

Cornerstone Inspection

Property Inspection Report



5990 Sunny Glenn Lane, Paso Robles, CA 93446

Inspection prepared for: Debra Hardy

Real Estate Agent: -

Date of Inspection: 6/17/2025 Time: 9:00 AM

Age of Home: 2004 Size: 1589

Inspector: Gus Vasquez

Order ID: 12282

CREIA 155505

P.O. Box 1511, Pismo Beach, CA 93448

Phone: 805-290-6303

Email: gus@cornerstonecentralcoast.com



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Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. All repairs must be done by a qualified licensed & bonded trade or profession. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process. The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report may only illustrate an example of the issue being reported. More issues or defects may exist that will be discovered by a specialist retained to evaluate the specific issue. Locations of various components identified within the report such as "left" or "right" side, "front" or "rear" of the property are described from the perspective of facing the front door. Please use the photo, if one, on the cover page of this report to define the "front" of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

On this page you will find, in **RED**, a brief summary of any critical concerns of the inspection, as they relate to Health & Safety, or could be costly to repair. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report. Basic maintenance or recommend upgrade items will be in **BLUE**.

Informational comments will be in typical black lettering. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the home has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist. Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

Site and Other Comments

Page 5 Item: 2	Environmental Comments	2.5. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.
Page 7 Item: 3	Pool/Spa	3.5. The pool does not include two of the seven drowning safety features as required by the Swimming Pool Safety Act as updated by SB 552. We recommend a qualified licensed pool contractor familiar with the recent changes in SB 552 evaluate and make the required improvements to meet this new standard.

Exterior

Page 11 Item: 14	Guardrails	14.3. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches, and appropriate precautions should be taken to safeguard children and the elderly.
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Plumbing Components

Page 19 Item: 5	Gas Water Heater Comments	5.11. The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.
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Electrical Service Panels

Page 23 Item: 3	Sub Panel #2 Observations	3.10. The interior panel cover has voids, or open knock-outs that should be covered, could prove to be hazardous to small children.
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Heating & Air conditioning

Page 30 Item: 1	Forced Air Furnace	1.16. There is a bio-organic substance adjacent the water heater that should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.
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Site and Other Comments

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. The seller's agent was present for the inspection.

1.3. The residence is furnished, and in accordance with California Real Estate Inspection Association (CREIA) standards, we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

1.4. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer disclosure obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report. Our inspections are followed up with an addendum or supplemental information that is issued to our clients after the original reports have been released to the other parties involved in the transaction. If you like the quality and thoroughness of this report, and wish to retain Cornerstone Inspection, Inc., we would be happy to perform an on-site review of the report and inspection for a fee of \$175, or 1/2 the original inspection fee, whichever is more. A review usually takes on the average home about 1 hour. The review includes a consultation at the property, and includes the issuance of a new report and contract in your name.

1.5. We do not evaluate auxiliary structures, such as storage buildings as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.6. Because this is a report on a mobile home within a managed park, we do not inspect or report on the condition of any components beyond the unit, such as grading and drainage which we believe to be the responsibility of the park management association.

1.7. We prefer to have the buyers present during, or immediately following, the inspection so that we can elaborate on what may well be complicated or technical issues that could be somewhat difficult for the average person to understand. Inasmuch as you were not present, we encourage you to read the whole report and not just the summary report, and to consult with us directly. Also, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others.

1.8. It is at the inspectors discretion if they wish to exceed the minimum CREIA standards for any specific system or component. Under no circumstance should the client assume that if the inspector exceeds the CREIA standard, in anyway, the inspector is required to or will perform to the same level above the standard on any other system or component.

2. Environmental Comments

Observations:

2.1. We noticed the presence of rodent type droppings within the crawlspace and you may wish to have a pest control company evaluate.

2.2. We notice the presence of rodent type poison and/or traps which, you may wish to ask to sellers about this and have a pest control company evaluate.

2.3. We recommend that carbon monoxide alarms be installed as needed to ensure conformance with current safety requirements. Requirement for carbon monoxide alarms in ALL dwellings, effective July 1, 2011. These are relatively inexpensive but important safety devices. In general, a CO alarm should be installed adjacent to sleeping areas and at least one per level. Each alarm should provide coverage for approximately 400-1,000 square feet. Please consult with the Authority Having Jurisdiction and the manufacturer's installation instructions for specific recommendations. The units should be replaced periodically as indicated by the manufacturers to ensure proper function. This is generally every 5 to 7 years. Interested parties desiring further information or service should consult with a qualified trades.

2.4. It is recommended that smoke alarms older than 10 years old be replaced for safety reasons, as the sensors may no longer be effective. We recommend Photoelectric sensor models only.

