



**ELITE GROUP**  
INSPECTION PROFESSIONALS



800-494-8998

RESIDENTIAL



PROPERTY LOCATION: 1123 N Florence St Burbank, CA 91505

# INSPECTION REPORT

CLIENT: Nina Tran -AGENT: Valerie Basile

Date of Inspection: 6/11/2026 at 2:00 PM

Year Built: 1939 Sq Ft: 1463

Weather: Sunny, dry, hot, windy

Order ID: 400591

Inspector: Anthony Cho

(213) 429-5400

anthonycho@eliteinspections.com



customer care@eliteinspections.com



www.eliteinspections.com



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## Summary Page

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. Further evaluation is recommended for any item written in **red** text or marked "needs to be serviced" or "recommend servicing" on this report -- further evaluation often times will allow a contractor to find additional items needing repair beyond the scope of the inspection. Failure to further evaluate any item as recommended releases us of any liability.

| INTERIOR                 |                              |   |
|--------------------------|------------------------------|---|
| Page 13 Item: 2          | Wall Conditions              | • Large cracks or holes present – larger than typical - needs to be further evaluated/serviced  |
| Page 17 Item: 5          | Floor Conditions             | • Loose floor plank - needs to be serviced  |
| Page 22 Item: 10         | Electrical                   | • Three prong outlet(s) not grounded - needs to be serviced   |
| Page 22 Item: 11         | Closets                      | • Missing closet doors - needs to be serviced   |
| Page 23 Item: 13         | Smoke Detectors              | • Missing at hall - needs to be installed   |
| Page 24 Item: 14         | Carbon Monoxide Detectors    | • Missing at hall - needs to be installed   |
| BATHROOMS                |                              |   |
| Page 25 Item: 2          | Counters                     | • Gap at backsplash to countertop joint - needs to be serviced  |
| Page 26 Item: 3          | Cabinets                     | • Microbial growth/irregular staining present- further evaluation is recommended  |
| Page 31 Item: 11         | Plumbing                     | • <b>Galvanized</b> water piping present - recommend complete water distribution system evaluation due to age   |
| Page 33 Item: 12         | Electrical                   | • Non-energized (dead) outlet(s) - needs to be serviced   |
| Page 34 Item: 13         | GFCIs                        | • Damaged - needs to be serviced  |
| KITCHEN                  |                              |   |
| Page 36 Item: 3          | Sinks                        | • Fixture leaks when operating - needs to be serviced   |
| Page 39 Item: 9          | Ranges                       | • Left front element/burner not operating - needs to be serviced  |
| Page 40 Item: 12         | Electrical                   | • Exposed connections - potential hazard - needs to be serviced   |
| HEATING/AIR CONDITIONING |                              |   |
| Page 48 Item: 7          | Thermostats                  | • Not operating properly - needs to be serviced<br>• Unit(s) are not responding to thermostat commands - recommend further evaluation by a licensed HVAC contractor |
| Page 51 Item: 13         | Refrigerant Lines            | • Insulation gaps observed in areas - needs to be serviced  |
| Page 52 Item: 14         | Air Conditioning Compressors | • Unit is not secured - we recommend strapping the unit to a base   |
| WATER HEATERS            |                              |   |
| Page 53 Item: 1          | Water Heaters                | • Unit old and appears to be nearing end of useful life - we  |

|                               |                                    |  |
|-------------------------------|------------------------------------|--|
|                               | Condition                          | recommend that you budget for a replacement  |
| Page 53 Item: 2               | Venting                            | <ul style="list-style-type: none"> <li>Minimum water heater single-wall vent pipe clearance from combustible material is 6" - needs to be serviced</li> </ul>  |
| Page 55 Item: 5               | Overflow Line/s                    | <ul style="list-style-type: none"> <li>None - needs to be serviced/installed</li> </ul>  |
| Page 56 Item: 7               | Strapping                          | <ul style="list-style-type: none"> <li>Loose strapping - needs to be serviced</li> </ul>   |
| <b>ELECTRICAL/GAS SERVICE</b> |                                    |  |
| Page 60 Item: 5               | Cable Feeds                        | <ul style="list-style-type: none"> <li>Trees/vegetation close/in contact with service entrance - needs to be serviced</li> </ul>   |
| <b>ATTIC AREA</b>             |                                    |  |
| Page 62 Item: 2               | Structure                          | <ul style="list-style-type: none"> <li>Skylight disconnected - needs service</li> </ul>  |
| Page 65 Item: 4               | Ventilation                        | <ul style="list-style-type: none"> <li>Evidence of rodents/insects/birds/pests - recommend further evaluation by pest services company</li> </ul>  |
| Page 67 Item: 8               | Electrical                         | <ul style="list-style-type: none"> <li>Cover missing at junctions box(es) exposing connections - needs to be serviced</li> <li>Exposed connections (splices) not properly installed with a junction box - potential hazard - needs to be serviced</li> </ul> |
| <b>GARAGE AND/OR CARPORT</b>  |                                    |  |
| Page 69 Item: 1               | Roof Condition                     | <ul style="list-style-type: none"> <li>Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads</li> </ul>  |
| Page 72 Item: 6               | Garage Doors Reverse Safety Status | <ul style="list-style-type: none"> <li>Light beam sensors are installed too high - needs to be serviced (recommended height is between 6 and 8 inches off the ground - manufacturer specifications may differ)</li> </ul>                                    |
| Page 74 Item: 13              | Electrical                         | <ul style="list-style-type: none"> <li>Outlet cover missing - needs to be serviced</li> </ul>  |
| <b>EXTERIOR AREAS</b>         |                                    |  |
| Page 76 Item: 1               | Stucco                             | <ul style="list-style-type: none"> <li>Cracking/chipping/holes more than typical - needs to be serviced</li> </ul>   |
| Page 78 Item: 2               | Siding                             | <ul style="list-style-type: none"> <li>Gaps in siding at joints and around windows/doors - recommend servicing to prevent moisture entry</li> </ul>  |
| Page 82 Item: 7               | Exterior Paint                     | <ul style="list-style-type: none"> <li>Blistered and peeling in areas - recommend servicing</li> </ul>   |
| Page 83 Item: 9               | Exterior Windows                   | <ul style="list-style-type: none"> <li>Awning loose - needs to be serviced</li> </ul>  |
| <b>FOUNDATION</b>             |                                    |  |
| Page 89 Item: 6               | Posts and Girders                  | <ul style="list-style-type: none"> <li>Posts off centered and not aligned over concrete piers - recommend brackets for added support</li> <li>Exposed/undermined post footings - needs to be serviced</li> </ul>   |
| Page 92 Item: 11              | Electrical                         | <ul style="list-style-type: none"> <li>Conduit or metal wire sheathing in contact with soil - needs to be serviced</li> <li>Exposed connections (splices) not properly installed with a junction box - potential hazard - needs to be serviced</li> </ul>    |
| Page 93 Item: 12              | Plumbing                           | <ul style="list-style-type: none"> <li>Galvanized water piping present - recommend complete water distribution system evaluation due to the age of this material</li> </ul>  |
| <b>GROUNDS</b>                |                                    |  |
| Page 96 Item: 1               | Driveways and Walkways             | <ul style="list-style-type: none"> <li>Cracking/chipping large - recommend servicing</li> <li>Walkway displacement/uplifted/uneven areas - potential trip hazard - needs to be serviced</li> </ul>   |

|                   |                               |  |
|-------------------|-------------------------------|--|
| Page 99 Item: 4   | Exterior Electrical           | <ul style="list-style-type: none"> <li>• Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry</li> <li>• Loose fixture(s) - needs to be serviced</li> </ul>  |
| Page 100 Item: 6  | Exterior Plumbing and Faucets | <ul style="list-style-type: none"> <li>• <b>Galvanized</b> water piping present - recommend complete water distribution system evaluation beyond the scope of this inspection due to age/type</li> </ul>   |
| Page 102 Item: 8  | Water Pressure                | <ul style="list-style-type: none"> <li>• <b>Pressure is higher than 120 psi, we recommend that a plumber further evaluate this high pressure as soon as possible</b></li> </ul>  |
| Page 102 Item: 9  | Pressure Regulator            | <ul style="list-style-type: none"> <li>• Installed but pressure is above 80 PSI - recommend further evaluation by a plumbing contractor</li> </ul>   |
| Page 105 Item: 13 | Planters                      | <ul style="list-style-type: none"> <li>• Trees or vegetation too close to structure areas - recommend servicing</li> </ul>   |
| <b>ROOF</b>       |                               |  |
| Page 107 Item: 1  | Condition                     | <ul style="list-style-type: none"> <li>• Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads</li> </ul>  |
| Page 109 Item: 2  | Flashings                     | <ul style="list-style-type: none"> <li>• Flashings lifting in areas - needs to be serviced as part of your preventative roof <b>maintenance</b></li> <li>• No saddle/cricket at high side of chimney - needs to be serviced</li> <li>• No kick-out flashing at roof to wall connection - needs to be serviced</li> </ul> |
| Page 110 Item: 3  | Gutters and Down Spouts       | <ul style="list-style-type: none"> <li>• Separating from structure/loose in areas - needs to be serviced</li> </ul>  |
| Page 110 Item: 4  | Vents and Vent Caps           | <ul style="list-style-type: none"> <li>• Mastic at vent(s) is weathered and cracked - needs to be serviced and resealed at all penetration points</li> </ul>   |

**ABOUT YOUR INSPECTION - [PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW](#)**

In order for you to receive the full value of this inspection, please read all of the information we have provided.

**ALL ITEMS IN RED PRINT ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CONTINGENCY PERIOD HAS EXPIRED, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.**

**This IS a limited Inspection:** It is impossible to inspect every square inch of every area of a home in a limited time frame. A home inspection is designed to reflect, as accurately as possible, the visible condition of the home at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a home for sale can change radically in only a day or two, so a home inspection is not meant to guarantee what condition a home will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection your inspector did not dismantle equipment, dismantle any structural items, apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Elite Group Inspection Professionals inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

**ENVIRONMENTAL DISCLAIMER:** Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

**Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommend that a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.\***

**Houses/structures built prior to 1978 can contain asbestos materials. It is recommend that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure.\***

**Houses/structures built prior to 1978 can contain lead paint. It is recommend that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.\***

**\*Elite Group Inspection Professionals will not engage in any claims regarding aluminum wiring, asbestos or lead paint.**

**PHOTO DOCUMENTATION:** Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Home Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only!



**ABOUT YOUR INSPECTION CONTINUED**

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

**Properties being inspected do not "Pass" or "Fail."** - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a home being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

**"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed and the item should be further evaluated. Often the items discovered by the Inspector are only clues to a potentially larger issue, further evaluation may uncover other items the inspector did not see or disclose during the inspection.**

**For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report.**

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every home or structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to 4 hours depending on the size of the structure or the age of the structure being inspected. The condition of the home or structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection. The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. *For example:* The inspector evaluates the exterior of the home first and finds no defects...but later runs the water at the kitchen sink and the water is not visibly leaking under the kitchen sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! A home inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

**Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.**

**THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.**

**THANK YOU FOR USING ELITE GROUP INSPECTION PROFESSIONALS**



## INSPECTION AGREEMENT

BY ACCEPTANCE OF OUR INSPECTION REPORT YOU AGREE TO THE TERMS OF THIS AGREEMENT AND THE TERMS AND CONDITIONS OF THE CONTRACT. YOU FURTHER AGREE THAT YOU UNDERSTAND THE LIMITATIONS OF A HOME INSPECTION AND HAVE READ THE DISCLAIMER PAGE OF THIS REPORT.

### SCOPE OF THE INSPECTION / REPORT

We will perform a non-invasive visual examination designed to identify material defects in the systems, structures, and components of buildings located on the property to be inspected, as they exist at the time of the inspection. Our inspection will be limited to those specific systems, structures and components that are present and visually accessible. We will only operate components and systems with normal user controls and as conditions permit. Unless we agree otherwise, we will only inspect the primary building, and its associated primary parking structure on the property. Out structures are not included in our inspection: this exclusion encompasses exterior BBQs, appliances, fire pits, fire places, play equipment, ponds or fountains, sheds, workshops, lean-to structures, barns, etc.. We will also provide you with a written report that describes and identifies the inspected systems, structures and components and any visible material defects observed at the time of the inspection. We may amend the report within twenty-four (24) hours after completing the inspection.

RE-INSPECTION: A re-inspection may be scheduled with our office as needed to re-evaluate specific items that may have been repaired since our original inspection or that may have been obstructed and not visible or accessible during the original inspection. The fee for a re-inspection varies upon how many items are to be re-inspected and/or the length of time required to perform the re-inspection. A re-inspection is completed only for the items specified in writing by the buyer or buyer's Agent at the time of the re-inspection. A re-inspection does not include a complete inspection of the entire home or property, however the Inspector may update the inspection report with additional defects observed at the re-inspection that may not have been visible or accessible during the original inspection. It is recommended that you obtain all the necessary building permits, contractor receipts and any warranties provided by the manufacturer/installer/contractor for the repaired or replaced items. Unless we agree otherwise, we will perform the inspection, and issue the report, in accordance with the mandatory parts of the current Standards of Practice (Residential Standards - Four or Less Units) of the International Association of Certified Home Inspectors ("the InterNACHI Standards") and subject to the Definitions, Scope, Limitations, Exceptions and Exclusions in the InterNACHI Standards. Terms in this Agreement have the same meaning as the defined terms in the InterNACHI Standards. The InterNACHI Standards are available from InterNACHI's website: <http://www.nachi.org/>

IF YOU DISCOVER A DEFECT FOR WHICH YOU THINK WE MAY BE LIABLE TO YOU, YOU MUST NOTIFY US AND GIVE US A REASONABLE OPPORTUNITY TO RE-INSPECT THE PROPERTY BEFORE YOU REPAIR THE DEFECT. FAILURE TO FOLLOW THIS PROCESS WILL RESULT IN VOIDING THIS AGREEMENT AND CONTRACT. YOUR NOTICE MUST BE IN WRITING, INCLUDE A SIGNED COPY OF THIS AGREEMENT, AND BE MAILED TO OUR CORPORATE OFFICE:

Elite Group Inspection Professionals/Attn: Inspector Supervisor 9480 Utica Ave Ste 608 Rancho Cucamonga, CA 91730

OUR LIABILITY TO YOU FOR CLAIMS ARISING FROM OUR INSPECTION OR OUR REPORT, WHETHER SOUNDING IN TORT OR CONTRACT, WILL NOT BE MORE THAN THE LESSER OF ACTUAL DAMAGES OR THREE (3) TIMES THE INSPECTION FEE.

TEGPIS (The Elite Group Property Inspection Service, Inc.) AND CLIENT AGREE THAT CLIENT CANNOT FILE A LEGAL ACTION AGAINST TEGPIS OR ITS EMPLOYEES, WHETHER SOUNDING IN TORT OR CONTRACT, MORE THAN ONE YEAR AFTER THE CLIENT DISCOVERS, OR WITH THE EXERCISE OF REASONABLE DILIGENCE SHOULD HAVE DISCOVERED THE BREACH OR MATERIAL DEFECT.

Our report is NOT a warranty of the items inspected. However, The Elite Group may offer you additional warranties through a third party service provider. In all cases, you must contact your home warranty company first for any issues that arise after the date of the original home inspection. Failure to do so may result in voiding your home warranty.

Additional questions or concerns can be addressed through our Customer Service website: <https://eliteinspections.com/explanation-of-limited-guarantee>

Please read the "About Your Inspection" and "Disclaimers" pages prior to filing any online claims as this will help you to determine if your claim is valid and within the scope of the home inspection.

### CONFLICT OF INTEREST DISCLOSURE AND STATEMENT OF COMMITMENT

Our goal is to provide valuable and unbiased information that helps consumers make informed decisions. A portion of our business may be based on relationships with other professions- real estate sales professionals, lawyers, lenders, vendors, etc., and our reports sometimes conflict with the business interests of these parties. We do not allow these relationships to compromise the integrity of our service. However, they do enable us to deliver more value to our clients. Our reports are intended to accurately reflect our impartial professional opinion, without exception.

YOU MUST PAY THE INSPECTION FEE AND SIGN THE CONTRACT BEFORE WE CAN DELIVER THE REPORT TO YOU.



# OVERVIEW

## 1. Inspection Package - Directional Marker - Utilities Status - Occupancy - Other Info

Inspection type: **Elite** Home Inspection (Standard Inspection)

Single Family Residence

Front door faces South (approximate)

All Utilities are ON for this inspection

Vacant structure

Evidence of remodeling in areas - check all building permits to ensure that all remodeled areas were completed properly to city/county code

## 2. Main Utilities Location

- Main water valve shut off location: East side of structure
- Main gas valve shut off location: North side of structure
- Main electrical panel location: West side of structure

## 3. Who is present at the inspection?

- Buyer's agent present during inspection
- Painter(s)/Drywaller(s) present during inspection

## 4. Wall materials throughout the structure

Drywall • Built-in cabinetry/shelving/etc. - see cabinet notes

## 5. Ceiling materials throughout the structure

Drywall

## 6. Floor materials throughout the structure

Tile • Vinyl plank

## 7. Window materials/type throughout the structure

Single pane • Double pane • Aluminum framed • Vinyl framed • Fixed frame or stationary type (does not open or close) • Horizontal sliding type (one window slides while the other remains stationary) • Vertical sliding type (one window slides while the other remains stationary)

## 8. IMPORTANT NOTES

- This inspection is intended to identify major material defects only. Minor and cosmetic issues are excluded from inspection and report, but may be included in some comments as a courtesy. Small nail holes, drywall nail pops, small cracks, chipped areas, dirty areas and cosmetic blemishes are considered cosmetic in most cases.
- Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.
- It is common for many Sellers to patch, paint or touch up areas of the structure prior to selling. Recent paint or patching may cover known past defects not detectable by the Inspector - consult the seller/disclosures for all past repairs. It is beyond the scope of the inspection for the Inspector to note all patched areas locations or to try to determine the reason for any patches or past repairs.
- There is evidence to suggest that this structure has been modified, altered or additions have been added to the original structure. Do not mistake this inspection for a building CODE inspection. You are advised to check all necessary building permits for this structure and all associated components. You are further advised to consult with your Realtor and the Seller to understand the details of any and all alterations to the



structure and / or contractor warranties that may apply to the alterations.

- This structure is newly remodeled. Do not mistake this inspection for a building CODE inspection. You are advised to check all necessary building permits for this structure and all associated components. You are further advised to consult with your Realtor and the Contractor to understand all builder warranties.



# INTERIOR

Interior page will include all bedroom items and the walls, ceilings, floors, windows, and doors of bathrooms, kitchen, and laundry area. "Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion, maintenance, repair, or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair, and/or replacement by an appropriate licensed contractor may be required. If any area of this section is marked in red, we recommend further evaluation prior to the close of escrow. Please consult a licensed professional as noted; if you need a trusted Drywall contractor 909-488-4426, Flooring 626-828-2582, Microbial/Mold Inspection 800-494-8998, Windows/Doors 909-655-5224, Electrical 909-487-5019.

