



**ELITE GROUP**  
INSPECTION PROFESSIONALS



800-494-8998

RESIDENTIAL



PROPERTY LOCATION: 5209 Sepulveda Blvd Torrance, CA 90505

# INSPECTION REPORT

CLIENT: Corrine Lotz - AGENT: Bob DePew Laguna Premier Realty

Date of Inspection: 4/10/2026 at 11:30 AM

Year Built: 1955 Sq Ft: 1162

Weather: 66\*, Windy, Partly Cloudy and Dry

Order ID: 393400

Inspector: Dennis Aguilera

(714) 400-1010

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customer@eliteinspections.com



www.eliteinspections.com



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### About HomeBinder

Our goal is to simplify homeownership by centralizing information and connections. With HomeBinder, you can keep everything about your home in one simple and secure platform. Supported by thousands of business partnerships, HomeBinder was founded in 2012 and is a division of iGo.



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## Summary Page

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. Further evaluation is recommended for any item written in red text or marked "needs to be serviced" or "recommend servicing" on this report -- further evaluation often times will allow a contractor to find additional items needing repair beyond the scope of the inspection. Failure to further evaluate any item as recommended releases us of any liability.

INTERIOR		
Page 11 Item: 1	Wall Conditions	<ul style="list-style-type: none"> <li>• Stains/blistered areas present - moisture present when tested with moisture meter - recommend further evaluation - bathroom wall, front bathroom</li> </ul>
Page 13 Item: 4	Floor Conditions	<ul style="list-style-type: none"> <li>• Loose floor tiles - needs to be serviced</li> <li>• Loose carpet- needs to be serviced - potential trip hazard</li> <li>• Flooring in rear bathroom is much higher than hallway flooring – potential trip hazard</li> <li>• Torn/frayed carpet - typical for age of materials, signs of wear</li> </ul>
Page 13 Item: 5	Window Conditions	<ul style="list-style-type: none"> <li>• Windows/glass below 18" and window glass in any doors should be tempered for safety - service needed</li> <li>• Broken sash cables or springs - unsafe - needs to be serviced</li> <li>• Inner seals at double pane windows are bulging/moving due to heat - needs to be serviced</li> </ul>
Page 14 Item: 6	Doors	<ul style="list-style-type: none"> <li>• Hole in bedroom door - service recommended</li> </ul>
Page 15 Item: 8	Electrical	<ul style="list-style-type: none"> <li>• Three prong outlet(s) not grounded - needs to be serviced - ALL</li> </ul>
BATHROOMS		
Page 18 Item: 1	Counters	<ul style="list-style-type: none"> <li>• Missing/loose/damaged materials – service needed</li> </ul>
Page 19 Item: 5	Bath Tubs	<ul style="list-style-type: none"> <li>• Caulk <b>maintenance</b> needed at wall to fixture juncture</li> </ul>
Page 19 Item: 6	Showers	<ul style="list-style-type: none"> <li>• Shower arm faceplate is loose at the wall - recommend securing and sealing this area - both</li> </ul>
Page 20 Item: 7	Shower Walls	<ul style="list-style-type: none"> <li>• Cracked/loose/missing grout in areas - recommend grout and sealer</li> <li>• Missing drain cover – service needed</li> </ul>
Page 21 Item: 10	Plumbing	<ul style="list-style-type: none"> <li>• Shutoffs under sink corroded - needs to be serviced - this will be an ongoing maintenance issue for ALL plumbing valves</li> </ul>
Page 21 Item: 11	Electrical	<ul style="list-style-type: none"> <li>• Three prong outlet(s) not grounded - needs to be serviced - both</li> </ul>
KITCHEN		
Page 23 Item: 1	Counters	<ul style="list-style-type: none"> <li>• Cracked/loose/missing grout in areas – service needed</li> </ul>
Page 24 Item: 5	Dishwashers	<ul style="list-style-type: none"> <li>• Rusting at interior racks - needs to be serviced</li> <li>• Water discharged out of <b>air gap</b> when draining - needs to be serviced</li> </ul>



Page 25 Item: 6	Garbage Disposals	<ul style="list-style-type: none"> <li>• Missing proper wire grommet at wire connection to unit - needs to be serviced</li> </ul>
Page 25 Item: 7	Plumbing	<ul style="list-style-type: none"> <li>• Shutoffs under sink corroded - needs to be serviced - this will be an ongoing maintenance issue for ALL plumbing valves</li> </ul>
Page 27 Item: 11	Exhaust Vents	<ul style="list-style-type: none"> <li>• Does not operate - needs to be serviced</li> </ul>
<b>WATER HEATERS</b>		
Page 35 Item: 6	Water Heater Temperature	<ul style="list-style-type: none"> <li>• Temperature was above 120 F at one or more fixtures within the structure, this a potential scald hazard - needs to be serviced/adjusted - consult a plumber</li> </ul>
<b>ELECTRICAL/GAS SERVICE</b>		
Page 37 Item: 2	Sub Panels	<ul style="list-style-type: none"> <li>• Equipment grounds and neutrals not isolated to separated bus bar (required at sub panel) - needs to be serviced - inside shed</li> <li>• Manufacture of panel a brand (Zinsco/Sylvania/Federal Pacific/Stab-Lok) known for frequent issues - recommend further evaluation by a licensed electrician - inside shed</li> </ul>
<b>GARAGE AND/OR CARPORT</b>		
Page 44 Item: 2	Rafters & Ceilings	<ul style="list-style-type: none"> <li>• Wood deterioration observed - consult termite report for any wood areas in garage area</li> </ul>
<b>FOUNDATION</b>		
Page 52 Item: 2	Foundation Walls	<ul style="list-style-type: none"> <li>• Concrete deteriorated in areas - needs to be serviced - front corner at porch/driveway</li> </ul>
Page 55 Item: 8	Electrical	<ul style="list-style-type: none"> <li>• Unsecured wiring - recommend servicing - All wiring should be properly secured to the framing.</li> <li>• Wires/conduit lying on ground - potential hazard - needs to be serviced</li> <li>• Conduit or metal wire sheathing in contact with soil - needs to be serviced</li> </ul>
<b>GROUNDS</b>		
Page 59 Item: 2	Patio and Porch Roofs	<ul style="list-style-type: none"> <li>• Wood deterioration observed - consult termite report</li> <li>• Detached, standalone type structure – service needed</li> </ul>
Page 60 Item: 5	Exterior Electrical	<ul style="list-style-type: none"> <li>• Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry</li> <li>• Outlet covers missing inside shed – service needed</li> </ul>
Page 62 Item: 11	Sprinklers	<ul style="list-style-type: none"> <li>• Leaking/evidence of leaking at valves – recommend servicing</li> </ul>
<b>ROOF</b>		
Page 64 Item: 1	Condition	<ul style="list-style-type: none"> <li>• Tree branches rub roof - needs to be serviced</li> <li>• Satellite dish fastened direct to roof - screws will need periodic caulk maintenance</li> </ul>
Page 65 Item: 4	Vents and Vent Caps	<ul style="list-style-type: none"> <li>• Mastic at vent(s) is weathered and cracked - needs to be serviced and resealed at all penetration points</li> </ul>

**ABOUT YOUR INSPECTION - [PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW](#)**

In order for you to receive the full value of this inspection, please read all of the information we have provided.

**ALL ITEMS IN RED PRINT ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CONTINGENCY PERIOD HAS EXPIRED, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.**

**This IS a limited Inspection:** It is impossible to inspect every square inch of every area of a home in a limited time frame. A home inspection is designed to reflect, as accurately as possible, the visible condition of the home at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a home for sale can change radically in only a day or two, so a home inspection is not meant to guarantee what condition a home will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection your inspector did not dismantle equipment, dismantle any structural items, apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Elite Group Inspection Professionals inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

**ENVIRONMENTAL DISCLAIMER:** Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

**Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommend that a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.\***

**Houses/structures built prior to 1978 can contain asbestos materials. It is recommend that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure.\***

**Houses/structures built prior to 1978 can contain lead paint. It is recommend that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.\***

**\*Elite Group Inspection Professionals will not engage in any claims regarding aluminum wiring, asbestos or lead paint.**

**PHOTO DOCUMENTATION:** Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Home Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only!