2.5. There are no carbon monoxide detectors present. Carbon monoxide alarms are an important safety component that are required in this jurisdiction. They should be installed at each level of the home adjacent to the bedrooms, but not any closer than 10 feet to a gas appliance.

3. Pool/Spa

Observations:

3.1. We do not evaluate pools or spas as part of our inspection service. Therefore, you should have a pool/spa contractor evaluate them before the close of escrow, and you should be aware of local ordinances governing pool and spa safety.

3.2. For pool safety we recommend you follow the California safety requirements at:

<http://www.cdph.ca.gov/HealthInfo/environhealth/water/Documents/RecHealth/SwimmingPoolSafetyAct.pdf>

3.3. The seven drowning safety features identified in SB 552 are:

1-A pool enclosure that meets the requirements of Section 115923 and isolates the swimming pool or spa from the private single-family home.

2-Removable mesh fencing that meets the ASTM International F2286 standard in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device.

3-A manually operated or power-operated safety pool cover that is accompanied by a label verifying that the cover meets the specifications of the ASTM International F1346-23 standard.

4-Exit alarms on the private single-family home's doors and windows that provide direct access to the swimming pool or spa without any intervening enclosure. Whenever any door or window is opened or left ajar, exit alarms shall make either an audible, continuous alarm sound or a repeating verbal warning, such as a notification that "the door to the pool is open." An exit alarm may be battery operated or connected to the electrical wiring of the building.

5-A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa.

6-An alarm in good repair and operable as designed that, when placed in a swimming pool or spa, will sound upon detection of accidental or unauthorized entrance into the water. The alarm shall meet and be independently certified to the ASTM International F2208 standard that includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or becomes submerged in water, is not a qualifying drowning prevention safety feature.

7- Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the features set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by ASTM International, the American Society of Mechanical Engineers, or another nationally recognized standards development organization, and the feature is accompanied by a label verifying that the protection meets those standards.

The requirements are not satisfied by any of the following:

(1) An exit alarm and a self-closing, self-latching device on the same door.

(2) An exit alarm and a door latch on separate doors.

(3) A safety pool cover and a surface alarm designed for detection of accidental or unauthorized entrance.

Note: A pool isolation fence, as described in Section 115923 of the Health and Safety Code, is the most studied and effective drowning prevention safety feature for preventing a child from accessing a pool or spa unsupervised, according to the American Academy of Pediatrics Policy Statement, "Prevention of Drowning," published in 2019.

3.4. The requirements of, "two of the seven drowning safety features" as required by the Swimming Pool Safety Act as updated by SB 552, do not apply to Spas or hot tubs with locking type covers complying with ASTM International F1346 standard. We can not confirm the hot tub cover meets this standard. We recommend further evaluation by a qualified licensed swimming pool specialist and service or correct and required to meet current safety standards.

3.5. The pool does not include two of the seven drowning safety features as required by the Swimming Pool Safety Act as updated by SB 552. We recommend a qualified licensed pool contractor familiar with the recent changes in SB 552 evaluate and make the required improvements to meet this new standard.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have been apparent otherwise.

1.2. There is a BBQ on the property that we do not evaluate, unit should be demonstrated as functional by the sellers.

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may confirmed moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the **cellulose** material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage on this property is solely dependant on soil-percolation and hard surfaces. There are no roof gutters or area drains. Such conditions are not ideal, and water may pond at various points during prolonged rains. Therefore, you may wish to have a specialist evaluate. We did not see any evidence of moisture contaminating the living space.

2.3. Drainage is largely dependant on soil percolation, which is not ideal. Water may pond during prolonged rains.

2.4. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

3. Exterior Wall Cladding

Observations:

- 3.1. The exterior house walls are clad with cement-fiber siding.
- 3.2. The house wall finish has been recently painted and is in acceptable condition.
- 3.3. There are stress fractures at some cement-fiber planks that should be serviced.



There are stress fractures at some cement-fiber planks that should be serviced.

4. Hard Surfaces

Observations:

- 4.1. The dirt driveway will be susceptible to erosion, and may not provide adequate traction, and you may wish to have it surfaced.

5. Wood Trim, Fascia and Eave

Observations:

- 5.1. The fascia board and trim have been recently painted and are in acceptable condition.

6. Electrical Components

Observations:

- 6.1. The exterior outlets are ground-fault protected and controlled from a **GFCI** outlet/breaker in the hallway bathroom.
- 6.2. Some of the exterior electrical outlets do not have a weather rated cover or the cover is damaged and should be serviced.
- 6.3. The lights outside the doors of the residence are functional.



Some of the exterior electrical outlets do not have a weather rated cover or the cover is damaged and should be serviced.