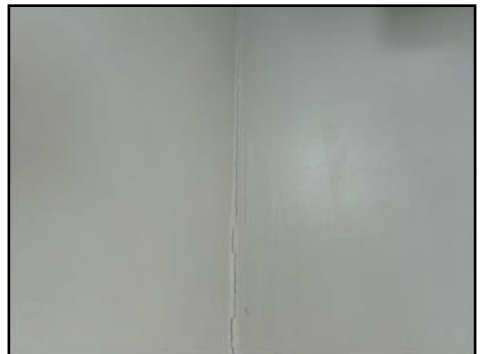
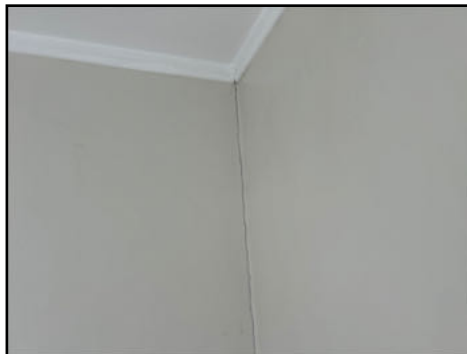
## 1. Bedroom Locations

North • South • East

## 2. Wall Conditions

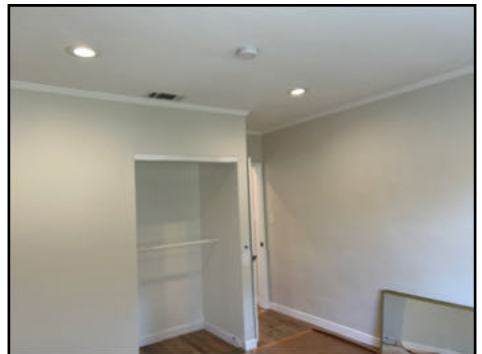
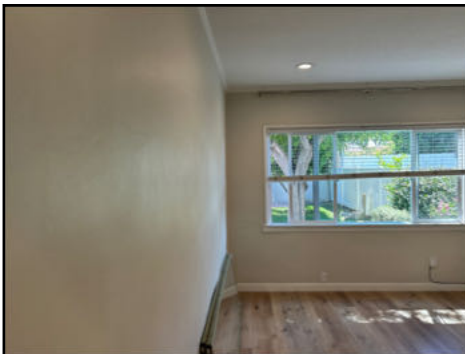
Observations:

- Recently painted throughout structure
- No major visible defects observed at the time of inspection
- Remodeled areas present - **check permits**
- Recent paint or patching may cover known past defects - consult the seller/disclosures for all past repairs
- Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.
- Recommend licensed contractor for further evaluation
- **Large cracks or holes present – larger than typical - needs to be further evaluated/serviced**



**Large cracks or holes present – larger than typical - needs to be further evaluated/serviced**

**Large cracks or holes present – larger than typical - needs to be further evaluated/serviced**





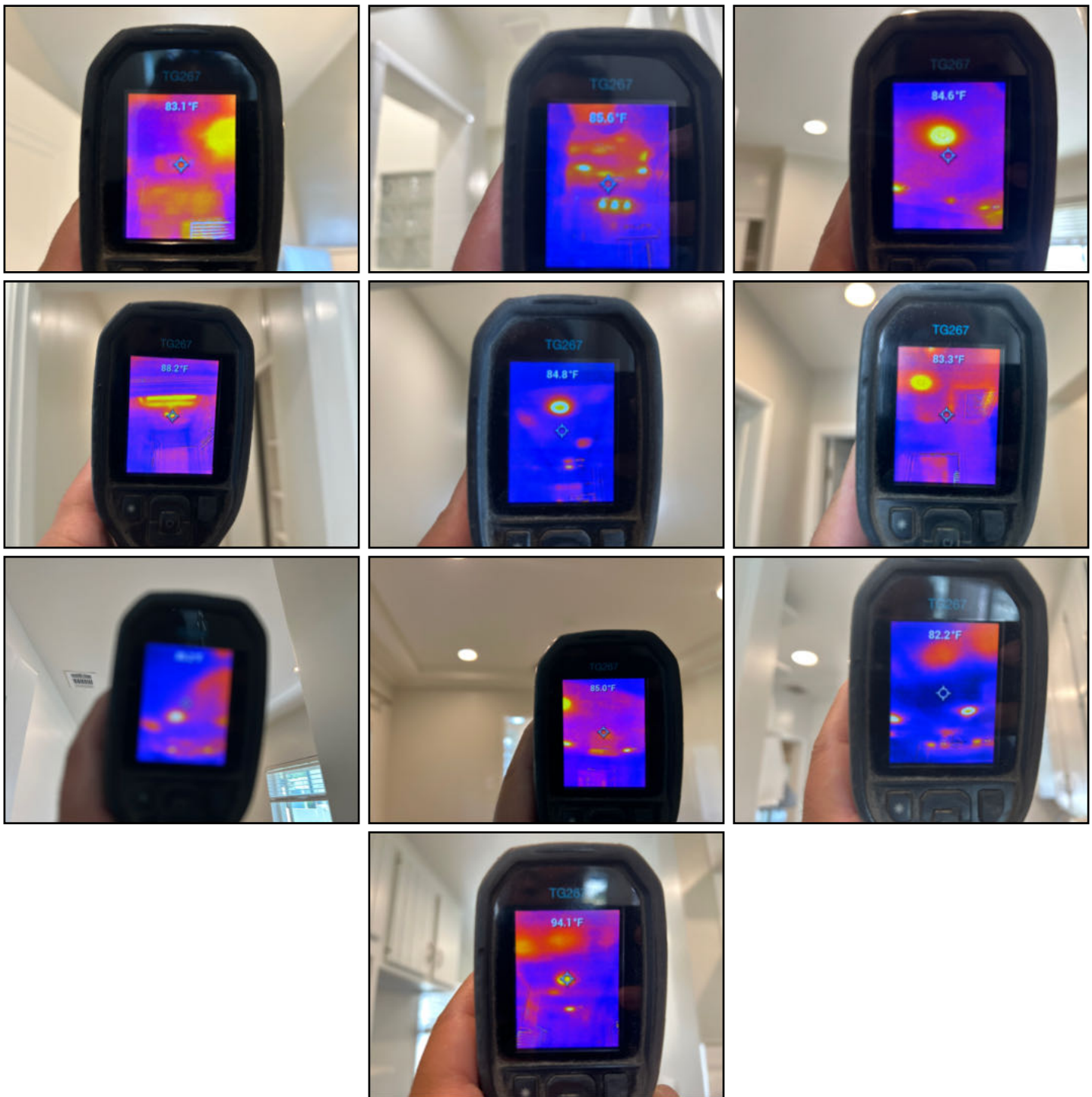


### 3. Ceiling Conditions

#### Observations:

- Recently painted throughout structure
- No major visible defects observed at the time of inspection
- Remodeled areas observed - check all necessary permits
- Check for permits for any alterations
- Recent paint or patching may cover known past defects - consult the seller/disclosures for all past repairs
- Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.
- Recommend licensed contractor for further evaluation





#### 4. Ceiling Fans

##### Observations:

- Note: It is not possible to determine the method of attachment to the ceiling. These units are heavy and due to the designed movement, must have the proper style mounting boxes for correct and safe attachment. Recommend confirming the method of attachment prior to use. This may require the removal of the fan or insulation to visually verify proper support.
- Operated at time of inspection
- Normal wear for age, no major visible defects

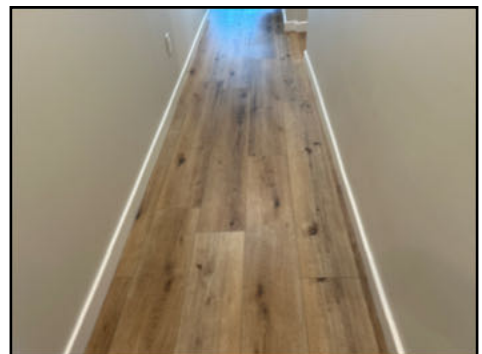
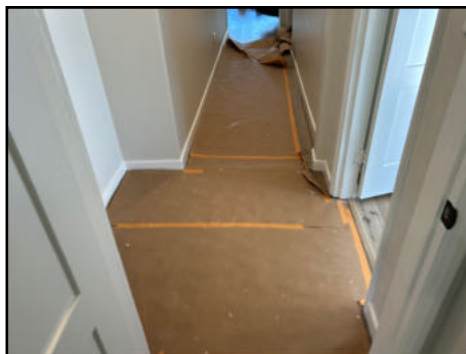
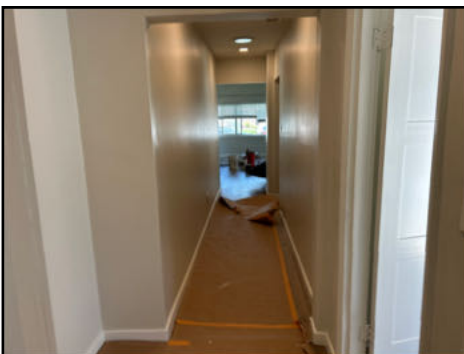
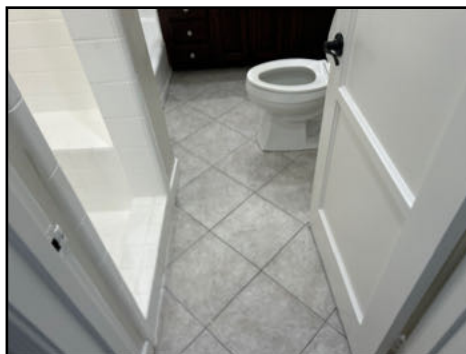
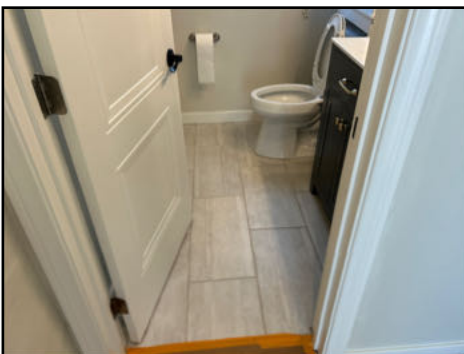
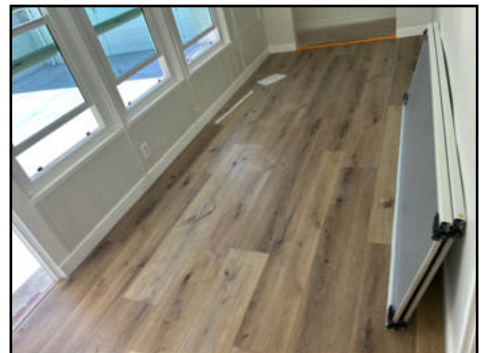
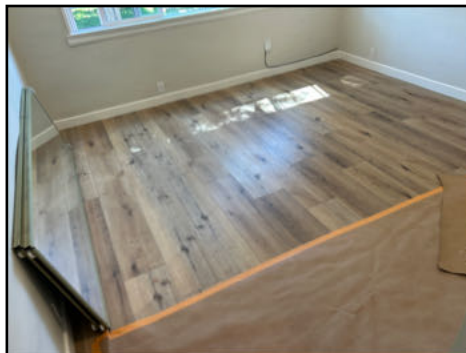
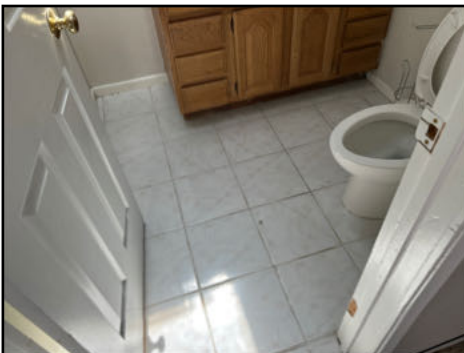


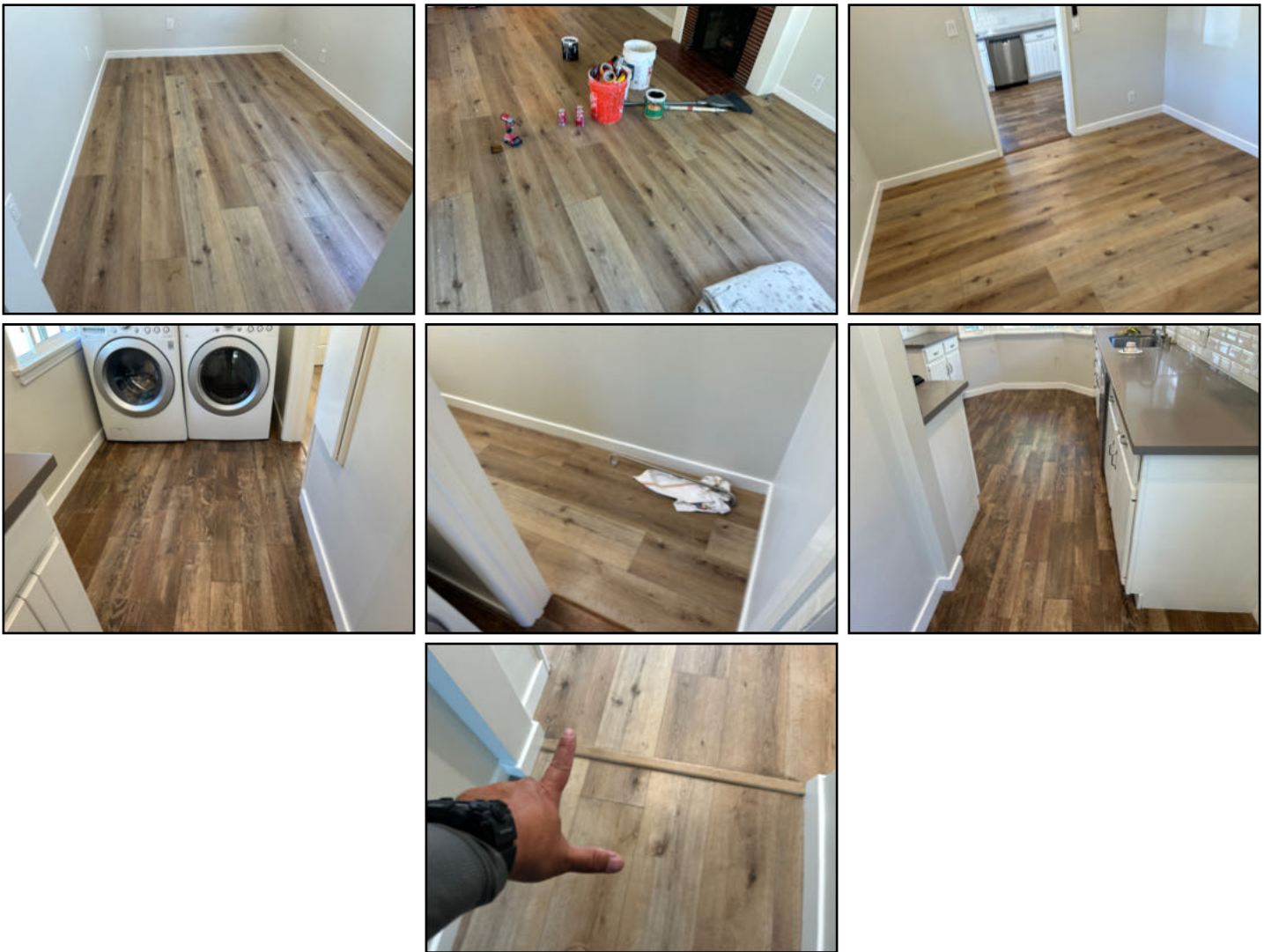
### 5. Floor Conditions

Observations:

- New/newer materials are present
- Worn and stained areas- typical for age of the material
- Flooring not level in areas, cause could not be determined, recommend further evaluation by a licensed contractor
- Soft areas - reason unknown but did not effect performance

• Loose floor plank - needs to be serviced





Loose floor plank - needs to be serviced

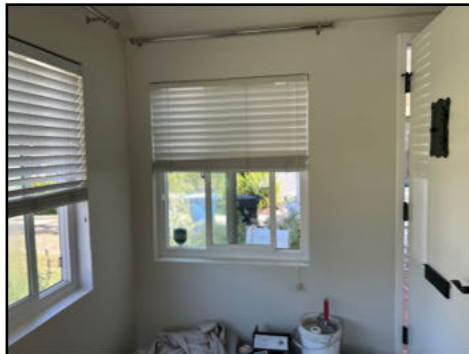
## 6. Window Conditions

### Observations:

- Accessible windows were tested and operated at time of inspection
- Visible/accessible windows have worn frames/hardware/sills/tracks - typical for age
- Recommend general window **maintenance**/lubrication and weather tight service
- Small cracks/worn areas/chipped paint observed around sill or frame
- Visible internal condensation or hazy glass inside window - needs to be serviced/evaluated by a window contractor - recommend all windows be checked as others may exist
- **Check permits** for all replacements to ensure proper installation in accordance with local building codes (this may not include all windows at the structure)
- Only visible and accessible windows are tested and evaluated, windows not accessible due to any access limitations are not inspected or evaluated.
- Tint/film over windows is not inspected and often is bubbled/loose/peeling/scratched - tint/film prevent an accurate inspection of the window glass areas
- Interior window shutters/blinds/coverings are not tested or inspected as part of this home inspection (this includes all windows at the structure)
- Check for permits for any alterations
- Recommend window contractor for further evaluation



**Visible internal condensation or hazy glass inside window - needs to be serviced/evaluated by a window contractor - recommend all windows be checked as others may exist**





## 7. Window-Wall A/C or Heat Units

### Observations:

- Operated at time of inspection using normal controls
- Unit is worn/older - typical wear for age, recommend cleaning and **maintenance** to extend unit life



## 8. Doors

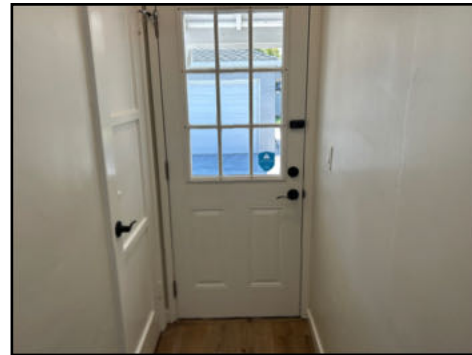
### Observations:

- Operated at time of inspection
- Weathered/worn door(s) - typical for age
- Loose/worn hardware needs minor service - typical for age
- Sticks at jamb - needs to be serviced
- Recommend routine **maintenance** on hardware and weather seals on all exterior doors
- Check for permits for any alterations
- Only accessible doors were tested during this inspection, personal items were not disturbed or moved to test all doors.
- Recommend door contractor to further evaluate



Loose/worn hardware needs minor service - typical for age

Sticks at jamb - needs to be serviced



## 9. Fireplaces

Location/s: Living room

Mason built

Observations:

- Recommend fireplace professional evaluate and repair any issues found before attempting to use fireplace
- Glass or spark screen door was worn and difficult to operate
- Flue sealed off did not test - needs further evaluation
- Check for permits for any alterations
- Recommend evaluation by licensed masonry contractor



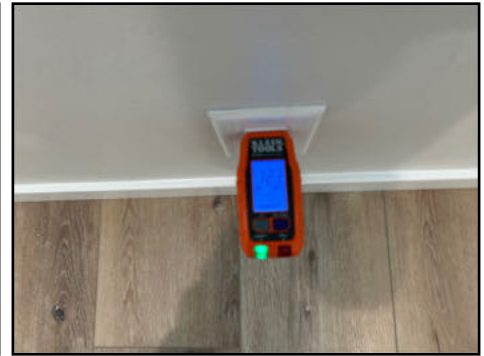
Flue sealed off did not test - needs further evaluation

## 10. Electrical

Observations:

- Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.
- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Loose/worn outlets/switches - typical for age consider upgrading
- Check for permits for any alterations

- Some outlets not accessible - not inspected
- Some switches not accessible - not inspected
- Recommend licensed electrician to further evaluate
- **Three prong outlet(s) not grounded - needs to be serviced**



**Three prong outlet(s) not grounded - needs to be serviced**



## 11. Closets

### Observations:

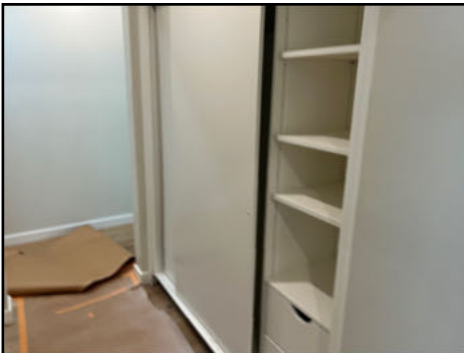
- Some closet areas not visible for inspection due to personal storage
- Worn closets with loose/worn hardware - typical for age
- **Recommend appropriate licensed contractor for further evaluation**
- **Missing closet doors - needs to be serviced**



Missing closet doors - needs to be serviced



Missing closet doors - needs to be serviced



## 12. Cabinets

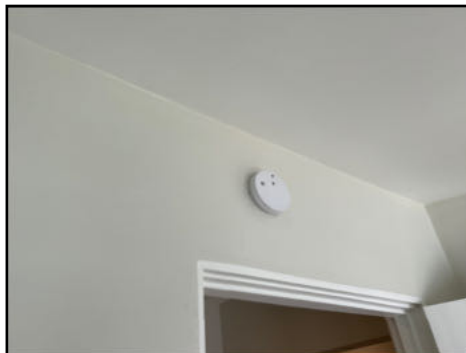
Observations:

- Some interior cabinet areas not visible for inspection due to personal storage
- Worn cabinets with loose/worn hardware - typical for age
- **Recommend appropriate licensed contractor for further evaluation**

## 13. Smoke Detectors

Observations:

- For safety purposes we recommend that smoke detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple smoke detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert.
- Present at time of inspection
- Smoke and Carbon Monoxide combo unit is present
- **Missing at hall - needs to be installed**

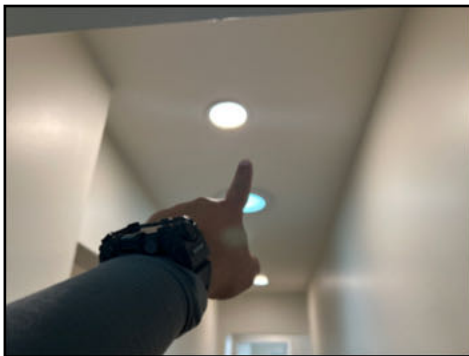




#### 14. Carbon Monoxide Detectors

Observations:

- For safety purposes we recommend that carbon monoxide detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple carbon monoxide detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert.
- Present at time of inspection
- Smoke and Carbon Monoxide combo unit is present
- **Missing at hall - needs to be installed**



Missing at hall - needs to be installed



Missing at hall - needs to be installed

# BATHROOMS

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## 1. Locations

North • South

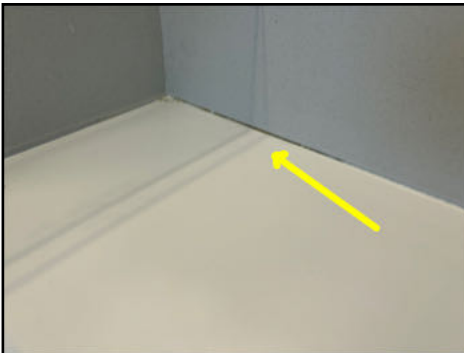
## 2. Counters

Observations:

- Some counter areas not visible for inspection due to personal storage
- Counter is worn and has typical wear for age
- Counter does not have a back or side wall splash prevention materials - potential moisture damage may occur in these areas
- Recommend grout/sealer/stone **maintenance**
- **Gap at backsplash to countertop joint - needs to be serviced**



**Counter does not have a back or side wall splash prevention materials - potential moisture damage may occur in these areas**



**Gap at backsplash to countertop joint - needs to be serviced**



Gap at backsplash to countertop joint - needs to be serviced

### 3. Cabinets

Observations:

- Some interior cabinet areas not visible for inspection due to personal storage
- Worn cabinets with loose/worn hardware - typical for age
- Moisture damage - needs to be serviced - hidden defects may exist
- **Recommend appropriate licensed contractor for further evaluation**
- **Microbial growth/irregular staining present- further evaluation is recommended**



Microbial growth/irregular staining present- further evaluation is recommended



Moisture damage - needs to be serviced - hidden defects may exist





#### 4. Sinks

Observations:

- Worn fixture/sink - typical for the age
- Hot valve did not function properly - needs to be serviced
- Recommend licensed plumber for further evaluation



Hot valve did not function properly - needs to be serviced





## 5. Mirrors

### Observations:

- Mirror functional at time of inspection
- Worn/older - typical wear for age
- Fading spots present



## 6. Bath Tubs

### Observations:

- Fixture was in a worn/older condition at the time of the inspection - typical for age
- Caulk **maintenance** needed at wall to fixture juncture
- Tub has normal wear for age at the time of the inspection - no major visible defects
- Tub appears to be refinished/painted - special care may be needed
- Bathtubs are not filled to overflow opening to test

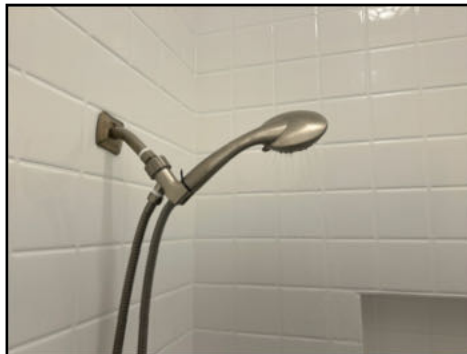


Caulk **maintenance** needed at wall to fixture juncture

### 7. Showers

Observations:

- Fixture was in a worn and older condition - typical for the age
- Caulk **maintenance** needed at wall to fixture juncture
- Recommend upgrading fixtures
- Shower drains are not plugged and the pan long-term tested - **consult termite report**



Caulk **maintenance** needed at wall to fixture juncture

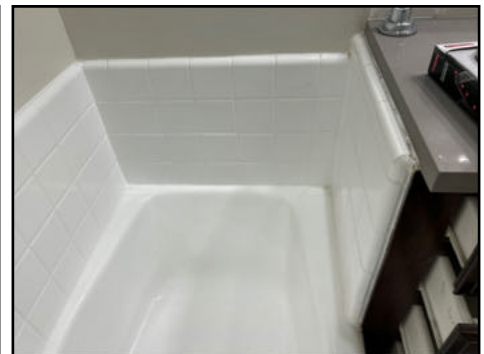
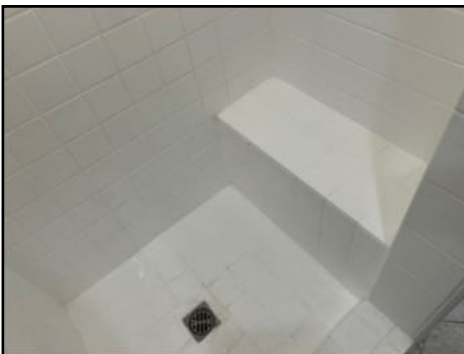
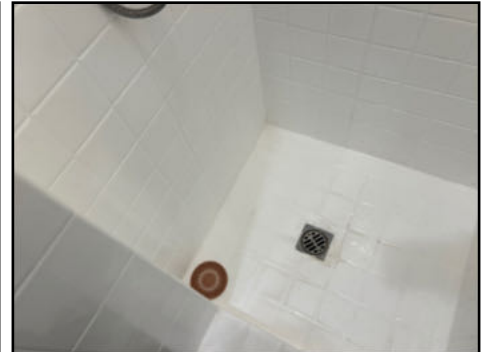


Caulk **maintenance** needed at wall to fixture juncture

## 8. Shower Walls

### Observations:

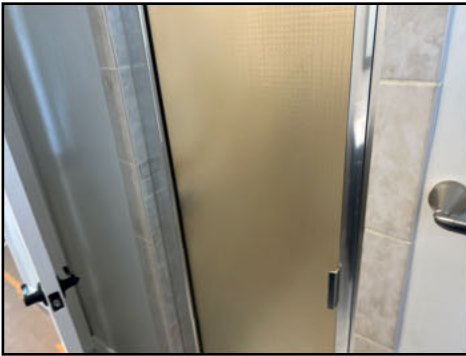
- Shower pans are not long-term water tested for leaking - consult the termite report
- Tile and grout present
- Shower walls have normal wear for age at the time of the inspection - no major visible defects - recommend routine grout and sealer **maintenance**
- Shower pan has normal wear for age at the time of the inspection - no major visible defects - recommend routine grout and sealer **maintenance**
- Appears tile has been painted/refinished - special care may be needed
- Recommend grout and sealer maintenance



## 9. Enclosures / Shower doors

### Observations:

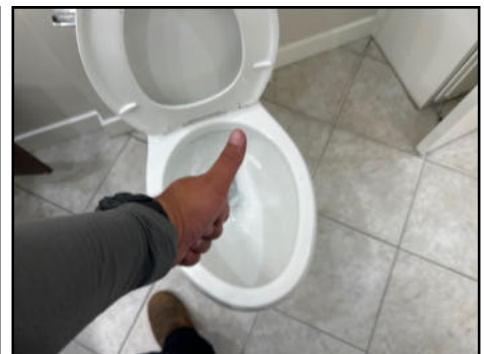
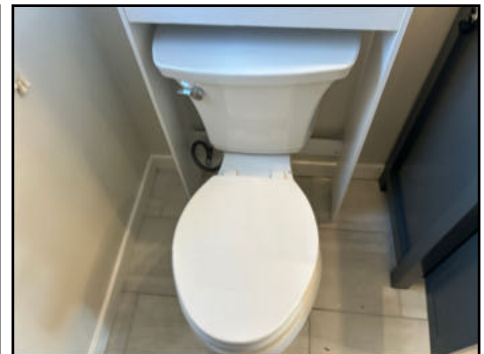
- Operational at time of inspection - Tempered glass label observed
- Enclosure door(s) in a worn/older condition with loose/worn hardware - typical for the age
- Corrosion present in areas - signs of wear and moisture accumulation



## 10. Toilets

### Observations:

- Tested and operational at time of inspection via normal fixture controls, flush test performed
- Toilet is in a worn and older condition at the time of the inspection - typical for age
- No visible leaking at the time of inspection and flush testing
- Toilet slightly loose- recommend tightening to prevent water damage

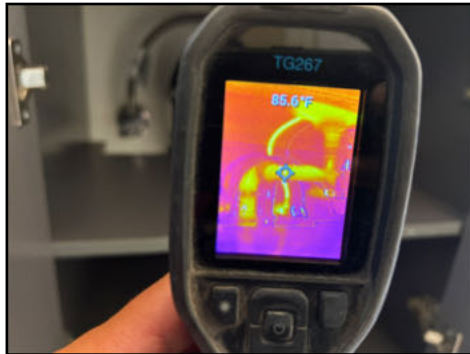


**Toilet slightly loose- recommend tightening to prevent water damage**

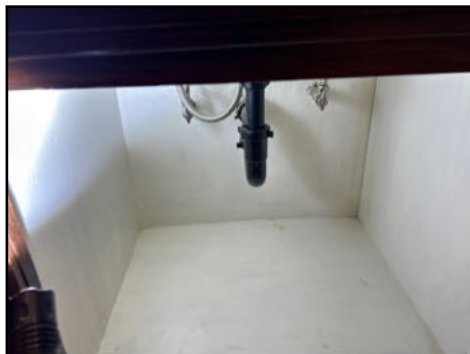
## 11. Plumbing

### Observations:

- Angle stops/hoses/drain pipes are worn/older - recommend upgrading these areas with new fixtures
- No visible leaks found at the time of the inspection after running water at fixtures
- Rubber drain connections present - these are not for long term use - recommend upgrading connections
- Corrosion is present at plumbing areas - this is a sign of slow leaking and should be further evaluated by a plumber
- **Galvanized** water piping present - recommend complete water distribution system evaluation due to age



Rubber drain connections present - these are not for long term use - recommend upgrading connections



**Galvanized** water piping present - recommend complete water distribution system evaluation due to age



**Galvanized** water piping present - recommend complete water distribution system evaluation due to age

## 12. Electrical

### Observations:

- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Loose/worn outlets/switches - typical for age consider upgrading
- Check for permits for any alterations
- Some outlets not accessible - not inspected
- Some switches not accessible - not inspected
- Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.
- **Non-energized (dead) outlet(s) - needs to be serviced**



**Non-energized (dead) outlet(s) - needs to be serviced**

## 13. GFCIs

### Observations:

- Recommend upgrading all receptacle to **GFCI** protection within 6 feet of all potential wet locations
- Tested and operational at time of inspection via normal control

- Recommend licensed electrician for further evaluation
- **Damaged - needs to be serviced**

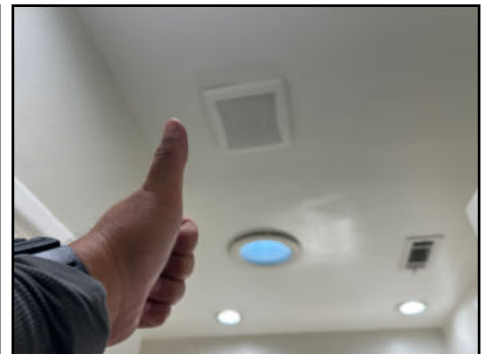


**Damaged - needs to be serviced**

#### 14. Exhaust Fans

Observations:

- Operated at time of inspection
- Worn/older fan - typical wear for age
- Recommend upgrading the existing fan(s) for optimum moisture ventilation



# KITCHEN

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## 1. Counters

Observations:

- Counter is worn and has typical wear for age
- Recommend grout/sealer/stone **maintenance**



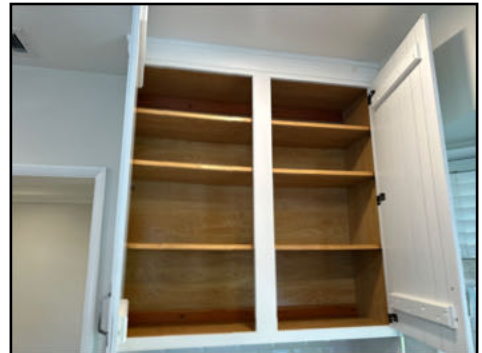
## 2. Cabinets

Observations:

- Worn cabinets with loose/worn hardware - typical for age
- Cabinet base inside damaged - needs to be serviced
- Evidence of past moisture in the cabinet under the sink - needs to be serviced/further evaluated - hidden defects may exist
- Moisture damage - needs to be serviced - hidden defects may exist



**Moisture damage - needs to be serviced - hidden defects may exist**

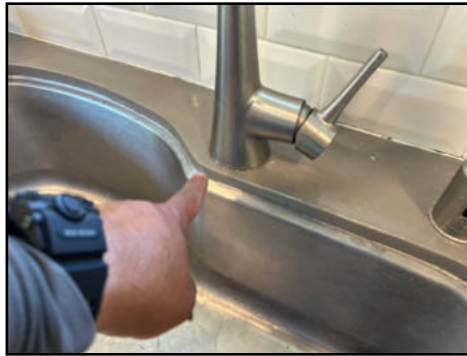


### 3. Sinks

Observations:

- Fixture operated at the time of the inspection
- Worn fixture/sink - typical for the age
- **Fixture leaks when operating - needs to be serviced**





**Fixture leaks when operating - needs to be serviced**

#### 4. Spray Wands

Observations:

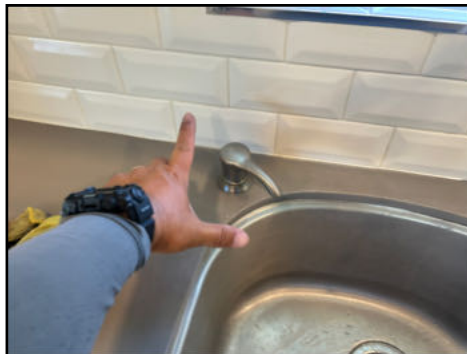
- Operational at time of inspection



#### 5. Soap Dispensers

Observations:

- No soap present - not inspected or tested
- Dispenser loose - needs to be serviced

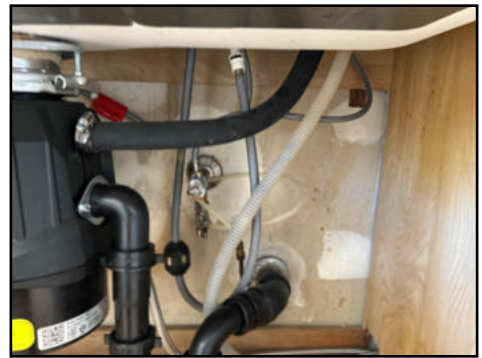
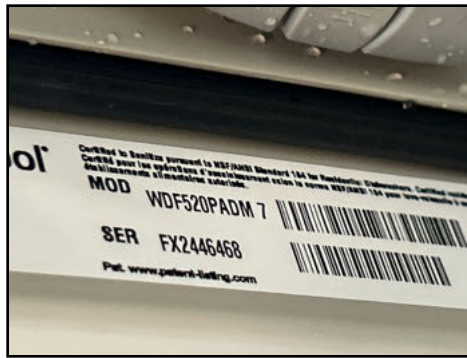


**Dispenser loose - needs to be serviced**

#### 6. Dishwashers

Observations:

- The dishwasher inspection is limited and does not include an inspection of the water pump or any hoses inside or beneath the unit. The home inspector cannot predict the remaining life of the dishwasher or any parts within the dishwasher; nor can the home inspector tell you if or how well the dishwasher actually cleans or dries dishes. This inspection allows for one fill and one drain cycle only, the Inspector does not run the dishwasher for any full cycles.
- Tested and operational (one fill and drain cycle only, not full cycle) at time of inspection via normal controls
- Worn/older unit - typical wear for age and use



## 7. Garbage Disposals

### Observations:

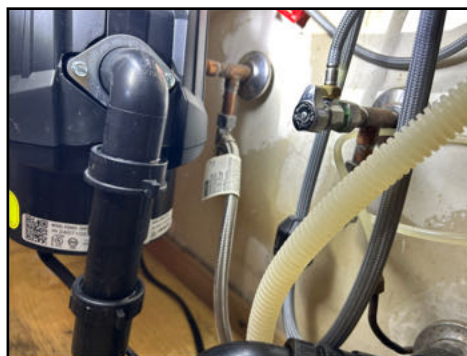
- The garbage disposal has a limited inspection, the Inspector cannot predict the remaining life of the garbage disposal nor determine how well the garbage disposal disposes of food or other items. The sharpness or adequacies of the internal blades is not determined during the home inspection.
- Tested and operational at time of inspection via normal controls
- Worn/older unit - typical wear for age and use



## 8. Plumbing

### Observations:

- Angle stops/hoses/drain pipes are worn/older - recommend upgrading these areas with new fixtures
- No visible leaks found at the time of the inspection after running water at fixtures
- **Check permits** for any alterations
- Patched areas on wall below sink indicate past repairs have been made - consult the seller/disclosures for all past repairs in this area
- The plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed).



## 9. Ranges

### Observations:

- The range or cooktop has a limited inspection, the Inspector cannot predict the remaining life of the unit

nor determine the BTUs output by each burner or if/how well the burners will cook food. For gas units - gas leaks cannot be detected with this inspection - a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection.

- Gas supplied unit
- Tested and operational at time of inspection via normal controls
- Electric ignitor does not appear to function - needs to be serviced
- Worn/older unit - typical wear for age and use
- Recommend appliance technician or other appropriate contractor to further evaluate
- **Left front element/burner not operating - needs to be serviced**



**Left front element/burner not operating - needs to be serviced**



**Electric ignitor does not appear to function - needs to be serviced**

## 10. Ovens

Observations:

• The "Bake" feature is the only feature operated during a home inspection; convection, browning, rotisserie, warming drawers and other features are not tested during the oven inspection. Ovens are tested for basic heating element functionality. The oven cannot be tested to each incremental temperature setting or determine if adequate cooking temperatures can be achieved, nor if temperatures are calibrated with oven settings. We cannot determine if or how well the oven cooks food nor can we predict the remaining life left for the unit. For gas units - gas leaks cannot be detected with this inspection - a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection.

- Gas supplied unit
- Tested and operational at time of inspection via normal controls
- Worn/older unit - typical wear for age and use
- Anti-tip device is not visible/not tested - we recommend that an anti-tip device be installed to prevent a possible tip hazard



## 11. Exhaust Vents

Exterior vented • Hood with fan

Observations:

- The exhaust fan/vent is tested using the normal controls only. No smoke testing or other testing is done to determine the CFMs or how well the unit evacuates air. The home inspector cannot predict the remaining life left in the unit.
- Tested and operational at time of inspection via normal controls
- Worn/older unit - typical wear for age and use
- Recommend charcoal filters for optimum air filtration



## 12. Electrical

Observations:

- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Outlets/switches had normal wear for age - no major visible defects
- Some outlets not accessible - not inspected
- Some switches not accessible - not inspected
- Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.
- Recommend licensed electrician to further evaluate
- **Exposed connections - potential hazard - needs to be serviced**



Exposed connections - potential hazard - needs to be serviced



### 13. GFCIs

Observations:

- Recommend upgrading all receptacle to **GFCI** protection within 6 feet of all potential wet locations, unless the receptacle is on a circuit dedicated for a specific appliance.
- Tested and operational at time of inspection via normal control
- Recommend licensed electrician to further evaluate





# LAUNDRY AREA

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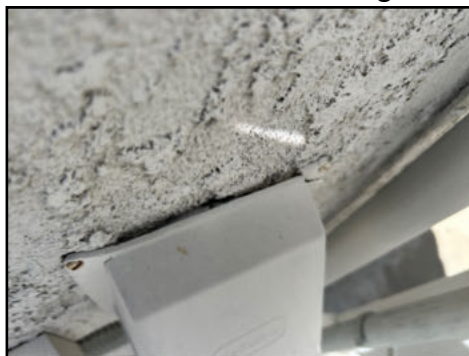
## 1. Laundry Area Location

Kitchen area

## 2. Dryer Vent

Observations:

- Dryer vent should be cleaned periodically to prevent lint fire hazards
- Could not fully inspect the dryer vent in the laundry area, it is obscured by cabinetry/washer/dryer
- Worn exterior cover - typical for age
- Loose exterior cover - needs to be secured and sealed
- Recommend sealing exterior cover at wall with exterior caulking



**Loose exterior cover - needs to be secured and sealed**



## 3. Plumbing

Observations:

- Washer/dryer unit(s) present during inspection and obstruct the view of the wall/plumbing areas
- No visible leaks at time of inspection
- Shutoffs corroded - needs to be serviced - this will be an ongoing **maintenance** issue for ALL plumbing valves
- Drain trap is not visible at the time of the inspection - **n/a** - note: laundry drains are not water or pressure tested during this inspection
- Recommend upgrade to braided steel washing machine supply hoses
- The plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when



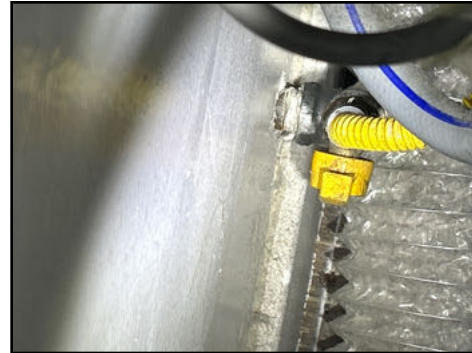
operated (opened/closed). The laundry drain cannot be tested at this inspection. The washer and dryer (if present) are not tested or inspected.



#### 4. Gas Valve

Observations:

- The inspector does not check for gas leaks, consult the Gas Company to evaluate all gas areas prior to occupancy
- Normal wear at valve - no major visible defects at the time of the inspection
- Washer/dryer unit(s) present during inspection and obstruct the view of the wall/plumbing areas



#### 5. Electrical

Observations:

- Representative number of receptacles and switches tested and operational at time of inspection
- Loose/worn outlets/switches - typical for age consider upgrading
- Washer/dryer unit(s) present during inspection and obstruct the view of the wall/electrical areas



#### 6. GFCIs

Observations:

- None installed recommend upgrade for increased safety

# HEATING/AIR CONDITIONING

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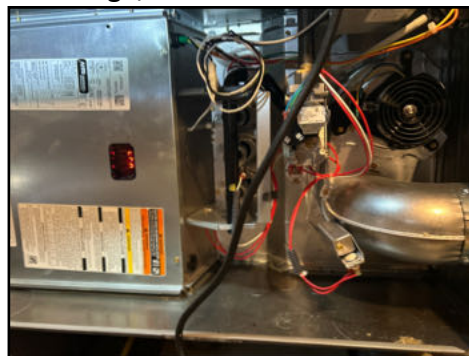
## 1. Heaters

Location: Attic

**Type:** Gas fired forced hot air • Split system

Observations:

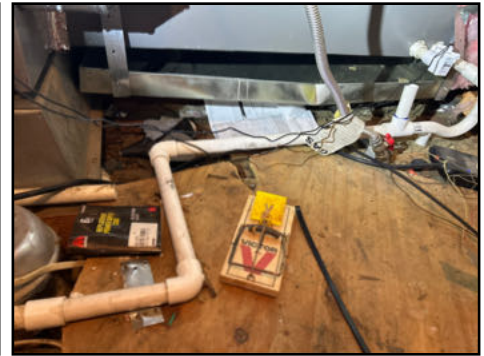
- Operated at time of inspection
- Visible areas of unit are worn - recommend seasonal service and **maintenance** to extend the life of the unit
- Newer unit/not original to the structure - check all installation permits to ensure that this unit was installed to proper code
- Check for permits for any alterations
- *Recommend regular service/**maintenance** to extend the life of the unit(s)*
- *Inspector does not examine heat exchanger or determine the presence of a cracked heat exchanger - this is not a complete evaluation of the internal areas of the heater - consult an HVAC contractor for further evaluation if you have concerns about the heat exchanger.*
- Recommend a complete evaluation by licensed heating contractor due to the age/condition of the unit



## 2. A/C Evaporator Coil Box

Observations:

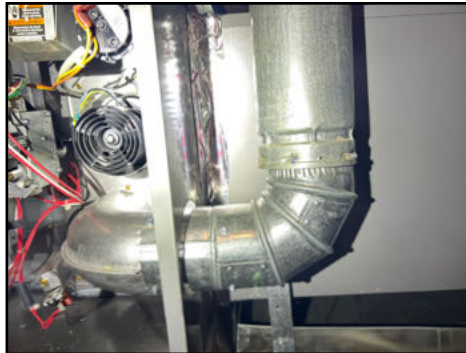
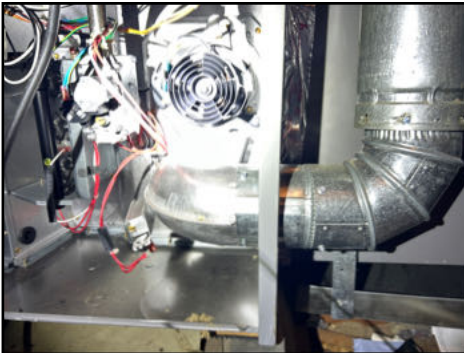
- The visible areas of the coil box are worn/dirty/deteriorated and typical for the age of the older unit
- Condensation lines cannot be traced to all locations by the inspector, often times there are several areas of the condensate lines that are not visible to the inspector - **consult a HVAC contractor** to further evaluate as needed
- *This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size - **consult a HVAC contractor** for further evaluation as needed*
- **Limited access to all sides prevents a complete inspection of the coil box**
- **Check permits** for any alterations
- Recommend licensed HVAC contractor to evaluate



