



Electronically
Recorded in Official Records
San Bernardino County

Assessor-Recorder-County Clerk

DOC# 2025-0158703

Recording Requested By:

COUNTY OF SAN BERNARDINO

and when recorded, mail to:

Land Use Services Department
Code Enforcement Division
268 W. Hospitality Lane, Third Floor
San Bernardino, CA 92415

07/09/2025
08:13 AM
SAN

J7269

Titles: 1 Pages: 2

Fees	\$0.00
Taxes	\$0.00
CA SB2 Fee	\$0.00
Total	\$0.00

EXEMPT FROM RECORDING FEE AS PER CGC SECTION 6103, 27383 and 27387

SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY

LAND USE SERVICES
COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

MILROD, MILI
P O BOX 341
APPLE VALLEY CA 92307

APN# 0433-241-18-0000

Case No. CBE1400187
NOTICE OF ACTION

This document is recorded pursuant to San Bernardino County Code ("SBCC") section 11.0211. Pursuant to the authority contained in Chapter 2 of Division 1 of Title 1 of the San Bernardino County Code, the undersigned did take enforcement actions in an attempt to correct violations on the real property described below:

7397 ARCADIA AVE A/B APPLE VALLEY CA 92308
W 1/2 SW 1/4 SE 1/4 SW 1/4 SEC 32 TP 4N R 3W EX RDS

Based on previous inspections discussed further, it has been determined by San Bernardino County Code Enforcement that the described real property contains violations of the San Bernardino County Code and is hereby declared to be a public nuisance.

Violations on the property include the following code sections: IPMC 108.1.4 - Unlawful Structures: An unlawful structure that was erected, altered, or occupied contrary to law. County building records indicate there are no building permits for the 464 square foot master suite addition, unfinished bathrooms, wood stove, electric meter reset, and water heater replacement located on the property. Permits, B201405757, B200803315, and B201402900 have expired. Contact the Building and Safety division of the Land Use Services at 909-387-8311 to obtain the required permit per CBC 105.1. Alternatively, obtain a Building and Safety permit to remove the unpermitted additions and alterations and SBCC 82.02.020 (a thru c): General Requirements for Development and New Land Uses. Notices of Violation were issued 02/12/2015 and 02/20/2019.

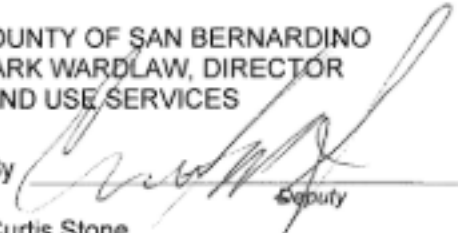
This document certifies that on 11/03/2016, 03/01/2017 and 04/06/2017 the Code Enforcement Division of the Land Use Services Department of the County of San Bernardino issued administrative citations. The owner/s of record was/were notified of this action by first class mail and certified mail. All violations identified above must be abated or the County may utilize any legal means necessary to correct the violations, including but not limited to, civil, criminal, or an administrative action to abate

should enforcement be necessary, all costs incurred by the County may be recovered from the responsible party as defined by SBCC section 11.0202. Fees and costs that are recoverable include, but are not limited to, actual abatement costs, administrative costs, administrative citations, attorneys' fees, and penalties for any late payment of any of these costs and fines ("charges"). Current charges total \$211.00. Any costs or fees currently identified in this document may only reflect those amounts at the time of recording and may increase over time and until such time as abatement is complete and charges paid in full. All unpaid charges may be specially assessed against the property and such assessments will not be extinguished by the sale or foreclosure of the property, including for unpaid property taxes. (Gov. Code, § 25845; SBCC, §§ 11.0212, 11.0213.)

This Notice will not be released or withdrawn until all identified violations are corrected and outstanding charges have been paid.

COUNTY OF SAN BERNARDINO
MARK WARDLAW, DIRECTOR
LAND USE SERVICES

By


Curtis Stone
CODE ENFORCEMENT SUPERVISOR
(909) 884-4056

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

California Notary Acknowledgment
State of California
County of San Bernardino

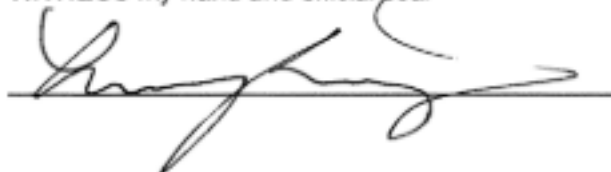
}

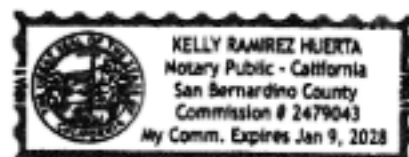
} ss.

On July 01, 2025, before me, Kelly Ramirez Huerta Notary Public, personally appeared Curtis Stone, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal





(This area for official notarial seal)



COUNTY OF SAN BERNARDINO
LAND USE SERVICES DEPARTMENT
BUILDING AND SAFETY DIVISION

PERMIT
NUMBER

B200611165

* 7397 Arcadia B ~ new address

SINGLE FAMILY RESIDENCE PERMIT

FINALED
MAY 05 2008

Date Issued: 03/13/2007 User Id: A6793 Region: 401
Status: ISSUED Use Code: 201 A

Index No: 202-73
Sub-Type: COMBO

Job Site Address: 7050 JUNIPER RD OR APP

Cross Street: DEEP CREEK

Parcel Number: 0433-241-18-0000

Tract: Blk:

Parcel Map:

Lot:

Sec: SW32

Twn: 4N

Parcel:

Rng: 3W

Applicant: MC CUISTION, WAYNE ETAL

Phone: 619-402-0677

Address: 7050 JUNIPER RD APPLE VALLEY CA 92308

Owner: MC CUISTION, WAYNE ETAL

Phone: 619-402-0677

Address: 7050 JUNIPER RD APPLE VALLEY CA 92308

Contractor:

License:

Phone:

Address:

*****Minimum Setback Requirements*****

	Distance in Feet	C/L of Street	R/W	Direction	From P/L	From Easement
Front:	69	SECTION LINE	88	S	N	Y
Rear:	15				Y	N
Side:	55	JUNIPER DR.	60	W	N	Y
Side:	15				Y	N
Side:	0				N	N