7. Sliding Glass Doors and Screens

Observations:

7.1. The sliding glass doors are tempered and in acceptable condition.

8. Windows

Observations:

8.1. In accordance with industry standards, we only test a representative sample of windows.

8.2. Dual-pane windows are present that includes hermetic seals. Hermetic seals on these windows can fail at any time and cause condensation to form between the panes. Unfortunately, this is not always apparent which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards we test a representative number of unrestricted windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

8.3. There is at least one, but there could be more windows with a broken hermetic seals identified within the report which should be replaced. Hermetic seal failure is often difficult to identify. We recommend that a experienced window specialist evaluate all the windows, who may very well identify other defective windows.

8.4. All of the window screens are missing. Screens are often removed for aesthetic reasons, but you may wish to have them installed.

9. Stairs and Handrails

Observations:

9.1. Some of the steps have unequal treads or risers. Steps are required to be uniform to prevent trip-hazards. The rise of any step should be no less than four inches and no greater than seven inches, and the run should be no less than eleven inches. Also, the dimensions of the largest step should not exceed that of the smallest by more than three-eighths of an inch.

9.2. The handrail does not meet current standards as graspable, meaning fingers and thumb can rap around or into grooves so a hand would not easily slip off the handrail.



The handrail does not meet current standards as graspable, meaning fingers and thumb can rap around or into grooves so a hand would not easily slip off the handrail.

10. Fences and Gates

Observations:

10.1. Portions of this property are not fenced or otherwise enclosed, to provide security for children or animals.

10.2. The property is on acreage and the fences were not fully inspected.

11. Yard and Retaining Walls

Observations:

11.1. The wooden planks at the rear of the property have no structural value, and are intended to inhibit surface soil movement, and should be periodically monitored for damage or stability.



The wooden planks at the rear of the property have no structural value, and are intended to inhibit surface soil movement, and should be periodically monitored for damage or stability.

12. Landscaping

Observations:

12.1. There are tree limbs overgrowing the residence that should be trimmed or monitored, to insure that they do not impact of damage the roof or its components.

12.2. There are oak trees on this property, which we do not have the expertise to evaluate. However, there are local ordinances that prevent some of them from being removed or significantly pruned without a permit, and you may wish to have them examined by an arborist.



There are tree limbs overgrowing the residence that should be trimmed or monitored, to insure that they do not impact of damage the roof or its components.

13. Decks

Observations:

13.1. The deck needs maintenance-type service, such as securing loose planks, setting nails, sanding, or sealing, all of which will prolong the life of the deck.

14. Guardrails

Observations:

14.1. The balcony/deck guardrail is climbable, and therefore not child-safe. If children occupy or visit this property appropriate precautions should be taken to make the area more secure.

14.2. There is damage to the wood guardrail that should be serviced.

14.3. There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches, and appropriate precautions should be taken to safeguard children and the elderly.



There are areas of this property that do not have guardrails, which are required for walk-offs greater than thirty inches, and appropriate precautions should be taken to safeguard children and the elderly.



There is damage to the wood guardrail that should be serviced.

Foundation Comments

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than 1/4" and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. We evaluated the raised foundation by accessing and evaluating the components within the crawlspace.

1.3. The crawlspace access is located at the rear exterior.

1.4. The crawlspace is accessible and in acceptable condition.

1.5. The foundation is raised and supported with typical metal or concrete pier supports. It may well be adequate but which would not meet current seismic standards.

1.6. The intermediate floor framing is in acceptable condition. There may be some deviations from plumb, level, etc, but none that would have any serious structural significance.

1.7. The electrical components that are visible within the crawlspace appear to be in acceptable condition.

1.8. The visible portions of the water pipes are in acceptable condition but should be monitored because of their location. Leaks from pipes that pass through a crawlspace can be difficult to detect until significant damage is evident elsewhere.

1.9. Ventilation of the foundation crawlspace is conventional and should be adequate.

1.10. Some pieces of insulation are hanging or have fallen from between the floor joists. This does not have any serious consequences, but you may wish to have it serviced.

1.11. The rodent barrier has voids or openings that should be sealed. This could also imply that there has been some leaks or plumbing repairs done in the past. You may want to ask the seller regarding this issue.



