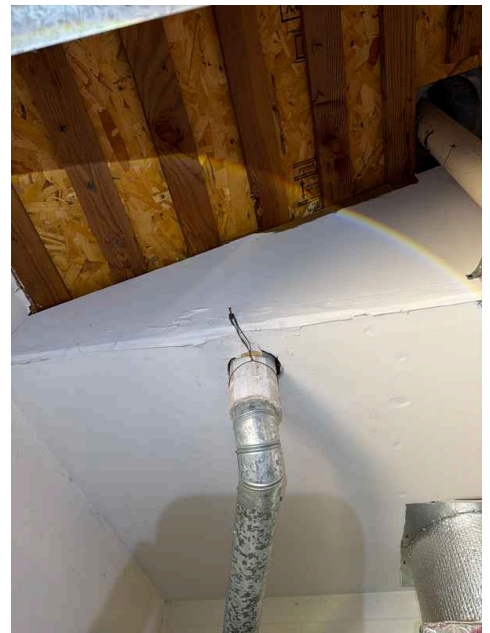


Maintenance Item

A firestop seal was not present around the pipe/vent penetration near the water heater. Open penetrations can allow smoke, fire, or gases to spread between areas. Recommend correction by a qualified professional using approved fire-rated materials.

Recommendation

Contact a qualified professional.



11.7.1 Showers & Bathtubs

SHOWER VALVE/HANDLE LEAK



Maintenance Item

Water was leaking from the shower control handle area. This may indicate a worn cartridge, failed valve seal, or improper trim seal, and can allow moisture into the wall cavity. Recommend evaluation and repair by a qualified professional.

Recommendation

Contact a qualified professional.

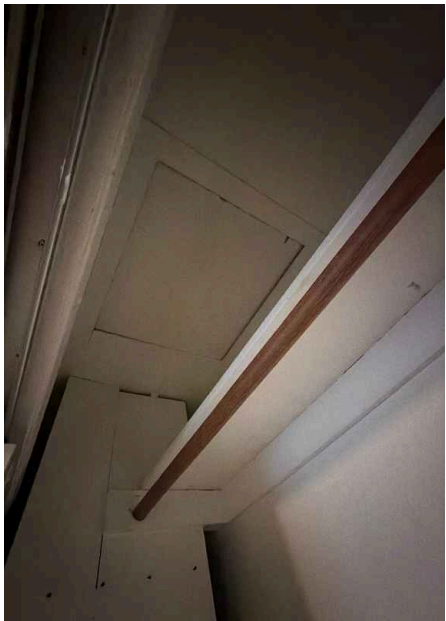


Master Bathroom

12: ATTIC

Information

General: Attic Access Location
Interior



Attic Ventilation & Insulation: Insulation Material
Fiberglass

Attic Ventilation & Insulation: Properly Vented To Exterior
Fan/Heat/Light

Attic Ventilation & Insulation: Ventilation Type
Passive

Attic Ventilation & Insulation: R-value
12
Our value is approximately r-30

Attic Framing & Sheathing: Framing Type
Trusses





Attic Ventilation & Insulation: Insulation Form

Batt, Blown / Loose-Fill



Limitations

Attic Framing & Sheathing

RESTRICTED VISIBILITY

Some attic areas had limited visibility due to insulation, framing members, or other obstructions. Hidden conditions may exist in areas not visible at the time of inspection.

Attic Framing & Sheathing

LOW CLEARANCE IN ATTIC

Low attic clearance restricted movement and limited the ability to inspect some areas of the attic.



STANDARDS OF PRACTICE

Inspection Details

Inspection Details – Standards of Practice

This inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice and applicable state requirements, where required. The purpose of the inspection is to provide a limited visual evaluation of the readily accessible systems and components of the property at the time of the inspection.

The inspection is based on observations made on the date of the inspection under the conditions existing at that time. The report identifies material defects that were visible and reasonably apparent during the inspection, as well as systems or components that, in the inspector's professional judgment, were not functioning as intended, significantly deficient, unsafe, or near the end of their service life.

This inspection is non-invasive and does not include dismantling, destructive testing, engineering analysis, code compliance verification, environmental testing, or prediction of future performance. Concealed, latent, obstructed, buried, or inaccessible conditions are excluded from the scope of inspection. Areas blocked by furnishings, storage, finishes, debris, soil, vegetation, locked doors, weather conditions, safety concerns, or lack of access may not be inspected.

