



A BETTER LOOK HOME INSPECTIONS

9516799524

abetterlookinsp@gmail.com

<https://abetterlookinspections.com>



A BETTER LOOK HOME INSPECTION

37540 Vía El Dorado
Temecula, CA 92592

Jill Downs
05/11/2026

Inspector
Erik Ward
InterNACHI CPI
9516799524
abl.erik2025@gmail.com

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1: INSPECTION DETAIL

Information

Report # 2026-151	Date 05/11/2026	Time 10 AM
Weather Conditions Sunny	Temperature 84	Age 2000
Type of Building Single Family	Occupancy Vacant	House Faces East
Agent Kim Meeker	In Attendance Kim Meeker, Jill's sister and brother in law, and Jill's Sister's Agent	

2: SITE GROUNDS & GRADING

2.1	Driveway
2.2	Sidewalks/Walkways
2.3	Retaining Walls
2.4	General Grading/Drainage
2.5	Trees & Shrubs
2.6	Irrigation Systems
2.7	Patio Slab
2.8	Out Buildings/Shed
2.9	Fences/Gates

Information

Driveway: Driveway Material

Asphalt, Concrete

Driveway: Condition

Satisfactory, Needs Maintenance

Driveway: Type

Settling Cracks, Major Cracks

Sidewalks/Walkways:
Sidewalks/Walkways Material

Concrete

Sidewalks/Walkways: Condition

Needs Maintenance, Satisfactory

Sidewalks/Walkways: Type

Settling Cracks, Lifting

Retaining Walls: Type

Block, Stucco Over

Retaining Walls: Condition

Satisfactory, Needs Maintenance

General Grading/Drainage: Curb Core

No

General Grading/Drainage: Underground Drains

Yes

General Grading/Drainage: Condition

Satisfactory, Needs Maintenance

Trees & Shrubs: Type

Miscellaneous

Trees & Shrubs: Condition

Satisfactory, Needs Maintenance

Irrigation Systems: Anti-Siphon Valves

Yes

Irrigation Systems: Condition

Satisfactory, Needs Maintenance

Irrigation Systems: Timer

Yes

Irrigation Systems: Condition

Satisfactory

Irrigation Systems: Manufacturer

Irritrol, Hunter

Patio Slab: Patio Slab Material

Stamped Concrete

Patio Slab: Condition

Satisfactory, Needs Maintenance

Patio Slab: Type

Settling Cracks

Out Buildings/Shed: Type

None

Fences/Gates: Fence/Gate Type

Vinyl-PVC, Iron

Fences/Gates: Condition

Satisfactory, Needs Maintenance, Professional Consultation

Driveway: Driveway



Sidewalks/Walkways: Sidewalks/Walkways



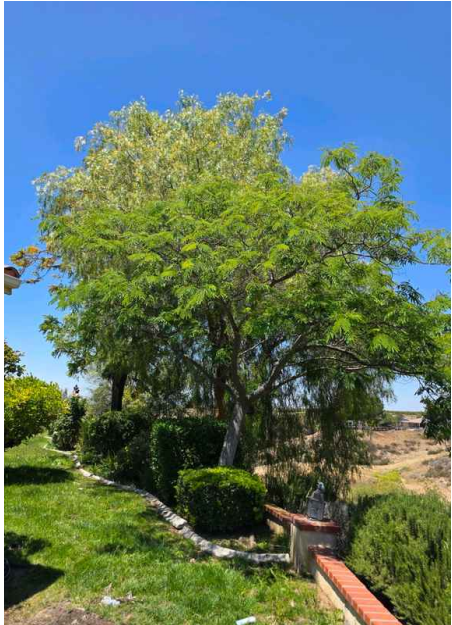
Retaining Walls: Retaining Walls



General Grading/Drainage: General Grading/Drainage



Trees & Shrubs: Trees & Shrubs



Irrigation Systems: Irrigation Systems



Patio Slab: Patio Slab



Fences/Gates: Fences/Gates



Limitations

General Grading/Drainage

DRAINAGE - UNKNOWN TERMINATION

We were unable to locate where the underground drain system terminates.

General Grading/Drainage

DRAINAGE - UNDERGROUND DRAINS MAINTENANCE

We recommend that the underground drains around this property be cleared periodically to keep the drains working properly, it is important that water is able to channel away from the home.

Irrigation Systems

IRRIGATION SYSTEMS LIMITATIONS

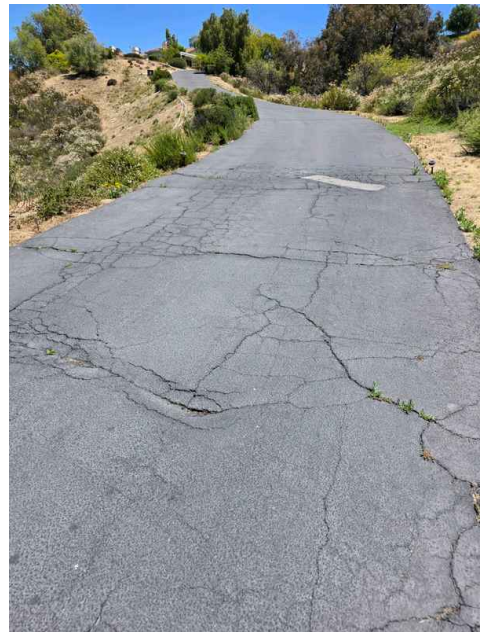
We do not perform a complete irrigation inspection- random valves and sprinkler heads are tested. We typically do not operate the irrigation timer within the scope of this inspection.

Observations

2.1.1 Driveway

DRIVEWAY - MAJOR CRACKING

There were many areas of the concrete and asphalt driveway that had major cracking. We recommend having a California licensed paving/asphalt professional further evaluate and repair as needed.



2.2.1 Sidewalks/Walkways

SIDEWALKS/WALKWAY - LIFTING

There appeared to be lifting at the sidewalk/walkway. This could be a trip hazard.



2.3.1 Retaining Walls

RETAINING WALL - TOP CAP(S) LOOSE

There appeared to be one or more top cap blocks loose at the retaining wall.



2.3.2 Retaining Walls

RETAINING WALLS - SETTLEMENT CRACKS

There appeared to be settlement cracks at the retaining wall.



Recommendation



2.4.1 General Grading/Drainage

DRAINAGE - MISSING COVERS/DRAINS ABOVE GRADE



Maintenance Item

There were a couple underground drain covers that were missing and a couple that were above grade. We believe there may be some underground drains that were covered. We recommending replacing the missing drain covers to prevent debris from entering and clogging the drain line.

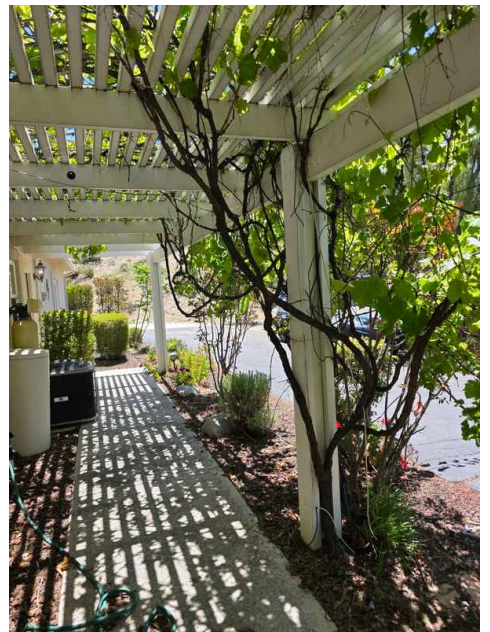


2.5.1 Trees & Shrubs

TREES & SHRUBS - MAINTENANCE



The trees, shrubs, and vines were overgrown. We recommend always keeping all growth off and away from the home and fencing.



2.6.1 Irrigation Systems

IRRIGATION - PIPES DISCONNECTED



There appeared to be several sprinkler pipes that were separated at the time of the inspection. We recommend having a qualified landscaping professional further evaluate and repair or replace as needed.



2.7.1 Patio Slab

PATIO SLAB - STAMPED CONCRETE TERXTURE DETERIORATED



Maintenance Item

There was some deterioration at the texture of the stamped concrete at the patio slab.



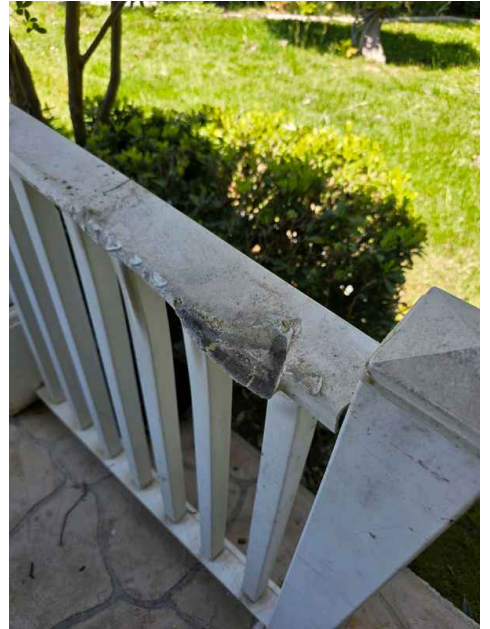
2.9.1 Fences/Gates

FENCE - DAMAGED VINYL FENCING



Recommendation

The vinyl fence at the patio slab appeared to be missing post top caps and a section of the fence appeared warped due to exposure to extreme high temperatures like a BBQ or Heater.



2.9.2 Fences/Gates

WALL - POST CAP BROKEN OR MISSING



There appeared to be a few vinyl fence post cap(s) that were broken or missing at the time of the inspection.



2.9.3 Fences/Gates

LOOSE SECTION OF FENCE



There appeared to be a section of the vinyl pvc fence loose and should be put back in place and properly fastened.



3: FOUNDATION/CRAWLSPACE

3.1	Foundation - Footings
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Information

Foundation - Footings: Type Concrete	Foundation - Footings: Condition Satisfactory, Needs Maintenance	Foundation - Footings: Slab on Grade Yes
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Foundation - Footings: Foundations/Footings



Limitations

Foundation - Footings

INTERIOR FLOOR COVERING COMMENT
The interior finished flooring was covering the house slab-foundation; the interior slab was not visible at the time of the inspection.

Observations

3.1.1 Foundation - Footings

FOUNDATION - HIGH SOIL/MULCH NEXT TO THE HOME

 Maintenance Item

Ground cover materials such as soil, rock, bark, and mulch should be kept several inches below the foundation siding and weep screed to allow proper drainage and to help prevent moisture intrusion and pest activity.



4: EXTERIOR & STRUCTURE

Information

Exterior Wall Structure: Type Wood Frame	Exterior Wall Structure: Visibility Not Visible	Exterior Wall Structure: Condition Satisfactory
Exterior Wall Covering: Type Stucco	Exterior Wall Covering: Condition Satisfactory, Needs Maintenance	Patio Cover: Type Wood, Aluminum
Patio Cover: Condition Satisfactory, Needs Maintenance	Exterior Plugs/Exterior Light Fixtures: Type Not All GFCI protected	Exterior Plugs/Exterior Light Fixtures: Approved Exterior Cover Yes
Exterior Plugs/Exterior Light Fixtures: Condition Satisfactory, Needs Maintenance, Professional Consultation	Exterior Plugs/Exterior Light Fixtures: Exterior Lighting Condition Satisfactory, Needs Maintenance	Exterior Plugs/Exterior Light Fixtures: Motion Sensor No
Exterior Plugs/Exterior Light Fixtures: Photo Cells No	Exterior Windows : Window Type Vinyl	Exterior Windows : Dual Glazed Yes
Exterior Windows : Condition Satisfactory, Needs Maintenance, Professional Consultation	Exterior Windows : Visible Moisture No	Exterior Windows : Tempered Glass/Bug Visible Yes
Exterior Windows : Retro Fit No	Exterior Windows : Failed Gas Seals Yes	Exterior Windows : Failed Side Balance Springs No
Exterior Windows : Screens Bent No	Exterior Windows : Screens Torn No	Exterior Windows : Screens Missing Yes

Exterior Doors: Entry Door Clad, Fiberglass over Wood	Exterior Doors: Condition Satisfactory, Needs Maintenance	Exterior Doors: Exterior Light Yes, Not Working
Exterior Doors: Motion Sensor No	Exterior Doors: Man Door Clad, Fiberglass over Wood	Exterior Doors: Condition Satisfactory
Exterior Doors: Exterior Light Yes, Working	Exterior Doors: Motion Sensor No	Exterior Doors: Sliding Door Vinyl
Exterior Doors: Working Screen Yes	Exterior Doors: Condition Satisfactory	Exterior Doors: Exterior Light Yes, Working
Exterior Doors: Motion Sensor No	Exterior Doors: French Door Clad, Fiberglass over Wood	Exterior Doors: Condition Satisfactory
Exterior Doors: Exterior Light Yes, Working	Exterior Doors: Motion Sensor No	Trim/Fascia: Trim/Fascia Type Stucco Over Foam
Trim/Fascia: Condition Satisfactory, Needs Maintenance	Gutters/Downspouts: Type Aluminum	Gutters/Downspouts: Condition Satisfactory, Needs Maintenance
Eaves/Soffits: Eaves/Soffits Type Stucco	Eaves/Soffits: Condition Satisfactory, Needs Maintenance	Columns/Posts: Type Wood, Alumnawood
Columns/Posts: Condition Satisfactory, Needs Maintenance	Chimney Exterior: Type Stucco Over	Chimney Exterior: Condition Satisfactory
Chimney Exterior: Termination Cap Yes	Chimney Exterior: Spark Arrestor Yes	Chimney Exterior: Exterior Vent No

Exterior Wall Covering: Exterior Wall Covering



Patio Cover: Patio Cover



Exterior Plugs/Exterior Light Fixtures: Exterior Plugs/Exterior Light Fixtures



Exterior Windows : Exterior Windows



Exterior Doors: Exterior Doors



Trim/Fascia: Trim/Fascia



Eaves/Soffits: Eaves/Soffits



Columns/Posts: Columns/Posts



Chimney Exterior: Chimney Exterior



Limitations

Chimney Exterior

CHIMNEY LIMITATIONS

Full inspection of the chimney flue lies beyond the scope of the General Home Inspection. Although the Inspector may make comments on the condition of the portion of the flue readily visible from the roof, a full, accurate evaluation of the flue condition would require the services of a specialist. Because the accumulation of flammable materials in the flue as a natural result of the wood-burning process is a potential fire hazard, the inspector recommends that before the expiration of your Inspection Objection Deadline you have the flue inspected by a specialist.

Observations

4.2.1 Exterior Wall Covering

WOOD SIDING - MINOR CRACKING



Maintenance Item

There appeared to be minor cracking at some of the wood siding joints. We recommend sealant and paint to prevent moisture intrusion and premature deterioration.



4.4.1 Exterior Plugs/Exterior Light Fixtures

EXTERIOR LIGHT(S) - BIRD'S NESTS

There appeared to be birds nests in a few of the exterior light fixtures.



4.5.1 Exterior Windows

WINDOW(S) - CRACKED AND EXPANDED RUBBER SEALS

There were a few windows that appeared to have cracked and expanded rubber seals.





4.5.2 Exterior Windows

WINDOW(S) - HOLE IN WINDOW

There appeared to be a hole in the outer pane of the window in the laundry room from possibly an air gun or rock. We recommend having a California licensed window professional replace the damaged window.



Recommendation



4.5.3 Exterior Windows

WINDOW SCREEN(S) - MISSING

There appeared to be one or more window screens around the home that were missing.



Recommendation

4.6.1 Exterior Doors

EXTERIOR DOOR(S) - DEADBOLT MISSING COMPONENTS

There was a deadbolt at the man door that was was missing some of the components. We recommend replacing the deadbolt.