*****Land Use*****

Lot Dimension: 5 AC

Land Use District: RL-SCP;

Planning Area:

Geo Overlays: ; ;

Hazard Overlays: FS2 ; ; ; ;

Existing Use: CABIN

Improvement Level: 3

*****Construction Information*****

Number of Stories: 1		Number Units: 1		Number of Bedrooms: 4		Floor: Concrete	
Exterior Walls: Stucco		Ceiling: Drywall		Interior Walls: Drywall			
Fireplace Metal: 0		F/P Masonry: 0		Heating: LPG		Roof: Comp Shing	
Water Public: N		Private: Y		Sewer Public: N		Pri: Y	
No. of Tanks: 0		Tank: 1200		Depth: 5		SqFt: 32	
Construction Type: VN		Group: R3		No. Existing Bldgs: 0		No. New Bldgs: 1	
Retain Wall: 0				Block Wall: 0			
TYPE	SQFT	FACTOR/PSF	ADJ AREA	TYPE	SQFT	FACTOR/PSF	ADJ AREA
LIV1	2385	1	2385	STOR	243	0.5	121.5
PORH	129	0.2	25.8		0	0	0
	0	0	0		0	0	0
	0	0	0		0	0	0

*****Comments/Conditions*****

- 1: Need copy of well permit, need fire letter, school fees due prior to issuance, road fees of \$1785 due prior to final, \$25 transportation processing fee assessed.
- 2: 44' ded. Req. along the S'ly property line from C/L Canaille Rd (Juniper Rd) 30'ded. Req. along the W'ly & N'ly property lines from C/L Arcadia & Wells Fargo Rds. 35' Curve return @ SW corner. 20' Curve return @ NW corner. No new mapped drainage requirements. Zone D.
- 3: Note: property does not touch Juniper Rd.
- 4: Received fire letter and water hauler letter (added to plans).
- 5: No protected plants approved for removal ; no discernible water course that could affect the development was noticed. Cut & fill lot clear.
- Maintain setbacks, follow FS2 req. obtain field inv. permit for pre-graded lot w/permit.
- 6: CDFG letter of determination (12/27/06) received, stating no objection to development next to NDC.
- 7: DRAINAGE REVIEW: LDE has no objection to grading plan submitted 5/10/06. OK to grade and add retaining wall as proposed.
- 8: School fees paid

EXPIRATION AND REFUND NOTICE: Applications for which no permit is issued within 180 days from the date of application shall expire. Permits shall expire if work does not commence within 180 days of issuance of such permit or if the work is suspended or abandoned for a period of 180 days. Fees paid are not refundable after one (1) year from date of payment. All fees paid may not be refundable

2314 South Mountain Avenue, Ontario, CA 91762
Info: (909) 458-1540
477 Summit Blvd. (P.O. Box 2835), Big Bear Lake, CA 92315
Info: (909) 866-0170 Inspections: (909) 866-0194
15505 Civic Drive, Victorville, CA 92392
Info: (760) 241-7691 Inspections: (760) 243-8242

385 N. Arrowhead Avenue, San Bernardino, CA 92415-0182 Info/Inspections: (909) 387-4244
301 E. Mt. View Avenue, Barstow, CA 92311
Info/Inspections: (760) 256-4750
26010 State Highway 189 (P.O. Box 709), Twin Peaks, CA 92391
Info: (909) 336-0640 Inspections: (909) 336-0641
57407 Twentynine Palms Outer Highway South, Yucca Valley, CA 92284
Info/Inspections: (760) 228-5430 or (800) 722-8511

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____
Date _____

License No. _____
Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law Chapter 9 (commencing with Section 7000) of Division 3 of the business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

- ☒ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).
- ☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).
- ☐ I am exempt under Sec. _____ Business and Professions Code for this reason: _____

Date 3/13/07

Owner Todd McCuiston

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- ☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less.)

- ☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 3/13/07

Applicant: Todd McCuiston

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

DIVISION OF INDUSTRIAL SAFETY PERMIT CERTIFICATION

The California Health and Safety Code requires a Division of Industrial Safety Permit as a prerequisite to permit issuance unless the applicant signs one of the certificates below.

- ☒ I certify that no excavation 5 feet or more feet in depth, into which a person is required to descend, will be made in connection with work authorized by this permit, and that no building, structure, scaffolding, falsework, or demolition or dismantling thereof, will be more than 36 feet high.
- ☐ As owner/builder I will not employ anyone to do work which would require a permit from the Division of Industrial Safety, as noted above unless such person has a permit from that division.

Division of Industrial Safety Permit Number _____

HAZARDOUS MATERIALS/ASBESTOS DECLARATION

I have read the Hazardous Materials Questionnaire and the work applied for on this permit ☐ is ☒ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I have read the requirements for asbestos notification and the work applied for on this permit ☐ is ☒ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Todd McCuiston
Signature of Applicant or Agent

3/13/07
Date

Owner Name McCrishonPermit Number B200611165

INSPECTION RECORD

	DATE	INSPECTOR		DATE	INSPECTOR
Setback	5/3/07	W-T	Shower Pan Test		
Temporary Power			Stucco Mesh or Exterior Siding	12-7-07	DB
Foundation Reinforcing Steel	5/3/07	W-T	Rough Fire	1-14-08	Per E.D. Paul
Rough Grading Certification <i>CUBIT 70%</i>	5/11/07	W-T	Insulation <i>ALL</i>	12-7-07	DB
Excavation and Forms	5/3/07	W-T	Sewer		
F.H.A. Foundation Req.			Interceptor		
Slab Grade	5/11/07	W-T	Septic Tank	01/23/08	SP
Ground Plumbing	5/3/07	W-T	Leach Line or Seep Pit	01/23/08	SP
Underslab Ducts			Water Service <i>1" PVC</i>	1-14-08	1-28-08
Underslab Conduit			Leach or Drywall Nailing	01/23/08	SP
Fireplace Foundation			Gas Line Air Test		
Joists and Girders			Final Energy		
Electrical Ground			Final Plumbing		
Mid-Height Bond Beam	7/10/07	GP	Final Heating/A.C.		
8-Foot Bond Beam			Special Inspector Reports		
Final Bond Beam			Final Grading Certification		
Fireplace Bond Beam			Final Construction		
* Shear Panel			Final On-Site Improvements		
Roof Sheathing	7/16/07	W-P	Final Off-Site Improvements		
Framing and Ventilation	12-7-07	DB	* Final Dedication *		
Roof Covering	1-14-08	GP	Final Zoning		
Rough Heating <i>CSP</i>	12-7-07	DB	Final Electrical		
Electrical Service and Ground			Final Gas		
Rough Electrical	12-7-07	DB	Final Fire		
Rough Plumbing <i>CSP</i>	12-7-07	DB	Developer Fees Paid <i>3/20/08</i>		
WC (Y/N)			Certificate of Occupancy		

5/11/07 CUBIT ENGINEERING 90% BETTER COMPACTION W-T.