Roofing

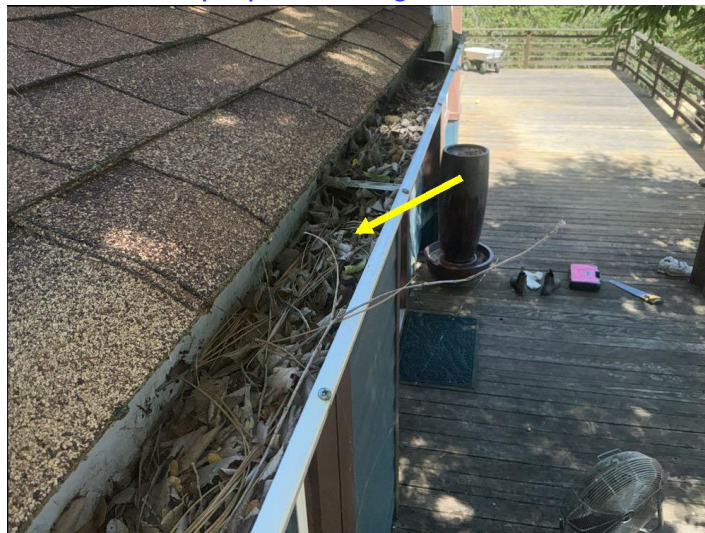
1. Roof Gutters

Observations:

1.1. We have noted that the downspouts enter into underground drains, but we cannot confirm their termination points. It should be verified that they are clear, and the termination points be verified.

1.2. The gutters need to be cleaned to drain properly.

1.3. We recommend that you install gutter guards to restrict leaves and other debris from entering the gutter system, which could restrict proper drainage.



We recommend that you install gutter guards to restrict leaves and other debris from entering the gutter system, which could restrict proper drainage.

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage. Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The composition shingle roof appears to be approximately eight to ten years old, but this is just an estimate and you should request the installation permit from the sellers, which will reveal its exact age and any warranty guarantee that might be applicable.

2.4. The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.5. We observed repairs done to the roof that should be explained by the sellers as to why these repairs were needed.

2.6. The roof flashings are in acceptable condition.

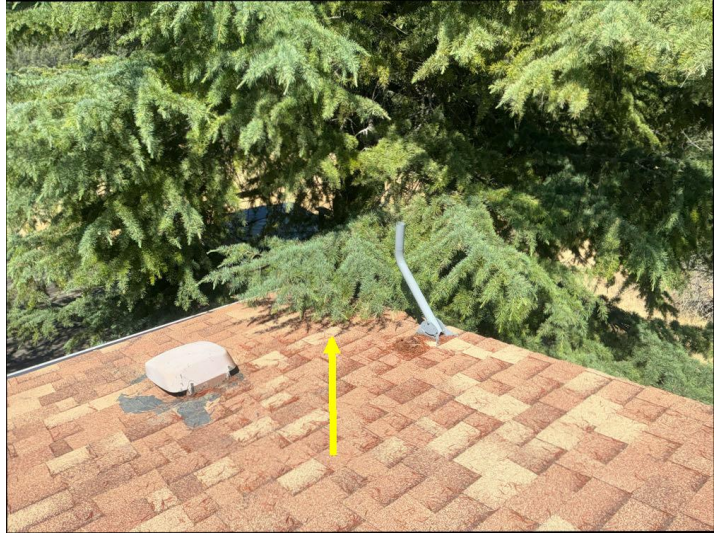
2.7. The roof tee top terminations do not include screens as required by current standards. We recommend screens be added to these terminations.

2.8. The roof includes a satellite dish that has been installed by bolting through the roof, which can be a common point of leaks and should be monitored.

2.9. The roof needs to be cleaned and any foliage trimmed away to promote and insure proper drainage.



We observed repairs done to the roof that should be explained by the sellers as to why these repairs were needed.



The roof needs to be cleaned and any foliage trimmed away to promote and insure proper drainage.

Fireplace

1. Living Fireplace Comments

Observations:

- 1.1. The residence includes a modern reproduction of a free-standing metal chimney and fireplace, which is functional. However, you should obtain the installation permit, and any other relevant documents that would instruct you in its proper use and maintenance.
- 1.2. The firebox is in acceptable condition.
- 1.3. A view of the chimney flue is not possible, and you may wish to have it video scanned.
- 1.4. The fireplace hearth is in acceptable condition.
- 1.5. The chimney has a functional spark arrestor and a weather-cap.
- 1.6. The chimney flashings are in acceptable condition.



The residence includes a modern reproduction of a free-standing metal chimney and fireplace, which is functional. However, you should obtain the installation permit, and any other relevant documents that would instruct you in its proper use and maintenance.

Plumbing Components

1. General Plumbing Comments

Observations:

1.1. The water supply is private and provided by a well, which we do not evaluate and is the sole responsibility of the homeowner. The source of the water could be from a local spring or a more substantial aquifer, which are dependent upon rainfall. For this reason, neither the supply nor the quality of the water can be categorically guaranteed. Also, you should be aware that local and regional standards of adequate flow vary considerably, but are entirely dependant upon the yield of the well and are best determined by a specialist.

1.2. A water softener is present that we do not have the expertise to evaluate except for visible leaks. We recommend you ask the sellers if the unit was professionally installed and its service history.