Maintenance Item



4.7.1 Trim/Fascia

TRIM/FASCIA - MINOR STUCCO DAMAGE



Maintenance Item

There were areas of the stucco over foam trim around the doors and windows that had some minor stucco damaged. We recommend having these areas repaired to prevent moisture intrusion.



4.8.1 Gutters/Downspouts

GUTTERS/DOWNSPOUTS - DEBRIS



Maintenance Item

The gutters have debris in them that needs to be cleaned out so that water can flow properly.



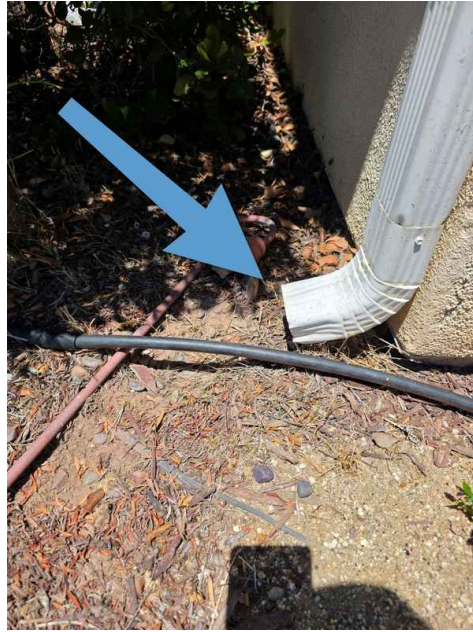
4.8.2 Gutters/Downspouts

GUTTERS/DOWNSPOUTS – DAMAGED/DISCONNECTED



Several downspouts appeared to be damaged, disconnected, not secured, and not properly extended from the home. We recommend having a qualified gutter professional further evaluate and repair the gutter downspout system to promote proper drainage off and away from the home.





4.9.1 Eaves/Soffits

SOFFITS - STAINED



Maintenance Item

There were a few areas of the stucco soffits that appeared stained from roof run off or potentially a roof leak.



4.10.1 Columns/Posts

COLUMNS/POSTS - DAMAGED BASE



Recommendation

There appeared to be damage to the base of the columns/posts from sprinklers and/or rain splash back. We recommend having the damaged areas repaired to prevent further deterioration.



5: ROOF

5.1	Roof Style
5.2	Roof Covering
5.3	Skylights
5.4	Exposed Flashing

Information

Roof Style: Type Multi Directional Gable	Roof Style: Viewed From Roof	Roof Style: Condition Satisfactory
Roof Covering: Type Concrete Tile, "S" Style	Roof Covering: Approximate Age 2000	Roof Covering: Condition Satisfactory, Needs Maintenance, Professional Consultation
Skylights: Type None	Exposed Flashing: Flashing Type Sheet Metal	Exposed Flashing: Mortar Flashing Yes
Exposed Flashing: Condition Satisfactory	Exposed Flashing: Roof Mastic Dry and Cracked Yes	

Roof Covering: Roof Covering



Exposed Flashing: Exposed Flashing



Limitations

Roof Covering

ROOF COVERING LIMITATIONS

The roof underlayment system was unable to be inspected due to the roof coverings installed. Deficiencies with the underlayment can be present, we recommend further investigation by a licensed roofer to determine any defects with the roof underlayment.

Observations

5.2.1 Roof Covering

ROOF COVERING - TILE(S) BROKEN/CRACKED

There appeared to be one or more broken/cracked roof tiles. **We recommend having a California licensed roofer further evaluate and repair as needed.**



Safety Hazard



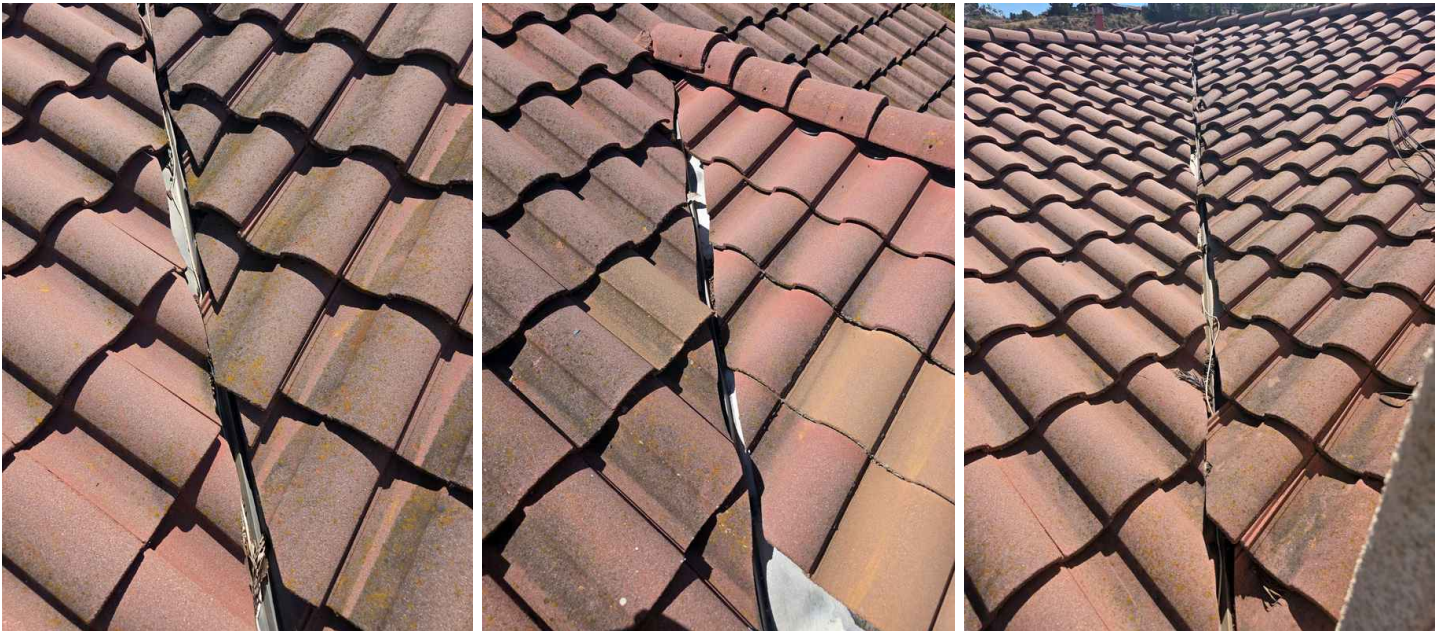
5.2.2 Roof Covering

ROOF COVERING - TILE(S) SLID DOWN OUT OF PLACE



Recommendation

There appeared to be one or more roof tiles that have slid down out of place. **We recommend having a California licensed roofer further evaluate and repair as needed.**



5.2.3 Roof Covering

ROOF COVERING - VALLEY(S) CUT TIGHT



Maintenance Item

Information comment: The roof tiles at the valley flashings were cut tight as was the standard at the time this home was built; organic debris can build up in these areas and create potential water leaks. We recommend keeping the valleys clear of any debris.

5.4.1 Exposed Flashing

FLASHING(S) - MASTIC DRY & CRACKED



Safety Hazard

It appeared the mastic around all the pipe penetration flashings was dry and cracked in need of a new coat.



6: PLUMBING

6.1	Water Service/Water Entrance
6.2	Fuel Service
6.3	Waste
6.4	Water Heater
6.5	Water Temperature
6.6	Pipes - Water
6.7	Fixtures, Faucets, & Shower Valves
6.8	Drains - Soil
6.9	Vent Pipes - Soil

Information

Water Service/Water Entrance: Type

Public Utility

Water Service/Water Entrance: Smart Meter

Unknown

Water Service/Water Entrance: Condition

Satisfactory, Needs Maintenance

Water Service/Water Entrance: Location
West, At the Front Driveway Gate
(Left Side of Block Wall)
Water Service/Water Entrance: Size

3/4"

Water Service/Water Entrance: Type

Copper

Water Service/Water Entrance: Condition

Satisfactory

Water Service/Water Entrance: Valve Type - Meter

Unknown

Water Service/Water Entrance: Valve Type - House

Ball Valve

Water Service/Water Entrance: Water Pressure Regulator

Yes

Water Service/Water Entrance: Water Pressure

50 PSI

Standard PSI (pounds per square inch) should be between 40-80 psi.

Fuel Service: Type

Propane

Fuel Service: Smart Meter

No

Fuel Service: Location of Main Shut-Off Valve

South

Fuel Service: Condition

Satisfactory, Needs Maintenance

Waste: Type

Septic

Waste: Material

ABS

Waste: Condition

Satisfactory

Waste: Visible Drain Cleanout

Yes

Water Heater: Manufacturer

Bradford White

Water Heater: Condition
Needs Maintenance,
Unsatisfactory
Water Heater: Fuel Type

Propane

Water Heater: Age

03/2020

Water Heater: Location

Garage

Water Heater: Capacity

50 Gallon

Water Heater: Relief Valve

Yes

Water Heater: Gas Shut-Off

Yes

Water Heater: Expansion Tank (Gas)

Yes

Water Heater: Extension

Yes

Water Heater: Seismic Restraint

Yes

Water Heater: Drain Pan

Yes

Water Heater: Sediment Trap

Yes

Water Heater: Venting (Air Supply)

Yes

Water Temperature: Conditions

Unsatisfactory, Needs Maintenance

Pipes - Water: Type

Copper

Pipes - Water: Condition

Satisfactory, Needs Maintenance

Fixtures, Faucets, & Shower**Valves: Conditions**

Satisfactory, Needs Maintenance, Professional Consultation

Drains - Soil: Type

ABS, PVC

Drains - Soil: Condition

Satisfactory, Needs Maintenance

Vent Pipes - Soil: Condition

Satisfactory

Vent Pipes - Soil: Type

ABS/PVC

Water Service/Water Entrance: Water Service/Water Entrance



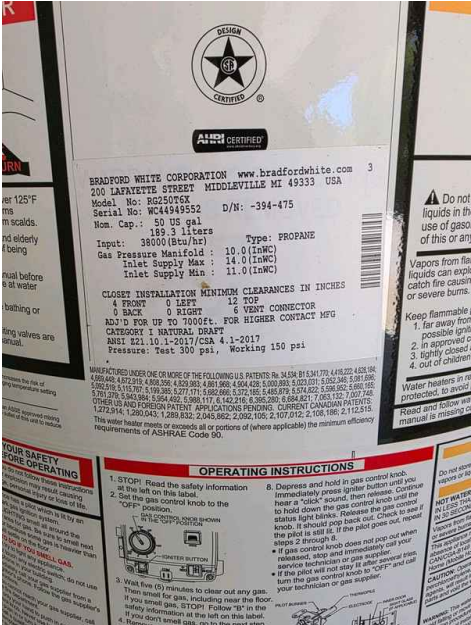
Fuel Service: Fuel Service



Waste: Waste



Water Heater: Water Heater



Pipes - Water: Pipes - Water



Fixtures, Faucets, & Shower Valves: Fixtures, Faucets, & Shower Valves





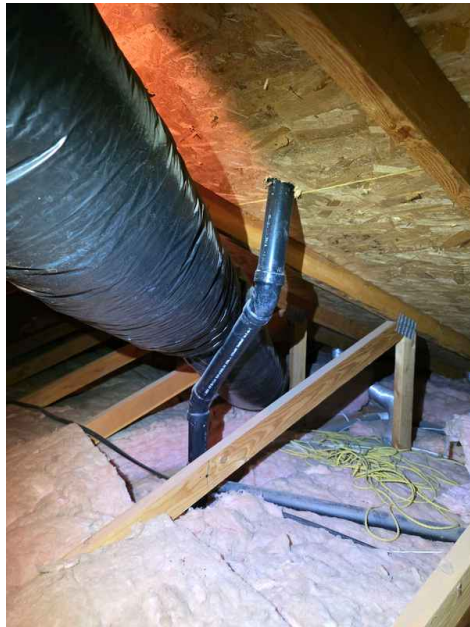
Drains - Soil: Drains - Soil







Vent Pipes - Soil: Vent Pipes - Soil



Limitations

Fuel Service

NO PROPANE AT THE TIME OF THE INSPECTION

The propane was shut off at the propane tank. We turned on the tank at the gate valve at the tank for testing. We were unable to get propane to any of the propane fueled appliances. We turned the gate valve back off after testing.

Water Heater

NO PROPANE AT THE TIME OF THE INSPECTION

The propane was shut off at the propane tank. We turned on the tank at the gate valve at the tank for testing. We were unable to get propane to any of the propane fueled appliances. We turned the gate valve back off after testing.

Water Temperature

WATER TEMPERATURE LIMITATIONS

We recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees Fahrenheit to kill microbes and no higher than 130 degrees F to prevent scalding.

Water Temperature

NO PROPANE AT THE TIME OF THE INSPECTION

The propane was shut off at the propane tank. We turned on the tank at the gate valve at the tank for testing. We were unable to get propane to any of the propane fueled appliances. We turned the gate valve back off after testing.

Pipes - Water

PIPES - WATER LIMITATIONS

Underground pipes or pipes inside of walls cannot be judged for sizing, leaks, corrosion, or damage. Water quality testing is not a part of this inspection. Angle stops are never tested during an inspection.

Drains - Soil

DRAIN - SOIL LIMITATIONS

Visible portions of the plumbing are inspected by running water through the drain pipe for over one minute and looking for leaks from the drain pipe, trap assembly, water supply lines, and areas underneath (cabinets/ceiling below/crawl space).

Observations

6.1.1 Water Service/Water Entrance

WATER METER BOX - FILLED WITH DIRT

The water meter box appeared to be backed filled with dirt. We were unable to visibly see the water meter. We recommend clearing out the dirt and exposing the water meter and shut off valve.



Recommendation



6.1.2 Water Service/Water Entrance

**WATER SUPPLY - WATER SOFTENER/FILTERS**

There appeared to be a water softener installed on the exterior of the home. And in line filters under the kitchen sink. We have no way of determining if these are working properly or when the filters were replaced. We recommend replacing any filters.



6.2.1 Fuel Service

**PROPANE TANK - RUST**

We recommend painting the rusted exterior propane tank to prolong the pipe life and integrity. We suggest checking with the propane leasing company, they may want to do it themselves.



6.4.1 Water Heater

**WATER HEATER - NO DRAIN LINE FROM DRAIN PAN TO FLOOR**

The drain pan under the water heater does not have a drain line that terminates to the floor. We recommend that a drain line to the floor be installed to prevent water from damaging the finish materials around the water heater.



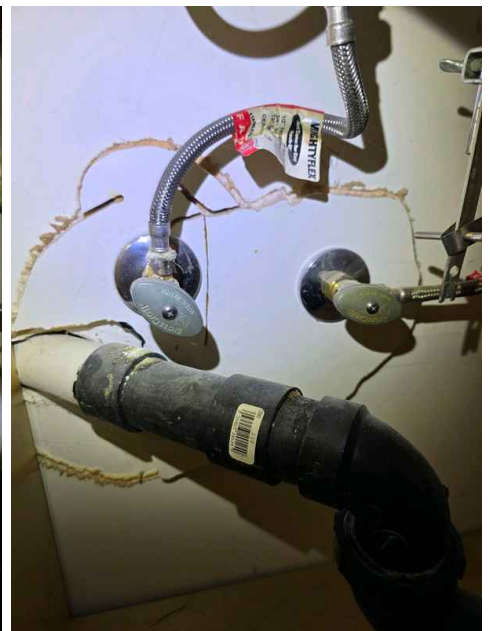
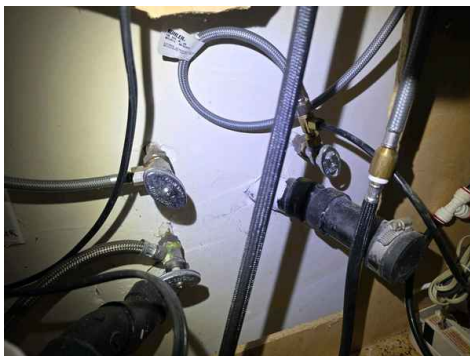
6.6.1 Pipes - Water

SINK(S) - WATER SUPPLY GATE VALVES



Recommendation

Some of the water supply valves under the sinks were the gate valve style. We recommend replacing these with 1/4 turn water supply valves as some have been upgraded already. The gate valve water supply valves are known to fail. We shut off the gate valves to the master bathroom sink #1(right) and the flow continued.



