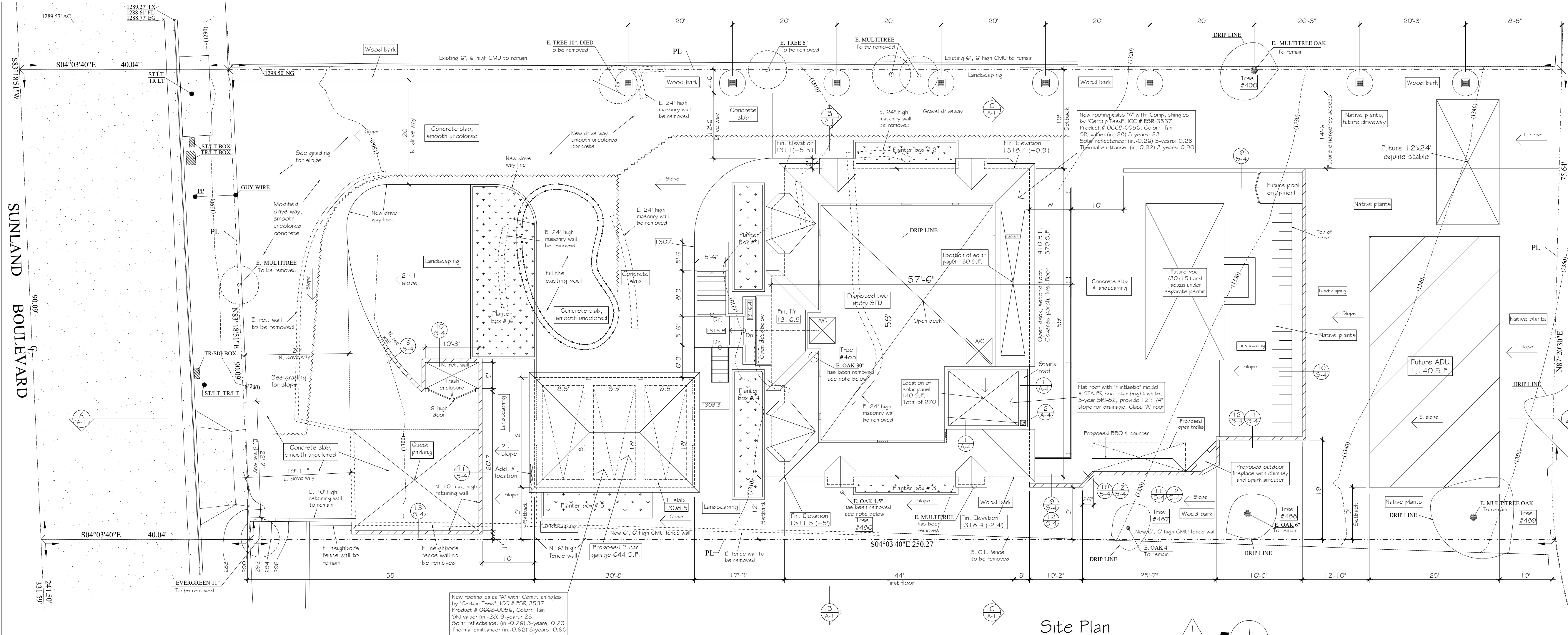




AREA CALCULATION:	
Garage:	644
First floor:	2,568 S.F.
Second floor:	2,617 S.F.
Roof access:	102 S.F.
Rear covered porch:	570 S.F.
Total floor area:	
6,501 S.F.	
Future second unit:	1,140 S.F.
Total proposed floor area:	7,641 S.F.

LOT INFORMATION:	
Lot #	Portion of lot # 64
Tract #	West portion of Tujunga Ranch
APN:	2546-012-024
Lot area: 22,719.5 S.F.	
Zone: RE40-1-K	
Average slope in the lower portion: 13%	
Average slope in the upper portion: 24%	

RFA Calculation:	
Total floor area:	5,320 S.F.
Garage:	644 S.F.
Covered porch:	583 S.F.
Total area:	
6,547 S.F.	
Total allowed:	
7,241 S.F. OK	

Area calculation for School District:	
First floor:	2,630 S.F.
Second floor:	2,630 S.F.
Total floor area:	
5,320 S.F.	

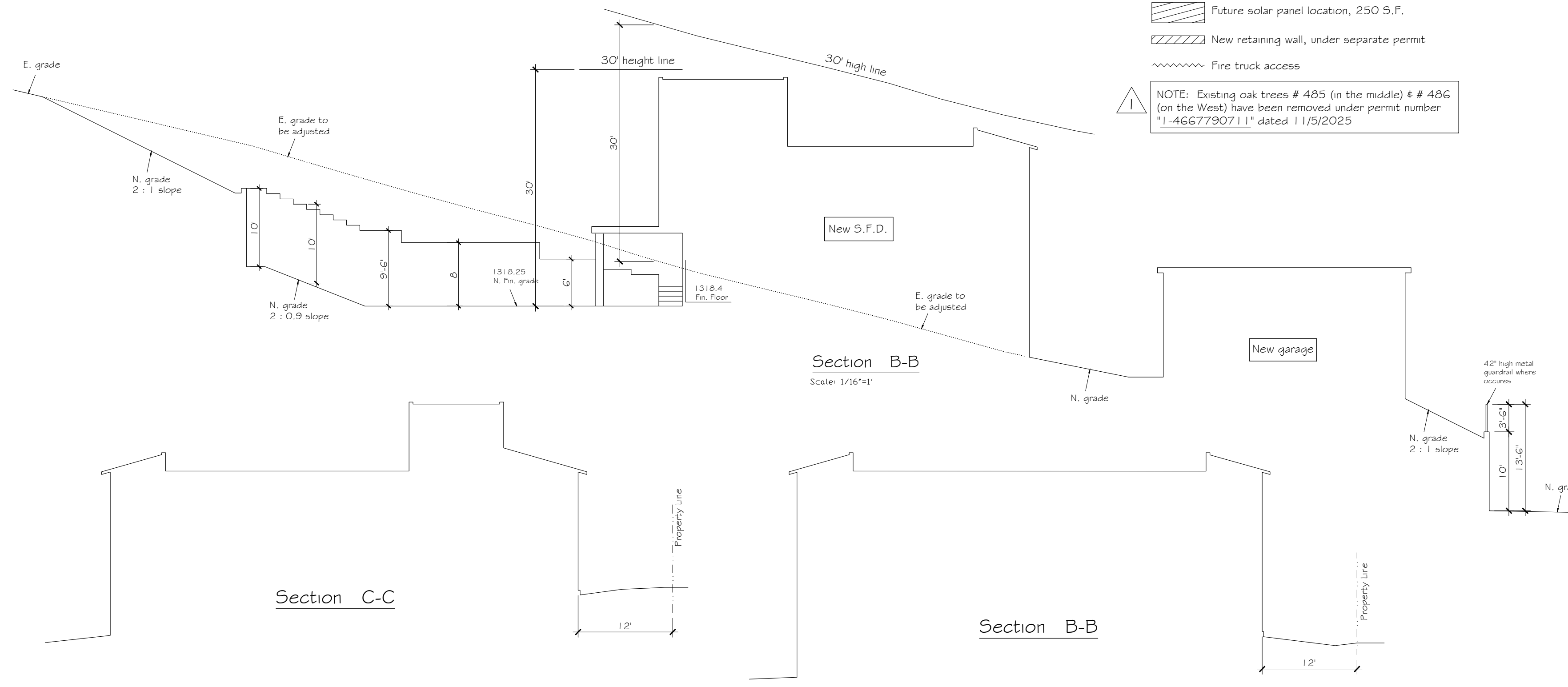
Total volume of dirt removal:	3200 cubic yards
-------------------------------	------------------

AREA CALCULATION FOR (BHO):	
Garage:	244 S.F.
First floor:	2,568 S.F.
Second floor including the open area between stairs:	2,617 S.F.
Roof access:	102 S.F.
Rear covered porch:	570 S.F.
Total floor area:	6,101 S.F.
Total proposed floor area:	6,101 S.F. (OK)
Total floor area allowed:	7,241 S.F.
Notes:	
1- Garage is 644, 400 exempt & 244 to be counted.	
Proposed total living area:	
5,287 S.F.	
Proposed three car garage:	
644 S.F.	