The inspection is not technically exhaustive and should not be considered a guarantee, warranty, insurance policy, or certification of any kind regarding the condition of the property or future reliability of any component. No determination is made regarding insurability, marketability, habitability, or suitability for any specific use.

The inspector is not required to identify every minor defect, cosmetic issue, maintenance item, or condition that may exist. Components may fail or change condition at any time after the inspection due to age, use, weather, occupancy, deferred maintenance, or other factors beyond the inspector's control.

Recommendations for further evaluation, monitoring, repair, replacement, or maintenance should be completed by qualified licensed professionals as appropriate prior to close of escrow or expiration of any contingency periods. Obtaining specialized inspections is strongly advised whenever concerns exist.

By relying on this report, the client acknowledges that the inspection and report are limited to the scope described above and are not a substitute for seller disclosures, contractor evaluations, permit research, insurance investigations, appraisal, survey, or specialized inspections. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Structure

The structural inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible structural components of the property at the time of inspection.

The inspection typically includes observation of visible foundation components, crawlspaces, basements, slabs, floor structures, beams, posts, piers, framing members, roof structure components visible from accessible areas, and other structural elements where readily accessible.

The inspector is not required to enter unsafe areas or areas with limited clearance, standing water, inadequate ventilation, hazardous conditions, pest activity, exposed wiring, or other conditions deemed unsafe. The inspector is not required to move insulation, storage, finishes, floor coverings, wall coverings, ceiling materials, personal property, debris, or any material that obstructs visibility. Concealed framing and hidden structural components are outside the scope of this inspection.

This inspection is not an engineering analysis and does not determine load calculations, design adequacy, seismic performance, soil bearing capacity, geotechnical conditions, prior movement history, latent structural defects, or code compliance. The inspector is not required to calculate settlement tolerances, verify structural modifications, or determine whether previous repairs were properly engineered or permitted.

Hairline cracking, minor settlement, seasonal movement, wood shrinkage, nail pops, uneven finishes, and common age-related movement may occur in structures and do not always indicate structural failure. Conversely, concealed damage may exist where finishes or stored items prevent observation.

The inspection does not predict future movement, settlement, cracking, moisture intrusion, wood decay, pest damage, or structural performance. Conditions may change after the date of inspection due to weather, occupancy, drainage changes, remodeling, seismic activity, soil movement, or deferred maintenance.

The inspector is not required to identify every cosmetic crack, minor deflection, squeak, finish irregularity, or routine maintenance condition. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Where structural concerns are observed or suspected, further evaluation by a qualified licensed contractor, structural engineer, foundation specialist, or other appropriate professional is recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the structural inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or prediction of future structural performance. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Exterior

The exterior inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible exterior components of the property at the time of inspection.

The inspection typically includes observation of exterior wall coverings, trim, flashing, doors, windows, decks, balconies, stoops, steps, porches, railings, eaves, soffits, fascias, grading, drainage, driveways, walkways, patios, fences, retaining walls, and other visible site improvements, where present and readily accessible.

The inspector is not required to move personal property, stored items, vegetation, soil, debris, coverings, or any obstruction limiting visibility or access. The inspector is not required to dismantle components, probe concealed areas, lift coverings, or perform destructive testing. Underground systems, buried drainage lines, subsurface conditions, property boundary locations, geological conditions, soil stability, erosion history, engineering adequacy, code compliance, permit history, or environmental hazards are outside the scope of this inspection.

The inspection does not determine structural design adequacy of retaining walls, fences, decks, patios, slabs, drainage systems, or site improvements unless visibly failed at the time of inspection. Minor settlement, cosmetic cracking, seasonal movement, normal weathering, and common maintenance conditions may be present and are not always indicative of structural failure.

Exterior components are subject to ongoing wear from moisture, sun exposure, temperature changes, vegetation growth, movement, and deferred maintenance. Conditions may change after the inspection date. Hidden damage may exist behind cladding, below grade, beneath surfaces, or within assemblies not visible during a standard visual inspection.

The inspector is not required to identify every cosmetic defect, hairline crack, paint flaw, sealant gap, or routine maintenance item. Only material defects observed at the time of inspection may be reported.

Where concerns are noted, further evaluation, repair, sealing, drainage correction, or replacement by qualified licensed contractors or specialists is recommended. Monitoring of cracking, settlement, drainage behavior, and moisture intrusion is advised.