### 3. Venting

#### Observations:

- The visible areas of the vent are worn/older - typical for the age of the material, recommend upgrading
- Small/minor dented areas on vent piping
- Recommend securing and sealing all vent connections
- *Some areas not visible due to limited access and cannot be viewed for inspection*
- Recommend licensed HVAC contractor to evaluate



### 4. Air Supply

#### Observations:

- *Recommend seasonal service and **maintenance** to ensure that all areas are sealed/cleaned/dry and functioning normally at all times*
- Small air leaks are present - typical for age - recommend service/**maintenance** for optimum efficiency
- Some areas not visible due access limitations or insulation outer wrapping



## 5. Gas Supply Valves and Pipes

### Observations:

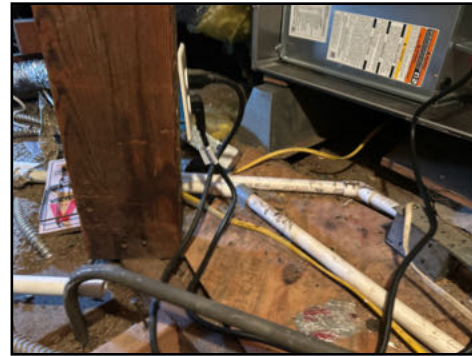
- Normal wear at time of inspection - no major visible defects
- Older type of flex line is present - we recommend that you upgrade to a new teflon coated flex line
- No sediment trap at gas supply - may have not been required at time of original installation, but is recommended
- **Check permits** for any alterations
- Recommend licensed heating contractor or Gas Co. to evaluate



## 6. Electrical

### Observations:

- Operating properly at the time of the inspection - no major visible defects
- Check for permits for any alterations
- Recommend licensed electrician to further evaluate



## 7. Thermostats

Observations:

- Digital type present - functional day of the inspection
- Recommend licensed HVAC contractor to evaluate
- **Not operating properly - needs to be serviced**
- **Unit(s) are not responding to thermostat commands - recommend further evaluation by a licensed HVAC contractor**



## 8. Filters

Location: Located in a filter grill in hall ceiling

Observations:

- A seasonal HVAC service contract is recommended to ensure that all filters are changed/cleaned regularly or as needed
- We recommend that the filters be changed or cleaned every 3 to 6 months depending on the usage of the heating and air conditioning systems
- Filter is worn/dirty and will likely need changing soon
- Recommend licensed HVAC contractor to evaluate



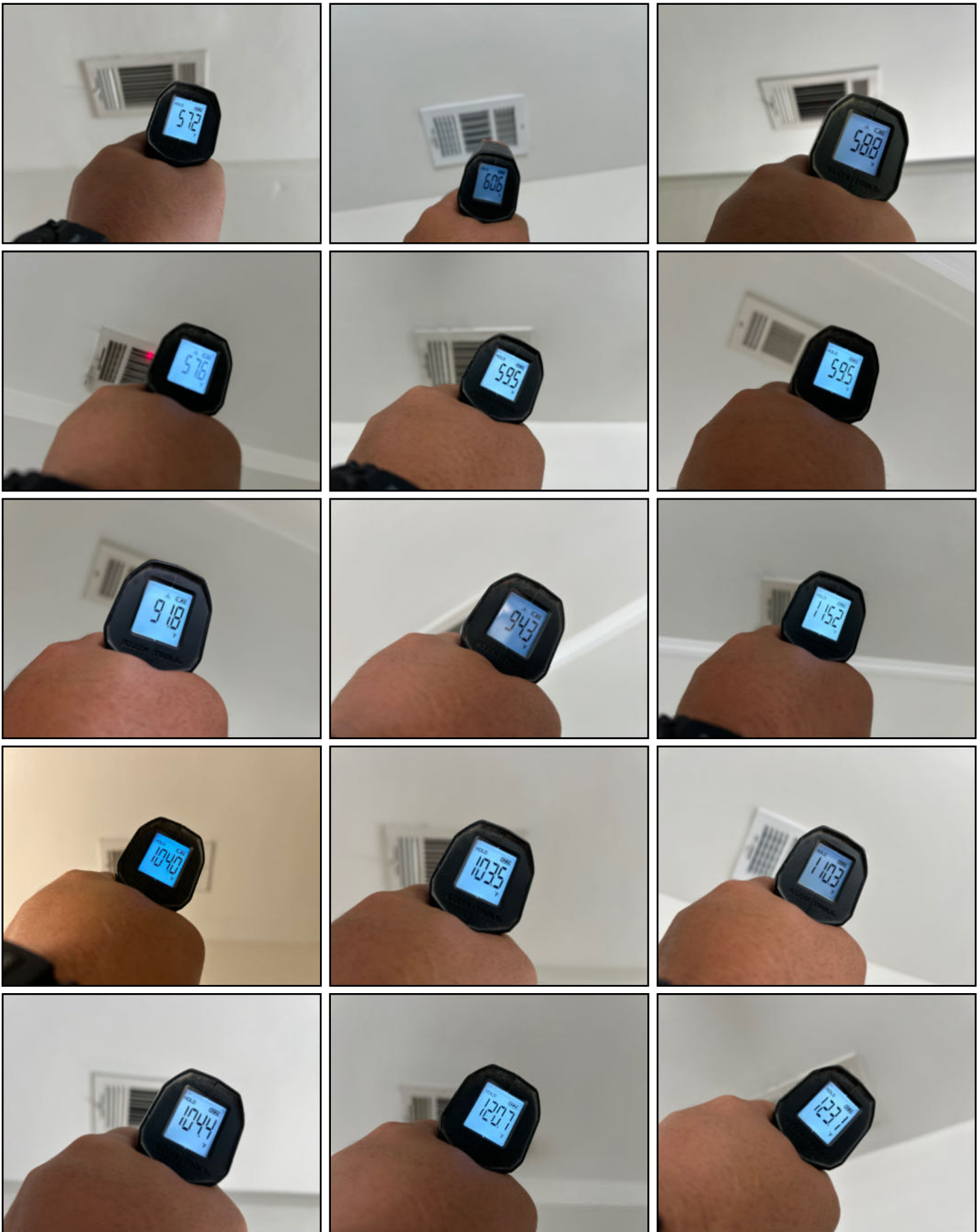


## 9. Registers

### Observations:

- Representative number tested and functional day of the inspection
- Visible register covers are worn and older - consider upgrading to newer style registers
- Dirty/dusty registers - possible sign that ducts need cleaning - needs to be serviced
- Check for permits on all alterations
- Note: The inspector cannot determine if asbestos exists in any part of the HVAC system - consult an asbestos testing company if you have concerns about asbestos
- Adjustable louvers in registers are not tested for functionality - those closed for long periods of time may not operate properly
- Not all registers are tested for air flow due to location, access, etc.
- Recommend licensed HVAC contractor to evaluate





## 10. Combustion Air

### Observations:

- **Combustion air** appears to be adequate at the time of the inspection
- Note: Good **combustion air** is an unconfined space that is one whose volume is not less than 50 cubic feet per 1,000 Btu/hr of the total input rating of all appliances installed in the space.

## 11. Heater Enclosures

### Observations:

- Visible areas of the enclosure are worn/dirty - typical for age - recommend having this unit and enclosure professionally cleaned and tuned to ensure proper and safe operation
- Service light in attic operated at the time of the inspection
- **Check permits** for any alterations
- Some areas not visible due to access limitations
- The inspector cannot determine if asbestos exists in any part of the HVAC system - consult an asbestos testing company if you have concerns about asbestos
- Recommend licensed HVAC contractor to evaluate

## 12. Platforms/Bases

### Observations:

- Recommend seasonal servicing and **maintenance** to ensure sealing holes and gaps in the heater base
- Visible areas are worn/dirty - recommend cleaning the base areas and sealing the base of the unit as part of the preventative **maintenance**
- Horizontal heater in the attic, we recommend adding a heat shield below this unit to prevent any heat damage to the materials below the unit.
- **Check permits** for any alterations
- Not fully visible due to personal storage and/or access limitations
- Recommend licensed HVAC contractor to evaluate



## 13. Refrigerant Lines

### Observations:

- Worn/weathered insulation where visible - may need servicing/repair soon - recommend annual/seasonal **maintenance** to check and service insulation on refrigerant lines as needed
- **Check permits** for any alterations
- Some areas not visible due to personal items/storage/etc.
- Recommend licensed HVAC contractor to evaluate
- **Insulation gaps observed in areas - needs to be serviced**



Insulation gaps observed in areas - needs to be serviced

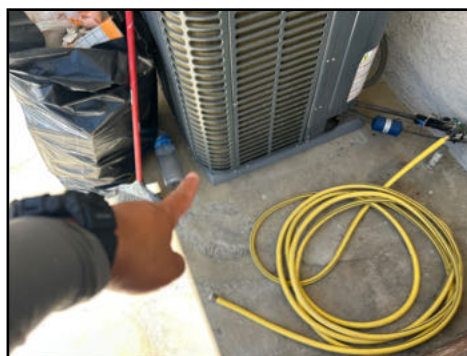
**14. Air Conditioning Compressors**

Location: Electric unit - exterior east  
 Observations:

- Operated at the time of inspection
- Visible areas of unit are worn and weathered – recommend seasonal service and **maintenance** to extend the life of the unit
- Unit is a newer unit/not original to the structure - check all installation permits to ensure that this unit was installed to code
- Unit is not level, this can affect system performance - needs to be serviced
- **Check permits** for any alterations
- Recommend regular service/**maintenance** to extend the life of the unit(s)
- This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size - **consult a HVAC contractor** for further evaluation as needed
- Recommend licensed HVAC contractor to evaluate
- **Unit is not secured - we recommend strapping the unit to a base**



Unit is not level, this can affect system performance - needs to be serviced



Unit is not secured - we recommend strapping the unit to a base



# WATER HEATERS

Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required. Please review the manufacturer's specifications for installing water heater vents, condensation drain lines, and gas line requirements, as these can vary by manufacturer and model and not identified by the inspector. If any area of this section is marked in **red**, we recommend further evaluation prior to the close of escrow. Please consult a licensed professional as noted; if you need a trusted plumbing referral, please contact 714-735-0726.

## 1. Water Heaters Condition

Number of gallons: 40 gallons

**Location/s:** Exterior closet • East side of structure

Observations:

- Operated at the time of the inspection - Gas unit
- Consult a plumber or manufacturers owner's manual for general **maintenance** recommendations to extend the life of the unit
- The unit is worn/older - consult a plumber for general **maintenance** recommendations to extend the life of the unit
- Rust noted in areas at water heater, monitor for further deterioration or leaks
- Rusting at base - needs to be serviced
- Check for permits for any alterations/upgrades
- **The water heater is visually inspected only, the combustion/pilot doors are not removed for flame or burner condition inspection due to the potential for draft to burn out the pilot flame. The Inspector does not estimate the age and cannot predict the remaining life of the unit.**
- Recommend further evaluation by a licensed plumber
- **Unit old and appears to be nearing end of useful life - we recommend that you budget for a replacement**

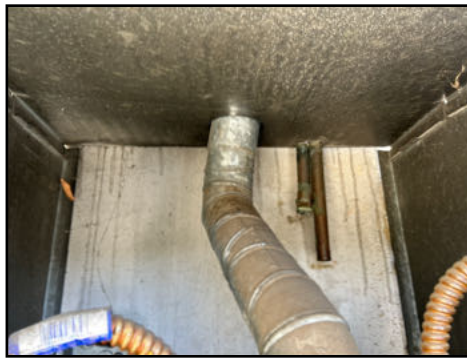


**Unit old and appears to be nearing end of useful life - we recommend that you budget for a replacement**

## 2. Venting

Observations:

- Vent is worn and older - consider upgrading vent
- Recommend sealing all connections at venting
- Missing screws at vent connections - needs to be serviced, three screws are recommended at all vent connections
- Recommend adding heat shields around vent to prevent contact with other materials and reduce heat damage to surrounding materials
- **Check permits** for any alterations
- Recommend further evaluation by a licensed plumber
- **Minimum water heater single-wall vent pipe clearance from combustibile material is 6" - needs to be serviced**



Minimum water heater single-wall vent pipe clearance from combustable material is 6" - needs to be serviced

### 3. Plumbing

Material type: Copper • Copper flex lines • Recommend installing an **expansion tank** at the water heater due to the presence of a pressure regulator at the main water valve

Observation:

- Worn valve/piping/connections - typical for age - no visible leaks found at the time of the inspection
- Corrosion present - signs of wear - monitor for moisture
- **Check permits** for any alterations/upgrades
- **Not visible/accessible due to personal items/storage**
- Recommend further evaluation by a licensed plumber





Corrosion present - signs of wear - monitor for moisture

#### 4. Temperature Pressure Release Valves

Observations:

- Worn/older valve present - consider upgrading
- Visibly corroded - needs to be serviced
- **Check permits** for any alterations
- *The inspector visually inspects the TPRV only - this valve is not opened or tested during the inspection*
- Recommend further evaluation by a licensed plumber



#### 5. Overflow Line/s

Material type: **None/Missing - needs to be installed**

Observations:

- **Check permits** for any alterations
- **Recommend upgrading this line to a copper line for optimum safety and performance**
- Recommend further evaluation by a licensed plumber
- **None - needs to be serviced/installed**



None - needs to be serviced/installed

#### 6. Water Heater Temperature

Observations:

- **Note: Temperature can be taken at the exhaust draft diverter location, but may not represent the actual temperature at the interior fixtures within the structure - see all photos attached to the report**

- 110 F (Average or approximate)



110 F (Average or approximate)

## 7. Strapping

Observations:

- Standard metal type straps present - normal wear on the day of the inspection - no major visible defects
- Recommend blocking in areas where the water heater is not touching the walls
- Poorly located (should be upper and lower 1/3 of tank) - needs to be serviced
- Check for permits on all alterations
- Recommend further evaluation by a licensed plumber
- **Loose strapping - needs to be serviced**



Loose strapping - needs to be serviced

## 8. Gas Supply Valves and Pipes

Observations:

- Worn valve, consider upgrading to newer style valve
- Older type of flex line is present - we recommend that you upgrade to a new Teflon coated flex line
- No sediment trap at gas supply - may have not been required at time of original installation, but is recommended
- **Check permits** for any alterations
- Recommend licensed plumbing contractor or Gas Co. to evaluate



## 9. Combustion Air

Observations:

- **Combustion air** appears to be adequate at the time of the inspection
- **Note: Good combustion air is an unconfined space that is one whose volume is not less than 50 cubic feet per 1,000 Btu/hr of the total input rating of all appliances installed in the space.**
- Recommend further evaluation by a licensed plumber

## 10. Platforms/Bases

Observations:

- None/not applicable - unit is sitting on concrete
- Worn/dirty – recommend cleaning
- Recommend catch pan be installed the next time the water heater is changed
- **Check permits** for any alterations
- **Not visible/accessible due to personal items/storage**
- **Some areas not visible due to personal storage and/or access limitations**
- Recommend further evaluation by a licensed plumber



## 11. Enclosures

Observations:

- Worn/dirty areas - recommend cleaning
- Recommend sealing any holes/gaps if otherwise discovered in this area
- Metal enclosure is worn/bent - typical for age and weather exposure
- **Check permits** for any alterations
- **Some areas not visible due to personal storage and/or access limitations**
- **Not visible/accessible due to personal items/storage**
- Recommend further evaluation by a licensed plumber



# ELECTRICAL/GAS SERVICE

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## 1. Main Panel

Location/s: North side of the structure

Observations:

- Worn/weathered panel - typical for age and weather exposure
- Recommend upgrading services due to age of electrical system
- Panel appears to have been upgraded/newer panel present – check all installation permits for electrical upgrades to ensure that all items are installed to code
- Panel cover screw(s) missing - recommend installing appropriate screws
- Minor rusting - typical for age - recommend rust treatment and weather tight service
- Check for permits for any alterations
- **Panels are visually inspected only, the inspector does not perform a load calculation to determine service capacity adequacy**
- **Electrical fires due to poor installation of wiring cannot be determined by inspector**
- **Recommend further evaluation by licensed electrician**

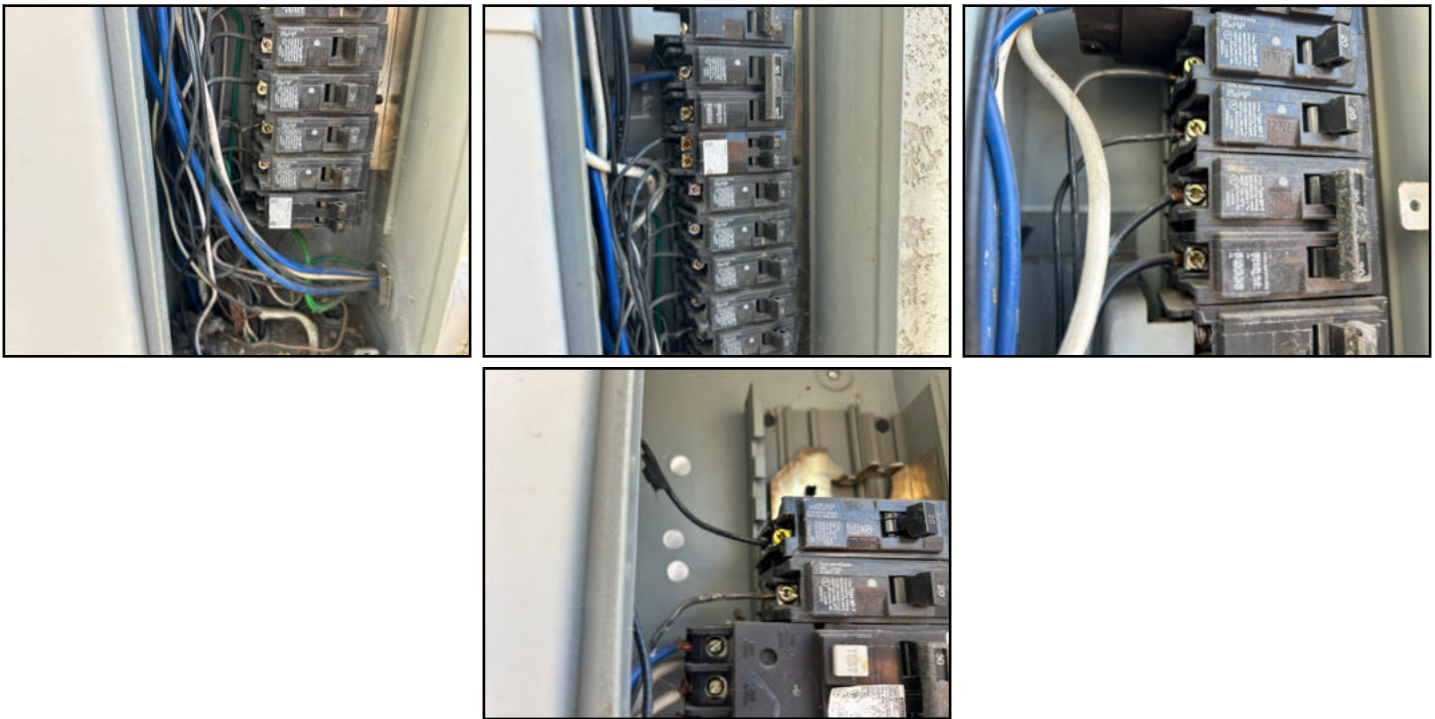


Panel cover screw(s) missing - recommend installing appropriate screws

## 2. Panel Wiring

Observations:

- Wiring type: copper
- Wiring method: non-metallic sheathed cable (romex)
- Grounded panel - main ground/bonding wire observed and appears to be normal for the age of the panel
- **Ungrounded outlets may be present in older structures (pre-1965) even if the main or sub panels have been upgraded. The inspector cannot determine if all wiring has been updated. Expect to find ungrounded outlets in older homes (pre-1965)**
- Visible wiring is worn and older - consider upgrading the electrical services
- Evidence of electrical alterations in the panel - **check permits** to ensure that these alterations were installed to proper building/electrical codes.
- Check for permits for any alterations
- **Some wire types cannot be determined due to wire casings cover wires entering the breakers.**
- **Inspector does not perform a load calculation to determine service capacity adequacy**
- **Wiring not completely visible due to amount of wires inside panel**
- **Recommend licensed electrician for further evaluation**



### 3. Breakers

#### Observations:

- Number of breakers in off position: 1
- Number of unused breakers: 0
- Panel is partially labeled - the inspector does not confirm accuracy of labels, it is recommended to label all breakers
- Loose/worn breakers - typical for age
- Worn/old breakers - may require replacement at any time
- Check for permits for any alterations
- **Breakers are visually inspected only - the inspector does not perform any electrical stress tests on the system to determine if a breaker trips properly (consult an electrician for further evaluation, if this is a concern)**
- **GFCI breakers present - not tested as doing so would de-energize circuits and interrupt connected equipment**
- **Recommend licensed electrician for further evaluation**





#### 4. Breaker Amp Capacity

Observations:

- Panel rating label not legible or missing - main amp rating is unknown
- 200 amp
- Check for permits for any alterations



200 amp

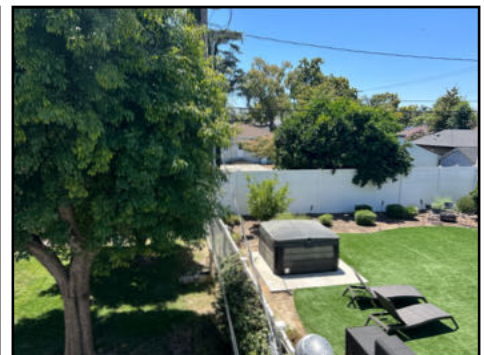
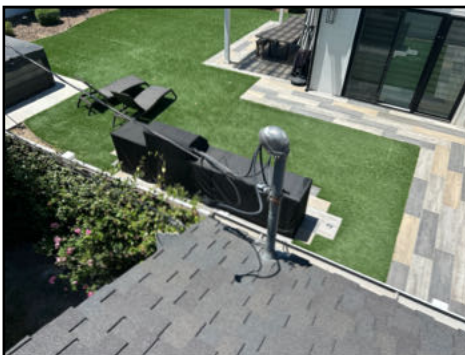