Site Plan

- New oak tree per landscaping plan
- Future solar panel location, 250 S.F.
- New retaining wall, under separate permit
- Fire truck access

NOTE: Existing oak trees # 485 (in the middle) & # 486 (on the West) have been removed under permit number "1-4667790711" dated 11/5/2025



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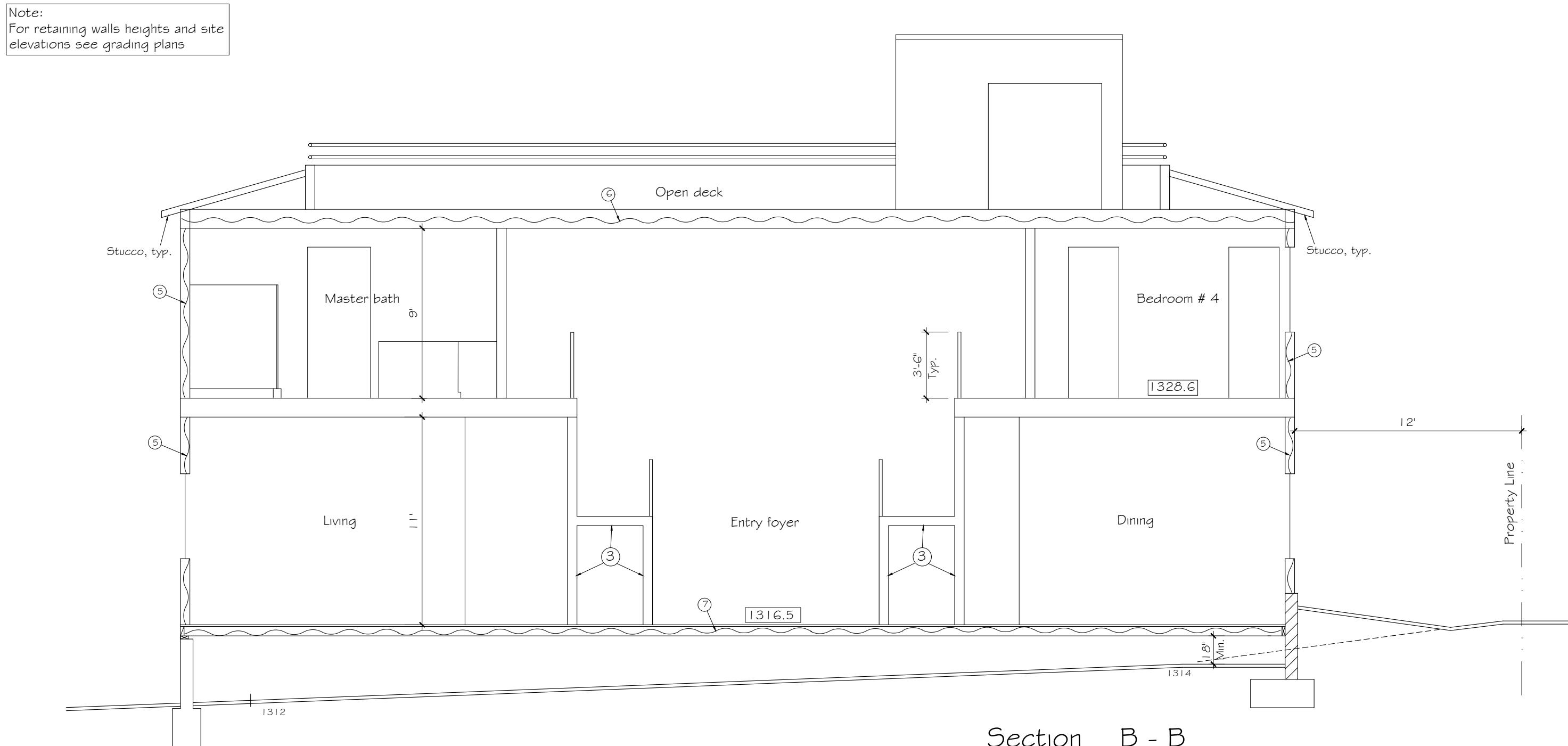
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askarch@gmail.com

Owner: Armine Manukyan

Job Add.: 10294 Sunland Blvd., Sunland 91040

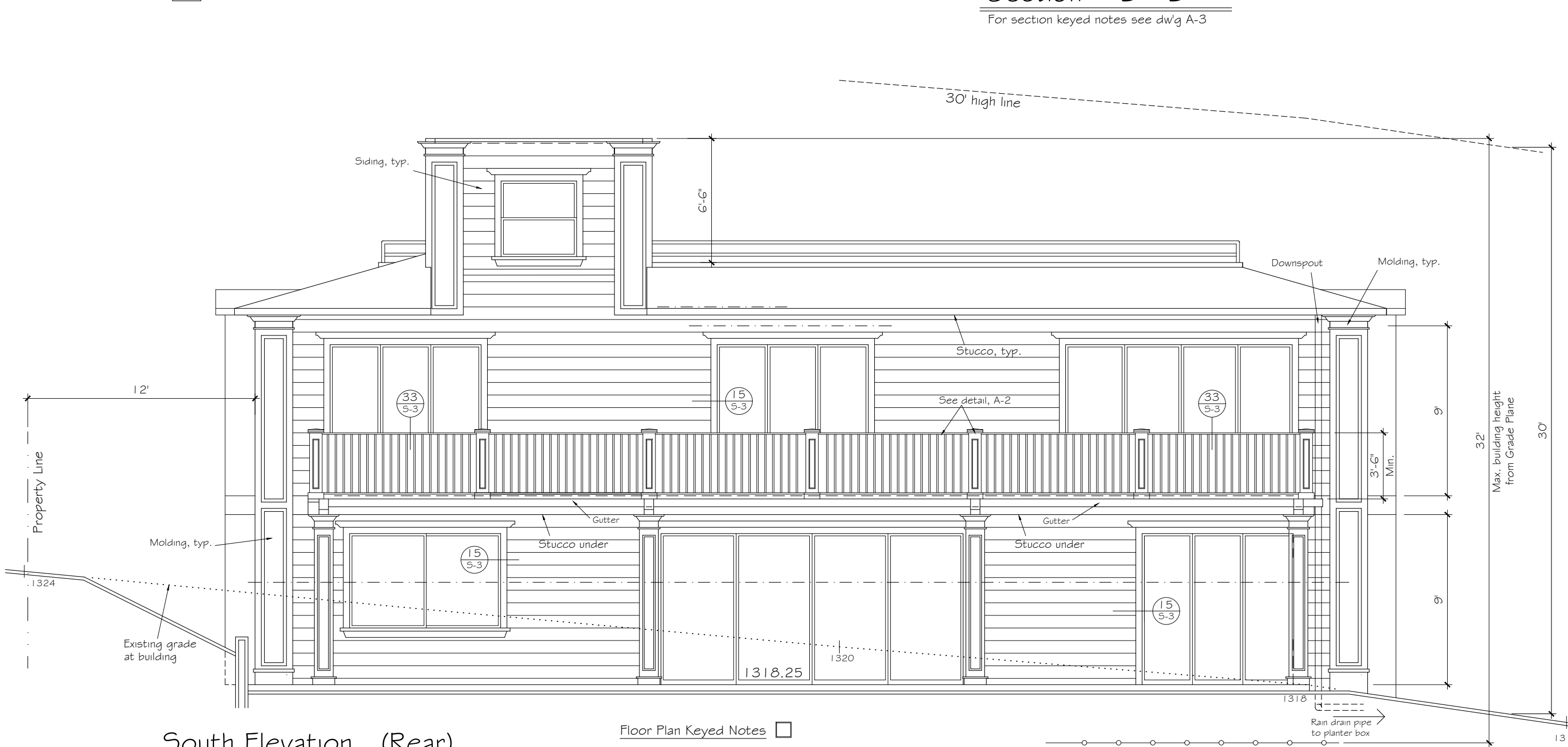
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Scale:	3/32" = 1'
Drawn:	
Job No:	17 - 11
Sheet:	A-1
Of	_____ sheets