7/16/07 - EXTERIOR SHEAR ONLY OK W-T.

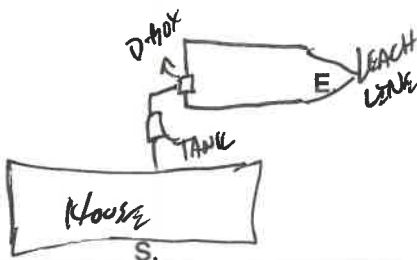
11/13/07 C/N @ COMSD GP.

12-7-07 Regarding #1 dated 11/13/07 - owner to vent per w/H & vent manufacturers requirements (Keep exposed to drywall). OK to drywall house. DB

* 1-22-08 Reminded owner via telecomm. that road dedications must be recorded prior to final and that road fees due by final. DB

SEPTIC TANK 1250 GALS. PLASTIC
 SEEP PIT X
 LEACH LINE 3 WIDE
 X 83 TOTAL LONG X 3 DEPTH OF ROCK
 N.

W.



Inspector's Signature and Initials

GP. GEORGE PAUL

W-T WILLIAM TRUJILLO

SCOTT SP

DB JBK



COUNTY OF SAN BERNARDINO
LAND USE SERVICES DEPARTMENT
BUILDING AND SAFETY DIVISION

PERMIT
NUMBER

B200615883

GRADING PERMIT

800Z SO ANW
MAY 05 2008
FINAL
Index No: 202-73
Sub-Type: GRAD/EC

Date Issued: 03/13/2007 User Id: A5060 Region: 401
Status: ISSUED Use Code: 235A

Job Site Address: 7050 JUNIPER RD APP
Cross Street: DEEP CREEK
Parcel Number: 0433-241-18-0000 Parcel Map: Parcel: Rng: 3W
Tract: Blk: Lot: Sec: SW32 Twn: 4N
Applicant: MC CUISTION, WAYNE ETAL Phone: 619 402-0677
Address: 7050 JUNIPER RD APPLE VALLEY CA 92308
Owner: MC CUISTION, WAYNE ETAL Phone: 619 402-0677
Address: 7050 JUNIPER RD APPLE VALLEY CA 92308
Contractor: License: Phone:
Address:

*****Minimum Setback Requirements*****

	Distance in Feet	C/L of Street	R/W	Direction	From P/L	From Easement
Front:	69	SECTION LINE	88	S	N	Y
Rear:	15				Y	N
Side:	55	JUNIPER	60	W	N	Y
Side:	15				Y	N
Side:	0				N	N

*****Land Use*****

Lot Dimension: 5 ACRES Land Use District:RL ; SCP
Planning Area: Geo Overlays: ; ;
Hazard Overlays: FS2; ; ; ;
Existing Use: VACANT Improvement Level: 3

*****Grading/Erosion Control Information*****

Initial Excavation: 505 Initial Fill: 404 Draining Review: \$0.00
Precise Grading # Lots: 0 Road Improve Plan Sub: N
Grading (CY): 0 Minor EC: N Land Clearing: N
Request Variance: N Appeal: N
Res (No of Lots/Units): 0 Addition to Res Units: 0

*****Comments/Conditions*****

1: Grading for SFR

EXPIRATION AND REFUND NOTICE: Applications for which no permit is issued within 180 days from the date of application shall expire. Permits shall expire if work does not commence within 180 days of issuance of such permit or if the work is suspended or abandoned for a period of 180 days. Fees paid are not refundable after one (1) year from date of payment. All fees paid may not be refundable

385 N. Arrowhead Avenue, San Bernardino, CA 92415-0182 Info/Inspections: (909) 387-4244
2314 South Mountain Avenue, Ontario, CA 91762 301 E. Mt. View Avenue, Barstow, CA 92311
Info: (909) 458-1540 Info/Inspections: (760) 256-4750
477 Summit Blvd. (P.O. Box 2835), Big Bear Lake, CA 92315 26010 State Highway 189 (P.O. Box 709), Twin Peaks, CA 92391
Info: (909) 866-0170 Inspections: (909) 866-0194 Info: (909) 336-0640 Inspections: (909) 336-0641
15505 Civic Drive, Victorville, CA 92392 57407 Twentynine Palms Outer Highway South, Yucca Valley, CA 92284
Info: (760) 241-7691 Inspections: (760) 243-8242 Info/Inspections: (760) 228-5430 or (800) 722-8511

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____
Date _____ Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law Chapter 9 (commencing with Section 7000) of Division 3 of the business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

- ☒ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).
- ☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).
- ☐ I am exempt under Sec. _____ Business and Professions Code for this reason: _____
Date 3/13/07 Owner Todd McCusick

WORKERS' COMPENSATION DECLARATION

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- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____
Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less.)

- ☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
- Date: 3/13/07 Applicant: Todd McCusick

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

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Lender's Address _____

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- ☒ I certify that no excavation 5 feet or more feet in depth, into which a person is required to descend, will be made in connection with work authorized by this permit, and that no building, structure, scaffolding, falsework, or demolition or dismantling thereof, will be more than 36 feet high.
- ☐ As owner/builder I will not employ anyone to do work which would require a permit from the Division of Industrial Safety, as noted above unless such person has a permit from that division.