6.7.1 Fixtures, Faucets, & Shower Valves

FIXTURE/FAUCET - ACTIVE LEAK



Safety Hazard

Sink #1(right) in the master bathroom was actively dripping/leaking. **We recommend having a California licensed plumber further evaluate and repair is needed.**



6.7.2 Fixtures, Faucets, & Shower Valves

FIXTURE/FAUCET - DRINKING WATER FAUCET LOOSE



The drinking water faucet at the kitchen sink was loose and needs to be secured in place and caulked.



6.7.3 Fixtures, Faucets, & Shower Valves

FIXTURE/FAUCET - SINK FAUCET HANDLE LEAKED



The sink faucet handle in the laundry room leaked when tested. **We recommend having a California licensed plumber further evaluate and repair as needed.**



6.7.4 Fixtures, Faucets, & Shower Valves

FIXTURE/FAUCET - TUB FAUCET LEAKED



Safety Hazard

The tub faucet in the bathroom #2 leaked when diverted to the showerhead when tested. The tub faucet actively dripped/leaked when shut off. **We recommend having a California licensed plumber further evaluate and repair as needed.**



6.8.1 Drains - Soil

DRAINS - FLEXIBLE ACCORDION STYLE DRAIN



Recommendation

The drain under the sink of bathroom #2 had a flexible accordion style that is known to have issues with clogging due to build up in the grooves. We recommend having a California license plumber further evaluate and replace as needed.



7: ELECTRICAL

7.1	Service Line Entrance Cable
7.2	Solar
7.3	Main Panel
7.4	Outlets, Fixtures, & Switches
7.5	Smoke Detectors
7.6	Carbon Monoxide Detectors

Information

Service Line Entrance Cable:
Service Line Entrance Cable

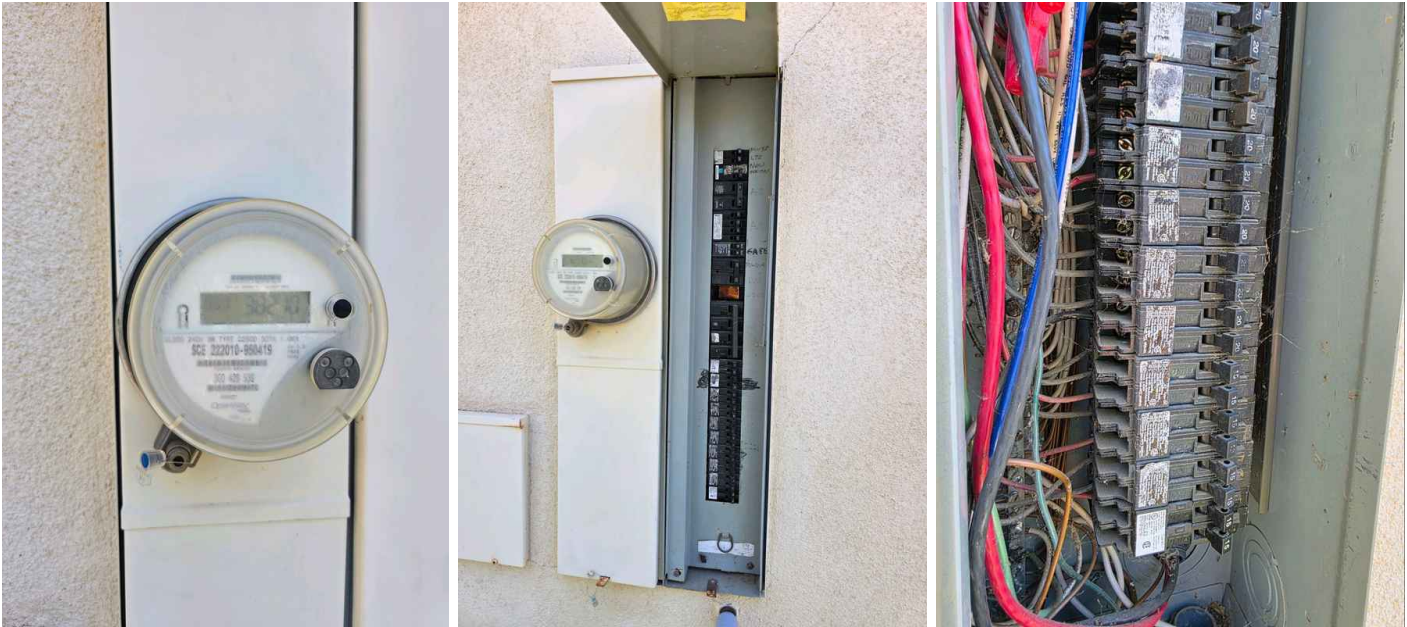
Service Line Entrance Cable: Type
Public Utility

Service Line Entrance Cable:
Weather Head
No



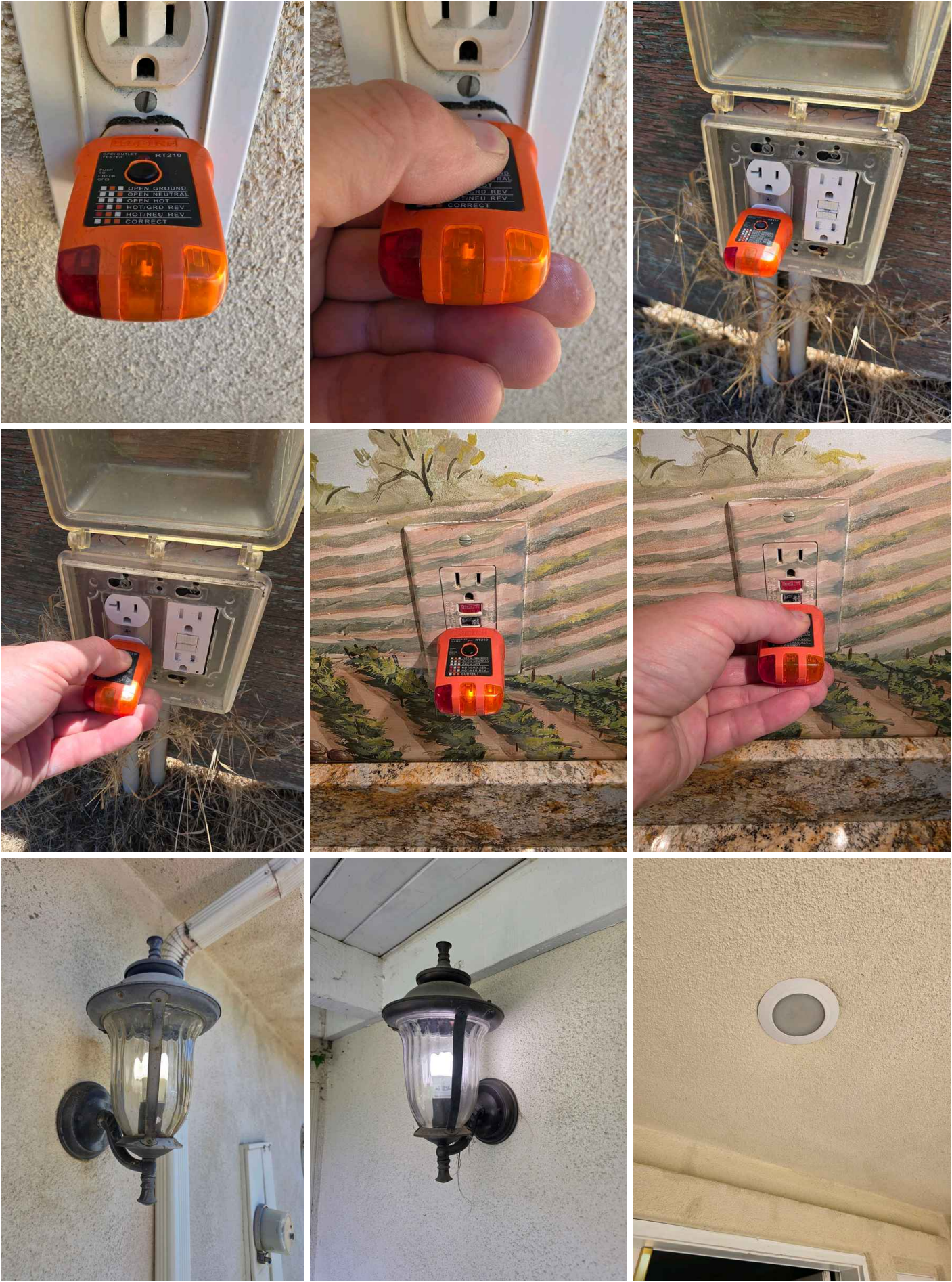
Service Line Entrance Cable: Pedestal No	Service Line Entrance Cable: Condition Satisfactory	Service Line Entrance Cable: Location on Lot South
Solar: Type None	Main Panel: Manufacturer Siemens	Main Panel: Condition Satisfactory, Needs Maintenance, Professional Consultation
Main Panel: Location South	Main Panel: Smart Meter Yes	Main Panel: Type of Overload Protection Circuit Breakers
Main Panel: Quantity 32 Circuit Breakers	Main Panel: Labeled Yes	Main Panel: Bonding Visible Yes
Main Panel: Grounding Visible Yes	Outlets, Fixtures, & Switches: Method of Testing Plug Tester	Outlets, Fixtures, & Switches: Condition Satisfactory, Needs Maintenance
Outlets, Fixtures, & Switches: Fan Remotes Yes	Smoke Detectors: Number Tested 1	Smoke Detectors: Over 10 Years Old Yes
Smoke Detectors: Date 07/31/2000	Smoke Detectors: Condition Unsatisfactory, Needs Maintenance	Carbon Monoxide Detectors: Number Tested 1
Carbon Monoxide Detectors: Over 7 Years Old No	Carbon Monoxide Detectors: Date 06/14/2019	Carbon Monoxide Detectors: Condition Satisfactory, Needs Maintenance

Main Panel: Main Panel



Main Panel: Capacity
200
I observed indications of the main service disconnect's amperage rating. It was labeled.

Outlets, Fixtures, & Switches: Outlets, Fixtures, & Switches





Smoke Detectors: Smoke Detectors

California state law requires a working smoke detector in every bedroom, in every hallway leading to a bedroom, and on every floor.



Carbon Monoxide Detectors: Carbon Monoxide Detectors

California state law requires carbon monoxide detectors outside of all bedroom- sleeping areas and one per floor.



Limitations

Solar

SOLAR LIMITATION

A complete solar inspection is outside the scope of this inspection. We will look to see if there is any visible damage to the solar panels or exposed wire connections only. We recommend having a further inspection done by a California licensed solar installation contractor.

Outlets, Fixtures, & Switches

GFCI DATES

GFCI's were required in the following locations as follows:

1. Outdoors (since 1973)
2. Bathrooms (since 1975)
3. Garages (since 1978)
4. Kitchens (since 1987)
5. Crawl spaces and unfinished basements (since 1990)
6. Wet bar sinks (since 1993)
7. Laundry and utility sinks (since 2005)

Smoke Detectors

SMOKE DETECTOR LIFE EXPECTANCY

The life expectancy of smoke detectors is generally 10 years, after which point, their sensors can begin to lose sensitivity. The test button only confirms that the battery, electronics, and alert system are working; it doesn't mean that the smoke sensor is working. Any smoke detectors over 10 years old, we recommend replacing.

Carbon Monoxide Detectors

CARBON MONOXIDE DETECTORS LIFE EXPECTANCY

The life expectancy of Carbon Monoxide detectors is 7 years, after which point, their sensors can begin to lose sensitivity. The test button only confirms that the battery, electronics, and alert system are working; it doesn't mean that the carbon sensor is working. Any Carbon Monoxide detectors over 7 years old, we recommend replacing.

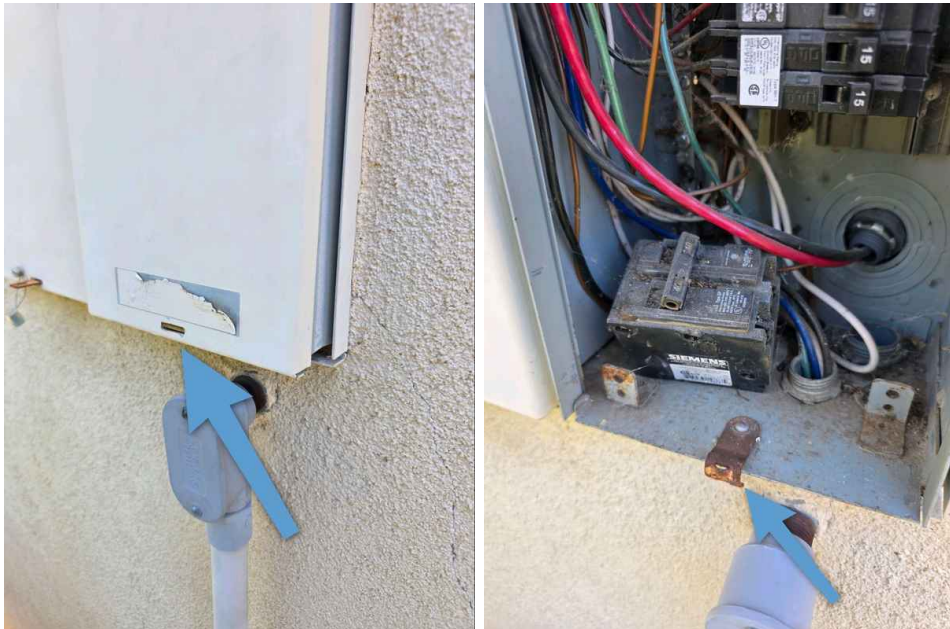
Observations

7.3.1 Main Panel

MAIN PANEL - COVER LATCH BENT



The main electrical panel cover latch tab appeared to be bent and not allowing the panel door to close. We recommend straightening out the latch tab to allow the panel door to close securely.



7.3.2 Main Panel



Maintenance Item

MAIN PANEL - INCORRECT SCREW

The screw(s) at the dead front panel for the main panel were incorrect. The dead front panel screws should have a dull tip, as to not penetrate any wire sheathing when screwing the panel back on. We recommend replacing the sharp tipped screws with the correct screws.



7.3.3 Main Panel



Safety Hazard

MAIN PANEL - KNOCKOUT MISSING

There was one a circuit breaker knockout at the main panel that has been removed and was left open. We recommend installing plastic knockout filler plate to fill the open breaker knockout in the dead front panel of the main panel.



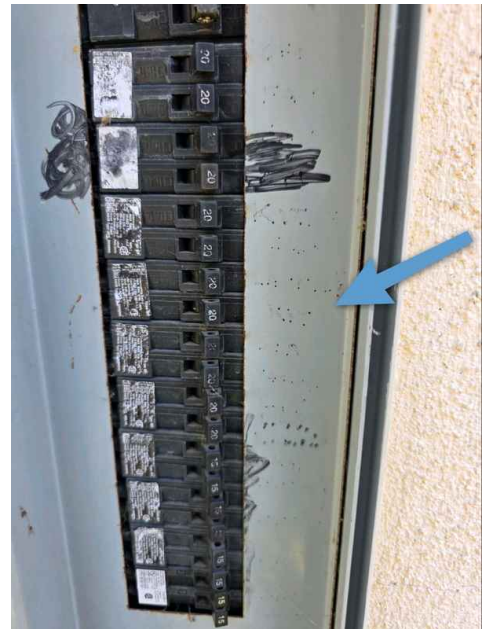
7.3.4 Main Panel

MAIN PANEL - LABELING FADED



Maintenance Item

At the time of inspection, the main panel's breaker's labeling was faded. We recommend re-labeling the breakers.