**ABOUT YOUR INSPECTION CONTINUED**

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

**Properties being inspected do not "Pass" or "Fail."** - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a home being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

**"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed and the item should be further evaluated. Often the items discovered by the Inspector are only clues to a potentially larger issue, further evaluation may uncover other items the inspector did not see or disclose during the inspection.**

**For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report.**

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every home or structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to 4 hours depending on the size of the structure or the age of the structure being inspected. The condition of the home or structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection. The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. *For example:* The inspector evaluates the exterior of the home first and finds no defects...but later runs the water at the kitchen sink and the water is not visibly leaking under the kitchen sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! A home inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

**Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.**

**THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.**

**THANK YOU FOR USING ELITE GROUP INSPECTION PROFESSIONALS**

## INSPECTION AGREEMENT

BY ACCEPTANCE OF OUR INSPECTION REPORT YOU AGREE TO THE TERMS OF THIS AGREEMENT AND THE TERMS AND CONDITIONS OF THE CONTRACT. YOU FURTHER AGREE THAT YOU UNDERSTAND THE LIMITATIONS OF A HOME INSPECTION AND HAVE READ THE DISCLAIMER PAGE OF THIS REPORT.

### SCOPE OF THE INSPECTION / REPORT

We will perform a non-invasive visual examination designed to identify material defects in the systems, structures, and components of buildings located on the property to be inspected, as they exist at the time of the inspection. Our inspection will be limited to those specific systems, structures and components that are present and visually accessible. We will only operate components and systems with normal user controls and as conditions permit. Unless we agree otherwise, we will only inspect the primary building, and its associated primary parking structure on the property. Out structures are not included in our inspection: this exclusion encompasses exterior BBQs, appliances, fire pits, fire places, play equipment, ponds or fountains, sheds, workshops, lean-to structures, barns, etc.. We will also provide you with a written report that describes and identifies the inspected systems, structures and components and any visible material defects observed at the time of the inspection. We may amend the report within twenty-four (24) hours after completing the inspection.

RE-INSPECTION: A re-inspection may be scheduled with our office as needed to re-evaluate specific items that may have been repaired since our original inspection or that may have been obstructed and not visible or accessible during the original inspection. The fee for a re-inspection varies upon how many items are to be re-inspected and/or the length of time required to perform the re-inspection. A re-inspection is completed only for the items specified in writing by the buyer or buyer's Agent at the time of the re-inspection. A re-inspection does not include a complete inspection of the entire home or property, however the Inspector may update the inspection report with additional defects observed at the re-inspection that may not have been visible or accessible during the original inspection. It is recommended that you obtain all the necessary building permits, contractor receipts and any warranties provided by the manufacturer/installer/contractor for the repaired or replaced items. Unless we agree otherwise, we will perform the inspection, and issue the report, in accordance with the mandatory parts of the current Standards of Practice (Residential Standards - Four or Less Units) of the International Association of Certified Home Inspectors ("the InterNACHI Standards") and subject to the Definitions, Scope, Limitations, Exceptions and Exclusions in the InterNACHI Standards. Terms in this Agreement have the same meaning as the defined terms in the InterNACHI Standards. The InterNACHI Standards are available from InterNACHI's website: <http://www.nachi.org/>

IF YOU DISCOVER A DEFECT FOR WHICH YOU THINK WE MAY BE LIABLE TO YOU, YOU MUST NOTIFY US AND GIVE US A REASONABLE OPPORTUNITY TO RE-INSPECT THE PROPERTY BEFORE YOU REPAIR THE DEFECT. FAILURE TO FOLLOW THIS PROCESS WILL RESULT IN VOIDING THIS AGREEMENT AND CONTRACT. YOUR NOTICE MUST BE IN WRITING, INCLUDE A SIGNED COPY OF THIS AGREEMENT, AND BE MAILED TO OUR CORPORATE OFFICE:

Elite Group Inspection Professionals/Attn: Inspector Supervisor 9480 Utica Ave Ste 608 Rancho Cucamonga, CA 91730

OUR LIABILITY TO YOU FOR CLAIMS ARISING FROM OUR INSPECTION OR OUR REPORT, WHETHER SOUNDING IN TORT OR CONTRACT, WILL NOT BE MORE THAN THE LESSER OF ACTUAL DAMAGES OR THREE (3) TIMES THE INSPECTION FEE.

TEGPIS (The Elite Group Property Inspection Service, Inc.) AND CLIENT AGREE THAT CLIENT CANNOT FILE A LEGAL ACTION AGAINST TEGPIS OR ITS EMPLOYEES, WHETHER SOUNDING IN TORT OR CONTRACT, MORE THAN ONE YEAR AFTER THE CLIENT DISCOVERS, OR WITH THE EXERCISE OF REASONABLE DILIGENCE SHOULD HAVE DISCOVERED THE BREACH OR MATERIAL DEFECT.

Our report is NOT a warranty of the items inspected. However, The Elite Group may offer you additional warranties through a third party service provider. In all cases, you must contact your home warranty company first for any issues that arise after the date of the original home inspection. Failure to do so may result in voiding your home warranty.

Additional questions or concerns can be addressed through our Customer Service website: <https://eliteinspections.com/explanation-of-limited-guarantee>

Please read the "About Your Inspection" and "Disclaimers" pages prior to filing any online claims as this will help you to determine if your claim is valid and within the scope of the home inspection.

### CONFLICT OF INTEREST DISCLOSURE AND STATEMENT OF COMMITMENT

Our goal is to provide valuable and unbiased information that helps consumers make informed decisions. A portion of our business may be based on relationships with other professions- real estate sales professionals, lawyers, lenders, vendors, etc., and our reports sometimes conflict with the business interests of these parties. We do not allow these relationships to compromise the integrity of our service. However, they do enable us to deliver more value to our clients. Our reports are intended to accurately reflect our impartial professional opinion, without exception.

YOU MUST PAY THE INSPECTION FEE AND SIGN THE CONTRACT BEFORE WE CAN DELIVER THE REPORT TO YOU.



# OVERVIEW

## 1. Inspection Package - Directional Marker - Utilities Status - Occupancy - Other Info

Inspection type: **Elite** Home Inspection (Standard Inspection)

Single Family Residence

Front door faces South (approximate)

All Utilities are ON for this inspection

Vacant structure

## 2. Main Utilities Location

- Main water valve shut off location: South side of structure
- Main gas valve shut off location: West side of structure
- Main electrical panel location: West side of structure

## 3. Who is present at the inspection?

- Seller's agent present during inspection
- Owner not present during inspection

## 4. Wall materials throughout the structure

Plaster

## 5. Ceiling materials throughout the structure

Plaster

## 6. Floor materials throughout the structure

Carpet • Tile

## 7. Window materials/type throughout the structure

Double pane • Aluminum framed • Vertical sliding type (one window slides while the other remains stationary)

## 8. IMPORTANT NOTES

- This inspection is intended to identify major material defects only. Minor and cosmetic issues are excluded from inspection and report, but may be included in some comments as a courtesy. Small nail holes, drywall nail pops, small cracks, chipped areas, dirty areas and cosmetic blemishes are considered cosmetic in most cases.
- Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.
- It is common for many Sellers to patch, paint or touch up areas of the structure prior to selling. Recent paint or patching may cover known past defects not detectable by the Inspector - consult the seller/disclosures for all past repairs. It is beyond the scope of the inspection for the Inspector to note all patched areas locations or to try to determine the reason for any patches or past repairs.
- Additional photos are available upon request, please contact your inspector directly.