Division of Industrial Safety Permit Number _____

HAZARDOUS MATERIALS/ASBESTOS DECLARATION

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I have read the requirements for asbestos notification and the work applied for on this permit ☐ is ☒ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Todd McCusick _____ 3/13/07 _____
Signature of Applicant or Agent Date

Owner Name Mc Cuiston Permit Number B200615883

INSPECTION RECORD

	DATE	INSPECTOR		DATE	INSPECTOR
Setback			Shower Pan Test		
Temporary Power			Stucco Mesh or Exterior Siding		
Foundation Reinforcing Steel			Rough Fire		
Rough Grading Certification	<u>CUBIT 90% 5/3/07</u>	<u>WT.</u>	Insulation		
Excavation and Forms	<u>COMPACTION</u>		Sewer		
F.H.A. Foundation Req.			Interceptor		
Slab Grade			Septic Tank		
Ground Plumbing			Leach Line or Seep Pit		
Underslab Ducts			Water Service		
Underslab Conduit			Lath or Drywall Nailing		
Fireplace Foundation			Gas Line Air Test		
Joists and Girders			Final Energy		
Electrical Ground			Final Plumbing		
Mid-Height Bond Beam			Final Heating/A.C.		
8-Foot Bond Beam			Special Inspector Reports		
Final Bond Beam			Final Grading Certification	<u>5/5/08 GP.</u>	
Fireplace Bond Beam			Final Construction		
Shear Panel			Final On-Site Improvements		
Roof Sheathing			Final Off-Site Improvements		
Framing and Ventilation			Final Dedication		
Roof Covering			Final Zoning		
Rough Heating			Final Electrical		
Electrical Service and Ground			Final Gas		
Rough Electrical			Final Fire		
Rough Plumbing			Developer Fees Paid		
WC (Y/N)		Ind Saf (Y/N)	Certificate of Occupancy		

5/3/07-CUBIT ENGINEERING #23227-Comtraction Report 90% WT.

SEPTIC TANK _____ GAL. _____
SEEP. PIT _____ X _____
LEACH LINE _____ WIDE _____
X _____ LONG X _____ DEPTH OF ROCK _____
N. _____
W. _____ E. _____
S. _____

Inspector's Signature and Initials GP GEORGE PAHL
WT. WILLIAM TRUJILLO



COUNTY OF SAN BERNARDINO
LAND USE SERVICES DEPARTMENT
BUILDING AND SAFETY DIVISION

PERMIT
NUMBER

B200616059

RETAINING WALL PERMIT

Date Issued: 03/13/2007

User Id: A6793

Region: 401

Index No: 202-73

Status: ISSUED

Use Code: 2 30 A

Sub-Type: MISC

Job Site Address: 7050 JUNIPER RD DRIVE APP

Cross Street: DEEP CREEK

Parcel Number: 0433-241-18-0000

Parcel Map:

Parcel:

Tract: Blk:

Lot:

Sec: SW32

Twn: 4N

Rng: 3W

Applicant: MC CUISTION, WAYNE ETAL

Phone: 619-402-0677

Address: 7050 JUNIPER RD APPLE VALLEY CA 92308

Owner: MC CUISTION, WAYNE ETAL

Phone: 619-402-0677

Address: 7050 JUNIPER RD APPLE VALLEY CA 92308

Contractor:

License:

Phone:

Address:

*****Minimum Setback Requirements*****

	Distance in Feet	C/L of Street	R/W	Direction	From P/L	From Easement
Front:	69	SEC TION LINE	88	S	N	Y
Rear:	15				Y	N
Side:	55	JUNIPER RD	60	W	N	Y
Side:	15				Y	N
Side:	0				N	N

*****Land Use*****

Lot Dimension: 5 AC

Land Use District: RLSCP ;

Planning Area:

Geo Overlays: ; ;

Hazard Overlays: FS2 ; ; ; ;

Existing Use: CABIN

Improvement Level: 3

*****Construction Information*****

Number of Stories: 0	Number Units: 0	Number of Bedrooms: 0	Floor:
Exterior Walls:	Ceiling:	Interior Walls:	Roof:
Fireplace Metal: 0	F/P Masonry: 0	Heating:	Pri: N
Water Public: N	Private: N	Sewer Public: N	SqFt: 0
No. of Tanks: 0	Tank: 0	Depth: 0	No. New Bldgs: 0
Construction Type:	Group: R3	No. Existing Bldgs: 0	
Retain Wall: 432		Block Wall: 0	
TYPE	SQFT	FACTOR/PSF	ADJ AREA
	0	0	0
	0	0	0
	0	0	0
	0	0	0

*****Comments/Conditions*****

1: Wall is 5 ft high at highest point and 2 ft at lowest point. Total 432 sqft retaining wall.

EXPIRATION AND REFUND NOTICE: Applications for which no permit is issued within 180 days from the date of application shall expire. Permits shall expire if work does not commence within 180 days of issuance of such permit or if the work is suspended or abandoned for a period of 180 days. Fees paid are not refundable after one (1) year from date of payment. All fees paid may not be refundable

2314 South Mountain Avenue, Ontario, CA 91762
Info: (909) 458-1540
477 Summit Blvd. (P.O. Box 2835), Big Bear Lake, CA 92315
Info: (909) 866-0170 Inspections: (909) 866-0194
15505 Civic Drive, Victorville, CA 92392
Info: (760) 241-7691 Inspections: (760) 243-8242

385 N. Arrowhead Avenue, San Bernardino, CA 92415-0182 Info/Inspections: (909) 387-4244
301 E. Mt. View Avenue, Barstow, CA 92311
Info/Inspections: (760) 256-4750
26010 State Highway 189 (P.O. Box 709), Twin Peaks, CA 92391
Info: (909) 336-0640 Inspections: (909) 336-0641
57407 Twentynine Palms Outer Highway South, Yucca Valley, CA 92284
Info/Inspections: (760) 228-5430 or (800) 722-8511

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____
Date _____ Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law Chapter 9 (commencing with Section 7000) of Division 3 of the business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

☒ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).

☐ I am exempt under Sec. _____ Business and Professions Code for this reason: _____

☒ Date 3/13/07 Owner Todd McCuiston

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less.)

☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

☒ Date: 3/13/07 Applicant: Todd McCuiston

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

DIVISION OF INDUSTRIAL SAFETY PERMIT CERTIFICATION

The California Health and Safety Code requires a Division of Industrial Safety Permit as a prerequisite to permit issuance unless the applicant signs one of the certificates below.