1.3. As of January 1, 2017, building standards/state law require that flow rates for fixtures in the home not exceed; 1.6 gpf for toilets, 2.2 gpm for faucets and 2.5 gpm for shower heads. It is beyond the scope of the inspection to determine the flow rates of the plumbing fixtures in the home. Refer to seller.

2. Water Supply Comments

Observations:

2.1. The main water shut-off valve is located at the well equipment.

2.2. The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

2.3. The residence is served by Cross-Linked Polyethylene, also known as PEX. The visible potable water pipes are in satisfactory condition.



Main water shutoff



The water pressure entering the residence is under 80psi and a regulator is not required on the plumbing system.

3. Gas Service Information

Observations:

3.1. The residence is served by propane, also know as LPG. We recommend that the gas supply company perform an account change inspection prior the close of escrow. This inspection will include inspection of the gas appliances, tank, valves and pipes. The information will also include the monthly cost of gas that will help you evaluate the annual cost of propane.

3.2. The gas shutoff is located at the propane tank, which is not ideal and you may want to add a shut-off valve at the house.

3.3. The visible portions of the gas pipes appear to be in acceptable condition.



The gas shutoff is located at the propane tank, which is not ideal and you may want to add a shut-off valve at the house.

4. Irrigation and Hose Bibb Information

Observations:

4.1. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

5. Gas Water Heater Comments

Observations:

- 5.1. Hot water is provided by a 40 gallon gas water heater that is located in the exterior closet.
- 5.2. The water heater is functional and there were no leaks at the time of our inspection.
- 5.3. The water heater is about 15 years old.
- 5.4. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.
- 5.5. The gas control valve and its connector at the water heater is presumed to be functional.
- 5.6. The vent pipe is functional.
- 5.7. The water heater is equipped with a mandated pressure & temperature relief valve.
- 5.8. The drain valve of the gas water heater is in place and presumed to be functional.
- 5.9. The water heater is not equipped with a drip pan or overflow pipe, which is a recommended upgrade, and which is designed to prevent or minimize water damage from a leak.
- 5.10. The water heater appears to have adequate combustion-air.
- 5.11. The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.



Hot water is provided by a 40 gallon gas water heater that is located in the exterior closet.



The water heater is not correctly secured, and needs to be seismically strapped and braced in accordance with local standards.

6. Waste and Drain Systems

Observations:

6.1. The visible portions of the drainpipes are a modern acrylonitrile butadiene styrene type, or **ABS**.

6.2. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

6.3. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

6.4. This property may be served by a private waste system that we do not have the expertise to inspect. We recommend the septic system be evaluated by a qualified specialist. Furthermore, we do recommend the use of biodegradable tissues, soaps, detergents, and other non bleach cleaners. We recommend you avoid depositing grease, flushable wipes, feminine products and other objects within the system.

6.5. A clean-out is located at the rear.



A clean-out is located at the rear.

Electrical Service Panels

1. Electrical Service Equipment

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 200 amp main electrical panel, located on approach to the home.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior cover for the main electrical panel is in acceptable condition.

1.5. Various circuits are not labeled, which is recommended.

1.6. The main conductor lines are underground, or contained in what is described as a lateral service entrance. This is characteristic of a modern electrical service but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of service.

1.7. The wiring in the main electrical panel has no visible deficiencies.

1.8. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.9. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.10. The panel is correctly grounded to a driven rod.

1.11. Current standards require the panel to be double-grounded, and you may wish to consider having this done as a safety upgrade. However, such an upgrade is not currently mandated.

1.12. The ground fault receptacle is tripped and does not reset. We recommend replacing it to be functional.



Main electrical service disconnect(Shutoff)



Various circuits are not labeled, which is recommended.

2. Sub Panel Observations

Observations:

2.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

2.2. The sub panel is located at the rear exterior of the home.

2.3. The electrical sub panel has no visible deficiencies.

2.4. The exterior cover for the electrical sub panel is in acceptable condition.

2.5. The interior cover for the electrical sub panel is in acceptable condition.

2.6. There are no visible deficiencies with the electrical wiring in the sub panel.

2.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

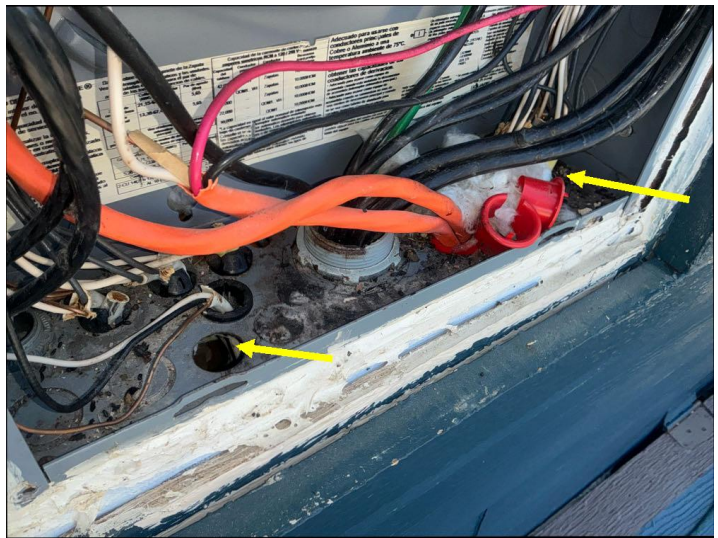
2.8. The circuit breakers have no visible deficiencies.