By relying on this report, the client acknowledges that the exterior inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty or guarantee against future leaks, movement, settlement, deterioration, drainage issues, or concealed defects. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Fuel Systems

The fuel systems inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible fuel storage and distribution components of the property at the time of inspection.

The inspection typically includes observation of visible fuel supply piping, shutoff valves, connectors, regulators, meters, accessible portions of fuel storage tanks where present, and visible connections serving permanently installed appliances. Fuel systems may include natural gas, propane, oil, or other common residential fuel sources where installed.

The inspector is not required to operate shutoff valves, pressure-test piping, dismantle components, move appliances, excavate buried tanks or lines, disassemble regulators, inspect utility-owned equipment, or determine underground routing of fuel lines. Concealed piping, buried tanks, hidden leaks, abandoned lines, internal corrosion, and inaccessible components are outside the scope of this inspection.

This inspection is not a leak test and does not determine gas-tight integrity, pressure retention, fuel purity, capacity, regulatory compliance, permit history, or code compliance. The inspector is not required to light pilot flames, relight appliances, or operate any component where doing so may create a hazard.

Fuel odors may be intermittent and may not be present during the inspection. Small leaks, pressure loss, regulator defects, internal deterioration, appliance-related issues, and concealed hazards may exist without visible indicators at the time of inspection.

The inspector is not required to identify every cosmetic defect, surface rust spot, minor labeling issue, or routine maintenance condition. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Where corrosion, damage, missing components, improper materials, suspected leakage, or unsafe conditions are observed, immediate further evaluation and repair by the serving utility provider, qualified licensed plumber, HVAC contractor, propane supplier, or other appropriate specialist is recommended.

By relying on this report, the client acknowledges that the fuel systems inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or assurance against future leaks, failures, or hazardous conditions. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Roof

The roof inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible roofing components of the property at the time of inspection.

The inspection typically includes observation of roof coverings, flashings, penetrations, vents, skylights, chimneys, gutters, downspouts, drainage components, and visible roof structure elements where safely accessible. Inspection methods may include viewing from the ground, ladder at eaves, windows, adjacent areas, drone imagery, or walking the roof surface when conditions are safe and practical in the inspector's judgment.

The inspector is not required to walk any roof surface that is unsafe due to pitch, height, material type, weather, moisture, debris, damage, limited access, fragile coverings, or any condition presenting risk of injury or property damage. The inspector is not required to remove snow, debris, coverings, solar panels, equipment, personal items, or any obstruction limiting visibility.

This inspection is not a warranty against leaks or future roof performance. Roofing systems can leak intermittently and may not leak during the inspection. Prior repairs, concealed deficiencies, underlayment conditions, fastener issues, subsurface deterioration, layered roofing materials, hidden moisture intrusion, and concealed flashing defects may not be visible during a standard visual inspection.

The inspector is not required to determine remaining roof life expectancy, certify manufacturer installation compliance, verify permits, confirm insurance eligibility, identify every cosmetic blemish, or perform moisture testing, infrared scanning, or destructive examination. Estimates of age or remaining life, if provided, are opinions only and not guarantees.

Weather conditions, recent dry periods, attic ventilation, tree debris, ponding patterns, seasonal expansion and contraction, and prior patching can affect roof performance after the inspection date. Conditions may change at any time due to wind, storms, foot traffic, movement, aging, or deferred maintenance.

The inspector is not required to report every granular loss area, minor sealant crack, isolated fastener issue, cosmetic stain, or routine maintenance condition. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Where concerns are noted or when the roof is aged, inaccessible, or near the end of expected service life, further evaluation, repair, certification, or replacement consultation by a qualified licensed roofing contractor is strongly recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the roof inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or prediction against future leaks or failures. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Garage

The garage inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible garage components at the time of inspection.

The inspection typically includes observation of the garage structure, walls, ceilings, floors, visible framing, vehicle door(s), pedestrian door(s), fire separation surfaces where visible, garage door operators, safety reversal features when applicable, representative lighting, receptacles, ventilation where present, and other accessible installed components.

The inspector is not required to move vehicles, storage items, tools, shelving contents, personal property, or any material that obstructs visibility or access. Areas concealed by stored items or finishes may not be inspected. The inspector is not required to dismantle components, remove wall coverings, lift floor coatings, or perform destructive testing.