Note:
For retaining walls heights and site elevations see grading plans

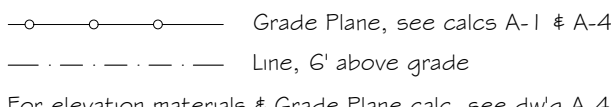


Section B - B

For section keyed notes see dw/q A-3



South Elevation, (Rear)



For elevation materials & Grade Plane calc. see dw'g A-4

Door schedule					
Sym.	Mat.	W	H	Thk.	Remarks
(1)	Wood	2 x 3'	8'	1 3/4"	Entry door with 24" sidelights, 20 minutes fire rated
(2)	Wood	32"	8'	1 3/4"	
(3)	Wood	3' x 3'	8'	1 3/4"	Master bedroom door
(4)	Alum.	6'	8'		Sliding closet door
(5)	Alum.	5'	6'-8"		Sliding closet door
(6)	Wood	32"	6'-6"	1 3/8"	1 3/4" thick for garage entry, 20 minutes fire rated
(7)	Vinyl	2 x 3'	6'-6"		French door temp & dual glazed
(8)	Metal	32"	7'		
(9)	Metal	9'	8'		Garage door
(10)	Vinyl	4 x 4'	8'		Bi-fold door, temp & dual glazed
(11)	Vinyl	3 x 32"	8'		Bi-fold door, temp & dual glazed
(12)	Vinyl	2 x 3'	8'		French door with 24" sidelights temp & dual glazed

Window schedule					
Sym.	Type	W	H	Mat.	Remarks
(A)	Casement	3'	6'	Vinyl	Dual glazed, tempered
(B)	Fixed	5'	6'	Vinyl	Dual glazed, tempered
(C)	Awing	3'	6'	Vinyl	Dual glazed, tempered. Opens from top
(D)	Casement	3'	4'-6"	Vinyl	Dual glazed, tempered, see note below
(E)	S. hung	3'	4'	Vinyl	Dual glazed, obscure glass for bath
(F)	Casement	3'	4'	Vinyl	Dual glazed, obscure glass for bath
(G)	Sliding	8'	5'	Vinyl	Dual glazed, tempered
(H)	Sliding	5'	4'	Vinyl	Dual glazed, tempered
(J)	S. hung	4'	4'	Vinyl	Dual glazed, tempered, bottom fixed

* The opening is 34'x58" (12.7 S.F.) and sill is 43" above fin. floor OK

NOTES:

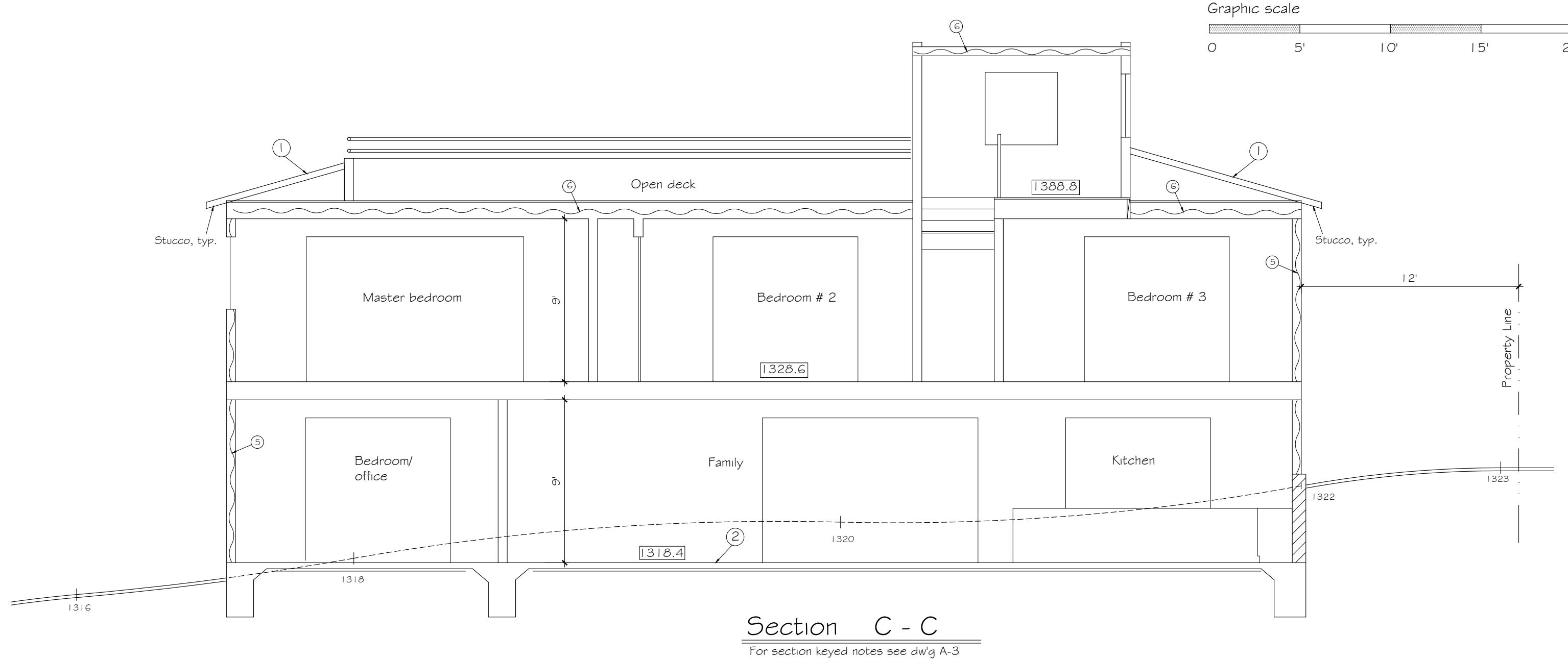
- 1 - Garage door shall resist intrusion of embers by preventing gaps between doors and door openings at the bottom, sides, and tops of doors, from exceeding 1/8" gaps. Gaps between doors and door openings shall be controlled by weather-stripping, door overlaps, and/or garage door jams and seals as needed with metal flashing.
- 2 - Automatic garage door openers for vehicle doors serving a residential building shall be equipped with a battery backup function.
- 3 - A Min. of 6" of metal flashing or noncombustible material applied vertically on the exterior of the wall shall be installed at the ground, decking, and roof intersections.