2.9. The grounding system in the sub panel is correct.

2.10. There are open knockouts that is allowing animal activity. We recommend further evaluation by a qualified licensed electrical contractor and serviced as needed.



The sub panel is located at the rear exterior of the home.



There are open knockouts that is allowing animal activity. We recommend further evaluation by a qualified licensed electrical contractor and serviced as needed.

3. Sub Panel #2 Observations

Observations:

3.1. Sub-panels are often located inside residences, but they should not be located inside clothes closets, where they might be concealed and could impede an emergency disconnect. However, when they are located outside they are required to be weatherproof, unobstructed, and easily accessible, and their circuits should be clearly labeled.

3.2. The sub panel is located adjacent to the well equipment.

3.3. The electrical sub panel has no visible deficiencies.

3.4. Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.

3.5. The exterior cover for the electrical sub panel is in acceptable condition.

3.6. There are no visible deficiencies with the electrical wiring in the sub panel.

3.7. The residence is wired predominantly with a modern vinyl conduit known as Romex.

3.8. A 50 circuit breaker is not properly installed and should be serviced by a qualified licensed electrical contractor.

3.9. The grounding system in the sub panel is correct.

3.10. The interior panel cover has voids, or open knock-outs that should be covered, could prove to be hazardous to small children.



The sub panel is located adjacent to the well equipment.



The interior panel cover has voids, or open knock-outs that should be covered, could prove to be hazardous to small children.



Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.



A 50 circuit breaker is not properly installed and should be serviced by a qualified licensed electrical contractor.

Interior Living Space

1. Main Entry

Observations:

1.1. We have evaluated the front door and entry, and found it to be in acceptable condition.

2. Living Room

Observations:

2.1. The living room is located adjacent to the main entry.

2.2. The ceiling fan is functional but rubs and should be serviced so the fan operates smoothly.

3. Dining Room

Observations:

3.1. The Dining room is located adjacent to the living room.

3.2. We have evaluated the living room, and found it to be in acceptable condition.

4. Breakfast-Dining Area

Observations:

4.1. The breakfast/dining area is located adjacent to the kitchen.

4.2. A ceiling light does not respond, and should be serviced.

4.3. The ceiling fan is functional but rubs and should be serviced so the fan operates smoothly.

5. Main Hallway

Observations:

- 5.1. This hallway leads to the bedrooms.
- 5.2. We have evaluated the hallway, and found it to be in acceptable condition.

Bedrooms

1. Master Bedroom Observations

Observations:

- 1.1. This bedroom is located at the end of the hallway.
- 1.2. We have evaluated the bedroom components, and found it to be in acceptable condition.
- 1.3. The smoke alarm responded to the test button, but should be checked and tested periodically.

2. Bedroom 2

Observations:

- 2.1. This bedroom is located at the end of the hall to the right.
- 2.2. The smoke alarm responded to the test button, but should be checked and tested periodically.
- 2.3. The door rubs and needs to be serviced to open and close smoothly.

3. Bedroom 3

Observations:

- 3.1. This bedroom is located at the 1st bedroom door on the left going down the hallway.
- 3.2. We have evaluated the bedroom components, and found it to be in acceptable condition.
- 3.3. The smoke alarm responded to the test button, but should be checked and tested periodically.

Kitchen

1. General Comments

Observations:

- 1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

2.1. The kitchen cabinets have typical, cosmetic damage, or that which is commensurate with their age.

3. Countertop

Observations:

3.1. The counter top is functional.

4. Electrical Components

Observations:

4.1. The outlets that were tested are functional and include ground-fault protection.

4.2. The lights are functional.

5. Sink and Faucet

Observations:

5.1. The sink is functional.

5.2. The sink faucet and its components are functional.

5.3. The valves and connector below the sink are functional.

5.4. The trap and drain are functional.

6. Dishwasher Comments

Observations:

6.1. The dishwasher is functional.

7. Exhaust Fan

Observations:

7.1. The exhaust fan or downdraft is functional.

8. Gas Range & Cook Top

Observations:

8.1. The gas range is functional, but was neither calibrated nor tested for its performance.

Bathrooms

1. Master Bathroom Observations

Observations:

- 1.1. The master bathroom is a full, and is located adjacent to the master bedroom.
- 1.2. The cabinets are functional, and do not have any significant damage.
- 1.3. The sink countertop is functional.
- 1.4. The bathroom sinks are functional.
- 1.5. The sink faucets and their components are functional.
- 1.6. The trap and drain are functional.
- 1.7. The outlets are ground-fault protected and controlled from a **GFCI** outlet/breaker in the hallway bathroom.
- 1.8. The lights are functional.
- 1.9. The exhaust fan is functional.
- 1.10. The toilet is functional.
- 1.11. The toilet is identified as being a low-flush type. 1.6gpf dual flush.
- 1.12. The stall shower is functional.
- 1.13. We do not pressure test shower pans, which can be performed by a licensed plumber or leak detection company. Some termite/pest control operators do this test on a single-story home, but you should inquire them to verify this.
- 1.14. The tub is functional.
- 1.15. The baseboards adjacent the shower are moisture damaged. We recommend they be removed and further evaluated to insure the moisture damage does not extend deeper into the wall.
- 1.16. Window(s) may have a broken hermetic seal which you may wish to have replaced. This is evident from fogging, or condensation forming between the panes of glass that confirm that the seal has failed.



The baseboards adjacent the shower are moisture damaged. We recommend they be removed and further evaluated to insure the moisture damage does not extend deeper into the wall.

2. Hallway Bathroom

Observations:

- 2.1. The hallway bathroom is a full, and is located adjacent to the main hallway.
- 2.2. The cabinets are functional, and do not have any significant damage.
- 2.3. The sink countertop is functional.
- 2.4. The sink is functional.
- 2.5. The sink faucet and its components are functional.
- 2.6. The trap and drain are functional.
- 2.7. The outlets are functional and include ground-fault protection.
- 2.8. The lights are functional.
- 2.9. The exhaust fan is functional.
- 2.10. The toilet is functional.
- 2.11. The toilet is identified as being a low-flush type. 1.6gpf dual flush.
- 2.12. The tub-shower is functional.

Laundry

1. Laundry Room

Observations:

- 1.1. The laundry room is located adjacent to the hallway bathroom.
- 1.2. Most if not all of the components behind the washer/ dryer were obstructed from view and were not inspected.
- 1.3. A dryer vent is provided and appears serviceable. It should be cleaned 1-2 times per year to prevent lint build-up which can be highly flammable.
- 1.4. A gas supply valve is installed, but needs an approved connector to that attaches to the gas to the dryer, which is not required and you should have one already installed if you have a gas dryer.
- 1.5. The outlets that were tested are functional.
- 1.6. A 220 volt receptacle for the dryer is functional but 3 prong. Newer electric dryers have a 4 prong appliance cord and you may need to upgrade or adapt this connection.
- 1.7. The lights are functional.
- 1.8. The cabinets are functional, and do not have any significant damage.
- 1.9. The exterior door is functional but some weather stripping is damaged and could be subject to moisture intrusion especially during wind driven rain. We recommend it be serviced to be weather tight.



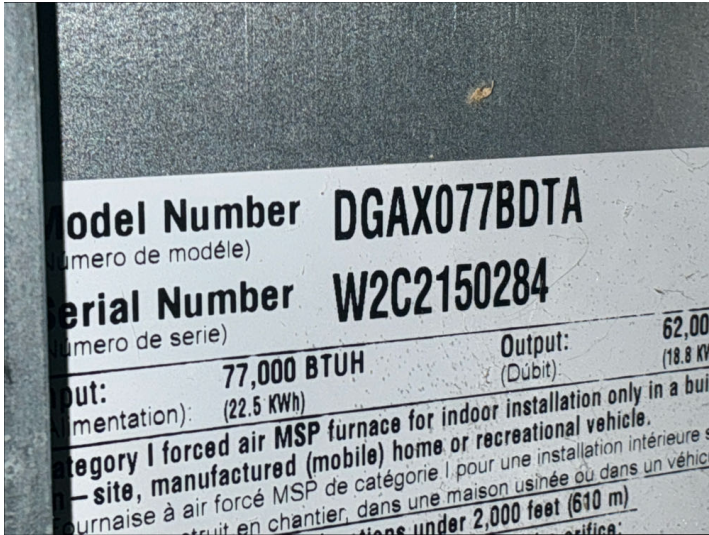
The exterior door is functional but some weather stripping is damaged and could be subject to moisture intrusion especially during wind driven rain. We recommend it be serviced to be weather tight.