This inspection is not an engineering analysis and does not determine structural design adequacy of slabs, framing, retaining elements, storage systems, or alterations. The inspector is not required to verify permits, code compliance, fire-rating certifications, occupancy conversions, or suitability for workshop, storage, or habitable use.

Garage door systems are tested using normal user controls when safely accessible. The inspector is not required to operate doors that are damaged, binding, obstructed, manually locked, disconnected, unsafe, or likely to sustain damage by operation. Door balance, spring life, opener lifespan, remote controls, keypad programming, battery backup, smart features, and long-term reliability are outside the scope of a standard inspection.

Cracking, settlement, staining, moisture intrusion, vehicle impact damage, corrosion, pest entry points, and wear from use are common in garage environments. Conditions may change after the inspection date.

The inspector is not required to identify every cosmetic defect, minor crack, floor stain, paint blemish, loose storage hook, or routine maintenance item. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Where concerns are noted, including unsafe door operation, damaged fire separation, structural movement, moisture intrusion, electrical concerns, or garage door defects, further evaluation and repair by qualified licensed contractors or specialists is recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the garage inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or prediction of future performance of any garage component or door system. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Interior

The interior inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible interior components of the property at the time of inspection.

The inspection typically includes observation of walls, ceilings, floors, steps, stairways, railings, countertops, cabinets, doors, windows, representative operation of accessible doors and windows, and other visible finished living areas where readily accessible.

The inspector is not required to move furniture, rugs, wall hangings, appliances, stored items, personal belongings, electronics, or any material that obstructs visibility or access. The inspector is not required to lift floor coverings, move insulation, open sealed panels, dismantle components, or perform destructive testing. Concealed conditions behind walls, under flooring, above ceilings, inside cabinetry, or beneath finishes are outside the scope of this inspection.

This inspection is not a code compliance review and does not determine sound transmission, cosmetic perfection, environmental hazards, indoor air quality, mold presence, asbestos content, lead paint, pest contamination, or hidden moisture within concealed assemblies unless specifically contracted as an additional service.

Normal wear, cosmetic blemishes, nail pops, drywall seams, minor cracking, floor squeaks, settlement-related irregularities, and signs of previous repairs may be present in homes of any age and do not necessarily indicate structural failure or active defects.

The inspector is not required to identify every cosmetic issue, paint flaw, flooring scratch, cabinet adjustment need, window screen defect, door scuff, or minor maintenance item. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Windows and doors are tested on a representative basis where practical. The inspector is not required to operate components that are painted shut, swollen, blocked, damaged, locked, unsafe to operate, or likely to cause damage by operation.

The inspection does not predict future movement, cracking, leakage, finish deterioration, hardware failure, or changing conditions caused by occupancy, humidity, weather, deferred maintenance, or remodeling after the inspection date.

Where concerns are noted, further evaluation or repair by qualified licensed contractors or specialists is recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the interior inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or assurance of cosmetic condition or future performance. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Built-in Appliances

The built-in appliances inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a limited visual inspection and basic functional operation of readily accessible permanently installed household appliances at the time of inspection.

The inspection typically includes observation and normal user controls operation, where present, of built-in kitchen appliances such as dishwashers, garbage disposals, range hoods, exhaust fans, cooktops, wall ovens, built-in microwaves, trash compactors, and other permanently installed appliances. Refrigerators, washers, dryers, countertop appliances, and other portable or freestanding equipment are generally excluded unless specifically stated otherwise in the report.

The inspector is not required to operate appliances that are shut down, disconnected, inaccessible, unsafe to operate, missing utilities, locked out, or likely to cause damage through operation. The inspector is not required to run appliances through complete cycles, test every feature, verify self-cleaning modes, calibrate temperatures, inspect internal components, move appliances, dismantle units, or determine manufacturer recalls.

This inspection is not a guarantee of future reliability, continued performance, sanitation condition, life expectancy, or hidden defects. Appliances may function during the inspection and fail at any time thereafter due to age, wear, electronic component failure, clogged lines, leaks, vibration, or normal use.

The inspector is not required to identify every cosmetic blemish, light bulb issue, missing accessory, filter condition, rack wear, minor noise, surface scratch, or routine maintenance item. Only material defects visible and reasonably apparent during limited operation at the time of inspection may be reported.