Panel rating label not legible or missing - main amp rating is unknown

#### 5. Cable Feeds

Observations:

- Overhead - worn/weathered - needs service/**maintenance**
- **Drip loop not proper configuration - needs to be serviced**
- Check for permits for any alterations
- **Recommend licensed electrician to evaluate**
- **Trees/vegetation close/in contact with service entrance - needs to be serviced**



Trees/vegetation close/in contact with service entrance - needs to be serviced

## 6. Main Gas Valve

Location: ***We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection.*** • North side of the structure

Observations:

- Natural gas present
- Worn valve - typical for age
- Gas wrench located at gas meter
- Minor rusting - typical for exterior weathering - recommend rust treatment
- ***The Inspector cannot determine if gas piping is properly protected in the ground - consult the Gas Company for further evaluation***
- ***Exterior gas lines, fire pits, BBQs, etc. are not included as part of this inspection - consult your gas supplier company to further evaluate these areas and check all permits for added gas lines, fire pits, BBQs, etc.***
- ***Main and other fuel gas supply valves are not tested or turned on/off during this inspection***
- ***We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home at any time during the inspection.***
- **Recommend Gas Company to evaluate**



## 7. Gas Pipes and Valves

Observations:

- Worn meter/piping - typical for age and exterior weathering
- Minor rusting - typical for age - recommend rust treatment
- Check for permits for any alterations
- ***We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. Note: The Inspector cannot determine if a gas leak is present in any area of the home at any time during the inspection. Note: The inspector cannot determine if all gas lines are properly protected in the ground.***
- ***Exterior gas lines, fire pits, BBQs, etc. are not included as part of this inspection - consult your gas supplier company to further evaluate these areas and **check permits** for any added gas lines, fire pits, BBQs, etc.***
- **Recommend Gas Company to further evaluate**



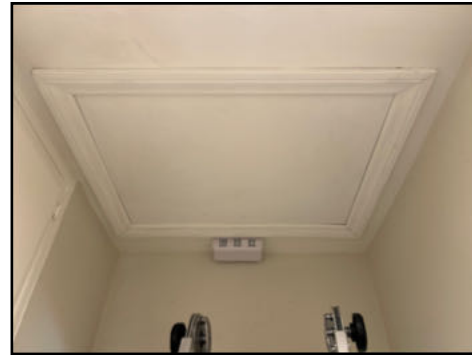
# ATTIC AREA

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## 1. Access Entries

Observations:

- Inspection method: Partially traversed: Flooring walk boards not installed in attic - inspection limited due to potential for damage to insulation or other components, areas without walk boards or clear footing were not traversed
- Inspection method: Inspected from access hole only - access limitations prevented complete entry into the attic - limited inspection
- Location of access: Garage ceiling
- Location of access: Hall ceiling
- Location of access: Utility closet ceiling
- Access door is dirty with cosmetic blemishes present
- Check for permits for any alterations
- Recommend appropriate licensed contractor to further evaluate
- **Limited attic inspection - many areas are not accessible due to limited space, lack of proper walk boards, electrical, plumbing, ductwork, etc.**
- **Could not access all areas of the attic due to limited space or insulation covering joist chords**
- **Structure inspection limited due to access hindrances such as insulation/ductwork/pipes/wires**

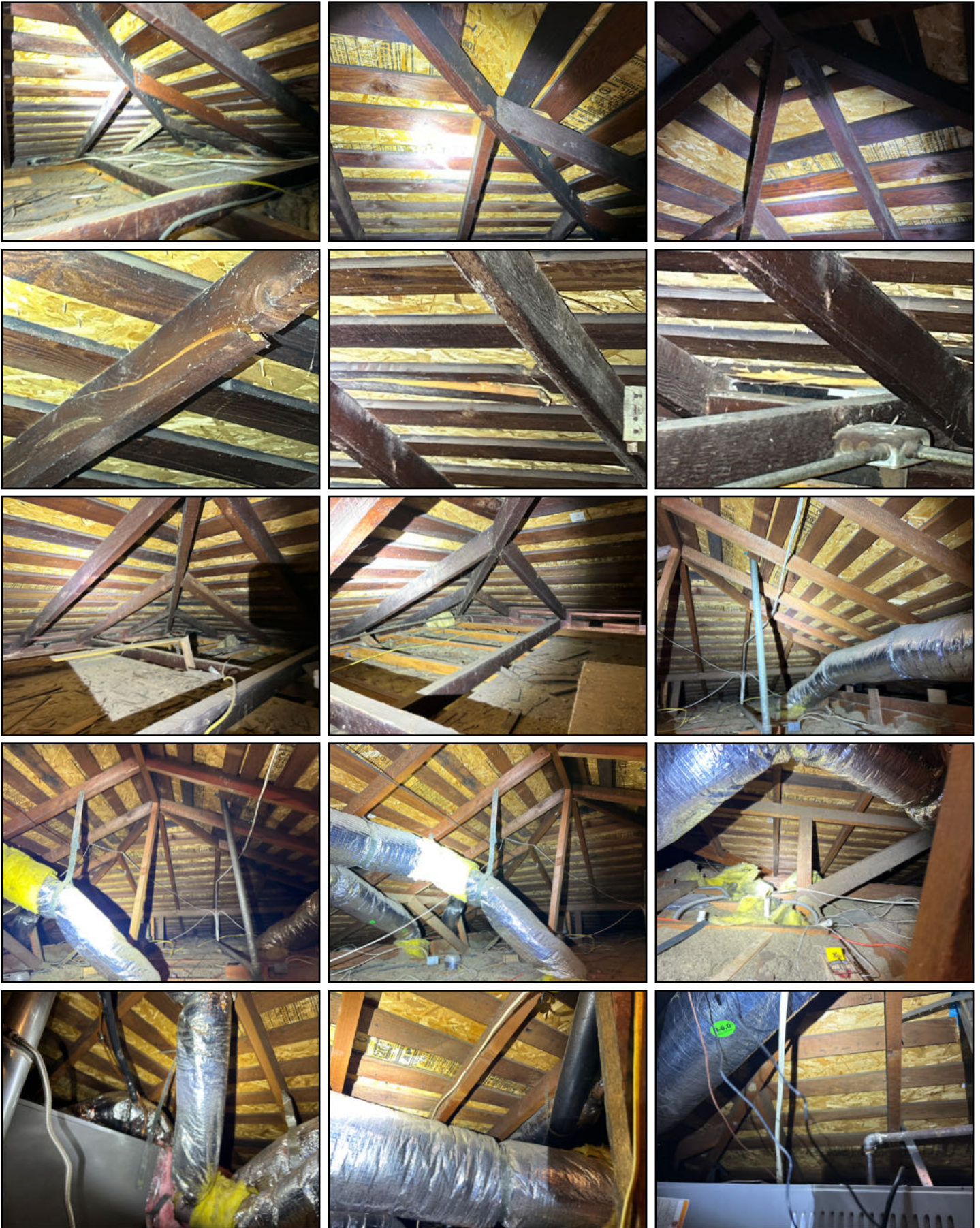


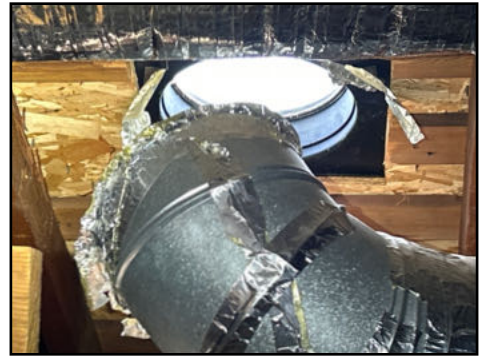
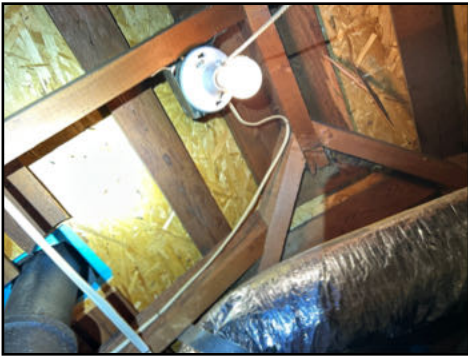
## 2. Structure

Observations:

- Framing has been altered or modified and is not original to the structure - check all building permits to ensure that all framing was installed to code
- **Consult termite report** for all wood areas in the attic
- Cracking small at wood members - typical for age
- Cracked wood - typical for age
- **Deteriorated wood observed - consult termite report**
- Stains present on wood members of structure - evidence of past moisture entering structure- monitor for future moisture intrusion
- Check for permits on all alterations
- **Limited attic inspection - many areas are not accessible to to limited space, lack of proper walk boards, electrical, plumbing, ductwork, etc.**
- **Could not access all areas of the attic due to limited space or insulation covering joist chords**
- **Structure inspection limited due to access hindrances such as insulation/ductwork/pipes/wires**
- **Recommend appropriate licensed contractor to further evaluate**
- **Skylight disconnected - needs service**







Skylight disconnected - needs service

### 3. Insulation

Material type: Unfinished fiberglass batts • Loose fill

**Approximate depth:** 4-6 inches in depth - more recommended

Observations:

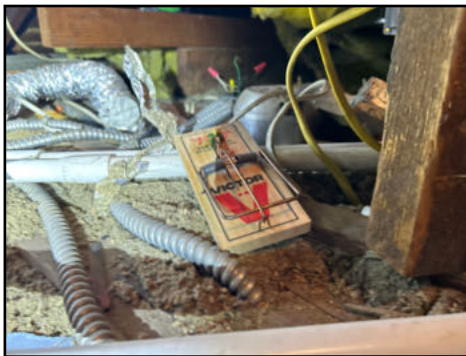
- All visible insulation is worn/older/dirty - typical for the age of the structure
- Debris throughout attic lying on insulation - recommend cleaning the attic and insulation of all debris
- This structure would benefit from new insulation
- Loose/displaced insulation in areas - recommend repair/replacement as needed for best efficiency
- Gaps in insulation - recommend servicing
- Check for permits on all alterations
- **Note: The inspector does not determine the presence of asbestos or any other hazardous materials in the building**
- **The inspector does not determine R-value of the insulation**
- **Insulation generally blocks visible inspection access to framing or components below level of insulation**
- **Limited access/access hindrances prevent visible inspection of areas of insulation**
- **Recommend appropriate licensed contractor for further evaluation**



#### 4. Ventilation

##### Observations:

- Existing ventilation appeared to be adequate on the day of the inspection
- **Check permits** for any alterations
- **Some areas not visible due to access hindrances or limitations**
- **Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction**
- **Temperature sensors or operation of mechanical fans not tested/inspected**
- **Recommend appropriate licensed contractor for further evaluation**
- **Evidence of rodents/insects/birds/pests - recommend further evaluation by pest services company**



Evidence of rodents/insects/birds/pests -  
recommend further evaluation by pest services  
company

#### 5. Vent Screens

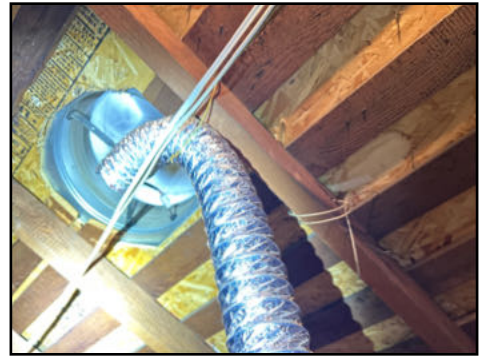
##### Observations:

- Visible ventilation screens appeared to be functional at time of inspection
- Recommend maintaining vent screen to prevent pest intrusion
- **Some areas not visible due to access hindrances or limitations**

#### 6. Exhaust Vents


##### Observations:

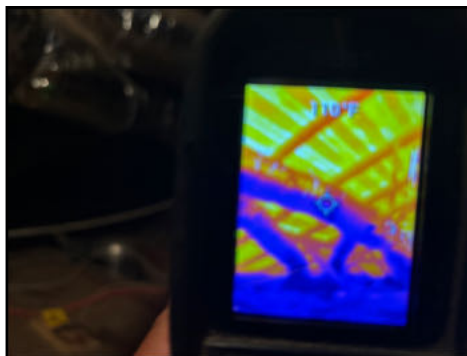
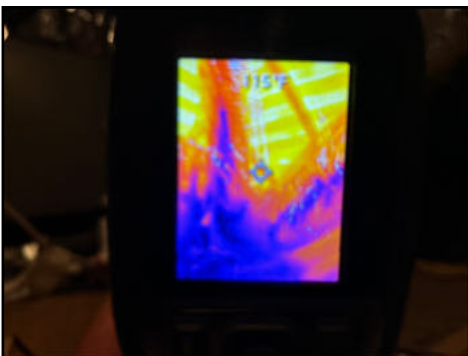
- Some vents are not visible or accessible and cannot be inspected - **N/A**
- Visible vents are older and worn - typical for the age of the structure - consider upgrading
- **Check permits** for any alterations
- **Some areas not visible due to access hindrances or limitations**
- **Recommend appropriate licensed contractor for further evaluation**



## 7. Duct Work

### Observations:

- New/newer duct work present, evidence of alterations observed - check all installation permits to ensure that all areas were installed to city/county building codes
- All visible/accessible duct areas have normal wear for age at the time of the inspection - no major visible defects
- Check for permits on all alterations
- ***The inspector cannot determine efficiency or effectiveness of the duct layout - check all installation permits***
- ***Some areas not visible due to access hindrances or limitations***
- ***Limited inspection/access due to structure and duct layout***
- **Recommend evaluation by Heating &  contractor**



## 8. Electrical

### Observations:

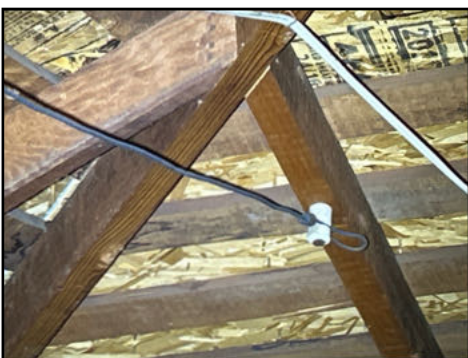
- Evidence of electrical alterations in the attic - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code
- Visible wiring in attic is in a worn and older condition typical for the age the of structure
- Attic light operated via normal fixture control
- Exposed non-metallic sheathed wires near access - recommend servicing
- Knob and tube wiring present - old technology, cannot be sure if it has been disconnected - consult an electrician to further evaluate

- Check for permits for any alterations
- **Most electrical not accessible and not inspected**
- **Areas not visible due to insulation and/or ductwork are not inspected**
- **Some areas not visible due to access hindrances or limitations**
- **Recommend a licensed electrician to further evaluate**
- **Cover missing at junctions box(es) exposing connections - needs to be serviced**
- **Exposed connections (splices) not properly installed with a junction box - potential hazard - needs to be serviced**



**Exposed connections (splices) not properly installed with a junction box - potential hazard - needs to be serviced**

**Cover missing at junctions box(es) exposing connections - needs to be serviced**



**Knob and tube wiring present - old technology, cannot be sure if it has been disconnected - consult an electrician to further evaluate**

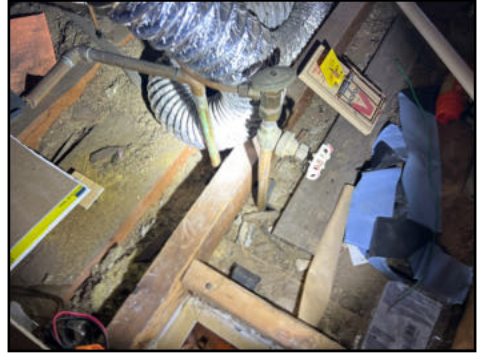
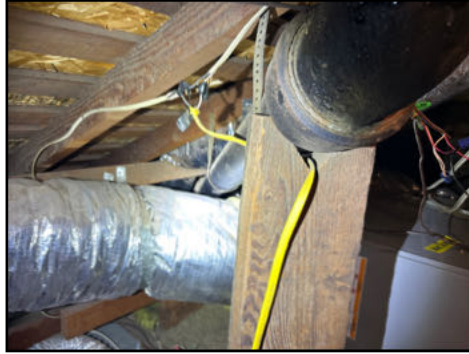
**Knob and tube wiring present - old technology, cannot be sure if it has been disconnected - consult an electrician to further evaluate**

**9. Plumbing**

Observations:

- Evidence of altered plumbing/piping in the attic - check all installation permits to ensure that all plumbing was installed to city/county building code
- Worn/older piping system present - consider upgrading plumbing

- No visible leaking at the time of inspection
- ***Some areas not visible due to access hindrances or limitations***
- **Recommend licensed plumber to further evaluate**



# GARAGE AND/OR CARPORT

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required. If any area of this section is marked in **red**, we recommend further evaluation prior to the close of escrow. Please consult a licensed professional as noted; if you need a trusted garage door company- 909-413-4810.

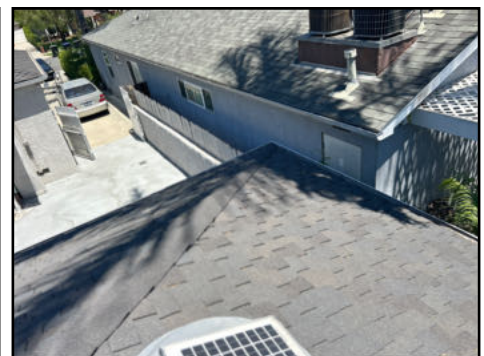
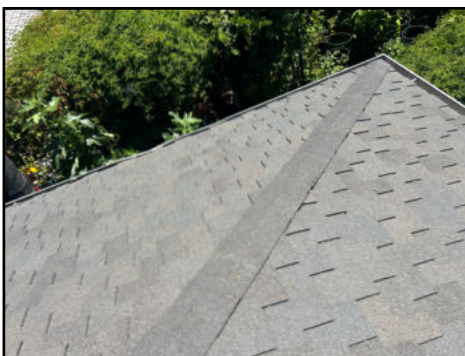
## 1. Roof Condition

Notes: Detached structure with a separate roof • Inspection method - roof was walked

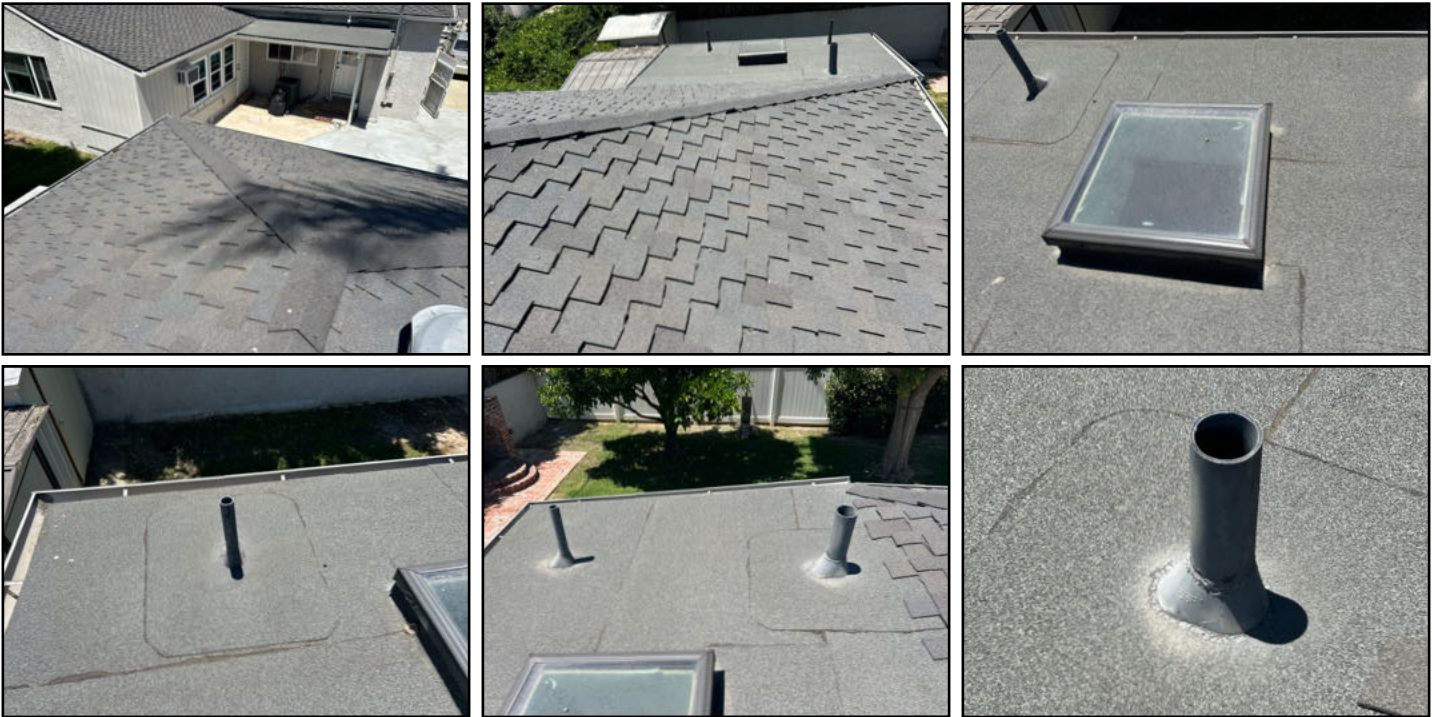
**Constructed of:** Asphalt shingles • Rolled materials

Observations:

- Recommend seasonal **maintenance** to extend the life of the current materials
- Recommend mastic **maintenance** at all flashing areas
- Worn and weathered materials present - typical for age and weather exposure - **roof needs maintenance**
- Shingles exhibited moderate granule loss - normal for age of material
- **Check permits** for any alterations
- *Some areas not visible from inspection level - recommend further inspection/evaluation by licensed roofer*
- *The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. If there are concerns of possible roof leaks, please contact a licensed roofer to perform an additional inspection and/or roof certification. Remaining roof life can only be determined by a licensed roofer. This applies to all roof areas evaluated during this inspection.*
- Recommend roofer to evaluate and determine remaining life of the roof materials
- **Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads**



**Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads**



## 2. Rafters & Ceilings

### Observations:

- Drywall present – no visible access to view rafters (see firewall notes for additional information)
- Cosmetic blemishes observed
- Check for permits for any alterations
- **Some ceiling/rafter areas are not visible or accessible/inspected due to personal storage/wood boards**
- **Recommend framing contractor to evaluate**

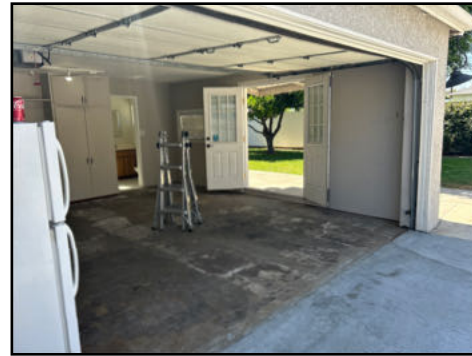


## 3. Main Automotive Doors

Type: Metal sectional

### Observations:

- Worn/weathered door - typical for age and exposure to weather
- Recommend weather tight service/**maintenance** to prevent moisture intrusion around main door areas



#### 4. Hardware/Springs

Observations:

- **Garage doors require periodic maintenance and is recommended to ensure that all hardware is properly lubricated and secured**
- Door hardware is in a worn or loose condition - recommend standard service/lubrication



#### 5. Garage Door Openers

Observations:

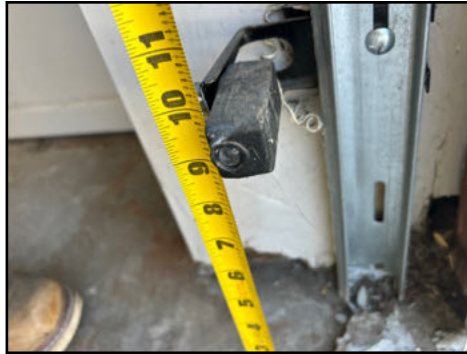
- Opener(s) were tested using the normal wall button on the day of the inspection (remote controls are not tested)
- One unit present
- Opener(s) operated at the time of the inspection
- Normal wear at time of inspection - no major visible/functional defects
- **Battery back up systems cannot be confirmed without dismantling the opener unit - we recommend having a general garage door service completed prior to regular use. Installing a battery back up unit is an advised new addition that we recommend for safety.**
- **Door opener activator button should be minimum 54-inches above floor for safety**
- **Door opener radio control devices not tested - inquire with seller regarding existence and operation**
- Recommend further evaluation by garage door contractor



## 6. Garage Doors Reverse Safety Status

Observations:

- Light beam was tested; the inspector interrupted the beam during closing, the door stopped and reversed back open on the day of the inspection
- **Pressure sensors/systems are generally not tested due to the risk of damage if they are not properly operating - we recommend having a general service completed prior to regular use.**
- **Light beam sensors are installed too high - needs to be serviced (recommended height is between 6 and 8 inches off the ground - manufacturer specifications may differ)**



**Light beam sensors are installed too high - needs to be serviced (recommended height is between 6 and 8 inches off the ground - manufacturer specifications may differ)**

## 7. Exterior Doors

Observations:

- Operated at the time of inspection
- Worn/weathered door - typical for age, dented areas
- Recommend weather tight service/**maintenance** to prevent moisture intrusion



## 8. Walls

Observations:

- Check for permits on all additions/alterations/sub-walls/converted areas
- **Consult termite report** for any wood areas in garage
- Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure
- Cracking small - typical for age
- **Recommend appropriate licensed contractor for further evaluation**



## 9. Anchor Bolts

Observations:

- Not visible but assumed to exist due to estimated date of construction (bolting requirements began after 1935 in most jurisdictions)

## 10. Cabinets

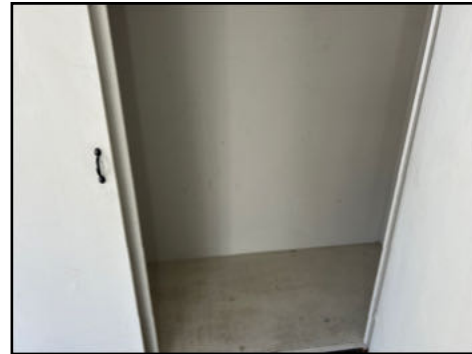
Observations:

- **Some interior cabinet areas not visible for inspection due to personal storage**
- Loose/worn hardware - worn cabinets - typical for age

## 11. Closets

Observations:

- Worn closets with loose/worn hardware - typical for age



## 12. Slab

Observations:

- Small cracks/chipped areas - typical for the age of the materials
- Worn and stained areas - typical for age of the material
- Recommend licensed concrete contractor to further evaluate



Small cracks/chipped areas -  
typical for the age of the materials



### 13. Electrical

Observations:

- Evidence of electrical alterations in the garage - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code
- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Loose/worn outlets/switches - typical for age consider upgrading
- Check for permits for any alterations
- Some outlets not accessible - not inspected
- Some switches not accessible - not inspected
- **Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.**
- Recommend licensed electrician to further evaluate
- **Outlet cover missing - needs to be serviced**



Outlet cover missing - needs to be serviced



### 14. GFCIs

Observations:

- Recommend upgrading all accessible receptacles below 8 feet to **GFCI** protection within 6 feet of all potential wet locations or where potential ungrounded power tools may be used, unless these outlets are on dedicated circuits meant for appliances.



- None visible - recommend upgrade for increased safety
- **Check permits** for any alterations
- Recommend a licensed electrician to further evaluate

## 15. Windows

Constructed of: Double pane • Vinyl framed

Observations:

- Operated at time of inspection
- Worn frames/hardware/tracks - typical for age of material
- Recommend weather tight service
- Missing screen - recommend installation of an appropriate screen
- Check for permits for any alterations
- **Recommend appropriate licensed contractor for further evaluation**



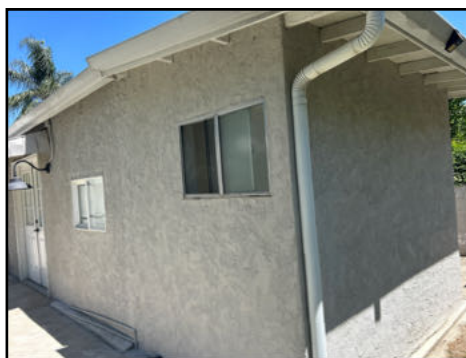
# EXTERIOR AREAS

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## 1. Stucco

### Observations:

- Recently painted structure
- Worn/weathered at time of inspection where visible
- Recommend sealing any holes/gaps or cracks to prevent moisture or pest entry
- **Cold joint** cracking present - evidence of past patchwork or addition - **check permits** and seal joint regularly to ensure against moisture intrusion
- Patching present - consult seller for past repaired areas
- **Check permits** for any alterations
- **Stucco requires periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions**
- **Inspector does not use specialized instruments to detect moisture, if any, under stucco surface**
- **Some not accessible for inspection due to vegetation/personal items/height/limited access - these areas cannot be visually inspected**
- **Cracking/chipping/holes more than typical - needs to be serviced**





**Cold joint** cracking present - evidence of past patchwork or addition - **check permits** and seal joint regularly to ensure against moisture intrusion



**Cold joint** cracking present - evidence of past patchwork or addition - **check permits** and seal joint regularly to ensure against moisture intrusion



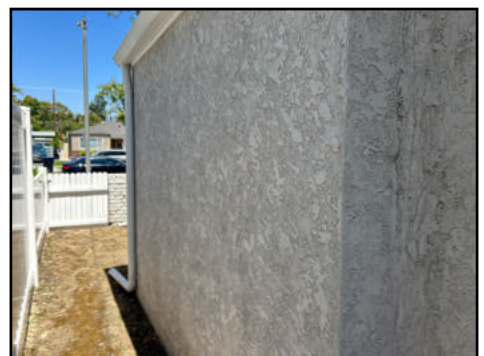
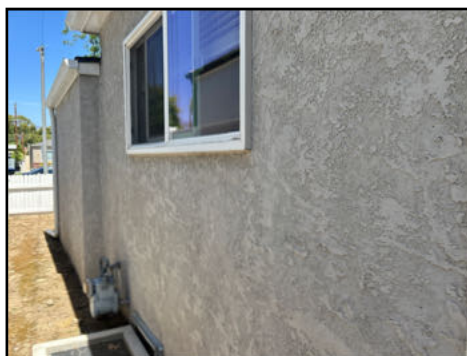
**Cold joint** cracking present - evidence of past patchwork or addition - **check permits** and seal joint regularly to ensure against moisture intrusion



**Cold joint** cracking present - evidence of past patchwork or addition - **check permits** and seal joint regularly to ensure against moisture intrusion



**Cold joint** cracking present - evidence of past patchwork or addition - **check permits** and seal joint regularly to ensure against moisture intrusion



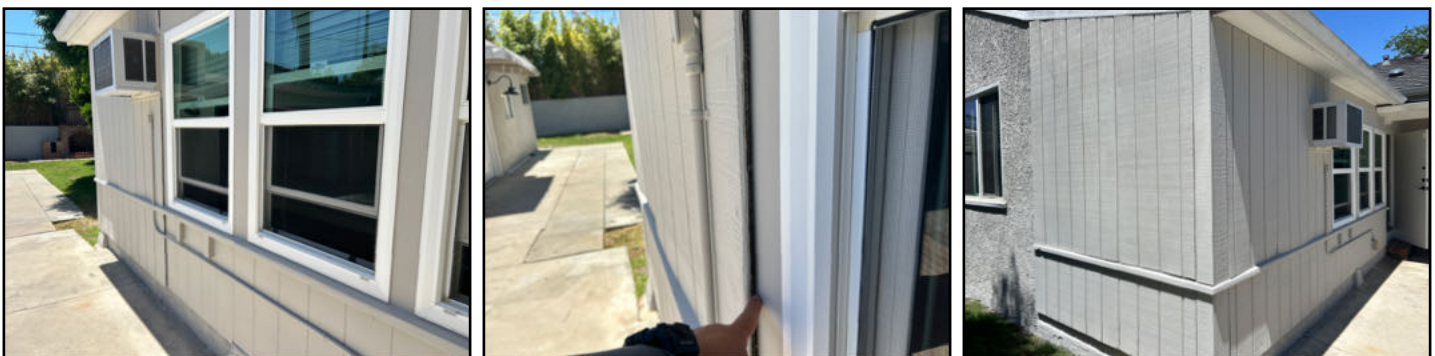


Cracking/chipping/holes more than typical - needs to be serviced

## 2. Siding

Constructed of: Brick • Wood  
 Observations:

- Recently painted
- Worn/weathered/cracked materials where visible – recommend siding **maintenance**
- Recommend **maintenance** to seal all gaps, cracks and openings
- **Siding requires periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions**
- **Some not accessible for inspection due to vegetation/personal items/height/limited access - these areas cannot be visibly inspected**
- **Inspector does not use specialized instruments to detect moisture, if any, under siding surface**
- **Recommend having a qualified exterior finish contractor evaluate**
- **Gaps in siding at joints and around windows/doors - recommend servicing to prevent moisture entry**



Gaps in siding at joints and around windows/doors - recommend servicing to prevent moisture entry



Gaps in siding at joints and around windows/doors - recommend servicing to prevent moisture entry

Gaps in siding at joints and around windows/doors - recommend servicing to prevent moisture entry

### 3. Lower Half of Chimney

Observations:

- Worn/weathered at time of inspection where visible - typical for age
- Small cracking or chipping observed - typical of age - recommend **maintenance**/sealing
- **Check permits** for installation or alterations
- **Recommend appropriate licensed contractor for further evaluation**



#### 4. Wood Trim

Observations:

- **Consult termite report** for all exterior wood
- Recommend general trim **maintenance** and sealing any holes/gaps
- **Check permits** for any alterations
- *For damaged wooden areas and moisture problems always obtain a structural pest control inspection; Inspector does not determine wood destroying organism presence or damage - always obtain a structural pest control inspection; Inspector does not use specialized instruments to detect moisture, if any, under siding/trim surface*
- *Some not accessible for inspection due to vegetation/personal items/height/limited access - not visible for inspection*
- **Recommend appropriate licensed contractor for further evaluation**



#### 5. Eaves & Fascia

Observations:

- **Consult termite report** for all wood areas at the structure
- Cracking/weathering/worn where visible - typical for age and weather exposure
- Weathering and staining present in areas
- Warped wood / twisted wood - signs of age and wear - recommend servicing
- **Check permits** for any alterations
- *Inspector does not determine wood destroying organism presence or damage - always obtain a structural pest control inspection*
- *Inspector does not use specialized instruments to detect moisture, if any, under siding/trim surface*
- *Some not accessible or visible for inspection due to vegetation/personal items/height/angle*
- **Recommend appropriate licensed contractor for further evaluation**



## 6. Soffits

### Observations:

- Weathered and worn materials - typical for age
- Cracking/weathering - typical
- ***Some not accessible or visible for inspection due to vegetation/personal items***
- ***Inspector does not determine wood destroying organism presence or damage - always obtain a termite inspection***
- ***For damaged wooden areas and moisture problems always obtain a structural pest control inspection***
- ***Inspector does not use specialized instruments to detect moisture, if any, under siding/trim/soffit surfaces***
- **Recommend appropriate licensed contractor for further evaluation**



## 7. Exterior Paint

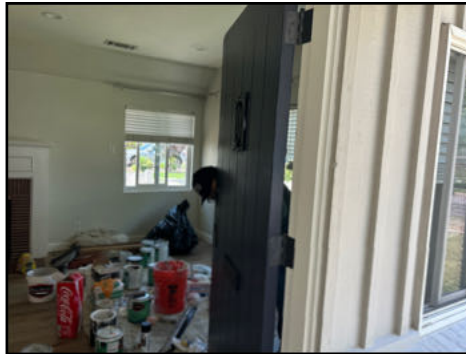
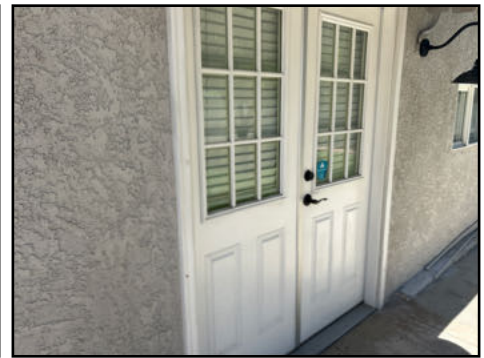
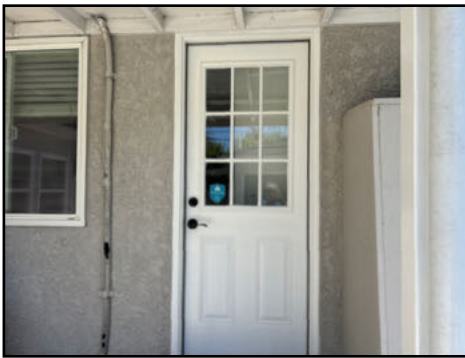
### Observations:

- Recently painted structure – consult seller for any past repairs prior to painting
- Normal wear at time of inspection - no major visible defects
- Recommend caulking around doors and windows as necessary seasonally
- **Check permits** for any alterations
- ***Paint is recommended to help maintain and seal the exterior areas of the structure***
- ***Exterior paint will require maintenance every 3-5 years***
- ***Some areas not accessible or visible due to vegetation/personal items***
- **Recommend appropriate licensed contractor for further evaluation**
- **Blistered and peeling in areas - recommend servicing**

## 8. Exterior Doors

### Observations:

- ***Exterior doors require seasonal maintenance to extend lifespan and maintain weather tight seals***
- See interior section for more information
- **Consult the termite report for all wood doors/frames at this structure**
- Newer doors/sliders present at structure – **check permits** for proper installation (may not include all doors at the structure)
- All visible and accessible doors were tested during this inspection
- Loose/worn hardware needs minor service and/or adjustment
- Maintain weather tight seals at all doors
- Check for permits for any alterations
- **Recommend appropriate licensed contractor for further evaluation**



## 9. Exterior Windows

### Observations:

- **Exterior windows require seasonal maintenance to extend lifespan and maintain weather tight seals**
- See interior section for additional information - some exterior window areas may not be visible due to height/limited access/vegetation/etc.
- **Consult the termite report for all wood windows/frames at this structure (if wood is present)**
- Windows are not original to structure – **check permits** for all replacements to ensure proper installation in accordance with local building codes (may not include all windows at the structure)
- Worn windows/screens - typical for age
- **Gaps around windows - recommend servicing to prevent moisture entry**
- Recommend weather tight service/**maintenance**
- **Evidence of internal condensation or E-glass fading between glass panes at multiple windows - needs to be serviced - recommend all double-paned glass areas be checked as others may exist**
- Check for permits for any alterations
- **Replacement windows present; check for permits to ensure proper installation per building codes**
- **Recommend appropriate licensed contractor for further evaluation**
- **Awning loose - needs to be serviced**





**Awning loose - needs to be serviced**



**Gaps around windows - recommend servicing to prevent moisture entry**





**Gaps around windows - recommend servicing to prevent moisture entry**



**Gaps around windows - recommend servicing to prevent moisture entry**

# FOUNDATION

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## 1. Slab Foundation

Observations:

- Raised foundation in areas
- No determination can be made regarding the condition of the interior concrete slab as it was covered with flooring, expect to find typical cracks up to 1/4-inch when it is exposed. Any cracking larger than 1/4" wide should be addressed upon discovery.
- Slab not visible due to floor coverings - not visible for inspection, see interior floor area notes
- Personal items and/or furnishings prevent complete inspection

## 2. Exterior Foundation Perimeter

Observations:

- Slab perimeter is covered by stucco - most areas are not visible for inspection - **N/A**
- Vegetation growing against structure prevents visibility or access to some areas of foundation perimeter for inspection
- Large trees/bushes/vegetation around the structure areas may have a long term affect on the slab areas/perimeter and the underground plumbing (recommend a sewer scope inspection for underground drain plumbing).
- **Personal items, vegetation, inaccessible areas prevent complete inspection**

## 3. Access Panels

Observations:

- **Limited inspection - some areas under the structure are not accessible/visible due to piping/electrical/duct work, insulation or inadequate service space - **N/A****
- Inspection method: partially traversed due to height limitations/ductwork/plumbing blocking complete access or view to some areas - limited inspection
- Access entry is worn/weathered/bent – recommend service/repair to prevent pest access to under structure
- Loose cover - recommend servicing



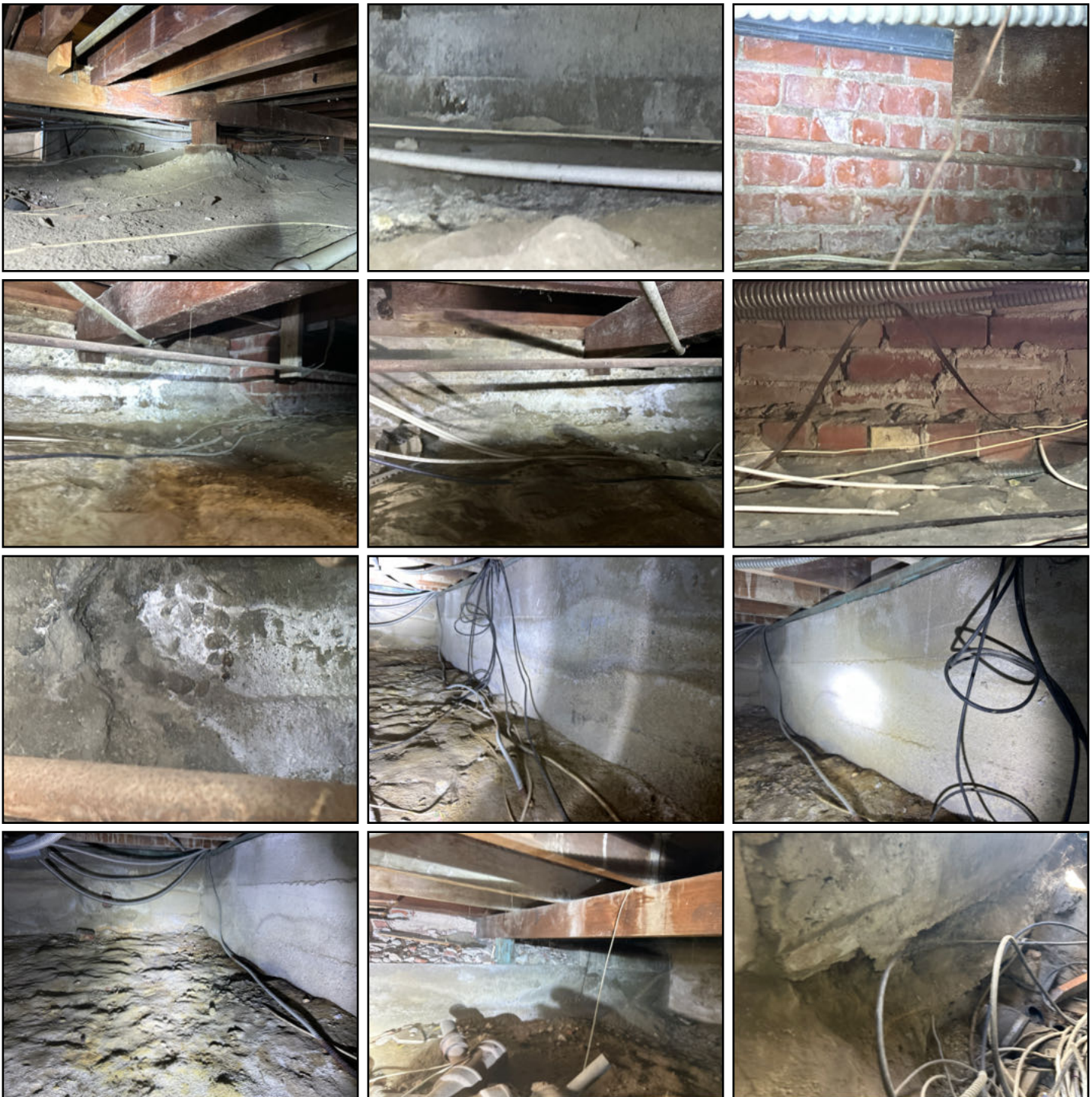


#### 4. Foundation Walls

##### Observations:

- Constructed of: concrete
- Visible foundation wall areas are worn and stained areas - typical for age of the structure and material
- Stained/worn areas - typical for age
- **Efflorescence** present - indicates past moisture accumulation - monitor for further moisture intrusion
- **Exposed/undermined wall footings - needs to be serviced**
- *All accessible areas of foundation walls were visibly inspected during this inspection (some areas may not be accessible due to limited space/plumbing piping/duct work obstructions)*
- *Vegetation or storage present - some areas of foundation walls not completely visible for inspection*
- *Large trees/bushes/vegetation around the structure areas may have a long term effect on the foundation walls and the underground plumbing (recommend a sewer scope inspection for underground plumbing).*