☒ I certify that no excavation 5 feet or more feet in depth, into which a person is required to descend, will be made in connection with work authorized by this permit, and that no building, structure, scaffolding, falsework, or demolition or dismantling thereof, will be more than 36 feet high.

☐ As owner/builder I will not employ anyone to do work which would require a permit from the Division of Industrial Safety, as noted above unless such person has a permit from that division.

Division of Industrial Safety Permit Number _____

HAZARDOUS MATERIALS/ASBESTOS DECLARATION

I have read the Hazardous Materials Questionnaire and the work applied for on this permit ☒ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I have read the requirements for asbestos notification and the work applied for on this permit ☒ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

☒ Todd McCuiston 3/13/07
Signature of Applicant or Agent Date

County of San Bernardino
BUILDING AND SAFETY DIVISION

To Mc Construction

Address 2525 Thompson Dr Date 5-3-8

CORRECTION NOTICE

Permit No. 6-11089

1. Final inspection returned with
(The green tag is for your
records)

You should contact my office
and have permit status reviewed
sooner (If not this could
cause problems for your later
work) + I will have a follow up
visit +

Thank you

☐ Please make corrections and call for reinspection.

☐ Please make corrections and proceed with work.

Owner Name McLuistonPermit Number B200616059

INSPECTION RECORD

	DATE	INSPECTOR		DATE	INSPECTOR
Setback	6-24-07	PL	Shower Pan Test		
Temporary Power			Stucco Mesh or Exterior Siding		
Foundation Reinforcing Steel	6-28-07	PL	Rough Fire		
Rough Grading Certification			Insulation		
Excavation and Forms			Sewer		
F.H.A. Foundation Req.			Interceptor		
Slab Grade			Septic Tank		
Ground Plumbing			Leach Line or Seep Pit		
Underslab Ducts			Water Service		
Underslab Conduit			Lath or Drywall Nailing		
Fireplace Foundation			Gas Line Air Test		
Joists and Girders			Final Energy		
Electrical Ground			Final Plumbing		
* Mid-Height Bond Beam	7/10/07	PERGR (W.T.)	Final Heating/A.C.		
8-Foot Bond Beam			Special Inspector Reports		
* Final Bond Beam	7-28-07	JWP	Final Grading Certification		
Fireplace Bond Beam			Final Construction	9-3-08	PL
Shear Panel			Final On-Site Improvements		
Roof Sheathing			Final Off-Site Improvements		
Framing and Ventilation			Final Dedication		
Roof Covering			Final Zoning		
Rough Heating			Final Electrical		
Electrical Service and Ground			Final Gas		
Rough Electrical			Final Fire		
Rough Plumbing			Developer Fees Paid		
WC (Y/N)		Ind Saf (Y/N)	Certificate of Occupancy		

7/13/07 - C/N @ FINAL BOND BEAM - REPLACE #4 W/ #5. W.T. -
01/23/08 - FRENCH DRAIN & PROGRESS OK - SP

Final
9-3-08
PL

SEPTIC TANK _____ GALS. _____
SEEP. PIT _____ X _____
LEACH LINE _____ WIDE _____
X _____ LONG X _____ DEPTH OF ROCK _____

N.

W.

E.

S.

Inspector's Signature and Initials P.L. PHILLIPS W.T. WILLIAM TRASK
JWP JERAMY



COUNTY OF SAN BERNARDINO
LAND USE SERVICES DEPARTMENT
BUILDING AND SAFETY DIVISION

PERMIT
NUMBER

B200803315

UNFINISHED BATHROOMS/WOOD STOVE PERMIT MAY 05 2008

Date Issued: 04/29/2008 User Id: A5060 Region: 401 Index No: 202-73
Status: ISSUED Use Code: 2 05 A Sub-Type: ALTER

Job Site Address: 7397 ARCADIA AVE APP
Cross Street: DEEP CREEK Unit: A/B
Parcel Number: 0433-241-18-0000 Parcel Map: Parcel:
Tract: Blk: Lot: Sec: SW32 Twn: 4N Rng: 3W
Applicant: MC CUISTION, WAYNE Phone: 619 402-0677
Address: 7397 ARCADIA AVE. APPLE VALLEY CA 92308
Owner: MC CUISTION, WAYNE Phone: 619 402-0677
Address: 7397 ARCADIA AVE. APPLE VALLEY CA 92308
Contractor: License: Phone:
Address:

*****Minimum Setback Requirements*****

	Distance in Feet	C/L of Street	R/W	Direction	From P/L	From Easement
Front:	69	CANAILLE	88	S	N	Y
Rear:	15				Y	N
Side:	55	JUNIPER	60	W	N	Y
Side:	15				Y	N
Side:	0				N	N

*****Land Use*****

Lot Dimension: 5 ACRES Land Use District: RL ;
Planning Area: Geo Overlays: ; ;
Hazard Overlays: FS2 ; ; ; ?? ; ??
Existing Use: RESIDENCE IN CONSTRUCTION Improvement Level: ?

*****Construction Information*****

Number of Stories: 0	Number Units: 0	Number of Bedrooms: 0	Floor:
Exterior Walls:	Ceiling:	Interior Walls:	Roof:
Fireplace Metal: 1	F/P Masonry: 0	Heating:	Pri: N
Water Public: N	Private: N	Sewer Public: N	SqFt: 0
No. of Tanks: 0	Tank: 0	Depth: 0	No. New Bldgs: 0
Construction Type:	Group: R-3	No. Existing Bldgs: 0	
Retain Wall: 0		Block Wall: 0	
TYPE	SQFT	FACTOR/PSF	ADJ AREA
RBLD	130	0.2	26
	0	0	0
	0	0	0
	0	0	0

*****Comments/Conditions*****

- 1: Owner to finish bathrooms and install wood burning stove after final of residence (B200611165)
- 1: Whenever a building permit is issued for the remodel or modification of a single-family home with an existing swimming pool, toddler pool, or spa, the suction outlet of the existing pool and/or spa shall be upgraded so as to be equipped with an anti-entrapment cover meeting current ASTM or ASME standards prior to final approval.