Temperature readings, heating times, cycle completion, microwave output, disposal performance under load, dishwasher leak resistance over full cycles, and long-term operation cannot be fully determined during a standard home inspection.

Where defects, unusual noises, improper operation, leakage, or age-related concerns are observed, further evaluation, servicing, or replacement by a qualified appliance technician or licensed contractor is recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the built-in appliances inspection is limited to visible and basic functional conditions present on the day of inspection and is not a warranty, guarantee, certification, or service contract for any appliance. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Electrical

The electrical inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible electrical components of the property at the time of inspection.

The inspection typically includes observation of the service drop or lateral where visible, meter location, main disconnect, service equipment, accessible panelboards, branch circuit wiring visible in readily accessible areas, representative receptacles, switches, lighting fixtures, grounding and bonding components where visible, and installed GFCI/AFCI protection where present.

The inspector is not required to remove panel dead fronts where unsafe, operate overcurrent devices, insert tools into energized components, dismantle equipment, move stored items blocking access, or perform any action that may create a hazard. Concealed wiring, wiring within walls, underground conductors, hidden junction boxes, low-voltage systems, communication wiring, security systems, solar systems, battery storage, generators, EV charging systems, and specialty controls are outside the scope unless specifically stated otherwise.

This inspection is not a code compliance inspection and does not determine full conformity with current or past electrical standards, utility requirements, permit history, design load adequacy, or capacity for future additions. Older systems may have been compliant when installed but may not meet current standards.

Representative receptacles and switches may be tested, but not every outlet, fixture, device, bulb, dimmer, timer, or control is required to be operated. GFCI and AFCI devices can fail intermittently or may not trip under limited field testing. The absence of visible defects does not guarantee safe or proper performance.

The inspector is not required to identify every minor labeling issue, cosmetic defect, burnt-out bulb, loose cover plate, missing screw, low-voltage issue, or routine maintenance item. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Electrical systems may contain concealed hazards, improper alterations, overloaded circuits, latent defects, or intermittent conditions not observable during a standard visual inspection. Conditions may change after the inspection date due to occupancy, repairs, weather events, equipment failure, or unauthorized modifications.

Where outdated components, unsafe conditions, overheating evidence, improper wiring methods, missing protections, or other concerns are observed or suspected, further evaluation and correction by a qualified licensed electrician is strongly recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the electrical inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or assurance of future safety or uninterrupted operation. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

HVAC

The HVAC inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection and limited functional operation of the readily accessible heating, ventilation, and air conditioning components of the property at the time of inspection.

The inspection typically includes observation of permanently installed heating equipment, cooling equipment, thermostats, normal operating controls, accessible ductwork, registers, vents, flues, condensate components, and other visible HVAC system components where readily accessible.

The inspector is not required to operate systems when weather conditions, outdoor temperatures, manufacturer limitations, unsafe conditions, disconnected equipment, missing fuel sources, or other circumstances may risk damage to equipment. Seasonal limitations may restrict testing of heating or cooling systems. The inspector is not required to dismantle equipment, remove access panels beyond standard service panels when unsafe, disassemble burners, inspect heat exchangers internally, test refrigerant charge by invasive methods, or perform engineering analysis.

This inspection is not a guarantee of system capacity, efficiency, airflow balance, indoor air quality, duct cleanliness, remaining service life, or future reliability. The inspection does not include load calculations, energy audits, code compliance verification, permit history, refrigerant leak testing, combustion analysis, carbon monoxide diagnostics, or full mechanical servicing.

HVAC systems may operate during the inspection and fail at any time thereafter due to age, deferred maintenance, hidden defects, electrical component failure, refrigerant loss, clogged drains, worn motors, cracked heat exchangers, thermostat issues, or normal wear.

Temperature differentials, if taken, are screening observations only and do not certify full system performance. The inspector is not required to identify every minor noise, vibration, cosmetic defect, dirty filter, duct insulation issue, minor rust spot, or routine maintenance item. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Concealed duct leakage, improper sizing, inadequate insulation, hidden damage, intermittent operation, and latent safety issues may exist beyond the scope of a standard home inspection.

Where aging equipment, improper operation, safety concerns, damaged components, poor performance, or end-of-life indicators are observed, further evaluation, servicing, repair, or replacement consultation by a qualified licensed HVAC contractor is strongly recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the HVAC inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or prediction of future performance, efficiency, or lifespan. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Plumbing

The plumbing inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection and limited functional operation of the readily accessible plumbing components of the property at the time of inspection.