Exposed/undermined wall footings  
- needs to be serviced

## 5. Sub Flooring

### Observations:

- Wood is worn and stained in areas where visible - typical of a structure this age
- Stained areas present – [consult termite report](#) for any wood/moisture issues
- Cracked wood - typical for age
- Patched or altered areas - consult seller for all past repairs, check all permits

- *Structure inspection limited due to access hindrances such as insulation/ductwork/pipes/wires - some*

areas of the sub floor are not visible or inspected

- Some areas of the sub floor are not visible or inspected



## 6. Posts and Girders

Observations:

- Stained and worn areas - typical for age of structure
- Small cracking at wood members - typical for age of structure
- Brackets for all attachment points would benefit the structure
- **Structure inspection limited due to access hindrances such as insulation/ductwork/pipes/wires**
- **Posts off centered and not aligned over concrete piers - recommend brackets for added support**
- **Exposed/undermined post footings - needs to be serviced**



**Exposed/undermined post footings  
- needs to be serviced**





**Posts off centered and not aligned over concrete piers - recommend brackets for added support**

### 7. Sill Plate

Observations:

- Worn/stained/cracked materials - typical for the age of the structure

### 8. Anchor Bolts

Observations:

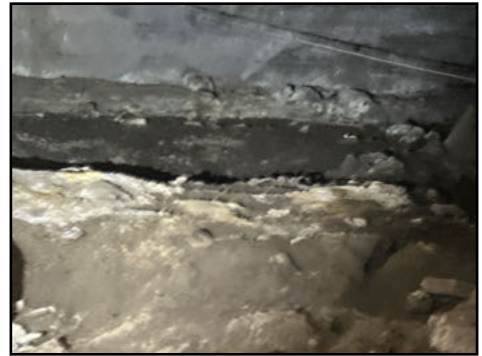
- Anchor bolts present - worn with rust present - typical for age



### 9. Ventilation

Observations:

- Evidence of rodent/pest activity in the crawlspace - recommend further evaluation by pest services company
- Existing ventilation appeared to be adequate on the day of the inspection
- Moisture present under structure - needs to be serviced
- Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction



**Evidence of rodent/pest activity in the crawlspace - recommend further evaluation by pest services company**



## 10. Vent Screens

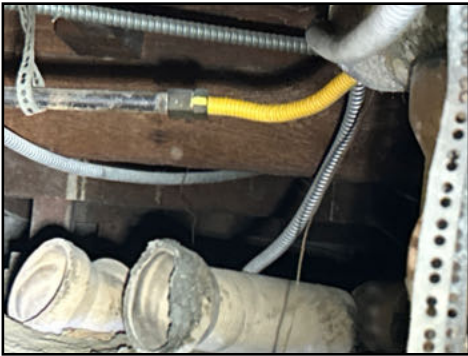
Observations:

- Worn/bent/small holes – recommend **maintenance** and repairs to prevent pest intrusion
- **Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction**
- **Vent screens blocked off - not visible - needs to be serviced**
- **Some screens not visible or accessible due to vegetation - not inspected**

## 11. Electrical

Observations:

- Evidence of electrical alterations under the structure - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code
- Visible wiring under the structure is in a worn and older condition typical for the age the of structure
- Unsecured wiring - recommend servicing - All wiring should be properly secured to the framing.
- **Wires/conduit lying on ground - potential hazard - needs to be serviced**
- **Structure inspection limited due to access hindrances such as insulation/ductwork/pipes/wires**
- **Areas not visible due to insulation and/or ductwork are not inspected**
- **Conduit or metal wire sheathing in contact with soil - needs to be serviced**
- **Exposed connections (splices) not properly installed with a junction box - potential hazard - needs to be serviced**



**Exposed connections (splices) not properly installed with a junction box - potential hazard - needs to be serviced**



## 12. Plumbing

### Observations:

- Evidence of altered plumbing/piping under the structure - check all installation permits to ensure that all plumbing was installed to city/county building code. The home inspector is not a building code violation inspector.
- The inspector ran water during the inspection prior to inspecting under the structure
- Visible/accessible plumbing areas have worn and older piping in typical condition for the age of the structure
- No visible leaks found at the time of the inspection
- Rubber drain connections present - these are not for long term use - recommend upgrading connections
- **CSSI** gas line observed - proper bonding or grounding cannot be confirmed by the Inspector, we advise you to **check permits** for installation of this type of gas line and that proper bonding or grounding has been completed.
- *It is not always possible for the inspector to view every side/angle/connection of all plumbing pipes due to plumbing design/layout/approach angle/etc. Underground plumbing/pipes cannot be visually inspected. Pressure testing is not performed during this limited inspection.*
- **Galvanized** water piping present - recommend complete water distribution system evaluation due to the age of this material





Rubber drain connections present - these are not for long term use - recommend upgrading connections

**CSST** gas line observed - proper bonding or grounding cannot be confirmed by the Inspector, we advise you to **check permits** for installation of this type of gas line and that proper bonding or grounding has been completed.





**Rubber drain connections present - these are not for long term use - recommend upgrading connections**



# GROUNDS

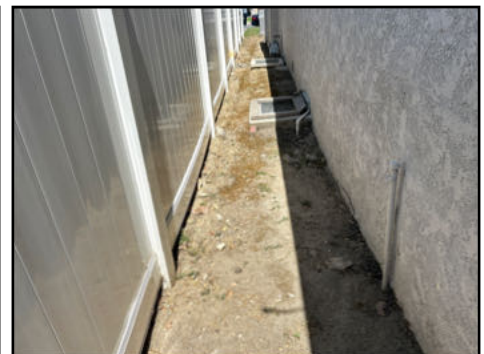
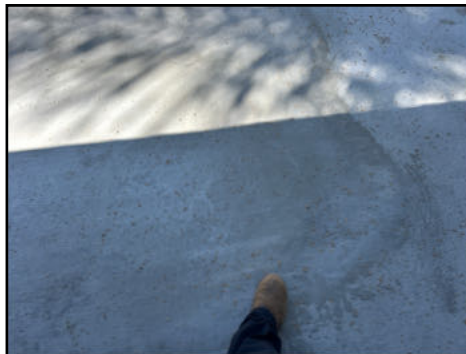
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## 1. Driveways and Walkways

Constructed of: Concrete • Brick • Dirt • Grass

Observations:

- Worn with common cracks/chips - typical for age of material
- Moderate cracking in areas - recommend **maintenance** and patching as needed
- Driveway stained in areas
- Walkways stained in areas
- Small localized water ponding may occur in areas - area drains may be needed, monitor and address as needed
- Patched areas - consult the seller for any past repairs or reasons for patchwork
- **Check permits** on any additions/alterations/modifications
- **Recommend concrete contractor to evaluate**
- **Cracking/chipping large - recommend servicing**
- **Walkway displacement/uplifted/uneven areas - potential trip hazard - needs to be serviced**





Cracking/chipping large - recommend servicing

## 2. Patio and Porch Roofs

Constructed of: Same as main structure - porch • Same as main structure - patio

Observations:

- See main roof page for porch/patio areas as observations may be applicable to patio/porch structure and materials
- Worn/weathered materials - typical for age
- **Consult termite report** for all exterior wood conditions
- **Check permits** for any alterations/roof replacement
- Rolled roofing materials present – recommend regular **maintenance**
- **Inspector cannot determine if patio/porch roofs are water-tight, no water testing of any kind is performed at this inspection**
- Recommend consulting with appropriate licensed contractor for further consultation and repair options



### 3. Stairs & Handrails

Observations:

- Stairs are worn/weathered - typical for the age of the materials
- Cracking present at stairs/steps areas
- **Damaged steps - unsafe - needs to be serviced**
- **Recommend appropriate licensed contractor for further evaluation**



**Damaged steps - unsafe - needs to be serviced**



#### 4. Exterior Electrical

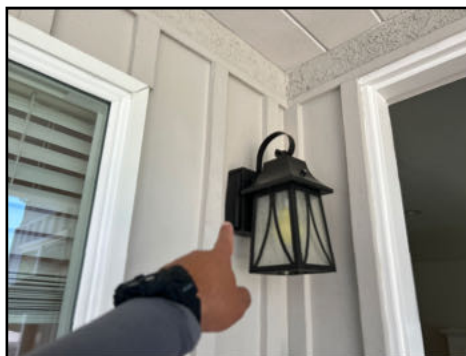
Observations:

- Accessible lights/switches/outlets were tested on the day of the inspection
- The visible and tested fixtures/switches/outlets were in a loose/worn condition - typical for age
- Check for permits for any alterations
- ***The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches.***
- Recommend licensed electrician to further evaluate and repair to assure the system is safe and operating properly
- **Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry**
- **Loose fixture(s) - needs to be serviced**



Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry

Loose fixture(s) - needs to be serviced



Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry



## 5. GFCIs

Observations:

- **GFCI** upgrades are recommended on exterior outlets for increased safety
- Tested and operational at time of inspection via normal control
- **Check permits** for any alterations
- Recommend a licensed electrician to evaluate

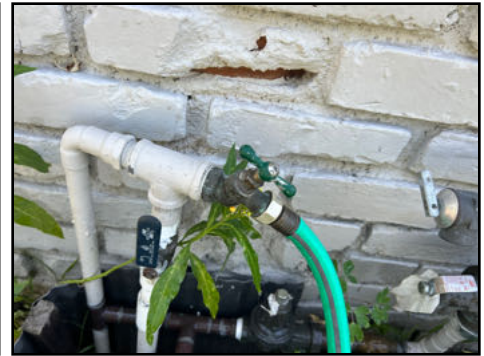


## 6. Exterior Plumbing and Faucets

Observations:

- Exterior plumbing is present and not original to the structure - check all installation permits to ensure installation to building code
- Accessible exterior faucets operated/worn at time of inspection via normal fixture controls
- **Check permits** for any alterations
- **We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection**
- Recommend a sewer camera inspection
- **Galvanized water piping present - recommend complete water distribution system evaluation beyond the scope of this inspection due to age/type**





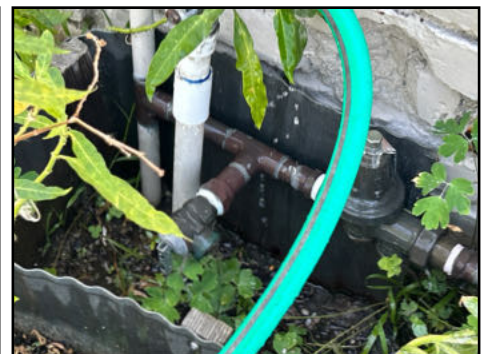
**Galvanized** water piping present -  
 recommend complete water  
 distribution system evaluation  
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 inspection due to age/type

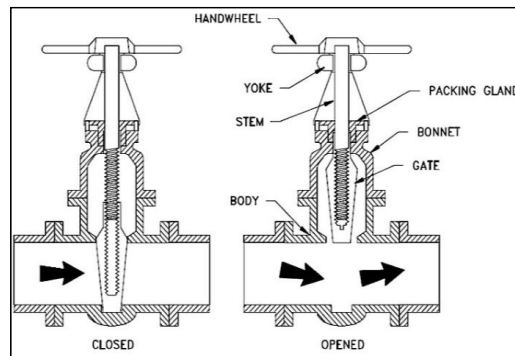
## 7. Main Water Valve

Type of plumbing: Copper • Copper piping is not original to the structure - check all permits to ensure piping was installed to city/county plumbing codes

Observations:

- Location: west side
- No visible leaking found at the main valve area at the time of the inspection
- **Gate valve** present/worn (these types of valves are known to fail internally) - consider upgrading to a ball valve
- Pressure relief valve present on exterior line - not tested
- **Check permits** for any alterations
- *Main water shutoff is visibly inspected only - the valve(s) is not tested for operation due to the potential for leakage*
- *We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection*
- *This inspection cannot determine certain plumbing defects such as pinhole leaks due to concealment in walls ceilings, floors, concrete slabs, etc. This inspection also does not determine or identify geographic areas that are prone to this issue. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area.*
- Recommend further consultation with a licensed plumber





## 8. Water Pressure

Observations:

- Recommended water pressure is between 55 to 80 pounds per square inch (psi)
- Water Pressure can fluctuate depending upon time of day and municipal service adjustments
- Recommend having a licensed plumber further evaluate
- **Pressure is higher than 120 psi, we recommend that a plumber further evaluate this high pressure as soon as possible**

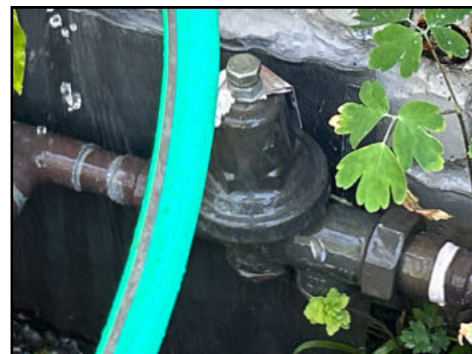


**Pressure is higher than 120 psi, we recommend that a plumber further evaluate this high pressure as soon as possible**

## 9. Pressure Regulator

Observations:

- Location: west side
- Location: at main valve area
- Regulator appears to be worn and older, **consult with a plumber** regarding upgrade options
- **Check permits** for any alterations
- **Visibly inspected only - the regulator is not tested for adjustment operation due to the potential for leakage**
- Recommend further consultation with a licensed plumber
- **Installed but pressure is above 80 PSI - recommend further evaluation by a plumbing contractor**



## 10. Sprinklers

Observations:

- Exposed PVC piping present – recommend servicing
- Sprinklers are beyond the scope of this home inspection. However, defects or problems were visible at the time of inspection. It is recommended that a qualified landscape contractor fully evaluate and service as needed.
- Check permits for any alterations
- Recommend landscape contractor or plumber to further evaluate



## 11. Fencing and Walls

Constructed of: Stucco

- Vinyl • Brick

Observations:

- Visible fencing/wall areas are worn and weathered - typical for the age of the materials
- Some wall/fence areas not visible for inspection due to vegetation/personal items
- Cracking/chipping small and typical for age at block - monitor for further cracking and repair as needed
- Vegetation or trees are affecting the fencing/walls in areas - recommend servicing
- Efflorescence present at masonry/concrete wall - this may be a sign of moisture intrusion or lack of drainage – further evaluation recommended
- Check for permits on all alterations
- Fence enclosures are not evaluated for security adequacy
- Some wall/fence areas not visible for inspection due to vegetation/personal items
- Property boundary lines and encroachment determinations are beyond the scope of a home inspection and are not inspected or included in this report. It is recommended that qualified professionals are consulted for evaluation if concerns exist in this area.
- Recommend an appropriate licensed contractor for further evaluation





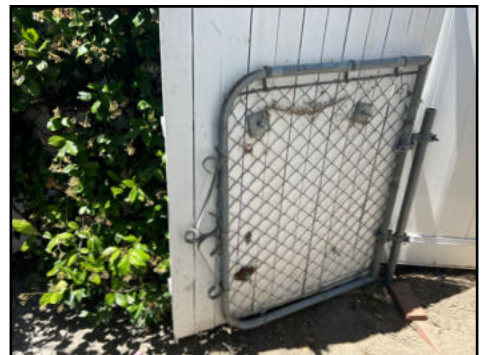
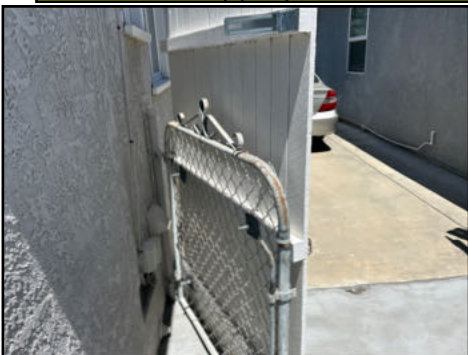
**Efflorescence** present at masonry/concrete wall - this may be a sign of moisture intrusion or lack of drainage – further evaluation recommended

## 12. Gates

Constructed of: Wood • Chain link

Observations:

- Operated on the day of the inspection
- Loose/worn hardware - typical for age
- Gate is sagging - recommend servicing
- Gate rubs at side/bottom - recommend servicing
- Check for permits on all alterations/modifications
- **Gates are not evaluated for security adequacy**
- **Recommend appropriate licensed contractor for further evaluation**



## 13. Planters

Observations:

- Some areas not completely visible for inspection due to soil/plants/vegetation
- Recommend adding drainage in planter areas to direct moisture away from the structure
- Recommend trimming trees or bushes that are in contact or proximity to home, as branches can abrade roofing or siding
- **Check permits** for any alterations
- **The Inspector cannot determine if planter areas are leaking into the structure, consult seller disclosures or obtain further evaluation of these areas for any moisture intrusion issues**

- **Recommend appropriate licensed contractor for further evaluation**
- **Trees or vegetation too close to structure areas - recommend servicing**



Trees or vegetation too close to structure areas - recommend servicing



Trees or vegetation too close to structure areas - recommend servicing

#### 14. Grading

##### Observations:

- No drains visible at the property at the time of the inspection, drains are recommended to divert water away from structure
- Zero Lot Line present - some areas around the structure are not accessible and not inspected
- Large trees/bushes/vegetation around the structure areas may have a long term affect on structure perimeter areas and the underground plumbing (recommend a sewer scope inspection for underground plumbing as needed).
- Check for permits on all alterations
- *This inspection cannot determine adequate drainage needs, the addition of drains may be needed in areas to help divert water away from the structure*
- *Steep hillsides, fire safety study and inaccessible areas on the grounds are excluded from this inspection.*
- **Recommend appropriate licensed contractor for further evaluation**



Zero Lot Line present - some areas around the structure are not accessible and not inspected

#### 15. Out Structures

##### Observations:

- **Out buildings, detached structures, play equipment, exterior BBQ areas, fire pits, bird baths, fountains/water features and above ground pools are not inspected. You are advised to **check permits** for any out structure(s) present - the home inspector is not a building code violation inspector**
- Shed present
- Exterior fire pit
- Pond/fountain present
- **Check permits** for the out structure(s) present - the home inspector is not a building code violation inspector



# ROOF

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion, maintenance, repair, or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair, and/or replacement by an appropriate licensed contractor may be required. The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions; no water or hose testing is performed during this inspection. Roof underlayment cannot be inspected, and its condition cannot be determined with this inspection. Water intrusion and moisture staining are not always visible during the inspection and can appear after rainfall. If there are concerns about possible roof leaks, the condition of underlayment, or determining remaining roof life, please contact a licensed roofer to perform an additional inspection. If any area of this section is marked in **red**, we recommend further evaluation prior to the close of escrow. If you are in need of an additional roofing consultation with a licensed roofer, please call our office. To schedule a roofing consultation with a licensed roofer, please call our office at 800-494-8998. This applies to all roof areas evaluated during this inspection. Remaining roof life can only be determined by a licensed roofer.