Floor Plan Keyed Notes ☐

2. Wall cabinet
3. Base cabinet
4. Double sink with garbage disposal
5. Under cabinet dish washer, provide cold/ hot water & drain
6. Gas burning range with hood (energy star)
7. Refrigerator, provide cold water and power
8. Heater, light & fan, Min. rating of 50 CFM, energy star, no heater in laundry & powder room. Fan/switch be ENERGY STAR compliant and be ducted to terminate to the outside of the building.
9. Fans, not functioning as a component of a whole house ventilation system, must be controlled by a humidity control.
10. Hard wired smoke detector and carbon monoxide alarm in bedrooms and hallway leading to the bedrooms, interconnected
11. All shower compartments regardless of shape shall have Min. of finish interior area of 1.024 sq. inch and also capable of enclosing 30" x 72" tile with non absorbent material enclosure Min. 72" high from drain level. Provide tempered glass enclosure, verify enclosure for existing showers.
12. Bath tub, provide 72" Min. moisture resistant material 72" Min. height from drain level and 12"x12" access door for plumbing
13. Washer, provide power, hot and cold water
14. Dryer, provide under floor vent to out (1/4 Max. one elbow), gas and power
15. Shelf and pole
16. Water heater, provide gas, 50, 54, inch min. vent top and bottom of door vent to roof. Provide strap per city of LA mechanical and BSHI code for gas vent
17. Gas burning near direct-vent, sealed combustion type fireplace, see drawing G-1 for spec sheet
18. A/C unit, heater shall be capable of maintaining a Min. room temperature of 68 degrees F. at 1' from 2" inside above the floor & 2' from ceiling walls in habitable rooms
19. Stairs, 7.5" Max. riser, 10" Min. treads & G-6/B-1 headroom, for curved stairs provide 7.5" Min. clear tread at a point 12" from the nose of stairs
20. 42" Min. high guardrail, 36" high from stair's nosing, see detail S-3
21. Provide 5/8" type "X" gyp. board for under floor walls and ceiling
22. 30x30x3" Min. attic access door (above)
23. Smart thermostat, see drawing G-1 for spec sheet

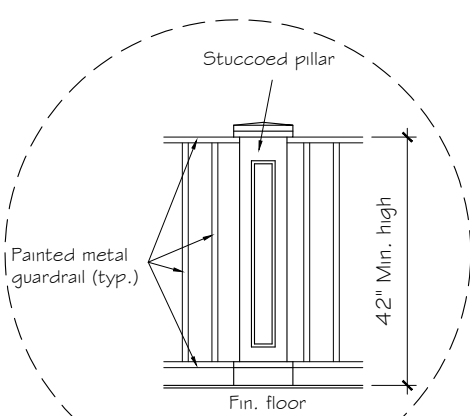
Notes:

- 2 - The panel or subpanel shall provide capacity to install a 40-ampere, NMC, dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
- 3 - The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as EV CAPBLE. The reserved termination location shall be permanent and visibly marked EV CAPABLE.
- 4 - The main electric service panel shall have a reserved space to allow for installation of a double pole circuit breaker for electric service panel installation. The reserved space shall be positioned at the opposite (load) end from the input feeder location or main circuit and shall be permanently marked as "For Future Solar Electric".

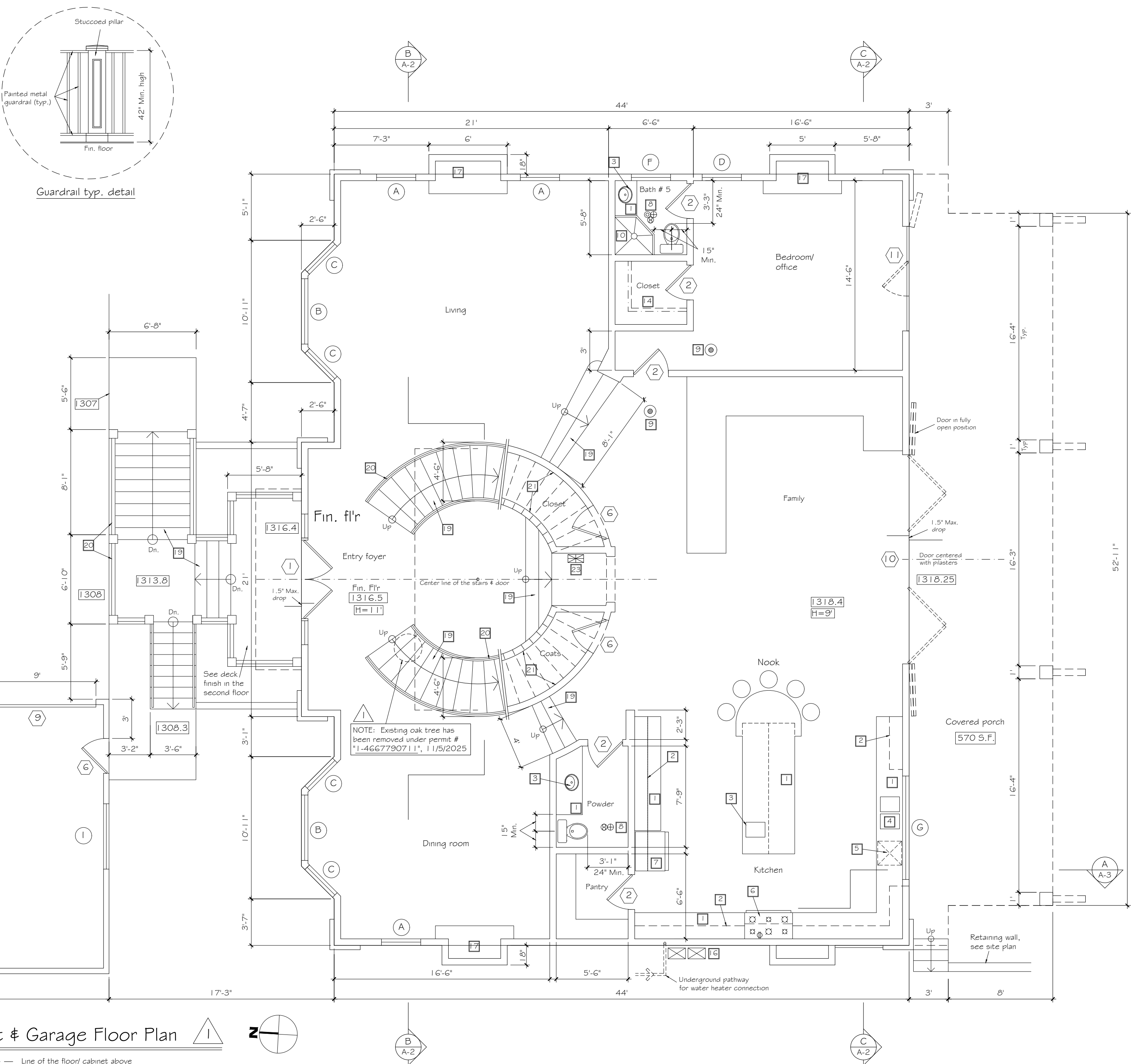


Section C - C

For section keyed notes see dw'g A-3



Guardrail typ. detail

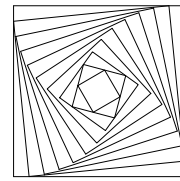


First & Garage Floor Plan

— — — — Line of the floor/ cabinet above

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	Contractor to check the drawings and specifications before starting the construction.	