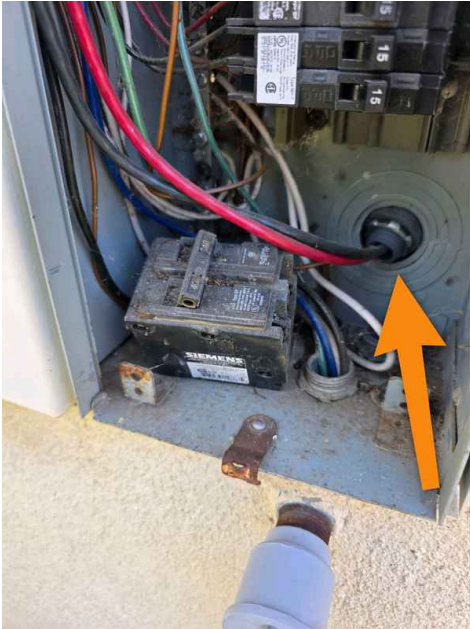
7.3.5 Main Panel

MAIN PANEL - INCORRECT FITTING



Recommendation

There appeared to be a wire entrance fitting at the main electrical panel that was too small for the breaker knockout hole on the back of the panel. **We recommend having a California license electrician further evaluate and repair is needed.**



7.4.1 Outlets, Fixtures, & Switches

EXHAUST FAN LIGHT(S) - MISSING DOME/GLOBE



Recommendation

The exhaust fan/light in the master bathroom did not have a protective dome/globe. We recommend installing a dome/globe or replace the exhaust fan.



7.4.2 Outlets, Fixtures, & Switches

LIGHT(S) - DID NOT TURN ON



Maintenance Item

There were a few of the exterior lights and one or more lights in bedroom #2, bedroom #3, bathroom #2, and bathroom #3 that did not turn on when tested; the bulbs may need to be replaced.



7.4.3 Outlets, Fixtures, & Switches

CEILING FAN/LIGHT(S) - DID NOT TURN ON (REMOTE)



Maintenance Item

We were unable to get the ceiling fan/lights in bedroom #2 and #3 to operate from the remotes when tested; the bulbs and/or remote batteries may need to be replaced.



7.4.4 Outlets, Fixtures, & Switches

ELECTRICAL - IMPROPER INSTALL



Safety Hazard

There appeared to be Romex that should be in conduit in the cabinet under the sink in bathroom #2 were installed improperly. **We recommend a California licensed electrician further evaluate and repair as needed.**



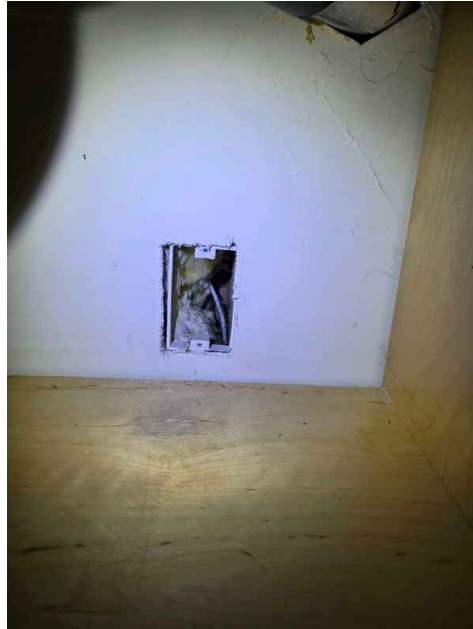
7.4.5 Outlets, Fixtures, & Switches

WALL PLUG COVER PLATE(S) - DAMAGED/MISSING



Recommendation

The plug cover plate above the microwave was missing and there appeared to be an open junctionbox under sink #2 (left) in the master bathroom. We recommend replacing the cover plate(s).



7.4.6 Outlets, Fixtures, & Switches

WALL PLUG(S) - NO GFCI PROTECTION

 Safety Hazard

The wall plugs in the laundry room, garage and not all the exterior plugs tripped when tested; they should be GFCI protected. **We recommend a California licensed electrician further evaluate and repair as needed.**

7.4.7 Outlets, Fixtures, & Switches

WALL SWITCH - LOOSE

 Safety Hazard

There was a wall switch in the master bathroom that was loose. We recommend having a California licensed electrician further evaluate and repair as needed.



7.4.8 Outlets, Fixtures, & Switches

EXTERIOR ELECTRICAL - CONDUIT AT THE AUTOMATIC GATE OPENER DISCONNECTED

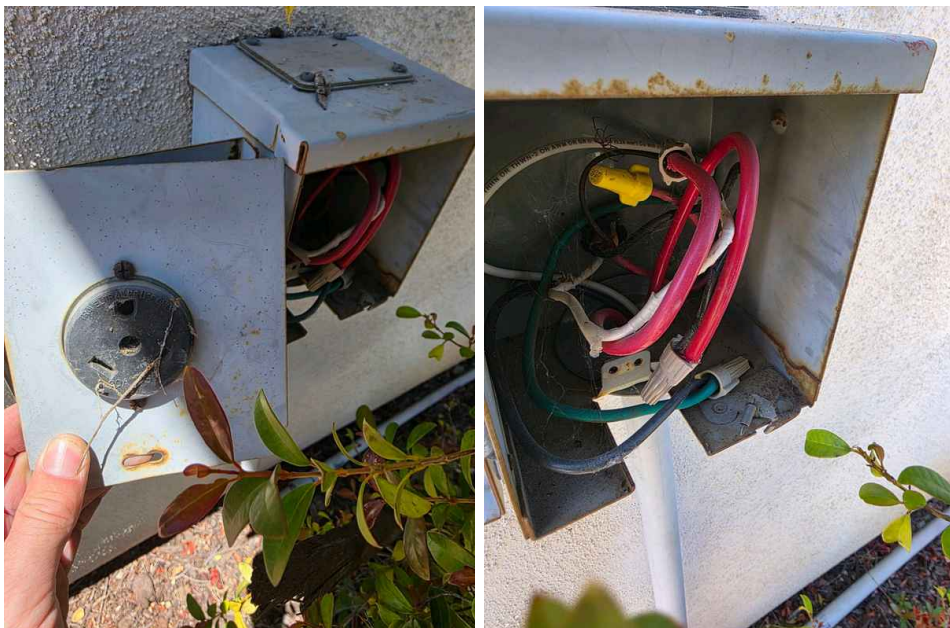
There appeared to be a couple sections of electrical conduit at the gate, automatic openers that were disconnected and wires were exposed to the outdoor elements. **We recommend having a California, licensed electrician further evaluate and repair as needed.**



7.4.9 Outlets, Fixtures, & Switches

ELECTRICAL - RV HOOK UP NOT WIRED

There was a RV hook up at the junction box mounted to the house near the driveway that appeared to not be wired to the plug. The wires appeared to be capped with wire nuts in the junction box. **We recommend having a California licensed electrician further evaluate and repair as needed.**



7.5.1 Smoke Detectors



Safety Hazard

SMOKE DETECTOR MISSING - BEDROOMS

There were no smoke detectors in the bedrooms at the time of the inspection. We recommend installing smoke detectors in each of the bedrooms.

7.5.2 Smoke Detectors



Safety Hazard

SMOKE DETECTOR - OVER 10 YEARS

The smoke detector in the hallway was over 10 years old. We recommend replacing the hallway smoke detector with smoke/carbon monoxide combination detector.

7.6.1 Carbon Monoxide Detectors



Safety Hazard

CARBON MONOXIDE DETECTOR - HALLWAY

There was no carbon monoxide detector in the hallway leading to the bedrooms. We recommend replacing the expired hallway smoke detector with a smoke/carbon monoxide combination detector.

7.6.2 Carbon Monoxide Detectors



Maintenance Item

CARBON MONOXIDE DETECTOR - EXPIRE SOON

The carbon monoxide detector in the kitchen expires soon (06/14/2026). Carbon monoxide detectors are required in hallways leading to bedrooms. We recommend replacing the expired hallway smoke detector with a smoke/carbon monoxide combination detector.

8: ATTIC

8.1	Attic Access - Attic
8.2	Attic Ventilation
8.3	Roof/Ceiling Frame
8.4	Vent Pipes/Flashing
8.5	Moisture
8.6	Attic Insulation
8.7	Attic Sheathing

Information

Attic Access - Attic: Type

Ceiling Access Panel

Attic Access - Attic: Attic Access Location

Garage, Master Closet

Attic Access - Attic: Condition

Satisfactory, Needs Maintenance

Attic Ventilation : Type of Ventilation

Gable Vents, Inline Tile Vents

Attic Ventilation : Condition

Satisfactory, Needs Maintenance

Attic Ventilation : Fan

No

Roof/Ceiling Frame: Type
Truss

Roof/Ceiling Frame: Condition
Satisfactory

Vent Pipes/Flashing: Type
ABS/PVC, 2 Sided B Vent

Vent Pipes/Flashing: Condition
Satisfactory

Vent Pipes/Flashing: Leaks Observed
No

Moisture: Moisture
No

Attic Insulation: Type
Batts

Attic Insulation: Condition
Satisfactory, Needs Maintenance

Attic Sheathing: Condition
Satisfactory

Attic Sheathing: Type
OBS (Oriented Strand Board)

Attic Sheathing: Observed From
Inside the Attic, Inside the Garage

Attic Access - Attic: Attic Access - Attic



Attic Ventilation : Attic Ventilation



Roof/Ceiling Frame: Roof/Ceiling Frame



Vent Pipes/Flashing: Vent Pipes/Flashing



Attic Insulation: Attic Insulation



Attic Sheathing: Attic Sheathing



Observations

8.1.1 Attic Access - Attic

ATTIC ACCESS - PERSONAL PROPERTY

There appeared to be personal property in both attic access spaces that should be removed.





8.1.2 Attic Access - Attic

ATTIC ACCESS - PANEL/OPENING DAMAGED



Maintenance Item

The drywall texture around the attic access corner bead in the master bathroom closet appeared to be peeling and flaking off. We recommend having the texture around the attic access corner bead.



8.2.1 Attic Ventilation

VENTILATION - EXHAUST FAN VENT PIPE TERMINATE IN ATTIC



Recommendation

It appeared there were a couple exhaust fan vents that terminated into the attic space.



8.6.1 Attic Insulation

INSULATION - INSULATION MOVED AROUND



It appeared that there were some insulation batts that had been moved around for electrical upgrades and not put back into place. We recommend putting the insulation back in place to work at the most efficient level.



9: HEATING

9.1	Heating System
9.2	Heating Distribution
9.3	Infrared Heat Temperatures
9.4	Unit Venting
9.5	Thermostat/Air Filter

Information

Heating System : Manufacturer

York, Day & Night

Heating System : Age

07/1999 & 02/2017

Heating System : Capacity

63,000 & 80,000 BTUs

Heating Distribution: Location

Attic

Unit Venting: Type

B Vent

**Thermostat/Air Filter:
Thermostat Location**

Hallway, Multiple thermostats

**Thermostat/Air Filter: Filter
Location**

In Return Grille

Heating System : Type

Split System, Central Air

Heating System : Condition

Professional Consultation,
Unsatisfactory

Heating System : Location

Attic

Heating Distribution: Condition

Satisfactory

Unit Venting: Condition

Satisfactory

Thermostat/Air Filter: Condition

Satisfactory

Thermostat/Air Filter: Condition

Satisfactory, Needs Maintenance

Heating System : Fuel Type

Propane

Heating System : Sediment Trap

No

Heating Distribution: Type

Flexible

**Infrared Heat Temperatures:
Condition**

Unsatisfactory, Needs
Maintenance, Professional
Consultation

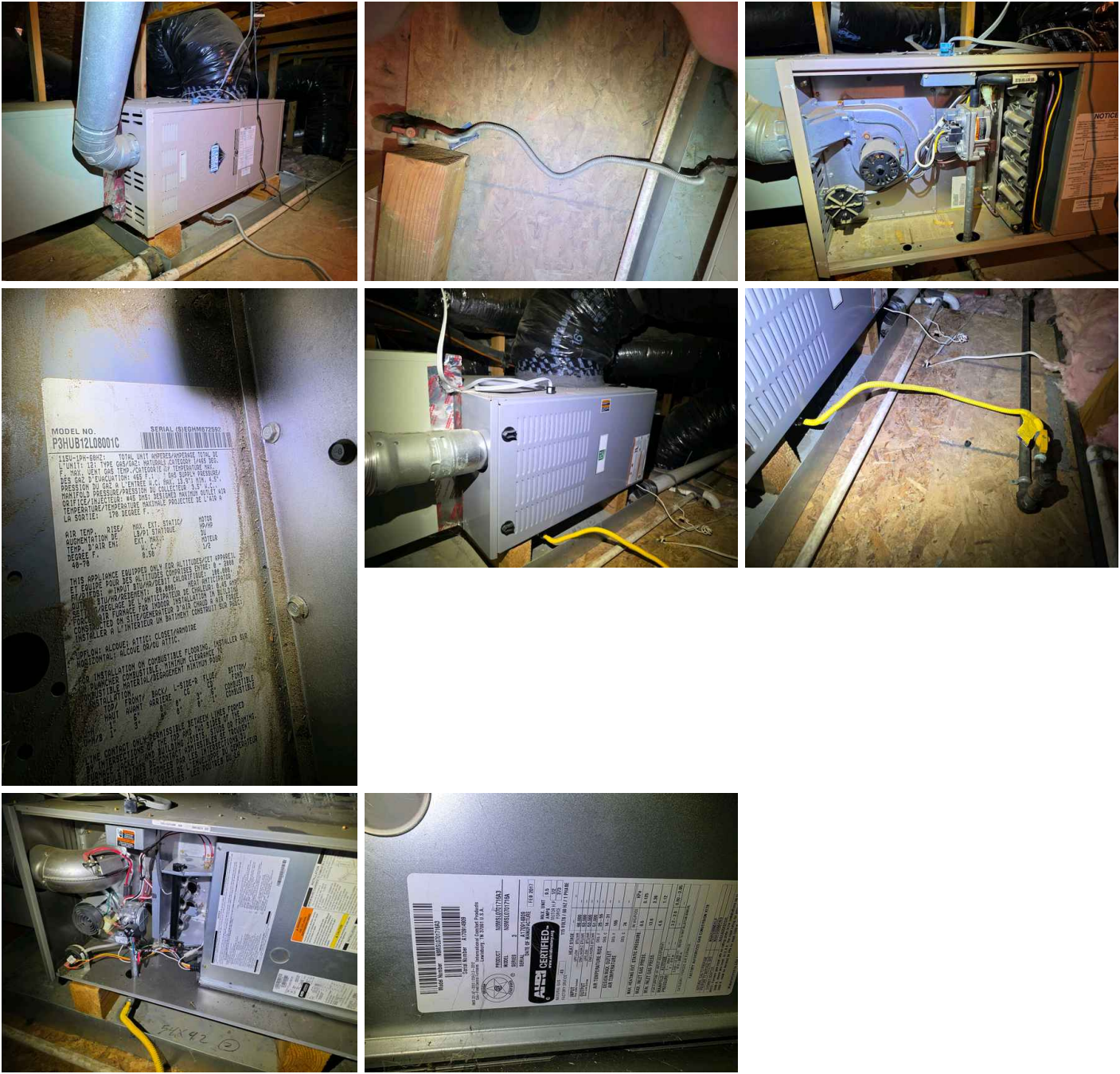
**Thermostat/Air Filter:
Manufacturer**

Nest

Thermostat/Air Filter: Filter Type

Fiberglass

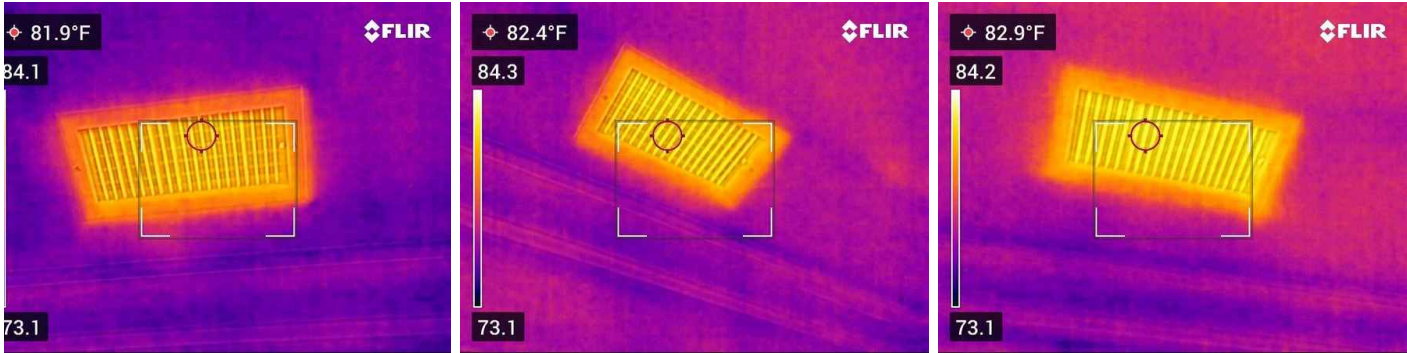
Heating System : Heating System Information



Heating Distribution: Heating Distribution



Infrared Heat Temperatures: Infrared Heat Temperatures



Unit Venting: Unit Venting



Thermostat/Air Filter: Thermostat/Air Filter



Limitations

Unit Venting

UNABLE TO REACH ALL THE FLUE GAS VENT PIPES

I was unable to closely reach and observe all of the flue gas vent vent pipes that pass through the roof-covering materials. This was an inspection restriction.