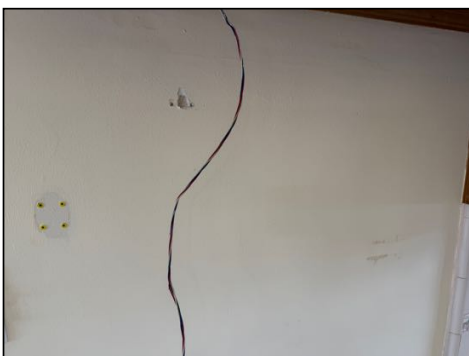
# INTERIOR

Interior page will include all bedroom items and the walls ceilings, floors, windows, and doors of bathrooms, kitchen, and laundry area. "Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required.

## 1. Wall Conditions

Observations:

- No major visible defects observed at the time of inspection
- Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure
- Patched/partial painted areas present - consult seller regarding patched areas
- Loose baseboards in areas - needs to be serviced
- Stains at base - tested dry with moisture meter at time of inspection - monitor area for moisture
- **Stains/blistered areas present - moisture present when tested with moisture meter - recommend further evaluation - bathroom wall, front bathroom**



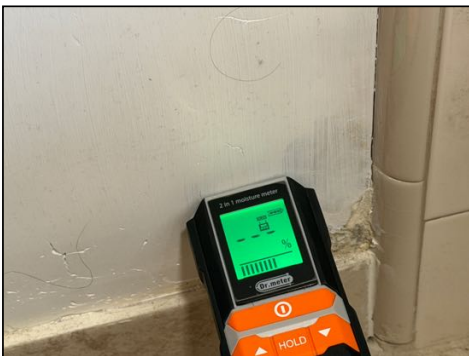
**Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure**



**Patched/partial painted areas present - consult seller regarding patched areas**



**Loose baseboards in areas - needs to be serviced**



**Stains/blistered areas present - moisture present when tested with moisture meter - recommend further evaluation - bathroom wall, front bathroom**



**Stains at base - tested dry with moisture meter at time of inspection - monitor area for moisture**



**Stains at base - tested dry with moisture meter at time of inspection - monitor area for moisture**

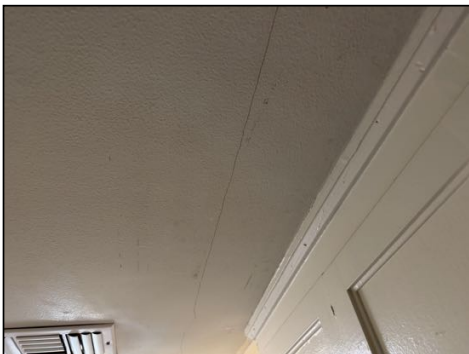


Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure

### 2. Ceiling Conditions

Observations:

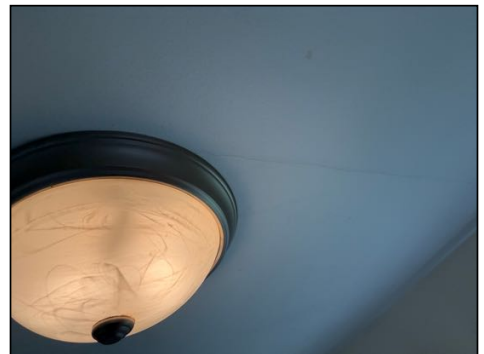
- Some areas not fully visible due to height/angle/natural lighting/shadowing - **N/A**
- No major visible defects observed at the time of inspection
- Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure



Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure



Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure

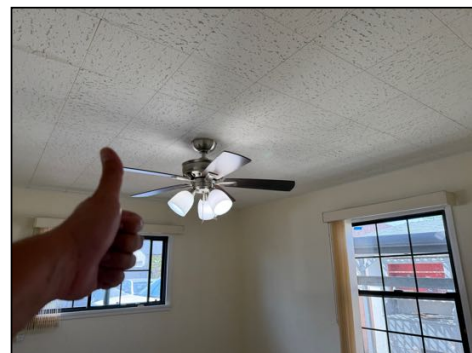


Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure

### 3. Ceiling Fans

Observations:

- Note: It is not possible to determine the method of attachment to the ceiling. These units are heavy and due to the designed movement, must have the proper style mounting boxes for correct and safe attachment. Recommend confirming the method of attachment prior to use. This may require the removal of the fan or insulation to visually verify proper support.
- Operated at time of inspection
- Normal wear for age, no major visible defects



#### 4. Floor Conditions

##### Observations:

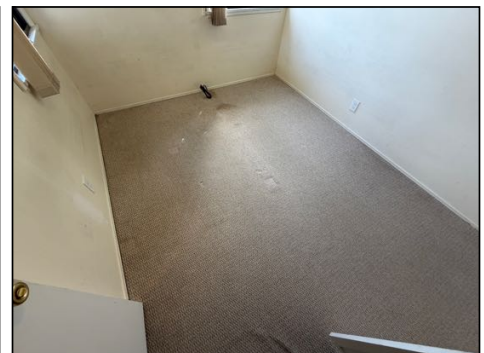
- Worn and stained areas - typical for age of the material
- Worn tile and grout - recommend grout and sealer **maintenance**
- Flooring not level in areas, cause could not be determined, recommend further evaluation by a licensed contractor
- Squeaks experienced various locations
- **Loose floor tiles - needs to be serviced**
- **Loose carpet- needs to be serviced - potential trip hazard**
- **Flooring in rear bathroom is much higher than hallway flooring – potential trip hazard**
- **Torn/frayed carpet - typical for age of materials, signs of wear**



**Loose floor tiles - needs to be serviced**



**Flooring in rear bathroom is much higher than hallway flooring – potential trip hazard**



#### 5. Window Conditions

##### Observations:

- Accessible windows were tested and operated at time of inspection
- Visible/accessible windows have worn frames/hardware/sills/tracks - typical for age
- Recommend general window maintenance/lubrication and weather tight service
- Inner seals at double pane windows are worn and cracked - signs of wear
- **Windows/glass below 18" and window glass in any doors should be tempered for safety - service needed**

- Broken sash cables or springs - unsafe - needs to be serviced
- Inner seals at double pane windows are bulging/moving due to heat - needs to be serviced



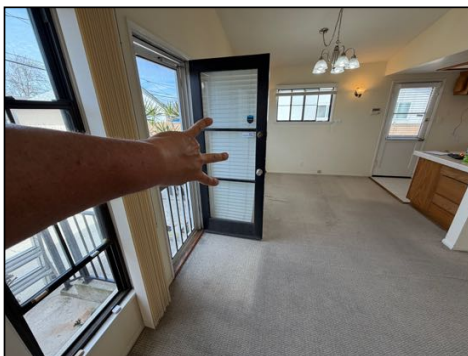
Inner seals at double pane windows are bulging/moving due to heat - needs to be serviced



Inner seals at double pane windows are bulging/moving due to heat - needs to be serviced



Inner seals at double pane windows are worn and cracked - signs of wear



Windows/glass below 18" and window glass in any doors should be tempered for safety - service needed



Broken sash cables or springs - unsafe - needs to be serviced

## 6. Doors

Observations:

- Operated at time of inspection
- Weathered/worn door(s) - typical for age
- Recommend routine maintenance on hardware and weather seals on all exterior doors
- Hole in bedroom door - service recommended



Hole in bedroom door - service recommended



Weathered/worn door(s) - typical for age

## 7. Screen Doors

Observations:

- Operated at time of inspection
- Worn/weathered door - typical for age

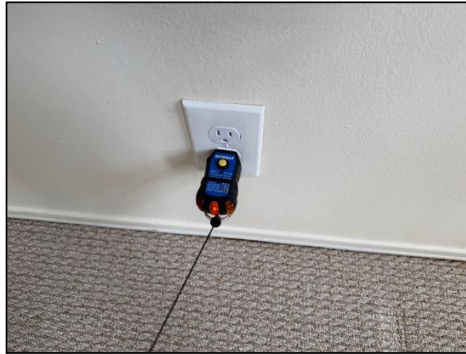
## 8. Electrical

### Observations:

- Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.
- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Dimmer switch not operating properly – service needed
- **Three prong outlet(s) not grounded - needs to be serviced - ALL**



**Three prong outlet(s) not grounded - needs to be serviced - ALL**



**Three prong outlet(s) not grounded - needs to be serviced - ALL**



**Three prong outlet(s) not grounded - needs to be serviced - ALL**



**Dimmer switch not operating properly – service needed**

## 9. Closets

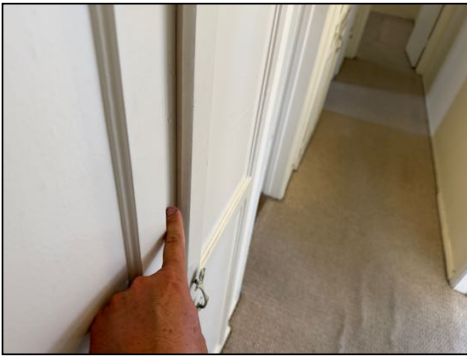
### Observations:

- Normal wear for age with no major visible defects

## 10. Cabinets

### Observations:

- Worn cabinets with loose/worn hardware - typical for age
- Doors and drawers did not close properly - normal for age of materials
- Shelving is sagging in areas



**Worn cabinets with loose/worn hardware - typical for age**



**Shelving is sagging in areas**

### 11. Door Bells

Observations:

- Operated at time of inspection front, video type doorbell present

### 12. Smoke Detectors

Observations:

- For safety purposes we recommend that smoke detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple smoke detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert.
- Operational at time of inspection via factory installed test button
- Worn/older model suggest replacement with modern devices



### 13. Carbon Monoxide Detectors

Observations:

- For safety purposes we recommend that carbon monoxide detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple carbon monoxide detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert.
- Operational at time of inspection via factory installed test button
- Worn/older model suggest replacement with modern devices



# BATHROOMS

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required.

## 1. Counters

Observations:

- Counter is worn and has typical wear for age
- Recommend grout/sealer/stone maintenance
- **Missing/loose/damaged materials – service needed**



**Missing/loose/damaged materials – service needed**

## 2. Cabinets

Observations:

- Worn/scratched/stained cabinets in areas – typical for age



## 3. Sinks

Observations:

- Fixture operated at the time of the inspection
- Worn fixture/sink - typical for the age
- Drain operated slowly - needs to be serviced



Drain operated slowly - needs to be serviced

#### 4. Mirrors

##### Observations:

- Mirror functional at time of inspection
- Normal wear for age of material with no major visible defects

#### 5. Bath Tubs

##### Observations:

- Fixture was tested and operating at the time of the inspection
- Fixture was in a worn/older condition at the time of the inspection - typical for age
- Tub has normal wear for age at the time of the inspection - no major visible defects
- Drain stopper not operating properly - needs to be serviced
- **Caulk maintenance needed at wall to fixture juncture**



Caulk maintenance needed at wall to fixture juncture      Drain stopper not operating properly - needs to be serviced

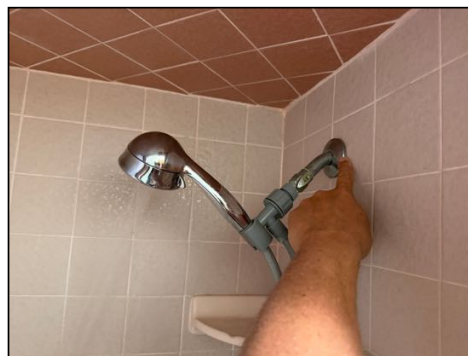
#### 6. Showers

##### Observations:

- Fixture was tested and operating at time of inspection via normal fixture controls
- Fixture was in a worn and older condition - typical for the age
- **Shower arm faceplate is loose at the wall - recommend securing and sealing this area - both**



Shower arm faceplate is loose at the wall - recommend securing and sealing this area - both



Shower arm faceplate is loose at the wall - recommend securing and sealing this area - both

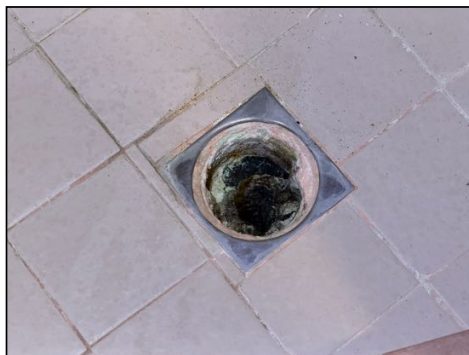
### 7. Shower Walls

Observations:

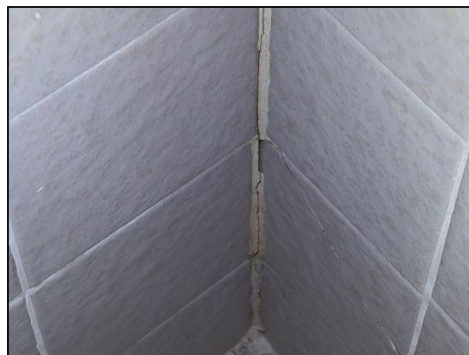
- Tile and grout present
- Worn tile/grout - typical for age - recommend routine grout and sealer maintenance
- Cracked/loose/missing grout in areas - recommend grout and sealer
- Missing drain cover – service needed



Cracked/loose/missing grout in areas - recommend grout and sealer



Missing drain cover – service needed



Cracked/loose/missing grout in areas - recommend grout and sealer

### 8. Enclosures / Shower doors

Observations:

- Operational at time of inspection - Tempered glass label observed
- Enclosure door(s) in a worn/older condition with loose/worn hardware - typical for the age
- Corrosion present in areas - signs of wear and moisture accumulation



Corrosion present in areas - signs of wear and moisture accumulation

## 9. Toilets

### Observations:

- Tested and operational at time of inspection via normal fixture controls, flush test performed
- Toilet has normal wear for age at the time of the inspection - no major visible defects
- No visible leaking at the time of inspection and flush testing

## 10. Plumbing

### Observations:

- Operational at time of inspection via normal fixture controls with no major visible defects
- Angle stops/hoses/drain pipes are worn/older - recommend upgrading these areas with new fixtures
- **Shutoffs under sink corroded - needs to be serviced - this will be an ongoing maintenance issue for ALL plumbing valves**



**Shutoffs under sink corroded - needs to be serviced - this will be an ongoing maintenance issue for ALL plumbing valves**

## 11. Electrical

### Observations:

- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Outlets/switches had normal wear for age - no major visible defects
- **Three prong outlet(s) not grounded - needs to be serviced - both**



**Three prong outlet(s) not grounded - needs to be serviced - both**



**Three prong outlet(s) not grounded - needs to be serviced - both**

## 12. GFCIs

### Observations:

- Recommend upgrading all receptacle to **GFCI** protection within 6 feet of all potential wet locations
- None installed recommend upgrade for increased safety

### 13. Exhaust Fans

Observations:

- Operated at time of inspection
- Normal wear for age with no major visible defects



# KITCHEN

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## 1. Counters

Observations:

- Tile and grout is worn - recommend grout and sealer maintenance
- **Cracked/loose/missing grout in areas – service needed**



**Cracked/loose/missing grout in areas – service needed**

## 2. Cabinets

Observations:

- Normal wear for age of material - no major visible defects
- Worn/scratched/stained cabinets - typical for age
- Stained areas below sink - dry at time of inspection