EXPIRATION AND REFUND NOTICE: Applications for which no permit is issued within 180 days from the date of application shall expire. Permits shall expire if work does not commence within 180 days of issuance of such permit or if the work is suspended or abandoned for a period of 180 days. Fees paid are not refundable after one (1) year from date of payment. All fees paid may not be refundable

385 N. Arrowhead Avenue, San Bernardino, CA 92415-0181 Info/Inspections: (909) 387-4244
9161 Sierra Avenue, Fontana, CA 92335 301 E. Mt. View Avenue, Barstow, CA 92311
Info: (909) 428-8444 Info/Inspections: (760) 256-4750
477 Summit Blvd. (P.O. Box 2835), Big Bear Lake, CA 92315 26010 State Highway 189 (P.O. Box 709), Twin Peaks, CA 92391
Info: (909) 866-0170 Inspections: (909) 866-0194 Info: (909) 336-0640 Inspections: (909) 336-0641
15456 West Sage Street, Victorville, CA 92392 57407 Twentynine Palms Outer Highway South, Yucca Valley, CA 92284
Info: (760) 241-7691 Info/Inspections: (760) 228-5430 or (800) 722-8511

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____
Date _____

License No. _____
Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law Chapter 9 (commencing with Section 7000) of Division 3 of the business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

- ☒ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).
- ☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).
- ☐ I am exempt under Sec. _____ Business and Professions Code for this reason: _____

Date: 4-29-08

Owner: Todd McCusker

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- ☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less.)

- ☒ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 4-29-08

Applicant: Todd McCusker

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

DIVISION OF INDUSTRIAL SAFETY PERMIT CERTIFICATION

The California Health and Safety Code requires a Division of Industrial Safety Permit as a prerequisite to permit issuance unless the applicant signs one of the certificates below.

- ☐ I certify that no excavation 5 feet or more feet in depth, into which a person is required to descend, will be made in connection with work authorized by this permit, and that no building, structure, scaffolding, falsework, or demolition or dismantling thereof, will be more than 36 feet high.
- ☒ As owner/builder I will not employ anyone to do work which would require a permit from the Division of Industrial Safety, as noted above unless such person has a permit from that division.

Division of Industrial Safety Permit Number _____

HAZARDOUS MATERIALS/ASBESTOS DECLARATION

I have read the Hazardous Materials Questionnaire and the work applied for on this permit ☐ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I have read the requirements for asbestos notification and the work applied for on this permit ☐ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent

Date

Owner Name McCruston Permit Number B200803315

INSPECTION RECORD

	DATE	INSPECTOR		DATE	INSPECTOR
Setback			Shower Pan Test		
Temporary Power			Stucco Mesh or Exterior Siding		
Foundation Reinforcing Steel			Rough Fire		
Rough Grading Certification			Insulation		
Excavation and Forms			Sewer		
F.H.A. Foundation Req.			Interceptor		
Slab Grade			Septic Tank		
Ground Plumbing			Leach Line or Seep Pit		
Underslab Ducts			Water Service		
Underslab Conduit			Lath or Drywall Nailing		
Fireplace Foundation			Gas Line Air Test		
Joists and Girders			Final Energy		
Electrical Ground			Final Plumbing		
Mid-Height Bond Beam			Final Heating/A.C.		
8-Foot Bond Beam			Special Inspector Reports		
Final Bond Beam			Final Grading Certification		
Fireplace Bond Beam			Final Construction		
Shear Panel			Final On-Site Improvements		
Roof Sheathing			Final Off-Site Improvements		
Framing and Ventilation			Final Dedication		
Roof Covering			Final Zoning		
Rough Heating			Final Electrical		
Electrical Service and Ground			Final Gas		
Rough Electrical			Final Fire		
Rough Plumbing			Developer Fees Paid		
WC (Y/N)		Ind Saf (Y/N)	Certificate of Occupancy		

10/21/08 - OWNER CALLED AND WANT 180 DAYS EXTENSION UP TO 4/21/09
10 DAY NOTICE 5-18-09 600198 Wm
5/27/09 10 Day notice mailed MWhite

Permit expired
due to time limitations

SEPTIC TANK _____ GALS. _____
SEEP PIT _____ X _____
LEACH LINE _____ WIDE _____
X _____ LONG X _____ DEPTH OF ROCK _____

N. _____
W. _____ E. _____
S. _____

Margie White 6-9-09
Signature Date

Inspector's Signature and Initials _____



COUNTY OF SAN BERNARDINO
LAND USE SERVICES DEPARTMENT
BUILDING AND SAFETY DIVISION

14-2900
PERMIT
NUMBER
B201402900

ELECTRIC METER RESET & WATER HEATER REPLACEMENT PERMIT

Date Issued: 04/21/2014 User Id: E8353 Region: 401 Index No: 202-73
Status: ISSUED Use Code: 3 55 A Sub-Type: MISC

Job Site Address: 7397 ARCADIA AVE APP
Cross Street: COMSTOCK RD Unit: A/B
Parcel Number: 0433-241-18-0000 Parcel Map:
Tract: Blk: Lot: Sec: SW32 Twp: 4N Rng: 03W
Applicant: WELLS FARGO BANK NA (TR)
Address: 2780 LAKE VISTA DR LEWISVILLE TX 75067
Owner: MILI MILROD
Address: 7397 A/B ARCADIA AVE APPLE VALLEY
Contractor:
Address:

Permit expired
due to time limitations
6/9/14
Signature
Date: 6/9/14
Phone: 424-645-9295
License:
Phone:

*****Minimum Setback Requirements*****						
	Distance in Feet	C/L of Street	R/W	Direction	From P/L	From Easement
Front:	0				N	N
Rear:	0				N	N
Side:	0				N	N
Side:	0				N	N
Side:	0				N	N

***** Land Use *****

Lot Dimension: 4.16 AC Land Use District: RL ;
Planning Area: AV Geo Overlays: ; ;
Hazard Overlays: FS2; ; ;
Existing Use: RESIDENCE
Latitude: 34.385341695 Longitude: -117.219277202