Observations

9.1.1 Heating System

HEATING SYSTEM - NOT OPERATING

 Recommendation

Due to no propane supply available at the time of the inspection, we were unable to get the heating system to turn on from the thermostat when tested. **We recommend having a California licensed HVAC professional evaluate the heating system when propane supply can be verified.**

9.1.2 Heating System

HEATING SYSTEM - OVER 15 YEARS

 Maintenance Item

Information Comment: Due to the southern heater unit age (1999), **we recommend having a California licensed HVAC professional further evaluate.**

9.5.1 Thermostat/Air Filter

DIRTY FILTER

 Maintenance Item

The HVAC air filter appeared to be dirty. We recommend replacing the filters with pleated filters.



10: COOLING

10.1	Cooling System Information
10.2	Infrared Cooling Temperatures

Information

Cooling System Information: Manufacturer Day & Night	Cooling System Information: Age Both Condensers - 06/2017	Cooling System Information: Condition Satisfactory
Cooling System Information: Capacity 3 Ton, 4 Ton	Cooling System Information: Location South, North	

Cooling System Information:

Exterior Refrigerant Line
Insulation Condition

Satisfactory

Cooling System Information:

Electrical Disconnect Condition

Satisfactory, Needs Maintenance

Cooling System Information:

Electrical Disconnect Location

Above the Unit

Infrared Cooling Temperatures:

Condition

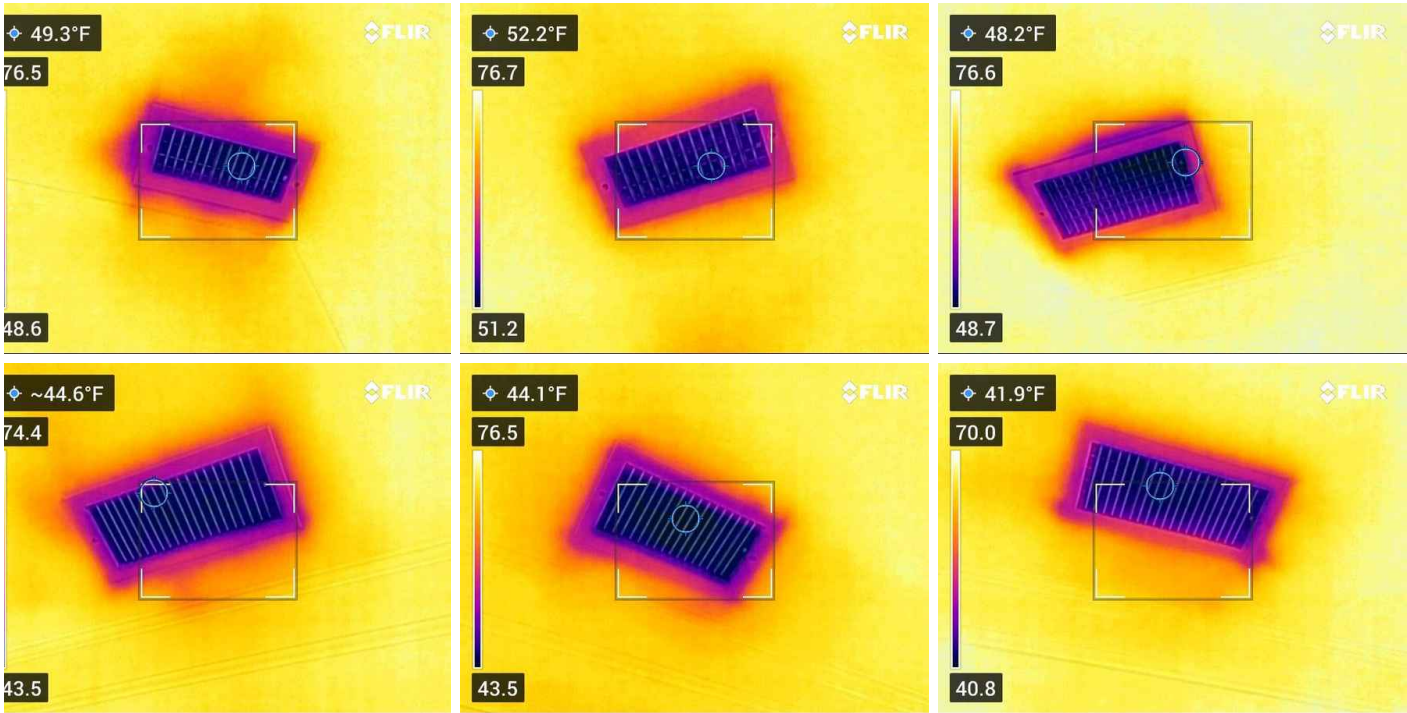
Satisfactory

The image is a 3x2 grid of six photographs documenting HVAC equipment and electrical components.

- Top-left:** A Carrier outdoor air conditioning unit with a black metal grille and a white top, sitting on a concrete pad.
- Top-middle:** A close-up view of the condenser coils and the fan assembly of an outdoor unit, showing some debris accumulation.
- Top-right:** An open electrical control box mounted on a wall. The door is open to the left, revealing safety warnings and a switch labeled "OFF".
- Middle-left:** A detailed technical specification label for a Carrier HVAC unit. The label includes the following information:
 - SERIAL: E172221008
 - PROD: M4A548KC101
 - MODEL: M4A548KC101
 - HEATING: TXV
 - DEVICE: INDOOR
 - FACTORY CHARGE: R410A
 - INDOOR T1U SUB COOLING: 8.31 LBS, 3.77 KG
 - POWER SUPPLY: 1 208-230 VOLTS AC, 60 HZ
 - PERMISSIBLE VOLTAGE AT UNIT: 1 197 MIN
 - SUITABLE FOR OUTDOOR USE: 1 208/230 VOLTS AC, 60 HZ
 - COMPRESSOR: 1 208/230 VOLTS AC, 60 HZ
 - FAN MOTOR: 1 1/2 208/230 VOLTS AC, 60 HZ
 - TEST PRESSURE: 1 450 PSI, 3103 KPA
 - TEST PRESSURE: 1 700 PSI, 4826 KPA
 - TEST PRESSURE: 1 35 PSI, 238 KPA
- Middle-middle:** An outdoor air conditioning unit on a concrete pad, similar to the one in the top-left image.
- Middle-right:** A close-up of a refrigerant line wrapped in black and white insulation, with a white cap on the end.
- Bottom-left:** A close-up of an electrical control box with a switch labeled "ON" and "140".
- Bottom-middle:** A detailed technical specification label for a Carrier HVAC unit. The label includes the following information:
 - SERIAL: E172217327
 - PROD: M4A536KC101
 - MODEL: M4A536KC101
 - HEATING: TXV
 - DEVICE: INDOOR
 - FACTORY CHARGE: R410A
 - INDOOR T1U SUB COOLING: 6.40 LBS, 2.90 KG
 - POWER SUPPLY: 1 208-230 VOLTS AC, 60 HZ
 - PERMISSIBLE VOLTAGE AT UNIT: 1 197 MIN
 - SUITABLE FOR OUTDOOR USE: 1 208/230 VOLTS AC, 60 HZ
 - COMPRESSOR: 1 208/230 VOLTS AC, 60 HZ
 - FAN MOTOR: 1 1/2 208/230 VOLTS AC, 60 HZ
 - TEST PRESSURE: 1 450 PSI, 3103 KPA
 - TEST PRESSURE: 1 700 PSI, 4826 KPA
 - TEST PRESSURE: 1 35 PSI, 238 KPA

Infrared Cooling Temperatures: Infrared Cooling Temperatures

The temperatures were blowing cold at the time of the inspection. It is never a bad idea to have the A/C unit serviced annually by a California licensed HVAC professional.



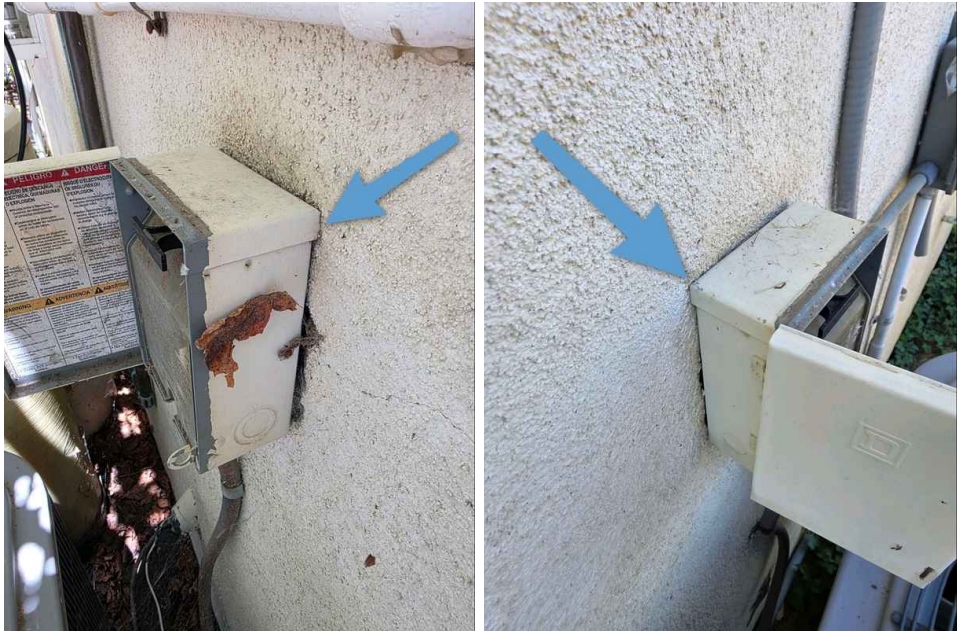
Observations

10.1.1 Cooling System Information

A/C ELECTRICAL - NOT SEALED

 Maintenance Item

Both of the A/C disconnects were not sealed. The A/C disconnects need to be sealed with caulking.



11: INTERIOR COMPONENTS

11.1	Interior Walls
11.2	Entry
11.3	Living Room
11.4	Dining Room
11.5	Family Room
11.6	Kitchen
11.7	Hallway
11.8	Laundry Room
11.9	Master Bedroom
11.10	Master Bathroom
11.11	Bedroom #2
11.12	Bedroom #3
11.13	Bedroom #4
11.14	Bathroom #2
11.15	Bathroom #3

Information

Number of Bedrooms

4

Number of Bathrooms

3

Interior Walls: Type

Drywall

Interior Walls: Condition

Satisfactory, Needs Maintenance

Entry: Flooring Type

Tile

Entry: Condition

Satisfactory

Entry: Air Vent

No Register

Entry: Entry Door

Satisfactory

Entry: Door Bell

Unsatisfactory, Needs Maintenance

Entry: Door Knob

Satisfactory, Needs Maintenance

Entry: Dead Bolt

Satisfactory

Entry: Weather Strip

Satisfactory

Entry: Porch Light

Satisfactory, Needs Maintenance

Entry: Entry Light

Satisfactory

Entry: Type

Recessed Can Light - 1, Flush Mount - 1

Entry: Electrical

Satisfactory

Entry: # of Switch(es)

4

Entry: # of Wall Plug(s)

1

Entry: Walls

Satisfactory

Entry: Window(s)

Satisfactory

Entry: Blinds

None

Entry: Closet

Satisfactory

Living Room: Flooring Type

Carpet

Living Room: Condition

Satisfactory, Needs Maintenance

Living Room: Air Vent

Register Open

Living Room: Heating Temperature

81 °F

Living Room: Cooling Temperature

44 °F

Living Room: Electrical

Satisfactory

Living Room: # of Switch(es)

3

Living Room: # of 1/2 Hot Switch(es)

1

Living Room: # of Plug(s)

4

Living Room: # of 1/2 Hot Plug(s)

1

Living Room: Light Fixture(s)

Satisfactory

Living Room: Type

Ceiling Fan/Light - 1

Living Room: Walls

Unsatisfactory, Professional Consultation, Needs Maintenance

Living Room: Window(s)

Satisfactory

Living Room: Blinds

None

Living Room: Fireplace Type

Wood

Living Room: Flue

Satisfactory

Living Room: Fire Box

Satisfactory

Living Room: Enclosure

Satisfactory

Living Room: Damper Clip

No

Dining Room: Flooring Type

Carpet

Dining Room: Condition

Satisfactory

Dining Room: Air Vent

Register Open

Dining Room: Heating Temperature

81 °F

Dining Room: Cooling Temperature

44 °F

Dining Room: Electrical

Satisfactory

Dining Room: # of Switch(es)

2

Dining Room: # of Plug(s)

3

Dining Room: Light Fixture(s)

Satisfactory, Needs Maintenance

Dining Room: Type

Flush Mount - 1, Hanging - 1

Dining Room: Walls

Satisfactory

Dining Room: Window(s)

Satisfactory

Dining Room: Blinds

None

Family Room: Flooring Type

Carpet

Family Room: Condition

Satisfactory

Family Room: Air Vent

Register Open

Family Room: Heat Temperature

82 °F

Family Room: Cooling Temperature

41 °F

Family Room: Electrical

Satisfactory

Family Room: # of Switch(es)

8

Family Room: # of 1/2 Hot Switch(es)

1

Family Room: # of Plug(s)

14

Family Room: # of 1/2 Hot Plug(s)

1

Family Room: Light Fixture(s)

Satisfactory

Family Room: Type

Ceiling Fan - 1, Flush Mount - 1

Family Room: Walls

Satisfactory, Needs Maintenance

Family Room: Window(s)