## 1. Condition

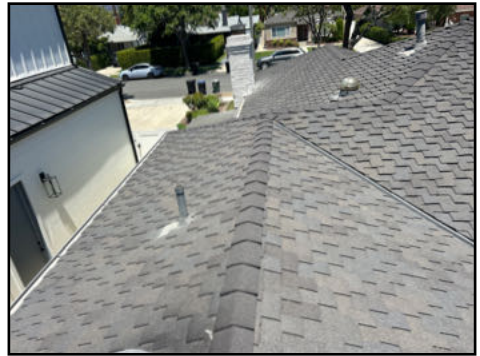
Information: Information: The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. Roof underlayment cannot be inspected, condition of underlayment cannot be determined with this inspection. Remaining roof life can only be determined by a licensed roofer. If there are concerns of possible roof leaks or to determine remaining roof life, please contact a licensed roofer to perform an additional inspection. To schedule a roofing consultation with a licensed roofer please call our office at 800-494-8998. This applies to all roof areas evaluated during this inspection • Inspection method - roof was walked • Materials are not original to structure - check installation permits

**Constructed of:** Asphalt shingles • Rolled materials

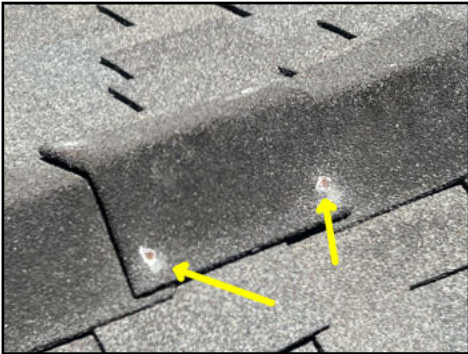
Observations:

- Worn and weathered materials present - typical for age and weather exposure - roof needs **maintenance**
- Evidence of prior repair/patching observed - consult seller for all past repairs and roof service history
- Patching observed in areas on roof materials - inspector is unable to guarantee the adequacy of these repairs - recommend maintaining a continuous water tight seal in these areas
- Debris present in areas - recommend cleaning roof area of all debris
- **Check permits** for any alterations/roof replacement
- **Some areas are not visible due to height/angle - recommend roofer to evaluate as needed**
- Recommend roofer to evaluate and determine remaining life of the roof materials
- **Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads**





**Patching observed in areas on roof materials - inspector is unable to guarantee the adequacy of these repairs - recommend maintaining a continuous water tight seal in these areas**



**Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads**



## 2. Flashings

Observations:

- Worn/weathered/rusted/bent - typical for age - recommend seasonal mastic **maintenance** to prevent moisture intrusion
- **Check permits** for any alterations/roof replacement
- **Recommend further evaluation by a licensed roofer**
- **Flashings lifting in areas - needs to be serviced as part of your preventative roof **maintenance****
- **No saddle/cricket at high side of chimney - needs to be serviced**
- **No kick-out flashing at roof to wall connection - needs to be serviced**



Flashings lifting in areas - needs to be serviced as part of your preventative roof **maintenance**



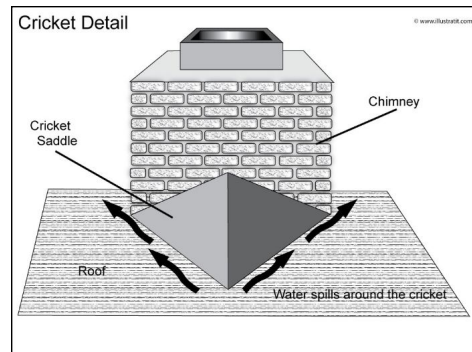
Flashings lifting in areas - needs to be serviced as part of your preventative roof **maintenance**



No saddle/cricket at high side of chimney - needs to be serviced



No kick-out flashing at roof to wall connection - needs to be serviced



## 3. Gutters and Down Spouts

Observations:

- Gutters are present at the structure - recommend cleaning and routine **maintenance** on gutter system to maintain good drainage
- Worn/older gutters - typical wear for age and weather exposure - annual **maintenance** is recommended



- **Check permits** for any alterations
- **Recommend appropriate licensed contractor for further evaluation**
- **Separating from structure/loose in areas - needs to be serviced**



Separating from structure/loose in areas - needs to be serviced

#### 4. Vents and Vent Caps

Observations:

- Worn/weathered cap(s) – recommend seasonal **maintenance** to ensure that caps do not become loose or develop other defects
- **Check permits** for any alterations
- **Recommend appropriate licensed contractor for further evaluation**
- **Mastic at vent(s) is weathered and cracked - needs to be serviced and resealed at all penetration points**



## 5. Chimneys

### Observations:

- Worn/weathered chimney – recommend seasonal **maintenance** and care
- Flashing at base of chimney appears to need some **maintenance** to ensure a continued waterproof seal
- Minor deterioration - typical for age and weather exposure
- Check for permits for any alterations
- **Chimney inspection includes all exterior accessible areas of chimney - interior cavity/flue is not inspected, consult a licensed chimney sweep contractor for further investigation and inspection of the internal areas of the chimney.**
- **Recommend appropriate licensed contractor for further evaluation**



## 6. Spark Arrestors

### Observations:

- Worn/weathered - typical for age and weather exposure



### 7. Sky Lights



### 8. Solar Light Globes

Observations:

- Worn/weathered – recommend seasonal **maintenance** and sealing of all areas to ensure no water intrusion
- **Check permits** for any alterations
- **Recommend appropriate licensed contractor for further evaluation**

## Glossary

| Term           | Definition   |
|----------------|--|
| A/C            | Abbreviation for air conditioner and air conditioning  |
| CSST           | Corrugated Stainless Steel Tubing (CSST) is a type of conduit used for natural gas heating in homes. It was introduced in the United States in 1988. CSST consists of a continuous, flexible stainless-steel pipe with an exterior PVC covering. The piping is produced in coils that are air-tested for leaks. NOTE: Proper bonding or grounding cannot be confirmed by the Inspector, we advise you to check permits for installation of this type of gas line and that proper bonding or grounding has been completed.  |
| Check permits  | Home Inspectors cannot determine modification or alterations dates within any structure. The Home Inspector cannot determine building code violations. You are advised to check with the local city or county building and safety office regarding any planned or paid for construction/alterations permits to ensure that any alterations made to the structure were installed and or built to the proper building code standards for the date of the alteration. You are further advised to consult with your Realtor and the Seller/disclosures to understand the details of any and all alterations to the structure and/or contractor warranties that may apply to the alterations. |
| Cold Joint     | A cold joint is an undesirable discontinuity between layers of concrete or stucco that occurs when one layer of material is allowed to harden before the rest of the material is installed in what is meant to be a single, solid mass. Cold joints are often found where construction additions or alterations have been made to a structure after the original building materials were installed (example: room additions and window/door additions can show signs of a cold joint at the patching/connection point of the old and new materials.  |
| Combustion Air | The air flow openings designed to bring fresh outside air to the furnace and/or hot water heater or other appliances to be used in the combustion of fuels and the process of venting combustion gases. Normally, two separate supplies of air are brought in: one high and one low.   |
| Efflorescence  | Efflorescence is a crystalline or powdery deposit of salts often visible on the surface of concrete, brick, stucco, or natural stone surfaces. It occurs when water leaves behind salt deposits on the masonry surface.  |
| Expansion Tank | An expansion tank or expansion vessel is a small tank used to protect closed (not open to atmospheric pressure) water heating systems and domestic hot water systems from excessive pressure. The tank is partially filled with air, whose compressibility cushions shock caused by water hammer and absorbs excess water pressure caused by thermal expansion.  |
| GFCI           | A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.  |

|  |   |
|--|---|
| Galvanized   | <p>Although galvanized pipes have a general life expectancy of 50 years, their lifespan depends on many factors, from the frequency of use to the amount of water pressure. As such, they might come in need of replacement sooner or later than expected.</p> <p>Defects in galvanized pipes can manifest in multiple ways. The mounting build-up of mineral deposits resulting from corrosion can obstruct water pressure. Low water pressure around the house is usually a sign of a massive build-up of mineral deposits in galvanized pipes. Besides obstructing water pressure, the mineral build-up can also contaminate the water. They can give rise to discoloration in the water. Sometimes, discolored water from rusty galvanized pipes can leave visible brown stains on a porcelain sink. And as the corrosion eats deeper into the pipes, it weakens their integrity, inducing leakages across them. If any part of the galvanized pipes in an old house is leaking, then you should see further evaluation by a licensed plumber for other leakage spots that could break forth owing to years of gradual corrosion.</p> |
| Gate valve   | <p>A valve that opens by lifting a barrier (gate) out of the path of the fluid. Gate valves require very little space along the pipe axis and hardly restrict flow of fluid when the gate is fully opened. While gate valves are commonly used in residential plumbing plans, these valves do have a history of sticking when left in the open or closed positions for long periods of time while under pressure. Sticking gate valves will often fail when attempting to turn off or on which is why we recommend upgrading a gate valve to a ball valve.</p>  |
| Maintenance  | <p>Performing unscheduled repairs to correct deficiencies that can occur during normal use and wear of building materials and/or systems within a building or home (this is called "corrective" maintenance). "Preventive" maintenance refers to regularly schedule inspections, services, adjustments and replacements to prevent damage or abnormal wear. Recurring maintenance are generally preventive maintenance items suggested by the manufacturer to help maintain life expectancy of building materials or components within a building or home. Emergency maintenance is considered to be an unscheduled repair to correct a deficiency that may lead to personal injury or property damage if left unaddressed.</p>   |
| N/A  | Not accessible, not inspected   |
| PVC  | Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.   |
| Recommend appropriate licensed contractor for further evaluation | Recommend appropriate licensed contractor for further evaluation. See our Vendor Directory.   |
| consult a HVAC contractor  | Recommend evaluation by a licensed HVAC contractor. Our HVAC/Plumber vendor 714-735-0726.   |
| consult termite report   | Recommend evaluation by a licensed termite inspector. Our Termite vendor 562-573-1120.  |
| consult with a plumber   | We recommend repair by a licensed plumbing contractor. Our HVAC/Plumber vendor 714-735-0726   |





## DISCLAIMERS

**Asbestos:** The inspector is not licensed by the EPA and cannot determine, report on or test if asbestos materials exist in any area throughout the structure. Any structure built prior to 1978 may contain asbestos in one or multiple building materials used during that era of construction. If you have concerns about possible asbestos, it is solely up to you to arrange for asbestos testing by an appropriate licensed contractor. The Elite Group Property Inspections will not engage in any claims regarding asbestos.

**Interior:** Limited inspection on all occupied/staged structures. Personal property, furniture, moving boxes or other items are not moved and will prevent a complete inspection (this applies to all areas inside and outside of the structure being inspected). We recommend checking for permits on all additional construction or alterations including, but not limited to: window replacements, patio roofs, out structures, garage and attic conversions, roof alterations, etc. performed on the property after original construction. If multiple people are present at or arrive during this inspection and enter areas or operate appliances or fixtures after they have already been inspected or reported on by the home inspector; the home inspector is not responsible for the condition of these items or areas after they are inspected; the home inspector does not go back and re-inspect the items/areas during this limited time inspection. The Inspector cannot determine if past or present hidden pet damage exists in any part of the structure. The inspector is not a code violation inspector and will not report on building code requirements in any way. Built-in central vacuum systems are not inspected. Interior window shutters/blinds/coverings are not tested or inspected as part of this home inspection (this includes all windows at the structure). Tint/film over windows is not inspected and often is bubbled/loose/peeling/scratched - tint/film (if present) can prevent an accurate inspection of the window glass areas. Only accessible windows and doors are inspected, personal items are not moved to access or test all doors and windows. Broken double pane seals cannot be determined with this inspection, dirty windows can hide signs of condensation between panes. Vertical operating windows are known to have sash cable/spring problems, although the problem may not exist at the time of the inspection, we recommend that you check them often and repair these windows upon discovery of any sash cable or spring problems. Only the visible and accessible switches/outlets are testing during this inspection, personal items are not moved to access any outlets/switches behind them. Fireplace is visually inspected only, the fireplace is not lit to test flame color or condition. The internal cavity of the fireplace is not inspected. It is recommended that you have an internal inspection of the chimney and/or a Gas Company evaluation of the fireplace beyond the scope of this inspection. Ceiling fan mounts cannot be checked by the inspector. Smoke and carbon monoxide detectors that are out of reach are not tested for functionality, all battery operated smoke detectors should be within reach for testing and maintenance. We recommend any mold or moisture damaged areas noted in the report be further evaluated for cause and correction by the appropriate licensed contractor.

**Bathrooms:** Bathtub and sink overflow drains and spa tub jet hoses are not inspected and leaks in these areas cannot be detected with this inspection. Shower pans are not leak tested and cannot be determined if properly water-proofed by the inspector, consult the termite report for any shower pan tests. Exterior or interior access panels are only inspected if readily accessible and operable (not sealed or painted or screwed shut), second story access panels are not opened. The home inspector cannot determine if shower pans or tubs are properly pitched for drainage. We recommend upgrading all electrical outlets to GFCI protection within 6 feet of all potential wet locations, however this may not be a requirement for the sale of a home based on the age of the home (this also applies to kitchen sinks, wet bar sinks and laundry sinks).

**Kitchen:** Appliances receive a limited inspection for basic functionality only, additional features are not tested. Appliances are NOT disassembled to evaluate the internal working parts of each appliance. The inspection cannot determine how well the dishwasher cleans the dishes. Disposal blades are not inspected. It cannot be determine how well the oven, range/cook-top or microwave cook food. Age, remaining life, BTU's, CFM's and other forms of efficiency or effectiveness are not determined with this inspection. Water purifying systems, instant hot systems and water softeners are not inspected. Non built-in appliances and built-in refrigerators are excluded from this report.

**Laundry:** Supply valves, laundry drain, gas valve and dryer vent cannot be tested whether a washing machine is present or not. Washer and dryer units are not inspected or turned on for testing during this inspection and are excluded from this report. Washer and dryers are not moved to inspect the walls/floors/other components behind them. Water supply valves that are left in the on position for a long period of time tend to leak when turned off or do not shut off completely. Drains are not pressure tested.

**Attic:** The inspector cannot determine, report on or test if asbestos materials exist in any area throughout the structure. When attic insulation is covering ceiling joists, we cannot completely inspect some areas due to inspector safety concerns. Most attics are not completely accessible due to limited space. Attic insulation and limited space will prevent the inspector from performing a complete inspection of the attic area, not all areas are accessible and will be determined at the inspector's discretion. The Inspector does not determine the R-value of insulation present or the efficiency or effectiveness of HVAC duct layout or design. Attic insulation is not touched, moved or otherwise disturbed during the inspection. Temperature sensors and fans for attic exhaust systems are not tested. Rodents: If there is visible evidence of rodents or other pests, it will be noted as such. Most rodent/pest infestation exists under attic insulation, in walls or in areas not visible to the inspector and cannot be identified with this inspection. It's recommended a pest inspection be performed beyond the scope of a home inspection whether or not evidence exists.

**Garage:** The garage is often the location where most storage occurs and receives a limited inspection when items are present. Personal items or other materials/possessions are not moved in any way to provide access to areas for inspection - areas of rafters, ceilings, firewall(s) or other walls should not be considered fully inspected if personal items or storage is present - defects may be present behind these items and not visible to the inspector at the time of inspection. Doors, windows, cabinets, DISCLAIMERS CONTINUED

counters, closets, slab areas, electrical areas, ventilation, plumbing areas or soffit(s) not fully accessible are not inspected, tested or evaluated. Firewall: fire rating labels are often not visible on finished drywall and cannot be determined with this inspection. Garage doors, hardware, openers and associated safety devices can only be inspected if these areas are clear of stored items and can be safely operated without disturbing other items in the garage. Garage doors, hardware and openers require periodic maintenance and servicing. Remote controls for openers are not tested. Door opener activator button should be minimum 54-inches above floor for safety.

Pressure sensors/systems are generally not tested due to the risk of damage if they are not properly operating - we recommend having a general service completed prior to regular use. We recommend checking permits for any converted garage areas or additional walls/ceilings or other alterations made to the garage.

**Heating & Air Conditioning:** This report does not indicate if the heater is on recall, a follow up with RecallChek.com is recommended. Electronic or Ultra violet air filters are not inspected. Inspector cannot determine if there is a crack in the firebox or if carbon monoxide is leaking in any part of the system. Not all registers can be tested for pressure flow, due to location, condition and operation of the heating & air conditioning system. Adjustable registers that are closed are not opened by the Inspector. Missing manufacturer labels prevent RecallChek (this is true for all appliances/systems at the structure). Age, remaining life, size or efficiency cannot be determined by the Inspector. The air conditioning system freon or other refrigerant levels are not checked or determined if leaking by the Inspector. Heaters, coil boxes, condensers and air compressors are NOT disassembled to evaluate the internal working parts. This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size or any other mechanical efficiency. Radiant heat is not inspected.

**Water Heater:** The water heater is visually inspected only, the combustion/pilot doors are not removed for flame or burner condition inspection due to the potential for draft to burn out the pilot flame. Circulation pumps, TPR Valves and pressure tanks cannot be tested with inspection. Solar water heaters are not inspected. Tankless units that are not original to the structure should be further evaluated by a qualified tankless technician as there are many aspects that are beyond of the scope of a general home inspection. Age, remaining life, size or efficiency cannot be determined by the Inspector. Gas lines are not measured or sized for water heater needs. The Inspector cannot light the pilot flame on the water heater or any other appliance where a pilot flame is not already on.

**Roof:** The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. If there are concerns or signs of possible roof leaks, please contact a licensed roofer to perform an additional inspection. Remaining roof life can only be determined by a licensed roofer. This applies to all roof areas evaluated during this inspection. Tile roofs, metal roofs or roof areas not accessible with a 12-foot ladder will receive a limited inspection from the ground or eaves only. Tile, metal or other materials that can be damaged will not be walked on by the Inspector. Chimney cavities are excluded from this inspection, recommend an internal chimney inspection be performed beyond the scope of the home inspection. Solar panels and tube globes are excluded from this report. Solar panels will prevent inspection of roof areas beneath them.

**Electrical/Gas:** Electrical panels are visually inspected only, the inspector does not perform a load calculation to determine service capacity adequacy. Some wire types cannot be determined due to wire casings cover wires entering the breakers. Panels with excess wiring are not completely visible due to amount of wires inside panel. Breakers are visually inspected only - the inspector does not perform any electrical stress tests on the system to determine if a breaker trips properly - including AFCI and GFCI breakers (consult an electrician for further evaluation, if this is a concern). Electrical and gas fires due to poor installation of wiring and faulty gas pipes cannot be determined by the inspector. Only accessible GFCLs with test and reset buttons are tested, the inspector does not determine which GFCI outlets may be linked to other areas of the structure. Ungrounded outlets may be present in older structures (pre-1965) even if the main or sub panels have been upgraded. The inspector cannot determine if all wiring has been updated. Expect to find ungrounded outlets in older homes (pre-1965) - this is not a defect. We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection. Carbon monoxide poisoning cannot be detected with this inspection, including all gas and propane systems interior and exterior of the structure. Gas supply valves are not turned or operated during this inspection. The internal condition of gas appliance ventilation exhaust pipes cannot be detected. Pilot lights and fire places are not lit by the inspector at any time, for any reason. It is the responsibility of the client to ensure that the main gas and electrical systems are on prior to the inspection. The requirement of gas line sediment traps is not determined by the inspector.

**Exterior Areas:** For all wood areas or damaged wooden areas and moisture problems (mold/mildew), consult the termite inspection report. See interior section of the report for additional window and door information. In no way, shape or form can the inspector determine if the exterior of the home is water tight or is built to prevent moisture intrusion, no hose or water testing is performed at this inspection. Stucco and siding require periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions. Fire pits, exterior fireplaces and exterior BBQ's are excluded from this inspection. We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection. Property boundary lines and encroachment determinations are beyond the scope of a home inspection and are not inspected or included in this report - Consult with another qualified professional as needed for evaluation if concerns exist in this area. Zero lot lines prevent a complete inspection of areas on other properties. Common areas controlled by Home Owner's Associations are not included in this inspection. Areas not visible or accessible due to height/angle/vegetation/other forms of limited access are not included in this inspection. Inspector does not use specialized instruments to detect moisture, if any, under stucco or siding surfaces.

**Grounds:** This inspection cannot determine if patio and porch roofs, balconies or patio enclosures are water tight, no water/hose

testing is performed. The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems and electric outdoor heating systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches, this is not a defect. Sprinklers on timers are not inspected, consult DISCLAIMERS CONTINUED

seller/HOA. Above ground pools, ponds, fountains, waterfalls, birdbaths, and associated equipment or pumps used for these items, are excluded from this report. Steep hillsides and inaccessible areas on the grounds are excluded from this report. It is highly recommend that all structures built on hillsides and slopes have a geological inspection performed to determine if the hillside/grading is stable.

This inspection cannot determine ground movement or drainage issues, the addition of drains may be needed in areas. Fences, walls or gates are not evaluated for security or design. The Inspector cannot determine if planter areas are leaking into the structure, consult seller disclosures or obtain further evaluation of these areas for any moisture intrusion issues.

**Foundation:** Sump pumps, septic tanks and sewer drain pipes from structure to street are excluded from this inspection. The Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction (this is also true for attic spaces). Some areas of a raised foundation may not be accessible due to limited space, plumbing piping, duct work obstructions, insulation, soil levels and stem walls. The inspector will not traverse any area deemed unsafe or where damage may be caused as a result, this is up to the sole discretion of the Inspector (this is also true for attic spaces). It is not always possible for the inspector to view every side/angle/connection of all plumbing pipes due to plumbing design/layout/approach angle/etc. Underground plumbing/pipes cannot be visually inspected. Pressure testing is not performed during this limited inspection. Drain scope inspections are recommended whether a defect is detected or not. Slab foundations are often covered and not visible; therefore the inspection is limited. Slab foundation leaks cannot be determined by the home inspector.

**Pool:** Solar panels/heating systems are excluded from report. Valves that are not labeled for the pool and/or spa jets are excluded from this report and may prevent proper testing and inspection. Underground plumbing cannot be inspected. Automatic pool fill float valves and electronic chlorine dispensers are excluded from this report. Ultraviolet light and/or salt chlorine generator type water treatment systems not included in this inspection. Water chemistry is not tested. Control panels/fixtures on the side of the pool or spa and any remote controls are not included in this inspection. Portable spas have a limited inspection - no internal parts are inspected. The inspector cannot determine if a pool or spa leaks. The inspector cannot determine the remaining life of any of the pool equipment. Safety pressure relief valves (if present) are not operated and are excluded from inspection; an internal evaluation of the heater parts is beyond the scope of this inspection. It is the buyer's full responsibility to ensure the pool area is in full compliance with the safety laws and codes. If there is no self containing fence around the pool, all doors from the structure leading to the pool and spa must be equipped with safety alarms and secondary latches above the reach of children. All gates leading to the pool must self close and be equipped with a latch five feet or higher from the ground. The fencing in all cases must be five feet tall.

**Plumbing:** Plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed). Corrosion or rust is often a sign of slow leaking and should be further evaluated by a plumber if detected in the inspection or photos. If galvanized or cast iron plumbing is present in any part of the structure it is recommended that plumber further evaluate the plumbing system due to the age of the materials. Underground piping is not visible to the inspector, therefore cannot be evaluated by the inspector. Slab foundation leaks cannot be determined by the home inspector. The "plumbing type" section of the report includes a percentage approximation of the plumbing type, it is not a guarantee of the plumbing type in all areas. The inspector cannot see plumbing type or pinhole leaks inside walls, floors, slabs or other areas that may be covered. Leaks can occur after the inspection and are not the responsibility of the Inspector. Existing leaks, hidden leaks, or other leaks that occur from normal testing/inspection and subsequent damage from plumbing leaks are not the responsibility of the Inspector. This inspection also does not determine or identify geographic areas that are prone to defective materials or pinhole leaking issues. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area. Septic tanks, wells, pumps and associated equipment, water supply quantity and quality are not included in this inspection.

**\*Contractor References:** This report may contain a contractor reference and contractor contact information. Choosing a contractor is done solely at the risk of the client. The Elite Group cannot control the events that take place between contractors and customers and therefore cannot be held liable for any problems that may occur. References to contractors, their products and services, are provided "as is" without warranty of any kind, either expressed or implied. In no event shall The Elite Group be held liable for any incidental, indirect or consequential damages of any kind resulting from the information provided by each company and any business conducted as a result of such information. It is highly recommended that you check with your local licensing or business board for up to date and accurate information. When you contact a contractor you should:

1. Ask for and contact at least two customer references.
2. Find out how long they have worked in your area (familiarity with local building codes is important).
3. Ask if they are bonded (insured for damages and injuries on the job) Get a signed estimate for all parts and labor/installation.
4. You may wish to contact more than one contractor to ensure you are getting the best service and materials for your money.

This disclaimer applies to all references found on any and all of our report pages

SEE CONTRACT FOR ADDITIONAL INFORMATION AND DESCRIPTION OF ITEMS