***** Construction Information *****

Number of Stories: 0	Number Units: 0	Number of Bedrooms: 0	Floor:
Exterior Walls:	Ceiling:	Interior Walls:	
Fireplace Metal: 0	F/P Masonry: 0	Heating:	Roof:
Water Public: N	Private: N	Sewer Public: N	Pri: N
No. of Tanks: 0	Tank: 0	Depth: 0	SqFt: 0
Construction Type:	Group: R-3	No. Existing Bldgs: 0	No. New Bldgs: 0
Retain Wall: 0		Block Wall: 0	

TYPE	SQFT	FACTOR/PSF	ADJ AREA	TYPE	SQFT	FACTOR/PSF	ADJ AREA
	0	0	0		0	0	0
	0	0	0		0	0	0
	0	0	0		0	0	0
	0	0	0		0	0	0

EXPIRATION AND REFUND NOTICE: Applications for which no permit is issued within 180 days from the date of application shall expire. Permits shall expire if work does not commence within 180 days of issuance of such permit or if the work is suspended or abandoned for a period of 180 days. Fees paid are not refundable after one (1) year from date of payment. All fees paid may not be refundable

385 N. Arrowhead Avenue, 1st Floor, San Bernardino, CA 92415-0187 Info/Inspections: (909) 387-8311 or (760) 995-8140
301 East Mt. View Avenue, Barstow, CA 92311 477 Summit Blvd. (PO Box 2835), Big Bear Lake, CA 92315
26010 State Highway 189 (PO Box 709), Twin Peaks, CA 92391 15900 Smoke Tree Street, Hesperia, CA 92345
63655 Twentynine Palms Highway, Joshua Tree, CA 92252

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____
Date _____

License No. _____
Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law Chapter 9 (commencing with Section 7000) of Division 3 of the business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

- ☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).
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☐ I am exempt under Sec. _____ Business and Professions Code for this reason: _____
Date 4-21-2014 Owner Mili Mihalov

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- ☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less.)

- ☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____

Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

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Lender's Name _____

Lender's Address _____

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- ☐ I certify that no excavation 5 feet or more feet in depth, into which a person is required to descend, will be made in connection with work authorized by this permit, and that no building, structure, scaffolding, falsework, or demolition or dismantling thereof, will be more than 36 feet high.
- ☐ As owner/builder I will not employ anyone to do work which would require a permit from the Division of Industrial Safety, as noted above unless such person has a permit from that division.

Division of Industrial Safety Permit Number _____

HAZARDOUS MATERIALS/ASBESTOS DECLARATION

I have read the Hazardous Materials Questionnaire and the work applied for on this permit ☐ is ☐ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I have read the requirements for asbestos notification and the work applied for on this permit ☐ is ☐ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

4-21-2014

Signature of Applicant or Agent

4-21-2014

Date

Owner Name

Milrod

Permit Number

B201402900

INSPECTION RECORD

Electr. Meter Reset & Water Heater Replacement

	DATE	INSPECTOR		DATE	INSPECTOR
Setback			Shower Pan Test		
Temporary Power			Stucco Mesh or Exterior Siding		
Foundation Reinforcing Steel			Rough Fire		
Rough Grading Certification			Insulation		
Excavation and Forms			Sewer		
F.H.A. Foundation Req.			Interceptor		
Slab Grade			Septic Tank		
Ground Plumbing			Leach Line or Seep Pit		
Underslab Ducts			Water Service		
Underslab Conduit			Lath or Drywall Nailing		
Fireplace Foundation			Gas Line Air Test		
Joists and Girders			Final Energy		
Electrical Ground			Final Plumbing		
Mid-Height Bond Beam			Final Heating/A.C.		
8-Foot Bond Beam			Special Inspector Reports		
Final Bond Beam			Final Grading Certification		
Fireplace Bond Beam			Final Construction		
Shear Panel			Final On-Site Improvements		
Roof Sheathing			Final Off-Site Improvements		
Framing and Ventilation			Final Dedication		
Roof Covering			Final Zoning		
Rough Heating			Final Electrical		
Electrical Service and Ground			Final Gas		
Rough Electrical			Final Fire		
Rough Plumbing			Developer Fees Paid		
WC (Y/N)		Ind Saf (Y/N)	Certificate of Occupancy		

4-22-14 METER RESET / REPLACE NTR HTR. DOOR DAMAGED - UNABLE TO OPEN. WTR HTR NOT INSTALLED. LEFT C/N @ FRONT DOOR

Permit expired
due to time limitations

[Signature]
Signature

6/9/16
Date

SEPTIC TANK

GALS.

SEEP. PIT

X

LEACH LINE

WIDE

X

LONG X

DEPTH OF ROCK

N.

W.

E.

S.

Inspector's Signature and Initials

[Signature] *[Initials]*

[Signature] *[Initials]*



COUNTY OF SAN BERNARDINO
LAND USE SERVICES DEPARTMENT
BUILDING AND SAFETY DIVISION

14-5757
PERMIT
NUMBER

B201405757

ONE-TIME INSPECTION PERMIT

COMPLETE
8.5.14 m2

Date Issued: 08/04/2014 User Id: E8353 Region: 401
Status: ISSUED Use Code: 7 05 A

Index No: 202-73
Sub-Type: MISC

Job Site Address: 7397 ARCADIA AVE APP
Cross Street: CANAILLE Unit: A/B
Parcel Number: 0433-241-18-0000 Parcel Map:
Tract: Blk: Lot: Sec: SW32 Twn: 04N

Parcel:
Rng: 03W

Applicant: MILROD, MILI
Address: 5539 ELMER AVE NORTH HOLLYWOOD CA 91601

Phone: 818-970-7033

Owner: MILROD, MILI
Address: 5539 ELMER AVE NORTH HOLLYWOOD CA 91601

Phone:

Contractor:
Address:

License:
Phone:

*****Minimum Setback Requirements*****

Distance in Feet	C/L of Street	R/W	Direction	From P/L	From Easement
Front: 69	CANAILLE			N	N
Rear: 15				N	N
Side: 55	JUNIPER			N	N
Side: 15				N	N
Side: 0				N	N

*****Land Use*****

Lot Dimension: 4.16 AC
Planning Area: AV
Hazard Overlays: FS2; ; ;
Existing Use: TWO SFR
Latitude: 34.385341695

Land Use District: RL ;
Geo Overlays: ; ;