Satisfactory, Needs Maintenance

Family Room: Blinds

Satisfactory

Family Room: French Doors

Satisfactory

Family Room: Fireplace Type

Wood

Family Room: Flue

Satisfactory

Family Room: Fire Box

Satisfactory

Family Room: Enclosure

Satisfactory, Needs Maintenance

Family Room: Damper Clip

No

Kitchen: Flooring Type

Tile

Kitchen: Condition

Satisfactory

Kitchen: Air Vent

Register Open

Kitchen: Heat Temperature

82 °F

Kitchen: Cooling Temperature

39 °F

Kitchen: Countertop Type

Granite

Kitchen: Drawer(s)

Satisfactory

Kitchen: Faucet(s)

Satisfactory, Needs Maintenance

Kitchen: Garbage Disposal**Manufacturer**

American Standard

Kitchen: Dishwasher**Manufacturer**

Kitchenaid

Kitchen: Range, Cook Top or Oven**Manufacturer**

Samsung

Kitchen: # of Burners

5

Kitchen: BroilerNeeds Maintenance,
Unsatisfactory**Kitchen: Exhaust Ventilation**

Satisfactory

Kitchen: # of Plug(s)

11

Kitchen: Light Fixture(s)

Satisfactory

Kitchen: Window(s)

Satisfactory

Kitchen: Breakfast Bar

Satisfactory

Hallway: Air Vent

No Register

Hallway: # of Plug(s)

3

Hallway: Walls

Satisfactory

Kitchen: Countertop

Satisfactory

Kitchen: Door(s)

Satisfactory

Kitchen: Drain(s)

Satisfactory

Kitchen: Air Gap

Yes

Kitchen: Moisture

No

Kitchen: Fuel Type

Propane

Kitchen: Oven #1 Temperature

000 F.

Kitchen: Microwave

Satisfactory

Kitchen: Exhaust Ventilation Type

Microwave, Vented Outside

Kitchen: # of GFCI Protected Plug(s)

5

Kitchen: TypeHanging - 4, Ceiling Fan - 1,
Recessed Can Lights - 4, Under
Counter Lights - 5**Kitchen: Blinds**

None

Hallway: Flooring Type

Carpet

Hallway: Electrical

Satisfactory

Hallway: Light Fixture(s)

Satisfactory

Hallway: Linen Cabinet

Satisfactory

Kitchen: Cabinet(s)

Painted

Kitchen: Sink(s)

Satisfactory, Needs Maintenance

Kitchen: Garbage DisposalSatisfactory, Needs Maintenance,
Professional Consultation**Kitchen: Dishwasher**Unsatisfactory, Needs
Maintenance, Professional
Consultation**Kitchen: Range/Cook Top/Oven**Unsatisfactory, Needs
Maintenance**Kitchen: Cook Top**

Yes

Kitchen: Oven #1Unsatisfactory, Needs
Maintenance**Kitchen: Microwave****Manufacturer**

LG

Kitchen: Electrical

Satisfactory

Kitchen: # of Switch(es)

10

Kitchen: Walls

Satisfactory

Kitchen: Pantry

Satisfactory

Hallway: Condition

Satisfactory

Hallway: # of Switch(es)

4

Hallway: TypeRecessed Can Lights - 2, Flush
Mount - 1**Hallway: Thermostat**

Satisfactory

Hallway: Smoke Detector

Unsatisfactory, Needs
Maintenance

**Hallway: Carbon Monoxide
Detector**

Needs Maintenance,
Unsatisfactory

Hallway: Return Air Grille

Satisfactory

Laundry Room: Flooring Type

Tile

Laundry Room: Condition

Satisfactory

Laundry Room: Air Vent

Register Open

**Laundry Room: Heat
Temperature**

82 °F

**Laundry Room: Cooling
Temperature**

47 °F

Laundry Room: Location

Downstairs

Laundry Room: Exhaust Fan

None

Laundry Room: Cabinet(s)

White

Laundry Room: Shelving

Satisfactory

Laundry Room: Sink

Satisfactory, Needs Maintenance

Laundry Room: Faucet

Satisfactory, Needs Maintenance

Laundry Room: Drain

Satisfactory

Laundry Room: GFCI/Plugs

Satisfactory, Needs Maintenance

Laundry Room: Light Fixture(s)

Satisfactory

Laundry Room: Type

Recessed Can Light - 1

Laundry Room: Walls

Satisfactory

Laundry Room: Window(s)

Satisfactory

Laundry Room: Blinds

None

Laundry Room: Gas Shut-Off

Satisfactory

Laundry Room: Dryer Vent

Satisfactory

Laundry Room: Water Supply

Satisfactory

Laundry Room: Laundry Drain

Satisfactory

Laundry Room: Drain Pan

None

Master Bedroom: Flooring Type

Carpet

Master Bedroom: Condition

Satisfactory

Master Bedroom: Air Vent

Register Open

**Master Bedroom: Heat
Temperature**

81 °F

**Master Bedroom: Cooling
Temperature**

50 °F

Master Bedroom: Electrical

Satisfactory

Master Bedroom: # of Switch(es)

3

Master Bedroom: # of Plug(s)

5

Master Bedroom: Light Fixture(s)

Satisfactory

Master Bedroom: Type

Ceiling Fan/Light - 1

Master Bedroom: Walls

Satisfactory

Master Bedroom: Window(s)

Satisfactory

Master Bedroom: Fire Box 2

Satisfactory

Master Bedroom: Blinds

Satisfactory

Master Bedroom: Enclosure 2

Satisfactory, Needs Maintenance

Master Bedroom: Exterior Door

Satisfactory

**Master Bedroom: Fireplace Type
2**

Wood

Master Bedroom: Flue 2

Satisfactory

**Master Bedroom: Smoke
Detector**

Unsatisfactory, Needs
Maintenance

**Master Bedroom: Carbon
Monoxide Detector**

Needs Maintenance,
Unsatisfactory

Master Bedroom: Fireplace Type

Gas

Master Bedroom: Flue

Satisfactory

Master Bedroom: Fire Box

Satisfactory

Master Bedroom: Enclosure

Satisfactory

Master Bedroom: Damper Clip

No

Master Bathroom: Flooring Type Tile	Master Bathroom: Condition Satisfactory, Needs Maintenance	Master Bathroom: Air Vent Register Open
Master Bathroom: Heat Temperature 82 °F	Master Bathroom: Cooling Temperature 49 °F	Master Bathroom: Countertop Satisfactory, Needs Maintenance
Master Bathroom: Sink #1 (Right) Satisfactory, Needs Maintenance	Master Bathroom: Sink #2 (Left) Satisfactory	Master Bathroom: Faucet(s) Satisfactory, Needs Maintenance
Master Bathroom: Drain(s) Satisfactory	Master Bathroom: Mirror(s) Satisfactory	Master Bathroom: Medicine Cabinet(s) Satisfactory
Master Bathroom: Light Fixture(s) Satisfactory, Needs Maintenance	Master Bathroom: Type Flush Mount - 4	Master Bathroom: GFCI/Plug Needs Maintenance, Unsatisfactory, Professional Consultation
Master Bathroom: Bathtub Type 60 inch, Oval, Fiberglass	Master Bathroom: Bathtub Satisfactory	Master Bathroom: Shower Type 36 inch, Fiberglass Pan
Master Bathroom: Shower Satisfactory	Master Bathroom: Fixture(s)/Faucet(s) Satisfactory	Master Bathroom: Shower Head Satisfactory
Master Bathroom: Enclosure Satisfactory, Needs Maintenance	Master Bathroom: Enclosure Walls Fiberglass	Master Bathroom: Drain(s) Satisfactory
Master Bathroom: Toilet Satisfactory	Master Bathroom: Water Closet Satisfactory	Master Bathroom: Exhaust Fan Satisfactory
Master Bathroom: Walls Satisfactory	Master Bathroom: Window(s) Satisfactory	Master Bathroom: Blinds Satisfactory
Master Bathroom: Closet Satisfactory	Master Bathroom: Walk-In Yes	Master Bathroom: Closet Flooring Carpet
Master Bathroom: Damper Clip 3 No	Master Bathroom: Door Condition Satisfactory	Master Bathroom: Door Type Wood
Master Bathroom: Shelf and Pole Satisfactory, Needs Maintenance	Master Bathroom: Closet Lighting Satisfactory	Bedroom #2: Flooring Type Carpet
Bedroom #2: Condition Satisfactory	Bedroom #2: Air Vent Register Open	Bedroom #2: Heat Temperature 81 °F
Bedroom #2: Cooling Temperature 48 °F	Bedroom #2: Electrical Satisfactory	Bedroom #2: # of Switch(es) 2
Bedroom #2: # of Plug(s) 11	Bedroom #2: Light Fixture(s) Satisfactory, Needs Maintenance	Bedroom #2: Type Ceiling Fan/Light - 1, Hanging - 1
Bedroom #2: Walls Satisfactory	Bedroom #2: Window(s) Satisfactory	Bedroom #2: Blinds Satisfactory

Bedroom #2: Closet

Satisfactory

Bedroom #2: Door Condition

Satisfactory

Bedroom #2: Closet Lighting

None

Bedroom #2: Walk-In

No

Bedroom #2: Door Type

Mirrors

Bedroom #2: Smoke DetectorNeeds Maintenance,
Unsatisfactory**Bedroom #2: Closet Flooring**

Carpet

Bedroom #2: Shelf and Pole

Satisfactory

Bedroom #2: Carbon Monoxide DetectorUnsatisfactory, Needs
Maintenance**Bedroom #3: Flooring Type**

Carpet

Bedroom #3: Condition

Satisfactory

Bedroom #3: Air Vent

Register Open

Bedroom #3: Heat Temperature

81 °F

Bedroom #3: Cooling Temperature

52 °F

Bedroom #3: Electrical

Satisfactory

Bedroom #3: # of Switch(es)

4

Bedroom #3: # of Plug(s)

10

Bedroom #3: Light Fixture(s)

Satisfactory, Needs Maintenance

Bedroom #3: TypeCeiling Fan/Light - 2, Flush Mount -
1**Bedroom #3: Walls**

Satisfactory

Bedroom #3: Window(s)

Satisfactory, Needs Maintenance

Bedroom #3: Blinds

Satisfactory

Bedroom #3: Closet

Satisfactory

Bedroom #3: Walk-In

Yes

Bedroom #3: Closet Flooring

Carpet

Bedroom #3: Door Condition

Satisfactory

Bedroom #3: Door Type

Wood

Bedroom #3: Shelf and Pole

Satisfactory

Bedroom #3: Closet Lighting

Satisfactory, Needs Maintenance

Bedroom #3: Smoke DetectorNeeds Maintenance,
Unsatisfactory**Bedroom #3: Carbon Monoxide Detector**Needs Maintenance,
Unsatisfactory**Bedroom #4: Flooring Type**

Carpet

Bedroom #4: Condition

Satisfactory

Bedroom #4: Air Vent

Register Open

Bedroom #4: Heat Temperature

81 °F

Bedroom #4: Cooling Temperature

49 °F

Bedroom #4: Electrical

Satisfactory

Bedroom #4: # of Switch(es)

1

Bedroom #4: # of Plug(s)

7

Bedroom #4: Light Fixture(s)

Satisfactory

Bedroom #4: Type

Ceiling Fan/Light - 1

Bedroom #4: Walls

Satisfactory

Bedroom #4: Window(s)

Satisfactory, Needs Maintenance

Bedroom #4: Blinds

Satisfactory

Bedroom #4: Closet

Satisfactory

Bedroom #4: Walk-In

No

Bedroom #4: Closet Flooring

Carpet

Bedroom #4: Door ConditionUnsatisfactory, Needs
Maintenance**Bedroom #4: Door Type**

None

Bedroom #4: Shelf and Pole

Satisfactory

Bedroom #4: Closet Lighting

Satisfactory

Bedroom #4: Smoke Detector

Needs Maintenance,
Unsatisfactory

Bedroom #4: Carbon Monoxide Detector

Needs Maintenance,
Unsatisfactory

Bathroom #2: Flooring Type

Tile

Bathroom #2: Condition

Satisfactory

Bathroom #2: Air Vent

Register Open

Bathroom #2: Heat Temperature

81 °F

Bathroom #2: Cooling Temperature

49 °F

Bathroom #2: Countertop

Satisfactory

Bathroom #2: Sink

Satisfactory

Bathroom #2: Faucet(s)

Satisfactory

Bathroom #2: Drain(s)

Satisfactory, Needs Maintenance

Bathroom #2: Mirror(s)

Satisfactory

Bathroom #2: Medicine Cabinet(s)

Satisfactory

Bathroom #2: Light Fixture(s)

Satisfactory, Needs Maintenance

Bathroom #2: Type

Flush Mount - 2

Bathroom #2: GFCI/Plug

Unsatisfactory, Needs
Maintenance, Professional
Consultation

Bathroom #2: Bathtub/Shower Type

60 inch, Combination

Bathroom #2: Bathtub/Shower

Satisfactory

Bathroom #2: Fixture(s)/Faucet(s)

Satisfactory, Needs Maintenance

Bathroom #2: Shower Head

Satisfactory

Bathroom #2: Enclosure

Satisfactory, Needs Maintenance

Bathroom #2: Enclosure Walls

Fiberglass

Bathroom #2: Drain(s)

Satisfactory

Bathroom #2: Toilet

Satisfactory

Bathroom #2: Exhaust Fan

Satisfactory

Bathroom #2: Walls

Satisfactory

Bathroom #2: Window(s)

None

Bathroom #3: Flooring Type

Tile

Bathroom #3: Condition

Satisfactory

Bathroom #3: Air Vent

Register Open

Bathroom #3: Heat Temperature

82 °F

Bathroom #3: Cooling Temperature

47 °F

Bathroom #3: Countertop

Satisfactory

Bathroom #3: Sink

Satisfactory

Bathroom #3: Faucet(s)

Satisfactory

Bathroom #3: Drain(s)

Satisfactory

Bathroom #3: Mirror(s)

Satisfactory

Bathroom #3: Medicine Cabinet(s)

Satisfactory

Bathroom #3: Light Fixture(s)

Satisfactory, Needs Maintenance

Bathroom #3: Type

Flush Mount - 2

Bathroom #3: GFCI/Plug

Unsatisfactory, Professional
Consultation, Needs Maintenance

Bathroom #3: Shower Type

36 inch, Custom Tile Pan

Bathroom #3: Shower

Satisfactory, Needs Maintenance,
Professional Consultation

Bathroom #3: Fixture(s)/Faucet(s)

Satisfactory, Needs Maintenance

Bathroom #3: Shower Head

Satisfactory

Bathroom #3: Enclosure

Satisfactory, Needs Maintenance,
Professional Consultation

Bathroom #3: Enclosure Walls

Tile

Bathroom #3: Drain(s)