**Worn/scratched/stained cabinets - typical for age**

## 3. Sinks

Observations:

- Fixture operated at the time of the inspection
- Normal wear at fixture/sink for age of material with no major visible defects

## 4. Spray Wands

Observations:

- Operational at time of inspection



## 5. Dishwashers

### Observations:

- The dishwasher inspection is limited and does not include an inspection of the water pump or any hoses inside or beneath the unit. The home inspector cannot predict the remaining life of the dishwasher or any parts within the dishwasher; nor can the home inspector tell you if or how well the dishwasher actually cleans or dries dishes. This inspection allows for one fill and one drain cycle only, the Inspector does not run the dishwasher for any full cycles.
- Tested and operational (one fill and drain cycle only, not full cycle) at time of inspection via normal controls
- Worn/older unit - typical wear for age and use
- **Rusting at interior racks - needs to be serviced**
- **Water discharged out of air gap when draining - needs to be serviced**



**Rusting at interior racks - needs to be serviced**



**Water discharged out of air gap when draining - needs to be serviced**

## 6. Garbage Disposals

### Observations:

- The garbage disposal has a limited inspection, the Inspector cannot predict the remaining life of the garbage disposal nor determine how well the garbage disposal disposes of food or other items. The sharpness or adequacies of the internal blades is not determined during the home inspection.
- Tested and operational at time of inspection via normal controls
- Normal wear for age - no major visible defects
- No visible leaks at the time of the inspection
- **Missing proper wire grommet at wire connection to unit - needs to be serviced**



**Missing proper wire grommet at wire connection to unit - needs to be serviced**

## 7. Plumbing

### Observations:

- Operational at time of inspection via normal fixture controls with no major visible defects
- Angle stops/hoses/drain pipes are worn/older - recommend upgrading these areas with new fixtures
- **Shutoffs under sink corroded - needs to be serviced - this will be an ongoing maintenance issue for ALL plumbing valves**



**Shutoffs under sink corroded - needs to be serviced - this will be an ongoing maintenance issue for ALL plumbing valves**

## 8. Ranges

### Observations:

- The range or cooktop has a limited inspection, the Inspector cannot predict the remaining life of the unit nor determine the BTUs output by each burner or if/how well the burners will cook food. For gas units - gas leaks cannot be detected with this inspection - a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection.
- Electric supplied unit
- Tested and operational at time of inspection via normal controls
- Worn/older unit - typical wear for age and use
- Chips in finish - did not affect performance



**Chips in finish - did not affect performance**

## 9. Ovens

### Observations:

- The "Bake" feature is the only feature operated during a home inspection; convection, browning, rotisserie, warming drawers and other features are not tested during the oven inspection. Ovens are tested for basic heating element functionality. The oven cannot be tested to each incremental temperature setting or determine if adequate cooking temperatures can be achieved, nor if temperatures are calibrated with oven settings. We cannot determine if or how well the oven cooks food nor can we predict the remaining life left for the unit. For gas units - gas leaks cannot be detected with this inspection - a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection.
- Electric supplied unit
- Tested and operational at time of inspection via normal controls
- Normal wear for age - no major visible defects
- Anti-tip device is not visible/not tested - we recommend that an anti-tip device be installed to prevent a possible tip hazard



## 10. Microwaves

### Observations:

- The microwave is tested with a microwave tester or damp sponge/cloth only. No other features of the microwave are tested or evaluated for cooking. The home inspector cannot predict the remaining life left in the unit.
- Tested and operational at time of inspection via normal controls
- Normal wear for age - no major visible defects



## 11. Exhaust Vents

Exterior vented • Hood with fan

Observations:

- The exhaust fan/vent is tested using the normal controls only. No smoke testing or other testing is done to determine the CFMs or how well the unit evacuates air. The home inspector cannot predict the remaining life left in the unit.
- Worn/older unit - replacement/repairs/maintenance will be required in the near future
- Greasy/dirty unit - recommend cleaning
- **Does not operate - needs to be serviced**



## 12. Electrical

Observations:

- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Outlets/switches had normal wear for age - no major visible defects

## 13. GFCIs

Observations:

- Recommend upgrading all receptacle to GFCI protection within 6 feet of all potential wet locations, unless the receptacle is on a circuit dedicated for a specific appliance.
- None visible

# LAUNDRY AREA

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## 1. Laundry Area Location

See garage area

## 2. Dryer Vent

Observations:

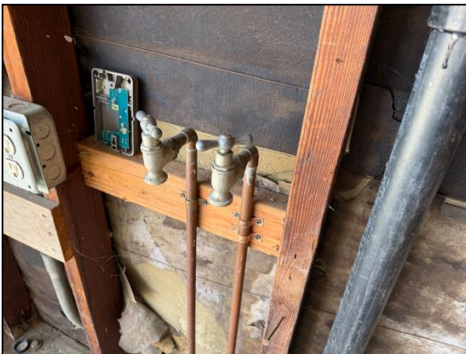
- Dryer vent should be cleaned periodically to prevent lint fire hazards
- Normal wear on day of the inspection - no major visible defects



## 3. Plumbing

Observations:

- Visible fixtures had normal wear for age at the time of the inspection - no major visible defects
- No visible leaks at time of inspection
- Air emittance valve present - check with local building authority on the approved uses for this type of vent/valve

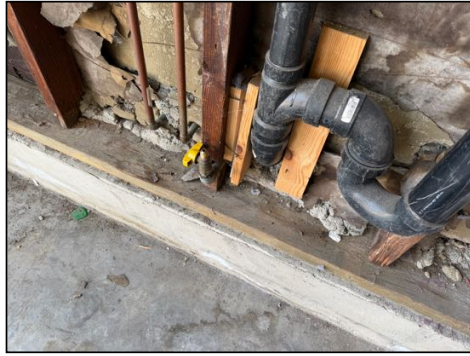


**Air emittance valve present - check with local building authority on the approved uses for this type of vent/valve**

## 4. Gas Valve

Observations:

- The inspector does not check for gas leaks, consult the Gas Company to evaluate all gas areas prior to occupancy
- Normal wear at valve - no major visible defects at the time of the inspection



# HEATING/AIR CONDITIONING

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## 1. Heaters

**Location:** Attic

**Type:** Gas fired forced hot air • Split system

**Observations:**

- Operated at time of inspection
- Visible areas of unit have normal wear for age at the time of the inspection - no major visible defects - recommend seasonal service and maintenance to extend the life of the unit
- Newer unit/not original to the structure - check all installation permits to ensure that this unit was installed to proper code



## 2. A/C Evaporator Coil Box

**Observations:**

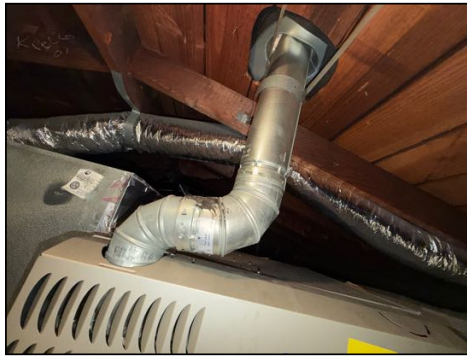
- The visible areas of the coil box have normal wear at the time of inspection - no major visible defects



## 3. Venting

**Observations:**

- The visible areas of the vent have normal wear at the inspection - no major visible defects
- Recommend securing and sealing all vent connections



#### 4. Air Supply

Observations:

- *Recommend seasonal service and maintenance to ensure that all areas are sealed/cleaned/dry and functioning normally at all times*
- Visible areas have normal at time of inspection - no major visible defects

#### 5. Gas Supply Valves and Pipes

Observations:

- Normal wear at time of inspection - no major visible defects

#### 6. Electrical

Observations:

- Operating properly at the time of the inspection - no major visible defects

#### 7. Thermostats

Observations:

- Digital type present - functional day of the inspection
- Worn/older model - recommend upgrading



#### 8. Filters

**Location:** Located in a filter grill in hall ceiling

Observations:

- A seasonal HVAC service contract is recommended to ensure that all filters are changed/cleaned regularly or as needed
- We recommend that the filters be changed or cleaned every 3 to 6 months depending on the usage of the heating and air conditioning systems
- Washable type of filter present - needs to be cleaned



## 9. Registers

Observations:

- Representative number tested and functional day of the inspection
- All visible register covers have normal wear at the time of the inspection - no major visible defects



**A/C** Temperature



Temperature at Air Return



Heater Temperature

## 10. Combustion Air

Observations:

- **Combustion air** appears to be adequate at the time of the inspection

## 11. Heater Enclosures

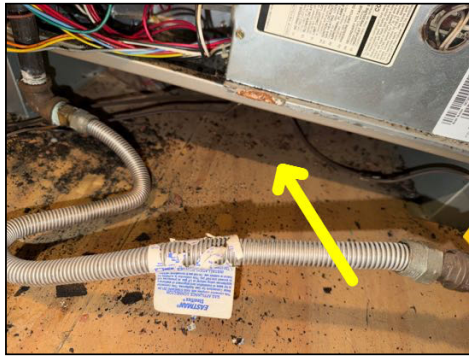
Observations:

- Visible areas have normal wear at time of inspection - no major visible defects - recommend seasonal cleaning and maintenance to ensure proper and safe operation

## 12. Platforms/Bases

Observations:

- Recommend seasonal servicing and maintenance to ensure sealing holes and gaps in the heater base
- Horizontal heater in the attic, we recommend adding a heat shield below this unit to prevent any heat damage to the materials below the unit.



Horizontal heater in the attic, we recommend adding a heat shield below this unit to prevent any heat damage to the materials below the unit.

### 13. Refrigerant Lines

Observations:

- Worn/weathered insulation where visible - may need servicing/repair soon - recommend annual/seasonal maintenance to check and service insulation on refrigerant lines as needed
- Insulation gaps observed in areas - needs to be serviced



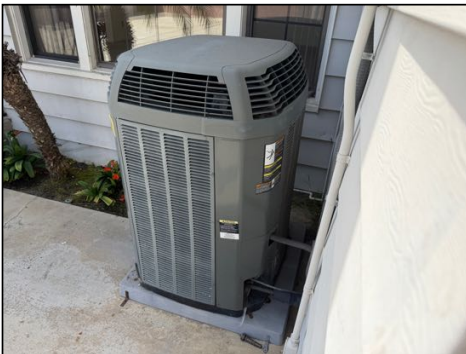
Insulation gaps observed in areas - needs to be serviced

### 14. Air Conditioning Compressors

**Location:** Electric unit - exterior north

Observations:

- Operated at the time of inspection
- Visible areas of unit are worn and weathered – recommend seasonal service and maintenance to extend the life of the unit
- Unit is a newer unit/not original to the structure - check all installation permits to ensure that this unit was installed to code



# WATER HEATERS

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required. Please review the manufacturer's specifications for installing water heater vents, condensation drain lines, and gas line requirements, as these can vary by manufacturer and model and not identified by the inspector.

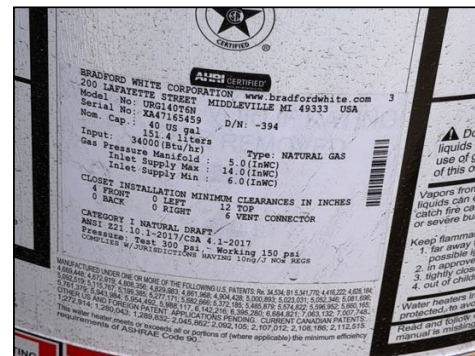
## 1. Water Heaters Condition

**Number of gallons:** 40 gallons

**Location/s:** Exterior Metal Enclosure • West side of structure

**Observations:**

- Operated at the time of the inspection - Gas unit
- Visible areas of unit have normal wear for the age at the time of the inspection with no major visible defects
- This is a newer unit (not original to this structure) - check all installation permits to ensure that this unit was installed to city code and manufacturer specifications



## 2. Venting

**Observations:**

- Recommend sealing all connections at venting
- Missing screws at vent connections - needs to be serviced, three screws are recommended at all vent connections



**Missing screws at vent connections - needs to be serviced, three screws are recommended at all vent connections**

## 3. Plumbing

**Material type:** Copper • Copper has been added/upgraded (not original) - check all installation permits • Stainless steel flex lines • **Expansion tank** is present (visually inspected only)

**Observation:**

- Normal wear at time of inspection - no major visible defects or leaks found at the time of the inspection
- Water distribution pipes not insulated - recommend upgrade



#### 4. Temperature Pressure Release Valves

Observations:

- Normal wear on the day of the inspection - no major visible defects

#### 5. Overflow Line/s

**Material type:** Copper

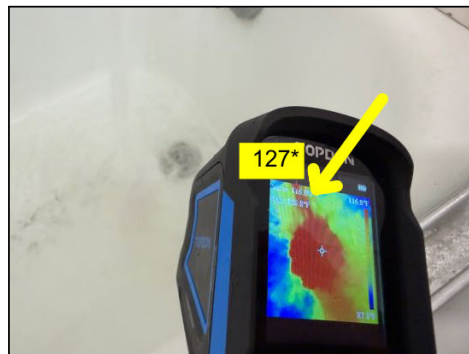
Observations:

- Normal wear on the day of the inspection - no major visible defects

#### 6. Water Heater Temperature

Observations:

- Temperature was above 120 F at one or more fixtures within the structure, this a potential scald hazard - needs to be serviced/adjusted - consult a plumber



Temperature was above 120 F at one or more fixtures within the structure, this a potential scald hazard - needs to be serviced/adjusted - consult a plumber

#### 7. Strapping

Observations:

- Standard metal type straps present - normal wear on the day of the inspection - no major visible defects

#### 8. Gas Supply Valves and Pipes

Observations:

- Normal wear at time of inspection - no major visible defects

#### 9. Combustion Air

Observations:

- Combustion air appears to be adequate at the time of the inspection

#### 10. Platforms/Bases

Observations:

- None/not applicable - unit is sitting on concrete

## 11. Enclosures

Observations:

- Evidence of rodents inside enclosure, on and around water heater
- Metal enclosure is worn/bent - typical for age and weather exposure



**Evidence of rodents inside enclosure, on and around water heater**

# ELECTRICAL/GAS SERVICE

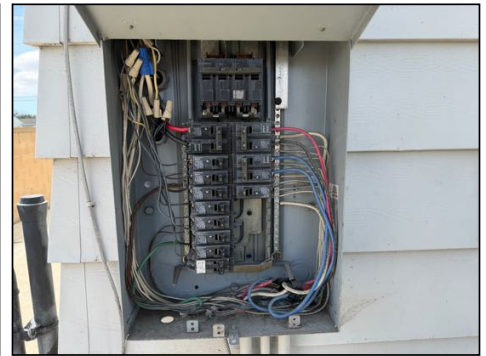
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## 1. Main Panel

**Location/s:** North side of the structure

**Observations:**

- Normal wear for age at time of inspection - no major visible defects
- Panel appears to have been upgraded/newer panel present – check all installation permits for electrical upgrades to ensure that all items are installed to code