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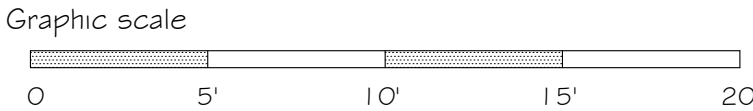


Owner: Armine Manukyan
Job Add.: 10294 Sunland Blvd., Sunland 91040

Date: 09/14/2011
Scale: 3/16" = 1'-0"
Drawn:
Job No: 17 - 111
Sheet
A-2
Of 11

Note:
For retaining walls heights and site
elevations see grading plans

For plan keyed notes see drawing A-2

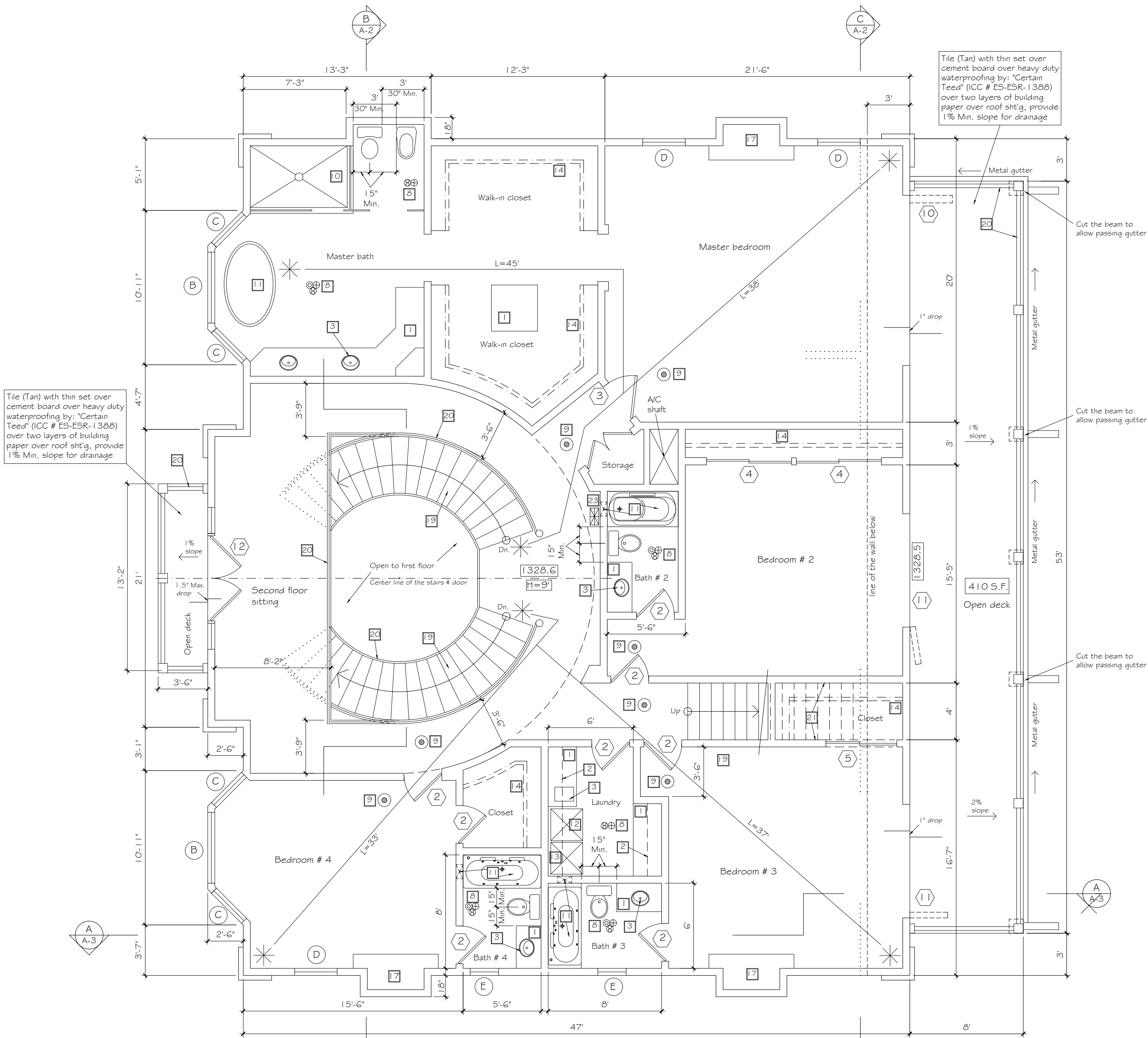


Section Keyed Notes

- Roofing class "A" with comp. shingles or hot-mopped over building paper over 1/2" CDX plywood, both by 'Certain Teed' (ICC for shingles: ESR-3537, ICC for hot mop: ESR-1389)
- 4" slab on grade and slab footing per detail "1" 0' 5'-3' A-4, provide 5" thick slab for garage.
- 5/8" gyp. board, provide 5/8" type "X" gyp. board for under stairs wall & ceiling areas.
- Conc. or wood steps, 10" Min. tread, 7.5" Max. rise
- R-15 insulation (wall)
- R-30 insulation in the roof except stair's roof (R-19 insulation), see energy calculation.
- R-19 insulation (floor)
- Provide 5/8" "Type X" gyp. board for all exterior walls of the House and garage (inside and outside)
- Provide 7/8" stucco for all eaves, House and Garage.