Satisfactory

Living Room: Living Room



Dining Room: Dining Room



Family Room: Family Room



Kitchen: Kitchen





Hallway: Hallway



Laundry Room: Laundry Room



Master Bedroom: Master Bedroom



Master Bathroom: Master Bathroom





Bedroom #2: Bedroom #2



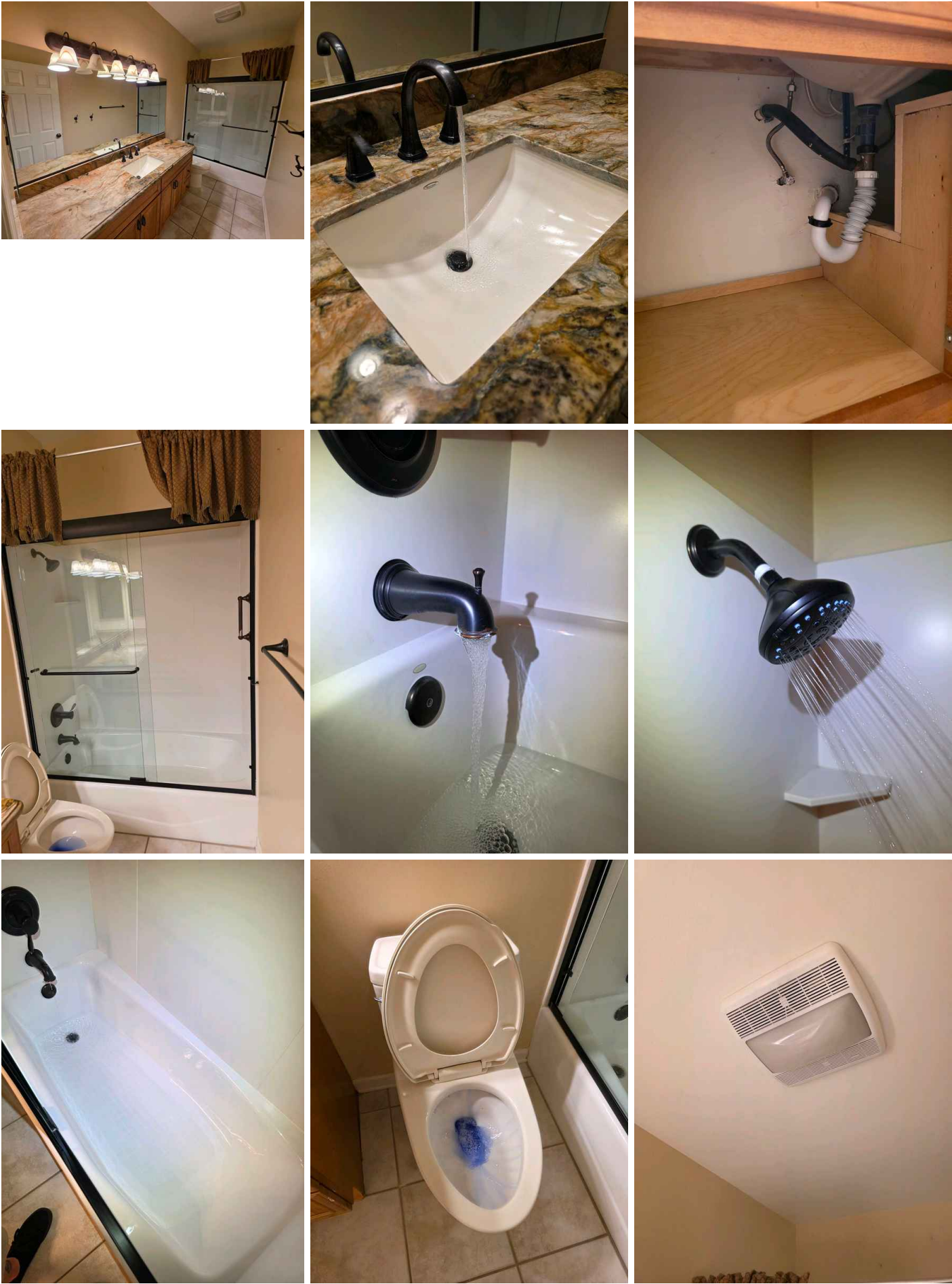
Bedroom #3: Bedroom #3



Bedroom #4: Bedroom #4



Bathroom #2: Bathroom #2



Bathroom #3: Bathroom #3



Limitations

Kitchen

NO PROPANE AT THE TIME OF THE INSPECTION

The propane was shut off at the propane tank. We turned on the tank at the gate valve at the tank for testing. We were unable to get propane to any of the propane fueled appliances. We turned the gate valve back off after testing.

Laundry Room

WASHING MACHINE DRAIN AND SUPPLY LINE LIMITATIONS

Washing machines and dryers are not tested or moved during this inspection. Condition of walls or flooring under these machines cannot be judged. The inspector does not test washing machine drain or supply lines. Water supply valves may be subject to leaking if turned. We recommend the installation of a drain pan.

Observations

11.1.1 Interior Walls

DRYWALL - NORMAL WEAR & TEAR



There were dings some minor, scrapes and dents in the drywall, this is normal wear and tear on a lived-in home.

11.1.2 Interior Walls

WALL - CROWN MOULDING CAULKING



There were sections of crown moulding caulking that needs maintenance in a few rooms.

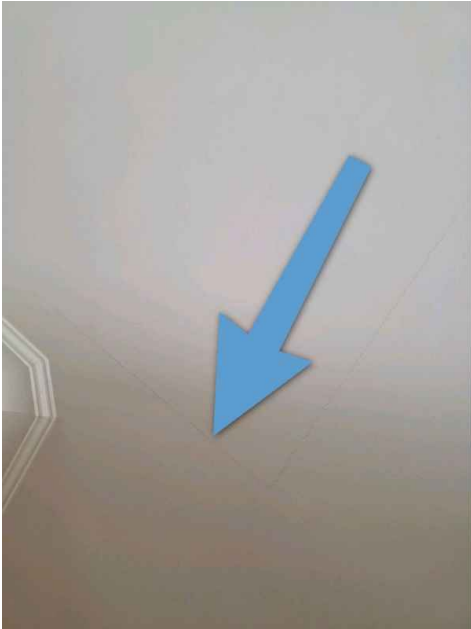


11.1.3 Interior Walls

WALLS - CEILING DEFLECTION CRACKS



There appeared to be some deflection cracking at the drywall ceiling in a few different rooms. While cosmetic, we recommend repairing the drywall deflection cracks in the drywall texture.



11.1.4 Interior Walls

BUILT-IN INTERCOM

 Maintenance Item

There appeared to be an intercom system throughout the home with the control station located in the kitchen. The control panel appeared to be loose and needs to be secured.

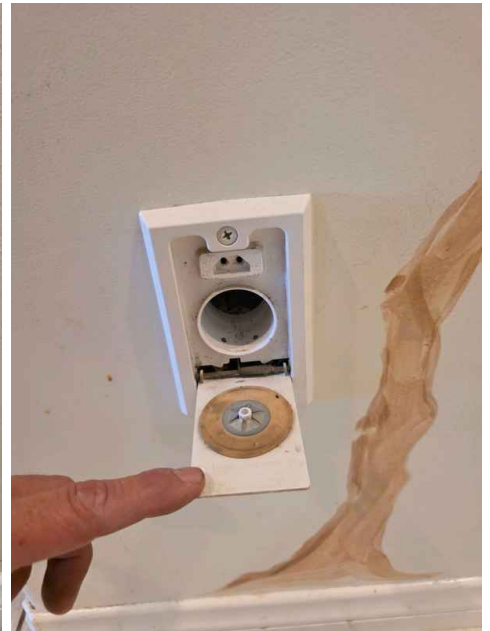


11.1.5 Interior Walls

BUILT-IN VACUUM SYSTEM

 Maintenance Item

There appeared to be a built in vacuum system. We do not test these types of systems.

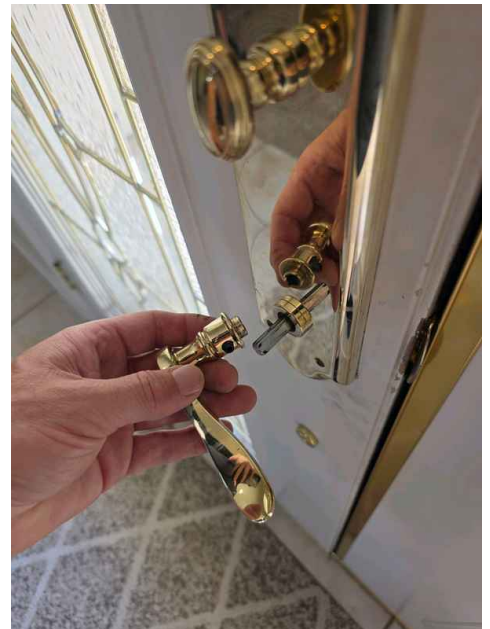


11.2.1 Entry

DOOR - DOOR KNOB LOOSE

Maintenance Item

The entry door knob was loose and needs to be secured.

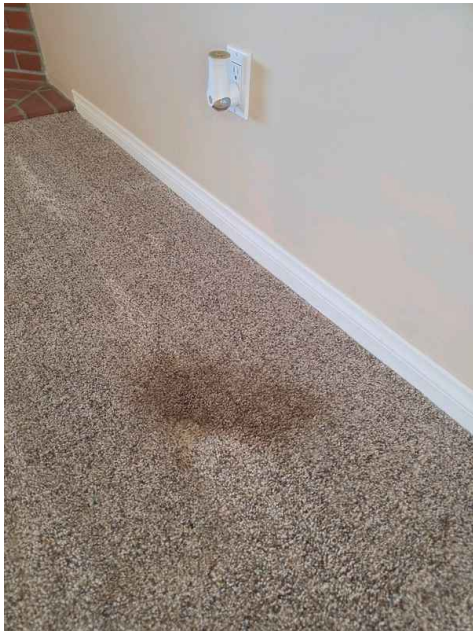


11.3.1 Living Room

FLOOR - CARPET STAIN(S)

Maintenance Item

There appeared to be carpet stains in the living room.

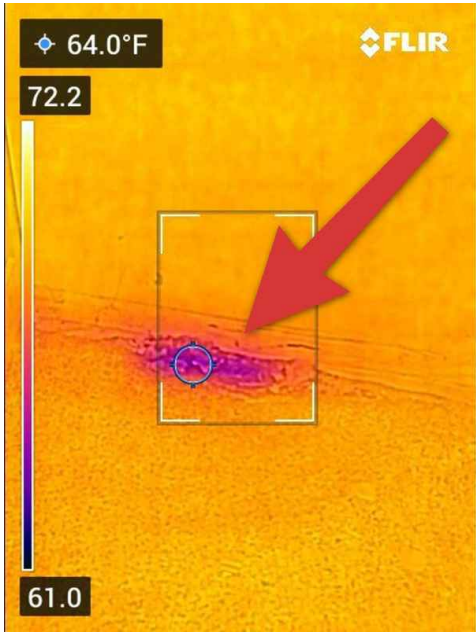


11.3.2 Living Room

WALL - ACTIVE MOISTURE PRESENT

 Safety Hazard

There was active moisture and biological growth present at the wall in the living room. It appeared to be from the shower in enclosure in bathroom #3 leaking. **We recommend having a California licensed remediation professional further evaluate and repair as needed.**



11.5.1 Family Room

FIREPLACE - ENCLOSURE DOOR HANDLE MISSING

 Recommendation

One of the fireplace glass enclosure door handles in the family room was missing



11.5.2 Family Room

WALL - HOLE IN DRYWALL

There was a hole in the drywall in the family room.



Recommendation



11.6.1 Kitchen

COUNTERTOP - CAULKING NEEDS MAINTENANCE

The caulking at the kitchen countertop to sink transition was dry and cracked and needs maintenance.



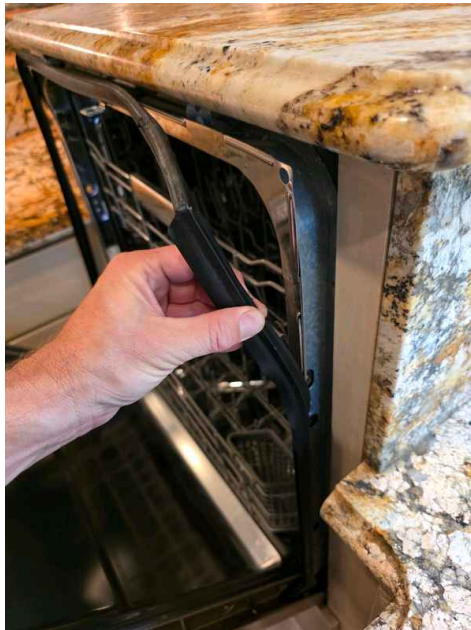
Maintenance Item



11.6.2 Kitchen

DISHWASHER - NOT SECURED**Safety Hazard**

The dishwasher was loose and not secured in place. The dishwasher weatherstripping seal was loose. We recommend securing the weatherstripping in place and dishwasher to the countertop. **We did not test the dishwasher due to risk of leaks from the loose weatherstripping seal.**



11.6.3 Kitchen

GARBAGE DISPOSAL - EXCESSIVE NOISE**Maintenance Item**

Garbage disposal appeared to have something stuck in the blades and was excessively noisy. **We recommend a California licensed plumber further evaluate and repair as needed.**



11.6.4 Kitchen

MICROWAVE - LOOSE HANDLE

The microwave door handle was loose.



Maintenance Item



11.6.5 Kitchen

OVEN - BROKEN CONTROL KNOB

The middle cooktop burner knob did not engage and turn properly. We recommend replacing the knob.



Maintenance Item



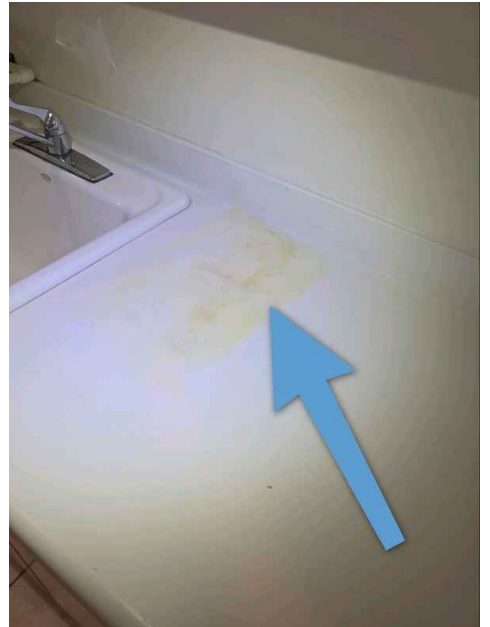
11.8.1 Laundry Room

COUNTERTOP - STAINED

The laundry room countertop in the was stained.



Maintenance Item



11.10.1 Master Bathroom

CLOSET - DRAWER FACE REMOVED AND CLOTHES POLE LOOSE

One of the cabinet drawer faces in the master bathroom closet had been removed. One of the clothes bars was pulling away. We recommend repairing the drawer face and clothes bar.



Maintenance Item



11.10.2 Master Bathroom

COUNTERTOP - CAULKING NEEDS MAINTENANCE

Maintenance Item

The caulking at the master bathroom countertop to backsplash transition was dry and cracked and needs maintenance.



11.10.3 Master Bathroom

SHOWER DOOR - STICKS

Maintenance Item

The master bathroom shower door sticks and was tough to open. We recommend having the door adjusted



11.10.4 Master Bathroom
FLOOR - CRACKED TILE

 Recommendation

There appeared to be several cracked tiles in the master bathroom that extends from the shower enclosure to the toilet in the water closet. We recommend having a California licensed tile professional further evaluate and repair and replace as needed.



11.13.1 Bedroom #4
CLOSET - DOORS MISSING

 Recommendation

The closet doors in bedroom #4 were missing at the time of the inspection.



11.14.1 Bathroom #2

**SHOWER ENCLOSURE - DOOR
HANDLE LOOSE**

Maintenance Item

The shower enclosure handle in bathroom #2 was loose at the time of the inspection. We recommend tightening the handle.



11.15.1 Bathroom #3

SHOWER FLOOR - CRACKED TILE & GROUT

Safety Hazard

There were several cracked tiles and grout in the bathroom #3 shower tile enclosure. The water was leaking through to the wall in the living room. We recommend having a California licensed plumber further evaluate and repair as needed.