Longitude: -117.219277202

*****Construction Information*****

Number of Stories: 0	Number Units: 0	Number of Bedrooms: 0	Floor:
Exterior Walls:	Ceiling:	Interior Walls:	
Fireplace Metal: 0	F/P Masonry: 0	Heating:	Roof:
Water Public: N	Private: N	Sewer Public: N	Pri: N
No. of Tanks: 0	Tank: 0	Depth: 0	SqFt: 0
Construction Type:	Group: R-3	No. Existing Bldgs: 0	No. New Bldgs: 0
Retain Wall: 0		Block Wall: 0	

TYPE	SQFT	FACTOR/PSF	ADJ AREA	TYPE	SQFT	FACTOR/PSF	ADJ AREA
	0	0	0		0	0	0
	0	0	0		0	0	0
	0	0	0		0	0	0
	0	0	0		0	0	0

EXPIRATION AND REFUND NOTICE: Applications for which no permit is issued within 180 days from the date of application shall expire. Permits shall expire if work does not commence within 180 days of issuance of such permit or if the work is suspended or abandoned for a period of 180 days. Fees paid are not refundable after one (1) year from date of payment. All fees paid may not be refundable

385 N. Arrowhead Avenue, 1st Floor, San Bernardino, CA 92415-0187 Info/Inspections: (909) 387-8311 or (760) 995-8140

301 East Mt. View Avenue, Barstow, CA 92311

477 Summit Blvd. (PO Box 2835), Big Bear Lake, CA 92315

26010 State Highway 189 (PO Box 709), Twin Peaks, CA 92391

15900 Smoke Tree Street, Hesperia, CA 92345

63655 Twentynine Palms Highway, Joshua Tree, CA 92252

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____
Date _____

License No. _____
Contractor _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law Chapter 9 (commencing with Section 7000) of Division 3 of the business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).

- ☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale.).
- ☐ I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractors License Law.).
- ☐ I am exempt under Sec. _____ Business and Professions Code for this reason: _____
- Date _____ Owner _____

WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- ☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- ☐ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Carrier _____

Policy Number _____

(This section need not be completed if the permit is for one hundred dollars [\$100] or less.)

- ☐ I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____

Applicant: _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

DIVISION OF INDUSTRIAL SAFETY PERMIT CERTIFICATION

The California Health and Safety Code requires a Division of Industrial Safety Permit as a prerequisite to permit issuance unless the applicant signs one of the certificates below.

- ☐ I certify that no excavation 5 feet or more feet in depth, into which a person is required to descend, will be made in connection with work authorized by this permit, and that no building, structure, scaffolding, falsework, or demolition or dismantling thereof, will be more than 36 feet high.
- ☐ As owner/builder I will not employ anyone to do work which would require a permit from the Division of Industrial Safety, as noted above unless such person has a permit from that division.

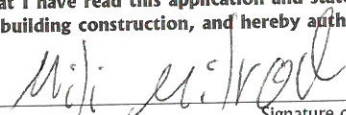
Division of Industrial Safety Permit Number _____

HAZARDOUS MATERIALS/ASBESTOS DECLARATION

I have read the Hazardous Materials Questionnaire and the work applied for on this permit ☐ is ☐ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I have read the requirements for asbestos notification and the work applied for on this permit ☐ is ☐ is not subject to the applicable requirements of the Health and Safety Code and the local air quality agency.

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.



Signature of Applicant or Agent

8-4-2014

Date

TO REMODEL SFR &
NON-PERMITTED ADDITION

DATE: / /

Work to be done (specify use) One-time inspection to remodell STG & non-permitted addition

Region 401 APN 0433-241-18 Index No. 202-73
 Lot Dimension 4.16 AC Land Use District AV/RL
 Tract _____ Lot _____ Section SW32 T 04N R 03W
 R/W _____ Dedication Required _____ Setbacks (F) _____ (R) _____ (S/ST) _____ (S) _____ (S) _____

- ☐ Bring Existing Structure to Code

4430-1045-4295

NOTE: All work must conform to current codes. Existing mechanical, electrical and plumbing systems must be up to Code if they will be part of proposed addition, alteration and/or new use or occupancy.

Mandatory Measures are required in all cases.

*Alternative: Maximum U-Factor _____, Maximum SHGC _____
Minimum SEER _____, Minimum AFUE or HSPF _____

NONRESIDENTIAL ENERGY REQUIREMENTS:

Yes	No	
☐	☐	New/Altered Mechanical Equipment
☐	☐	New/Increased Connected Lighting
☐	☐	New/Altered Conditioned Building Envelope
☐	☐	Appropriate Energy Analysis Forms and Proof of Compliance will be required
☐	☐	OTHER

Age (years)	Percentage of people who have ever been in a romantic relationship
18	10
25	60
30	70
35	75
40	80
45	85
50	88
55	90
60	92
65	95

ED WORK MAY HAVE TO BE EXPOSED

NAME, M.I.E. 05141N FULTON,

13 / 14 ESTIMATE
D TO ANY REQUIRED PLAN)

DISTRIBUTION: White – Office, Canary – Owner/Contractor

15-6062-467 Rev. 8/04

Owner Name MilrodPermit Number B201405757

INSPECTION RECORD

One-time Inspection to remodel SFR # not permitted addition

	DATE	INSPECTOR		DATE	INSPECTOR
Setback			Shower Pan Test		
Temporary Power			Stucco Mesh or Exterior Siding		
Foundation Reinforcing Steel			Rough Fire		
Rough Grading Certification			Insulation		
Excavation and Forms			Sewer		
F.H.A. Foundation Req.			Interceptor		
Slab Grade			Septic Tank		
Ground Plumbing			Leach Line or Seep Pit		
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Rough Electrical			Final Fire		
Rough Plumbing			Developer Fees Paid		
WC (Y/N) _____			Certificate of Occupancy		
Ind Saf (Y/N) _____					

COMPLETE
8.5.14
mr

SEPTIC TANK _____ GALS. _____
SEEP PIT _____ X _____
LEACH LINE _____ WIDE _____
X _____ LONG X _____ DEPTH OF ROCK _____

N.

W.

E.

S.

Mark Rows mr

Inspector's Signature and Initials _____