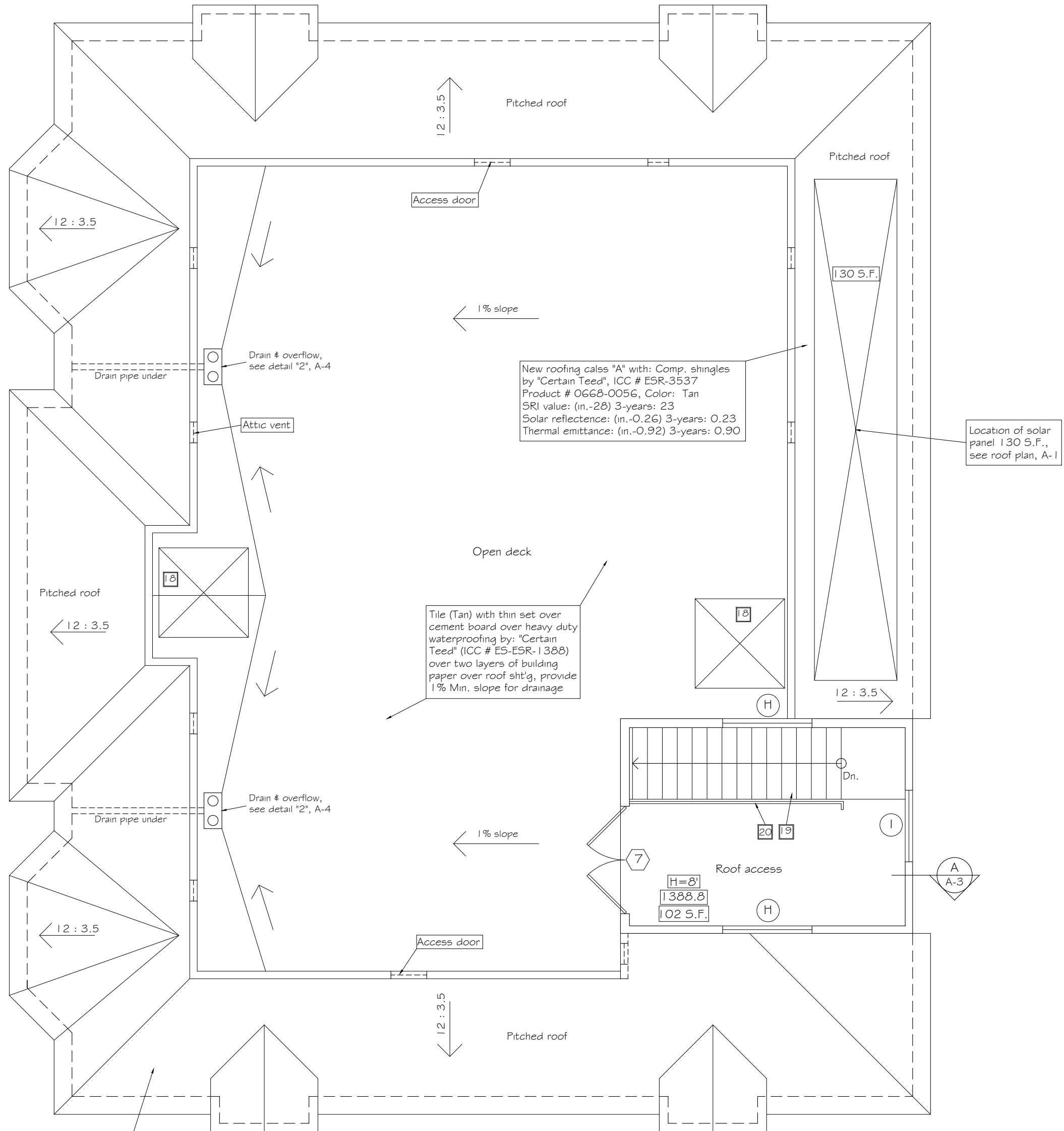
Section A - A

See grading for retaining walls height



Second Floor Plan

--- Line of the ceiling/ cabinet above
----- Line of the wall below



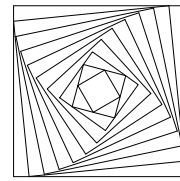
Roof Deck Plan

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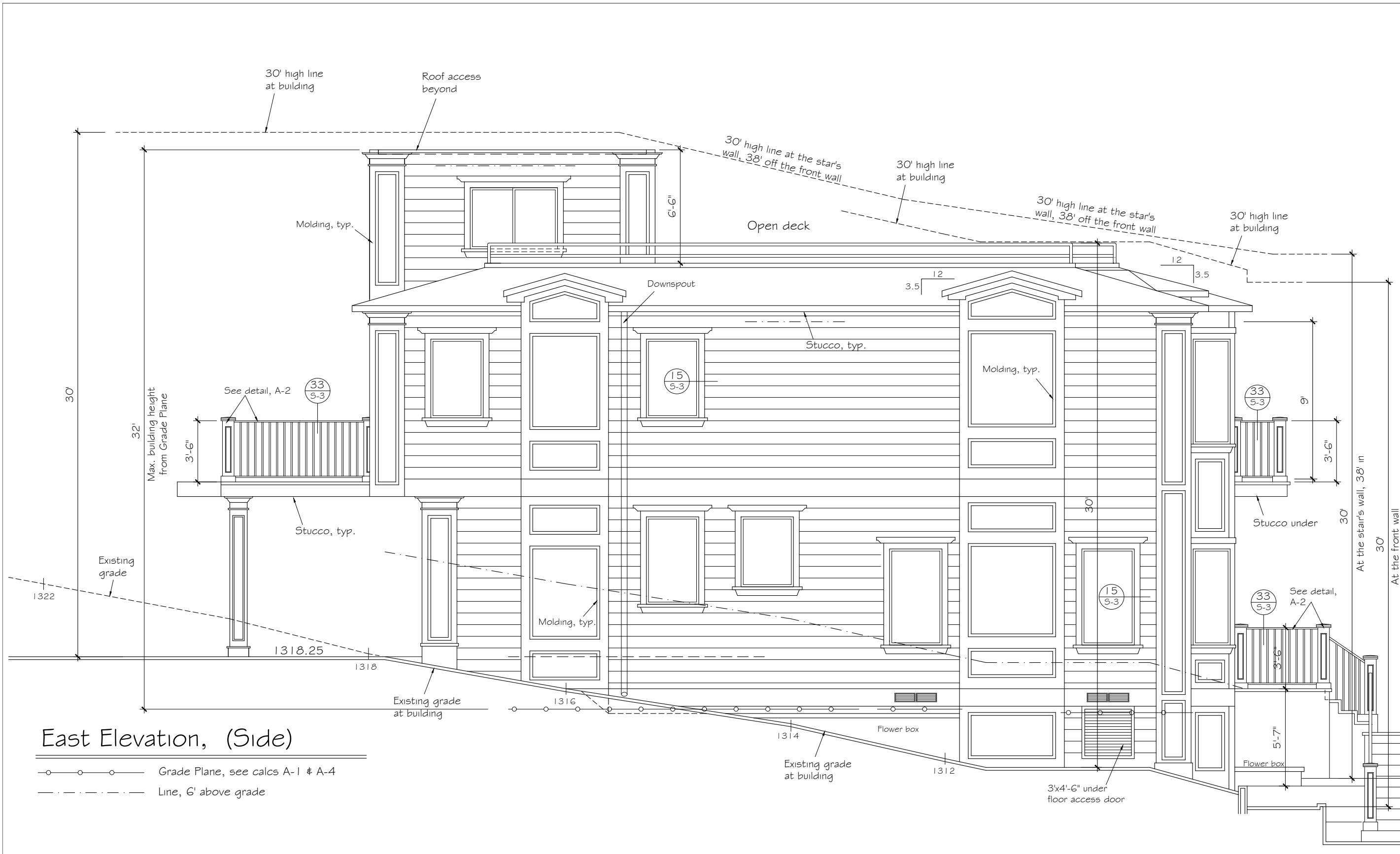
Owner: Armine Manukyan

Job Add.: 10294 Sunland Blvd., Sunland 91040

Date: 09/14/22
Scale: 3/16" = 1'
Drawn:
Job No: 17-11
Sheet:

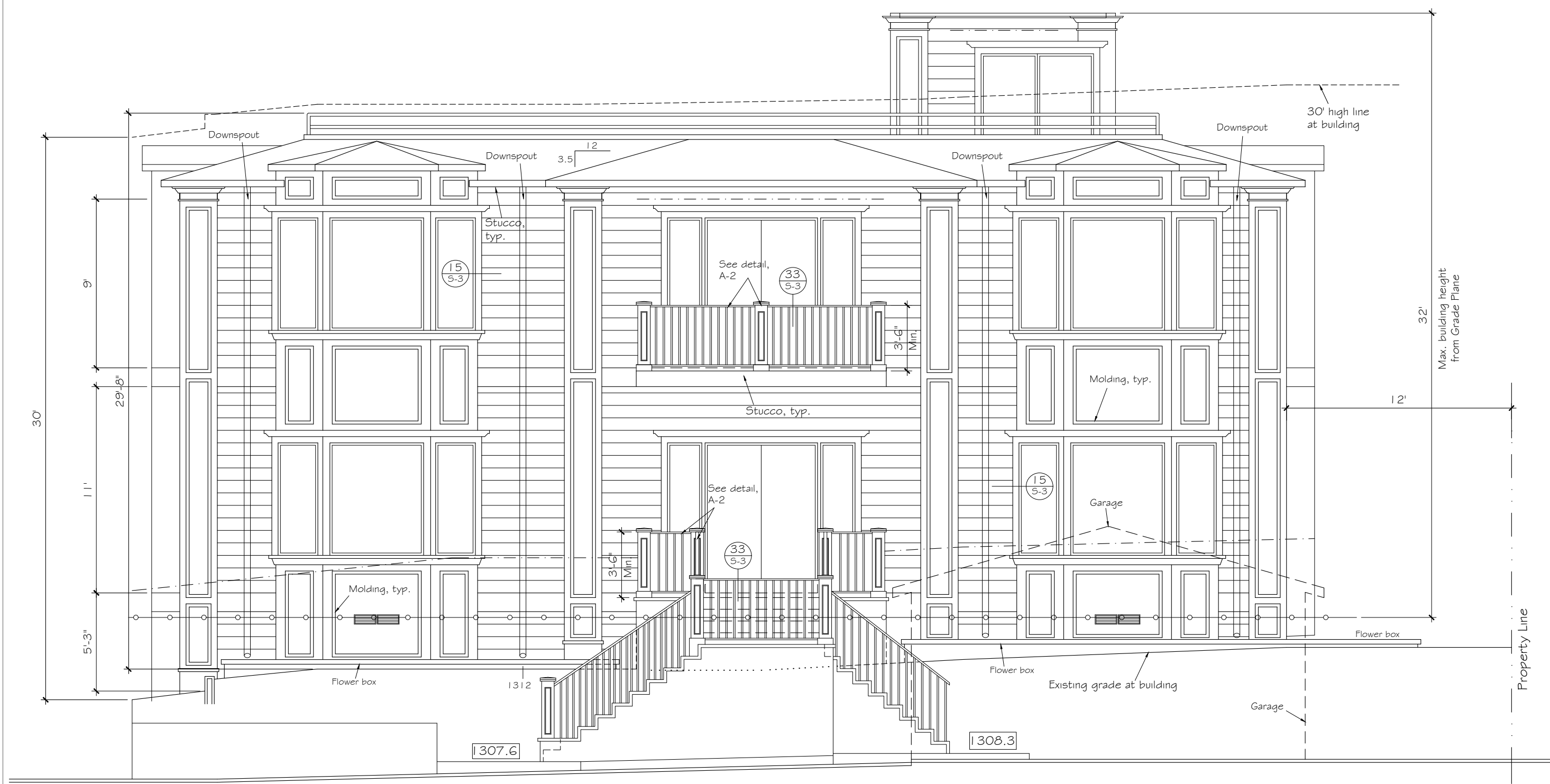
A-3

Of sheets



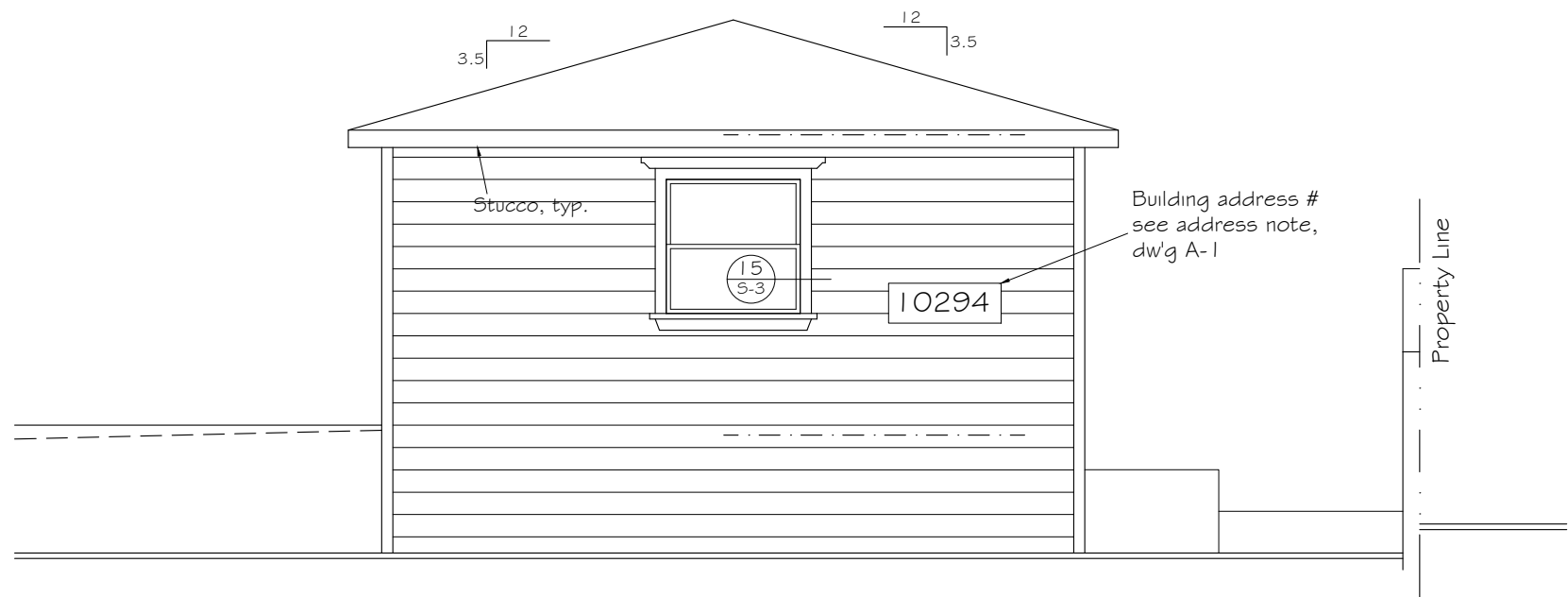
East Elevation, (Side)

— Grade Plane, see calcs A-1 & A-4
- - - Line, 6' above grade

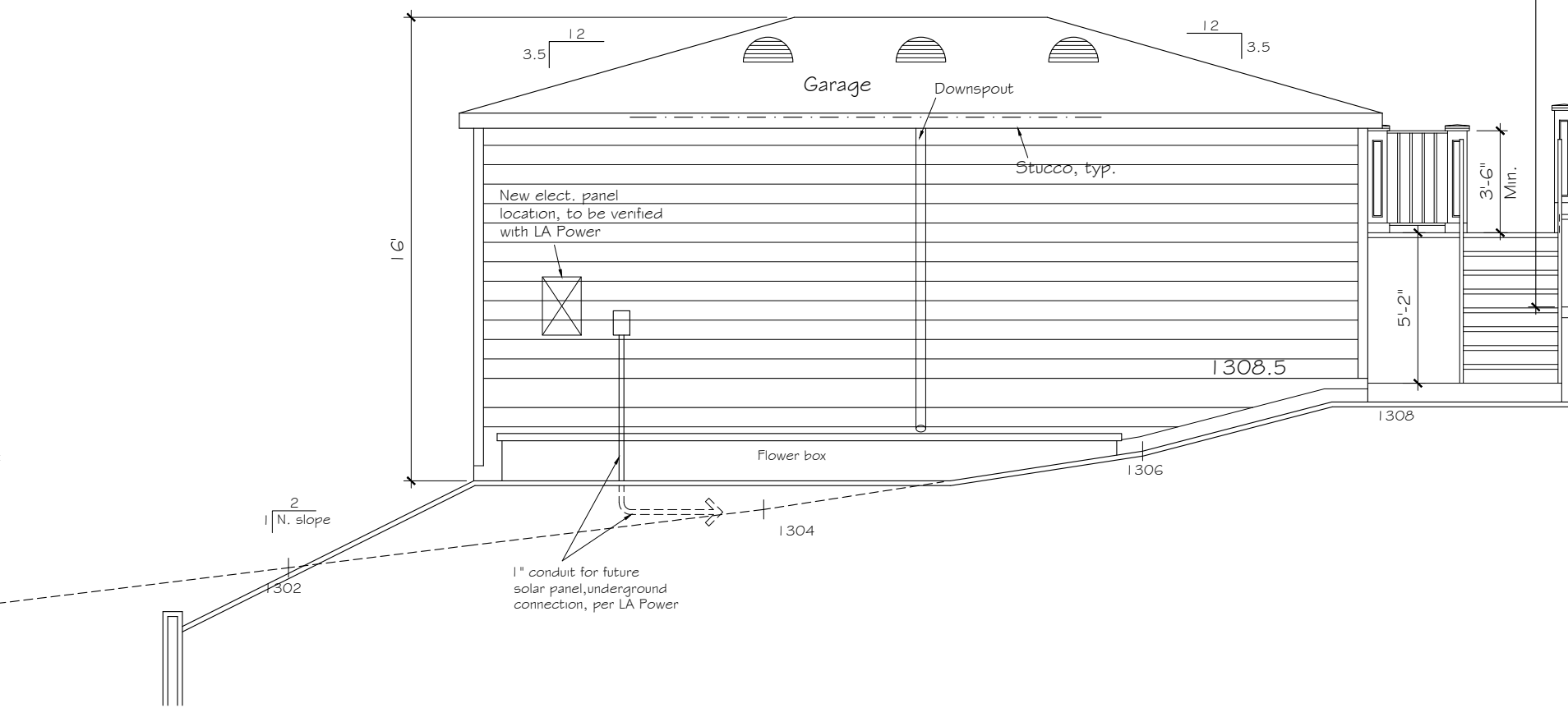


North Elevation, (Front)