12: GARAGE/CARPORT

12.1	Garage Description
12.2	Vehicle Doors
12.3	Flooring
12.4	Walls/Windows/Ceiling
12.5	Separation Wall (Attached Garage)
12.6	Door to Living Space/Man Door
12.7	Ventilation System
12.8	Moisture
12.9	GFCI - Plugs
12.10	Door Opener

Information

Garage Description: Type

3 Car, Attached

Garage Description: Condition

Satisfactory

Vehicle Doors: Door Type

Sectional Roll-Up

Vehicle Doors: Condition

Satisfactory

Vehicle Doors: Safety Springs

Yes

Vehicle Doors: Garage Door Seal/Weather Stripping

Yes

Flooring: Flooring Material

Concrete

Flooring: Condition

Satisfactory

Flooring: Type

Settling Cracks, Oil/Rust Stains

Walls/Windows/Ceiling:
Walls/Windows/Ceiling

Satisfactory, Needs Maintenance

Separation Wall (Attached Garage): Separation Wall (Attached Garage)



Separation Wall (Attached Garage): Separation Wall Type (Attached Garages)
Drywall

Separation Wall (Attached Garage): Condition
Unsatisfactory, Needs Maintenance, Professional Consultation

Door to Living Space/Man Door: Door to Living Space
Satisfactory

Door to Living Space/Man Door: Self-Closing Hinge
Yes

Door to Living Space/Man Door: Weather Stripping
Yes

Door to Living Space/Man Door: Man Door
Satisfactory

Ventilation System: Ventilation Type
14"x6"-2, Screened Louvered Vents

Ventilation System: Condition
Satisfactory

Moisture: Location
None

Moisture: Condition
Satisfactory

GFCI - Plugs: Type
GFCI

GFCI - Plugs: Condition
Satisfactory, Needs Maintenance

Door Opener: Manufacturer
Lift Master

Door Opener: Condition
Satisfactory

Door Opener: Sensor
Satisfactory

Garage Description: Garage Description



Vehicle Doors: Vehicle Doors



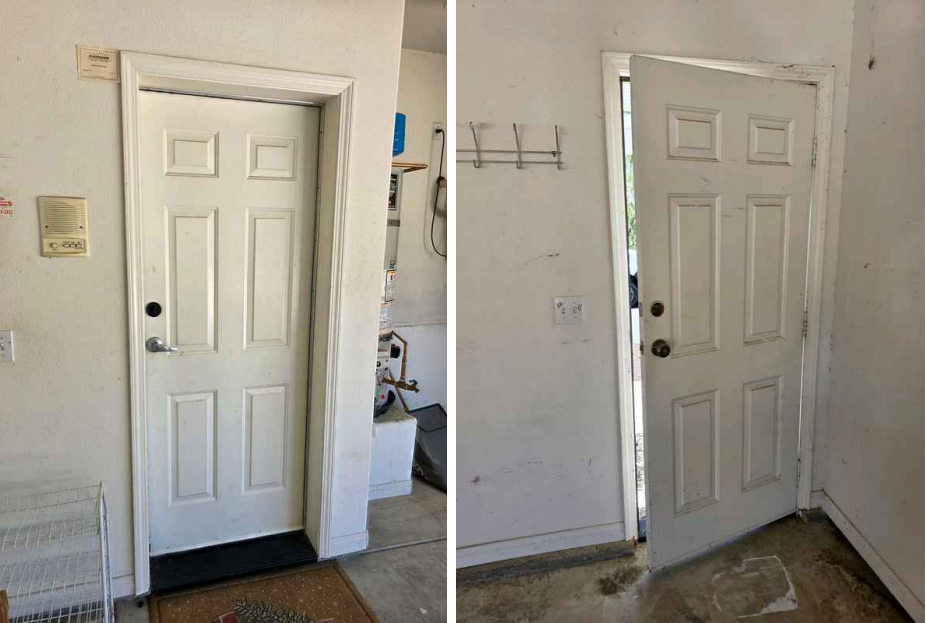
Flooring: Flooring



Walls/Windows/Ceiling: Walls/Windows/Ceiling



Door to Living Space/Man Door: Door to Living Space/Man Door



Ventilation System: Ventilation System



GFCI - Plugs: GFCI - Plugs



Door Opener: Door Opener



Observations

12.2.1 Vehicle Doors

WEATHERSTRIPPING DAMAGED

 Maintenance Item

The weatherstripping at the sides and tops of the garage door frames were damaged. We recommend replacing the weatherstripping around the sides and tops of the garage door frames.



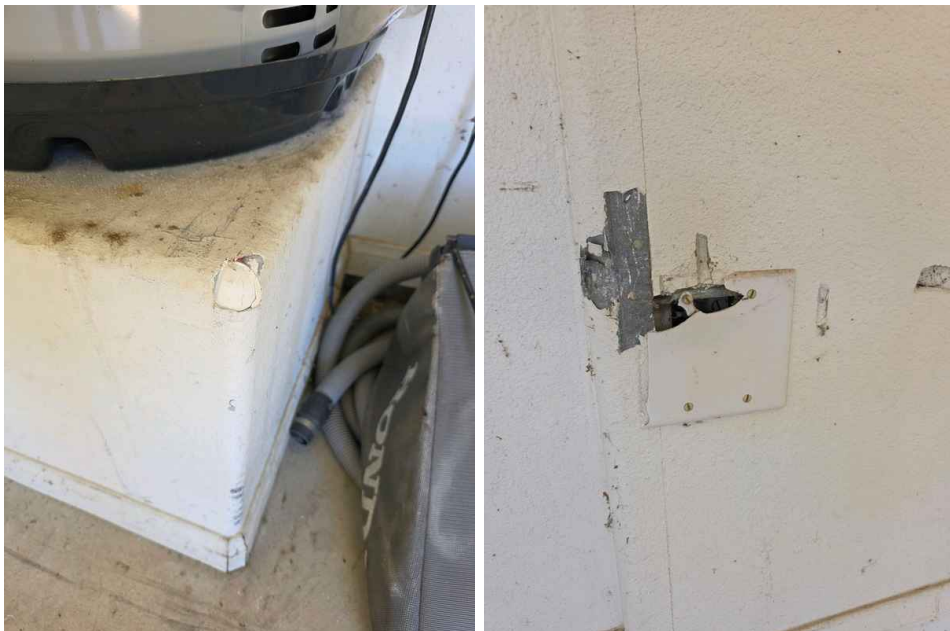
12.4.1 Walls/Windows/Ceiling

WALLS - MINOR DRYWALL DAMAGE

There was some minor drywall damage in a few areas of the garage.



Maintenance Item



12.5.1 Separation Wall (Attached Garage)

FIRE WALL - ATTIC ACCESS BREACHES FIREWALL



Safety Hazard

The attic access located in the garage appeared to have an opening to the adjacent living space and not properly sealed. This condition can allow the migration of air, moisture, and potentially harmful gases (including carbon monoxide) from the garage into the home. It also reduces the effectiveness of the required fire separation between the garage and living areas. **We recommend having a California licensed general contractor further evaluate and repair as needed.**

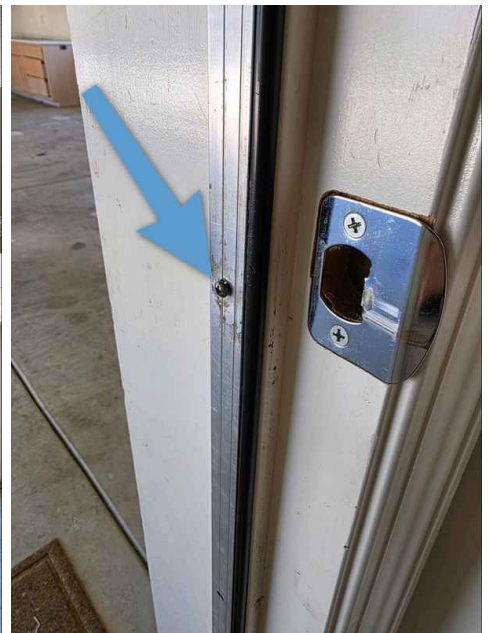


12.6.1 Door to Living Space/Man Door

FIRE DOOR - WEATHERSTRIPPING TORN

 Safety Hazard

The fire door weatherstripping was torn and some of the weatherstripping metal strip screws were loose. We recommend replacing the torn weatherstripping and tightening the loose screws to prevent carbon monoxide and garage fumes from entering the home through the fire door.



STANDARDS OF PRACTICE

Site Grounds & Grading

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soil engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. When decks and porches are built close to the ground where no viewing or access is possible, we cannot make accurate opinions. These areas as well as others that are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in this report. We routinely recommend that inquiry be made with the seller about knowledge of conditions. Our inspection of the exterior grounds includes the surface drainage, grading, fencing, gates, sidewalks, patios, driveways, and retaining walls adjacent to the structure.

Foundation/Crawlspace

The inspection of the foundation of the home is as follows. The footings from an exterior viewpoint and from inside the garage. The following items are excluded from this inspection: below grade foundation walls and footings, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents, and windows may be high off the ground and may be viewed by a drone or from a ladder - this may limit a full evaluation. Any comments, references, or inclusions made regarding these items are provided as a courtesy only. Some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note: the inspector does not determine the adequacy of seismic reinforcement.

Not all homes have crawlspaces to inspect from under the home. For the homes that do have a crawlspace, they will be inspected when the access is open and safely accessible as deemed by the inspector onsite.

Exterior & Structure

The inspection of the exterior of the building includes the trim, eaves, fascia, decks, porches, downspouts, railings, doors, windows, and flashings. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks present along with rotation, we routinely recommend further evaluation be made by a qualified professional structural engineer. The grading of the soil should allow for surface and roof water to flow away from the foundation. All concrete slabs experience some degree of cracking due to shrinkage in the drying process or minor settlement. All items listed are inspected for their proper function, poor installation, excessive wear, and general state of repair. Where deck carpeting, stacked firewood, excessive vegetation, soil and other coverings are installed over decking and patio surfaces, the materials or their nature of construction and condition of the underneath these coverings cannot be determined.

Homes built before the mid 1980s may possibly contain lead and/or asbestos. Lead is commonly found in paint and in some plumbing components. The EPA does not recognize newer coats of paint as encapsulating older coats of lead-based paint. Asbestos is commonly found in various building materials such as insulation, siding, and/or floor and ceiling tiles. Laws were passed in 1978 to prohibit usage of lead and asbestos, but stocks of materials containing these substances remained in use for a number of years thereafter. Both lead and asbestos are known health hazards IF they are disturbed. Evaluating for the presence of lead and/or asbestos is beyond the scope of this inspection unless requested and therefore tests were performed and samples sent to a third-party lab. Any mention of these materials in this report is made as a courtesy only and meant to refer the client to a specialist. For information on lead, asbestos, and other hazardous materials in homes, visit: EPA.GOV

Roof

The inspection of the roof system includes a visual examination of the surface materials, connections, penetrations, and roof drainage systems. We examine the roofing material for damage and deterioration. We examine the roof system for possible leaks, damage and conditions that suggest limited remaining service life. We may offer opinions concerning repair and/or replacement if warranted. Opinions stated herein concerning the roofing material are based on the general condition of the roof system as evidence by our visual inspection. These do not constitute a warranty that the roof is or will remain, free of leaks. All roofing systems require annual maintenance. Failure to perform routine maintenance will usually result in leaks and accelerated deterioration of the roof covering and flashings. When provided, our estimates of the roof's life expectancy assume that the roof will be properly maintained during that period. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection, and we cannot confirm this condition. We suggest that an annual inspection of the attic area be performed where accessible to identify if any leaks are evident.

Plumbing

Our inspection of the plumbing system includes a visual examination of the exposed portions of the domestic water supply, drain waste, vent, gas lines, faucets, fixtures, valves, drains, traps, exposed pipes and fittings. These items are examined for proper function, excessive or unusual wear, leakage and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint connection, especially in walls, floors, and ceiling voids. A sewer lateral test is necessary to determine the condition of the underground sewer lines. This type of test is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, off site community water supply systems, or private (septic) waste disposal systems unless specifically noted. A qualified specialist prior to the closing of escrow can perform review of these systems. Our inspection of the water heater includes a visual examination of the accessible portions of the tank, gas, electrical and/or water connections, venting and safety valves. These items are examined for proper function, excessive or unusual wear, leakage and general state of repair.

Electrical

Our examination of the electrical system includes a visual examination of the exposed and accessible branch circuits, wiring, service panel, over current protection devices, lighting fixtures, switches, and receptacles. Service equipment, proper grounding, wiring methods, and bonding are focal points. We inspect for adverse conditions such as lack of grounding and bonding, over-fusing, exposed wiring, open-air wire splices, reverse polarity, and defective GFCI's. The hidden nature of electrical wiring prevents inspection of every length of wire or their connections. Telephone, video, cable, audio, security systems and other low voltage systems were not included in this inspection unless specifically noted. We recommend you have the seller, or a specialist demonstrate the serviceability or locations of these systems to you if necessary. Any electrical repair attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to the beginning of any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke alarms should be installed within 15 feet of all bedroom doors and in bedrooms. These units should be tested monthly.

Attic

Our inspection of the attic includes a visual examination of the roof framing, plumbing, electrical, and mechanical systems. There are often heating ducts, bathroom vent ducts, electrical wiring, chimneys, and appliance vents in the attic. We examined these systems and components for proper function, unusual wear and general state of repair, leakage, venting and unusual or improper improvements. When low clearances and deep insulation prohibits walking in an unfinished attic, inspection will be from the access opening only. Vaulted ceilings cannot be inspected.

Heating

Our examination of the heating system includes a visual examination of the exposed and accessible heating equipment, thermostat, safety controls, venting, and the means of air distribution. Our inspection of the heating system includes activating the heating system via the thermostat and a visual examination of the accessible components listed above. Heat exchangers are inaccessible by design and are not part of the standards of practice. They must be completely removed from the furnace to be fully evaluated. Our inspection does not include disassembly of the furnace. The inspector cannot light pilot lights due to the liability. The inspector does not test safety devices. To obtain maximum efficiency and reliability from your heating system, we recommend annual servicing and inspections by a qualified heating specialist. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard, which is sometimes a costly condition to address. Heater was tested at each thermostat higher than the average temperature, at approximately 85-90 degrees. There is a reading at each register in the interior section of the report.

Cooling

This is a visual inspection limited in scope by (but not restricted to) the following conditions - window and/or wall mounted air condition units are not inspected. - The cooling supply adequacy or distribution balance are not inspected. - Pressure test on coolant systems is not within the scope of this inspection; therefore, no representation is made regarding coolant charge or line integrity. - Judgement of the system efficiency or capacity is not within the scope of this inspection. - Cooling systems are not dismantled in any way. Secured access covers are not removed. - The interior conditions of cooling components are not evaluated. - The presence of leaking refrigerant lines, heat pump oil, etc., is outside the scope of this inspection. Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection. Air conditioner was tested at each thermostat lower than the average temperature, at approximately 50-55 degrees. There is a reading at each register in the interior section of the report.

Interior Components

Our inspection of the interior includes a visual inspection of the readily accessible portions of the walls, ceilings, floors, doors, cabinetry, countertops, steps, stairways, balconies, and railings. Please note that a representative sample of the accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of furnishings and personal items. In these cases, some of the items may not be inspected. The condition of walls behind wall-coverings, paneling, and furnishings cannot be judged. Only the general condition of visible portions of the floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of underlying floor coverings is not inspected. Determining the condition of

insulated glass windows is not always possible due to temperature, weather, and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

Garage/Carport

The garage is inspected as best as possible, but can be limited due to parked cars or personal stored items. Due to this area being cluttered or areas being inaccessible, it is common for sections that cannot be fully inspected or items identified during our limited inspection. We suggest that a walk-through be performed once the home is vacant. If this a new construction inspection or vacant home this area will be inspected thoroughly. Determining the heat resistance rating of the firewalls and doors is beyond the scope of this inspection. Flammable materials should not be stored within the garage are if possible.