The inspection typically includes observation of visible water supply piping, drain/waste/vent piping, faucets, fixtures, sinks, tubs, showers, toilets, water heater(s), shutoff valves, hose bibs, sump components where present, and other accessible permanently installed plumbing components.

The inspector is not required to move personal property, open walls, ceilings, floors, or cabinetry, dismantle fixtures, remove access panels that are sealed or unsafe, or perform destructive testing. Concealed piping, underground lines, sewer laterals, septic systems, irrigation systems, water treatment systems, private wells, hidden leaks, and inaccessible components are outside the scope unless specifically stated otherwise.

This inspection is not a pressure test, sewer scope, leak warranty, code compliance inspection, permit verification, or determination of water quality, flow volume consistency, drainage design adequacy, or future reliability. The inspector is not required to test every fixture simultaneously, verify exact pipe materials in concealed areas, or determine remaining service life of piping or equipment.

Water flow and drainage are observed under limited normal-use conditions only. Slow drains, intermittent leaks, hidden seepage, sewer blockages, cross-connections, pipe scaling, corrosion, venting deficiencies, temperature fluctuations, and concealed defects may not be evident during the inspection.

The inspector is not required to identify every cosmetic issue, minor drip, loose handle, caulk defect, stained surface, noisy pipe, worn stopper, or routine maintenance item. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Water heaters are inspected visually and by limited operation when practical. The inspection does not determine full burner performance, internal tank condition, exact age unless labeled, sediment level, efficiency, or remaining lifespan. Water heaters may fail without warning due to internal corrosion or age.

Where leaks, corrosion, unsafe conditions, improper materials, inadequate drainage, aging components, or functional defects are observed or suspected, further evaluation, repair, or replacement by a qualified licensed plumber or appropriate specialist is strongly recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the plumbing inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or assurance against future leaks, blockages, failures, or water damage. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.

Attic

The attic inspection was performed in general accordance with the current InterNACHI Residential Standards of Practice as a visual inspection of the readily accessible attic and roof structure areas at the time of inspection.

The inspection typically includes observation of accessible attic spaces, visible roof framing, sheathing, insulation, ventilation components, exhaust terminations, structural members, signs of moisture intrusion, and other visible components where safely accessible.

The inspector is not required to enter attic spaces where access is restricted or where conditions are unsafe due to limited clearance, excessive heat, low headroom, exposed nails, damaged framing, inadequate walking surfaces, vermin, hazardous materials, standing water, electrical hazards, poor air quality, or any other unsafe condition. The inspector is not required to move insulation, stored items, personal property, ductwork, wiring, or other materials that obstruct visibility.

This inspection is not a technically exhaustive evaluation and does not determine concealed conditions beneath insulation, within enclosed cavities, behind finishes, or under stored contents. Hidden structural damage, concealed leaks, mold, pest activity, air leakage, electrical issues, and insulation deficiencies may exist outside visible areas.

The inspection is not a code compliance review and does not determine compliance with current ventilation, insulation, fire separation, framing, or energy-efficiency standards. The inspector is not required to calculate insulation R-values, verify complete ventilation balance, determine structural engineering adequacy, or estimate remaining roof life from attic observations.

Signs of prior leakage, staining, condensation, microbial growth, pest activity, or repairs may be present. The source may be inactive, intermittent, seasonal, or concealed at the time of inspection. The absence of visible staining does not guarantee the roof or attic has never leaked.

The inspector is not required to identify every minor cosmetic issue, displaced insulation area, isolated nail rust spot, dust accumulation, minor staining, or routine maintenance condition. Only material defects visible and reasonably apparent at the time of inspection may be reported.

Where moisture intrusion, inadequate ventilation, damaged framing, suspected microbial growth, unsafe wiring, pest evidence, or insufficient insulation is observed or suspected, further evaluation and correction by qualified licensed contractors or specialists is strongly recommended prior to close of escrow or expiration of contingency periods.

By relying on this report, the client acknowledges that the attic inspection is limited to visible and accessible conditions present on the day of inspection and is not a warranty, guarantee, certification, or prediction against future leaks, hidden defects, energy loss, or structural issues. Any liability associated with this inspection is limited to the terms of the inspection agreement and applicable law.