Heating & Air conditioning

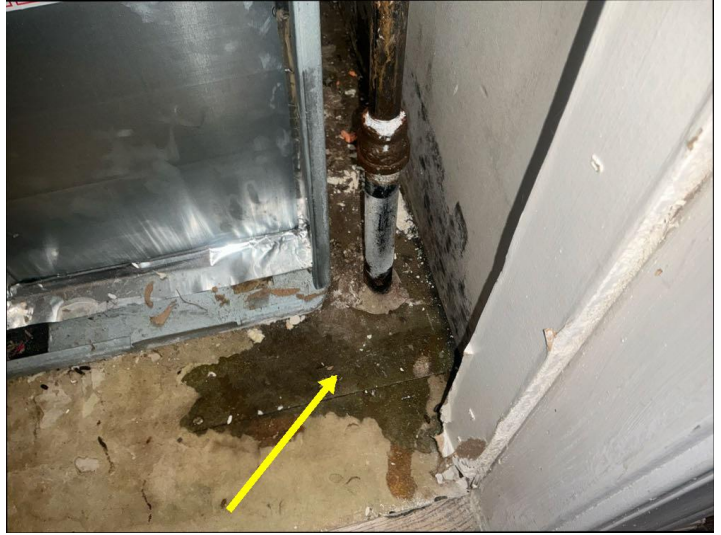
1. Forced Air Furnace

Observations:

- 1.1. Central heat is provided by a forced-air furnace that is located in a closet off the laundry room.
- 1.2. The furnace is functional. We recommend that the furnace be serviced before each heating season and you may want to ask the sellers when the furnace was last serviced.
- 1.3. The furnace is not original and you should obtain documentation of its replacement for your records, which would reveal its exact age and confirm that the installation was made by licensed specialists, and could include a transferable warranty.
- 1.4. The vent pipe is functional.
- 1.5. The gas valve and connector are in acceptable condition.
- 1.6. The combustion-air vents for the gas furnace are functional.
- 1.7. An air filter is missing within the heating system, which should be installed.
- 1.8. The circulating fan is clean and functional.
- 1.9. The thermostat is functional.
- 1.10. Significant portions of the supply ducts are concealed and cannot be viewed.
- 1.11. The flexible ducts in the crawlspace are in contact with the soil and should be a minimum of 4" off the ground. The plastic covering will deteriorate when in contact with the soil.
- 1.12. The registers are reasonably clean and functional.
- 1.13. Because the registers are mounted on the floor and the home is furnished, we may not have located all of them.
- 1.14. There is a moisture stain on the wall that should be explained or explored further. The area is currently dry.
- 1.15. The flexible ducts in the crawlspace are in contact with the soil and should be a minimum of 4" off the ground. The plastic covering will deteriorate when in contact with the soil.
- 1.16. There is a bio-organic substance adjacent the water heater that should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.



Manufactured 2021



There is a moisture stain on the wall that should be explained or explored further. The area is currently dry.



There is a bio-organic substance adjacent the water heater that should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.



The flexible ducts in the crawlspace are in contact with the soil and should be a minimum of 4" off the ground. The plastic covering will deteriorate when in contact with the soil.

2. Air Conditioning

Observations:

2.1. Central heat and air-conditioning are provided by a single split-system, consisting of a furnace with an evaporator coil that is located in the laundry room and a condensing coil that is located on the exterior.

2.2. The condensing coil is not strapped to the base, as current standards require.

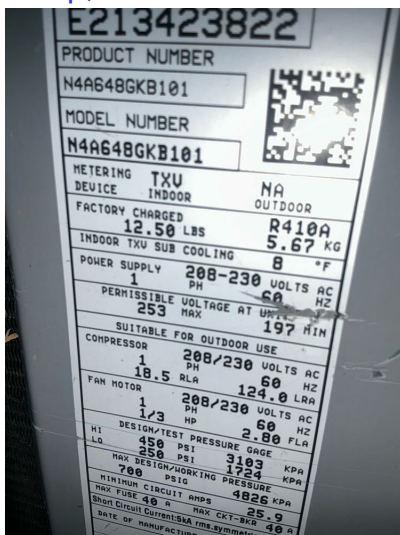
2.3. The electrical disconnect at the condensing coil is present and presumed to be functional.

2.4. The condensing coil responded to the thermostat and is functional.

2.5. The evaporator coil is functional.

2.6. The air conditioning responded and achieved an acceptable differential temperature split between the air entering the system and that coming out of 15-18 degrees or more.

2.7. Insulation is missing from the refrigerant lines in the crawlspace, which will allow condensation to form and drip, and should be installed.



Manufactured 2021



Some pieces of insulation are hanging or have fallen from between the floor joists. This does not have any serious consequences, but you may wish to have it serviced.



Insulation is missing from the refrigerant lines in the crawlspace, which will allow condensation to form and drip, and should be installed.

Glossary

<i>Term</i>	<i>Definition</i>
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.