— Grade Plane, see calcs A-1 & A-4
- - - Line, 6' above grade

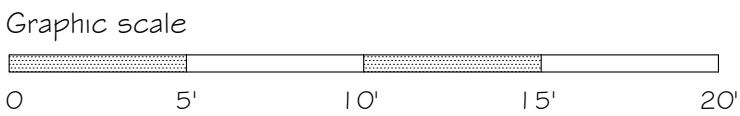


Garage North Elevation, (Front)



West Elevation, (Side)

— Grade Plane, see calcs A-1 & A-4
- - - Line, 6' above grade

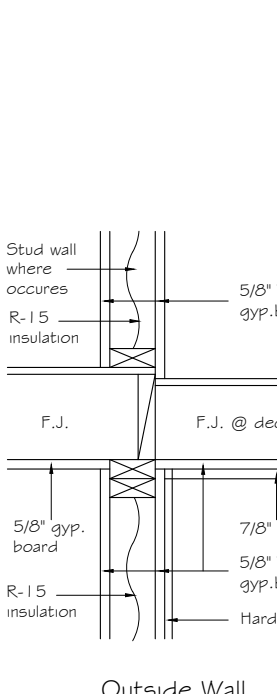


ELEVATION MATERIAL:

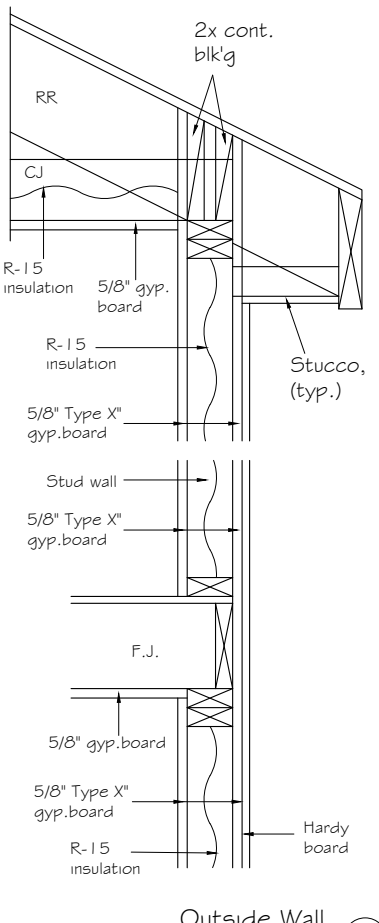
Walls and trims: White Hardy siding
Roof: Architectural grade comp. shingles "Charcoal" "Class A"
Fascia boards: White
Windows & doors: White vinyl
Entry door: Black metal with glass
Guardrails: Painted metal "Dark navy"
Gutters & downspouts: Black, metal
Outside steps: Brick "Antique Red"

Notes:
1 - Provide Anti-Graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. See also note # 5 under site plan, A-1 for garage and house.
2 - Provide 5/8" Type "X" gyp. board for inside and outside all exterior walls for House & Garage.
3 - Provide 7/8" stucco for all eaves, House & Garage.
4 - Gutters and downspouts are metal. Provide an approved means to prevent the accumulation of leaves and debris in the gutters.
5 - All the vents (roof and floor) should be galvanized mesh, the openings should be Min. 1/16", Max. 1/8".

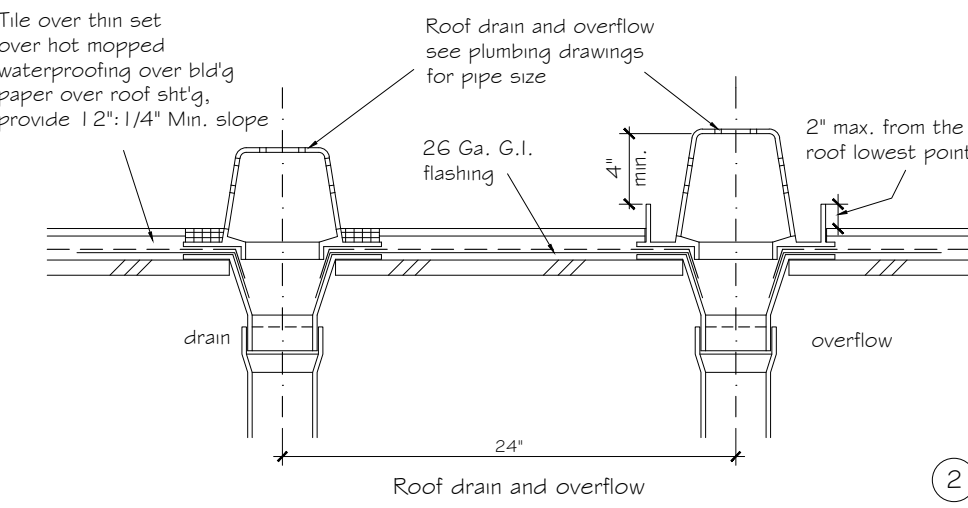
NOTE: On outside walls the 5/8" Type "X" to continue to under roof sheeting. For the house and garage. This detail is for the house and garage.



Outside Wall With Deck



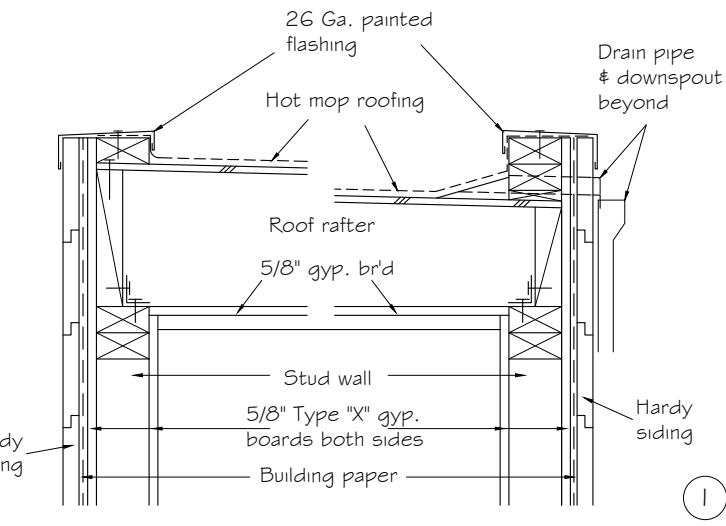
Outside Wall



Garage attic vent calc:
Total attic area (garage): 600 S.F.
Required vent area: 600 : 150 = 4 S.F.
Provided: 3-24" half round, 3x1.57 = 4.71 S.F. OK

Dwelling under floor vent calc:
Total under floor area including the landing: 1360 S.F.
Required vent area: 1360 : 150 = 9 S.F.
Provided: 2x12 = 24 access doors
10x0.56 (2'x1'4") = 5.6 S.F.
Total provided = 29.6 S.F. OK

Note:
All the vents should have Galvanized mesh, the opening should be between 1/8" Max. to 1/16", Min.
Note:
For retaining walls heights and site elevations see grading plans



Garage attic vent calc:
Total attic area (garage): 600 S.F.
Required vent area: 600 : 150 = 4 S.F.
Provided: 3-24" half round, 3x1.57 = 4.71 S.F. OK

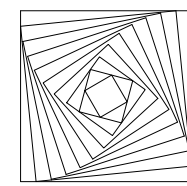
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Sheet

A-4
Of sheets