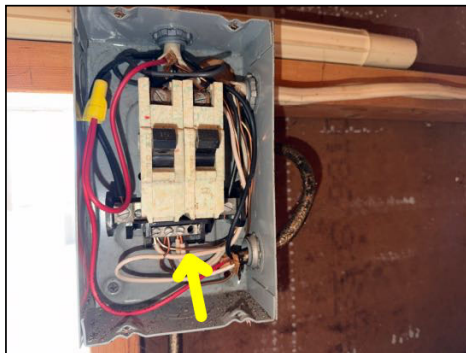


## 2. Sub Panels

**Location:** Garage • Inside shed

**Observations:**

- Breaker in off position
- Normal wear for age at time of inspection - no major visible defects
- Worn/older panel present - typical condition for age
- Panel cover screw(s) missing - recommend installing appropriate screws
- Missing knockouts/twistouts - needs to be serviced
- Equipment grounds and neutrals not isolated to separated bus bar (required at sub panel) - needs to be serviced - inside shed
- Manufacture of panel a brand (Zinsco/Sylvania/Federal Pacific/Stab-Lok) known for frequent issues - recommend further evaluation by a licensed electrician - inside shed



**Manufacture of panel a brand (Zinsco/Sylvania/Federal Pacific/Stab-Lok) known for frequent issues - recommend further evaluation by a licensed electrician - inside shed**

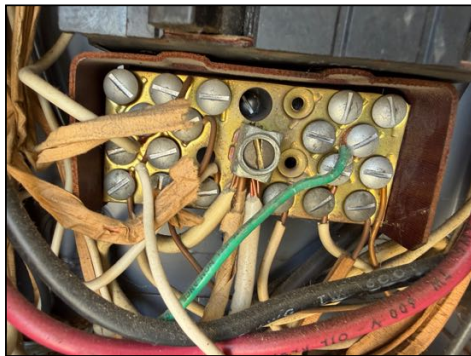
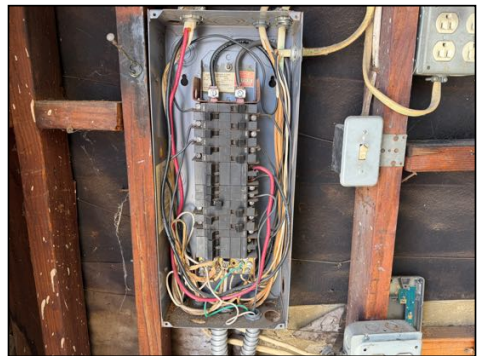
**Equipment grounds and neutrals not isolated to separated bus bar (required at sub panel) - needs to be serviced - inside shed**



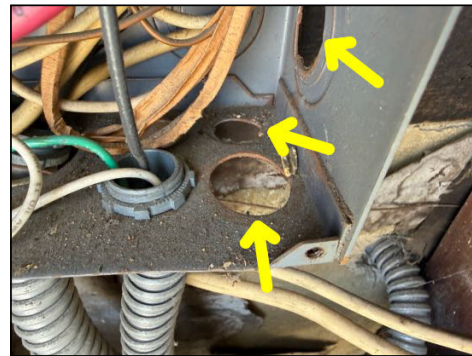
Panel cover screw(s) missing - recommend installing appropriate screws



Breaker in off position



Equipment grounds and neutrals not isolated to separated bus bar (required at sub panel) - needs to be serviced - inside shed

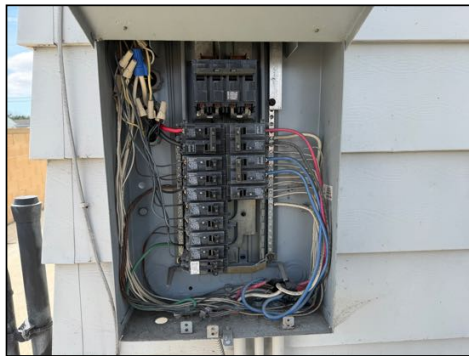


Missing knockouts/twistouts - needs to be serviced

### 3. Panel Wiring

Observations:

- Wiring type: copper
- Wiring method: non-metallic sheathed cable (romex)
- Grounded panel - main ground/bonding wire observed and appears to be normal for the age of the panel
- Visible wiring has normal wear for age with no major visible defects at the time of the inspection
- Evidence of electrical alterations in the panel - **check permits** to ensure that these alterations were installed to proper building/electrical codes.
- Spliced/taped/wire nut connections present are evidence of alterations to panel – consider further evaluation by an electrician to ensure that splices are not bypassing or overloading breakers



### 4. Breakers

Observations:

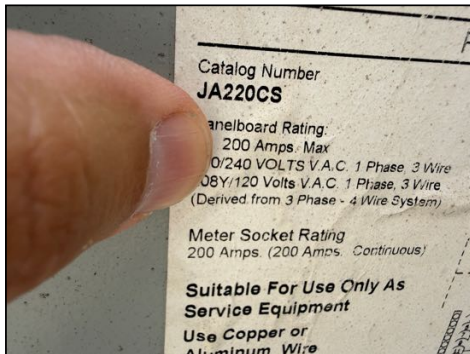
- Labels are present on panel cover - the inspector does not confirm accuracy of labels
- Normal wear for age at time of inspection - no major visible defects



## 5. Breaker Amp Capacity

Observations:

- 200 amp
- Main breaker rating per label: 200 AMPS



## 6. Cable Feeds

Observations:

- Overhead - normal wear for the age on day of the inspection - no major visible defects

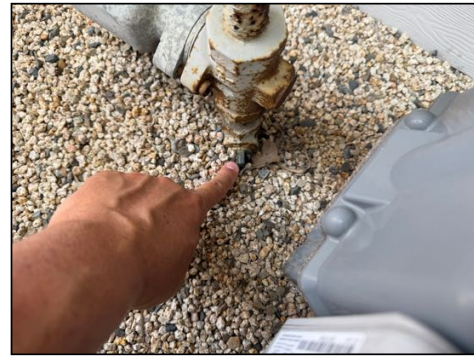


## 7. Main Gas Valve

**Location:** *We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection.* • West side of the structure

Observations:

- Natural gas present
- Valve has normal wear for age at the time of inspection - no major visible defects
- Recommend gas valve wrench be placed near valve for optimal preparedness
- No seismic safety valve present - recommend installation for increased safety
- **Valve is buried/too close to ground - not functional - needs to be serviced**



**Valve is buried/too close to ground - not functional - needs to be serviced**

### 8. Gas Pipes and Valves

Observations:

- Worn meter/piping - typical for age and exterior weathering
- Significant rusting - needs to be serviced



**Significant rusting - needs to be serviced**

# ATTIC AREA

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## 1. Access Entries

Observations:

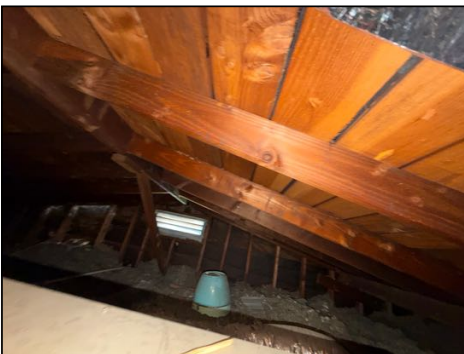
- Inspection method: Partially traversed: some areas not accessible or visible due to access limitations
- Location of access: Hall ceiling
- Normal wear at access door - no major visible defects



## 2. Structure

Observations:

- **Consult termite report for all wood areas in the attic**
- Conventional framing present, normal wear at time of inspection - no major visible defects





### 3. Insulation

**Material type:** Blown in fiberglass

**Approximate depth:** 3 to 4 inches - more recommended

Observations:

- No visible signs of rodents at this inspection - we recommend pest services seasonally as part of your regular home maintenance
- All visible insulation is worn/older/dirty - typical for the age of the structure

### 4. Ventilation

Observations:

- Existing ventilation appears to be inadequate at the time of the inspection - recommend adding more vents or installing an attic fan

### 5. Vent Screens

Observations:

- Visible ventilation screens appeared to be functional at time of inspection

### 6. Exhaust Vents

Observations:

- All visible vents appear to be in normal condition where visible - no major visible defects
- **Masonry/cement/transite type vent pipe in the attic - needs to be serviced and possibly upgraded to newer style vents**



**Masonry/cement/transite type vent pipe in the attic - needs to be serviced and possibly upgraded to newer style vents**

## 7. Duct Work

Observations:

- New/newer duct work present, evidence of alterations observed - check all installation permits to ensure that all areas were installed to city/county building codes
- All visible/accessible duct areas have normal wear for age at the time of the inspection - no major visible defects

## 8. Electrical

Observations:

- Evidence of electrical alterations in the attic - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code
- Visible electrical areas appear to have normal wear for age with no major visible defects at the time of the inspection
- Attic light operated via normal fixture control

## 9. Plumbing

Observations:

- Vents only - no other plumbing/piping is visible for inspection
- No visible leaking at the time of inspection

# GARAGE AND/OR CARPORT

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## 1. Roof Condition

**Notes:** Detached structure with a separate roof

**Constructed of:** Asphalt shingles

Observations:

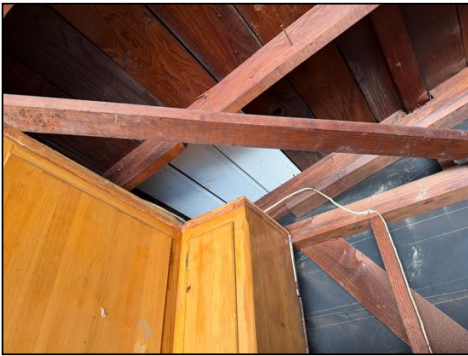
- Recommend seasonal maintenance to extend the life of the current materials
- Visible materials show signs of normal wear for the age of the materials at time of inspection - no major visible defects - Regular seasonal maintenance is recommended to extend the life of the roof



## 2. Rafters & Ceilings

Observations:

- **Exposed wood rafters/joists - consult termite report for all wood areas**
- Patched areas observed - inquire with seller regarding reason for repairs
- Cosmetic blemishes observed
- Small dry stains present - monitor areas for future moisture
- **Wood deterioration observed - consult termite report for any wood areas in garage area**



Patched areas observed - inquire with seller regarding reason for repairs



Wood deterioration observed - consult termite report for any wood areas in garage area



Wood deterioration observed - consult termite report for any wood areas in garage area

### 3. Main Automotive Doors

**Type:** Metal sectional

Observations:

- Normal wear for age at the time of the inspection - no major visible defects
- Holes present - repairs recommended, to prevent moisture intrusion



Holes present - repairs recommended, to prevent moisture intrusion

### 4. Hardware/Springs

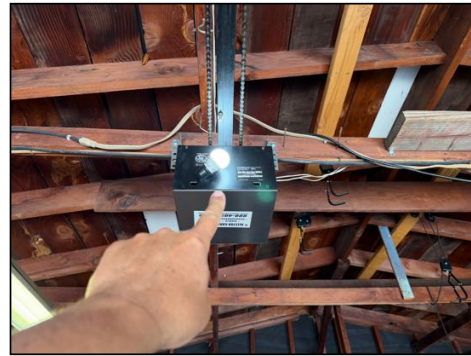
Observations:

- *Garage doors require periodic maintenance and is recommended to ensure that all hardware is properly lubricated and secured*
- Normal wear at time of inspection - no major visible defects

### 5. Garage Door Openers

Observations:

- One unit present
- Missing/damaged light cover
- Opener(s) operated at the time of the inspection
- Normal wear at time of inspection - no major visible/functional defects



Missing/damaged light cover

### 6. Garage Doors Reverse Safety Status

Observations:

- Light beam was tested; the inspector interrupted the beam during closing, the door stopped and reversed back open on the day of the inspection
- Light beam sensors are installed too high - needs to be serviced (recommended height is between 6 and 8 inches off the ground - manufacturer specifications may differ)

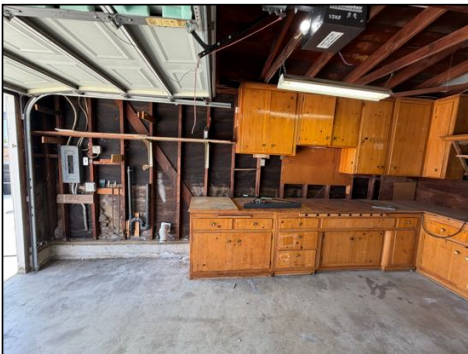


Light beam sensors are installed too high - needs to be serviced (recommended height is between 6 and 8 inches off the ground - manufacturer specifications may differ)

### 7. Walls

Observations:

- *Personal items/storage/etc. are present and prevent a complete inspection of wall areas*
- **Consult termite report for any wood areas in garage**
- Stains present - tested dry for moisture at time of inspection



### 8. Anchor Bolts

Observations:

- Present - normal wear for age

## 9. Cabinets

Observations:

- **Some interior cabinet areas not visible for inspection due to personal storage**
- Loose/worn hardware - worn cabinets - typical for age

## 10. Counters

Observations:

- Counter has worn areas typical for age

## 11. Slab

Observations:

- Small cracks/chipped areas - typical for the age of the materials
- Worn and stained areas - typical for age of the material



## 12. Electrical

Observations:

- **Evidence of electrical alterations in the garage - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code**
- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Loose/worn outlets/switches - typical for age consider upgrading

## 13. GFCIs

Observations:

- **Recommend upgrading all accessible receptacles below 8 feet to GFCI protection within 6 feet of all potential wet locations or where potential ungrounded power tools may be used, unless these outlets are on dedicated circuits meant for appliances.**
- None installed - recommend upgrade for increased safety

## 14. 240 Volt Receptacle

Observations:

- Has 240v service - tested and operating at time of inspection - exterior garage wall at shed



## 15. Ventilation

Observations:

- None present - consult local building department/authority regarding ventilation requirements



# EXTERIOR AREAS

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## 1. Stucco

Observations:

- Worn/weathered at time of inspection where visible
- Recommend sealing any holes/gaps or cracks to prevent moisture or pest entry
- Patching present - consult seller for past repaired areas



Patching present - consult seller for past repaired areas



Recommend sealing any holes/gaps or cracks to prevent moisture or pest entry

## 2. Siding

Constructed of: Vinyl

Observations:

- Worn/weathered/cracked materials where visible – recommend siding maintenance
- Recommend **maintenance** to seal all gaps, cracks and openings
- Missing/loose materials – service needed
- Impact damage present in areas



Missing/loose materials – service needed



Missing/loose materials – service needed



Impact damage present in areas



Recommend **maintenance** to seal all gaps, cracks and openings

### 3. Wood Trim

Observations:

- **Consult termite report for all exterior wood**
- Worn/weathered at time of inspection where visible – recommend service and water tight **maintenance**
- **Deteriorated wood - needs to be serviced - consult termite report**



**Deteriorated wood - needs to be serviced - consult termite report**

### 4. Eaves & Fascia

Observations:

- **Consult termite report for all wood areas at the structure**
- Normal wear at time of inspection where visible - no major visible defects

### 5. Soffits

Observations:

- Normal wear at time of inspection - no major visible defects

### 6. Exterior Paint

Observations:

- Weathered and worn areas - typical for age and weather exposure, the structure would benefit from new paint
- Recommend caulking around doors and windows as necessary seasonally

### 7. Exterior Doors

Observations:

- ***Exterior doors require seasonal maintenance to extend lifespan and maintain weather tight seals***
- See interior section for more information
- **Consult the termite report for all wood doors/frames at this structure**
- All visible and accessible doors were tested during this inspection
- Worn/weathered – recommend weather tight service/**maintenance**
- Maintain weather tight seals at all doors

## 8. Exterior Windows

Observations:

- **Exterior windows require seasonal maintenance to extend lifespan and maintain weather tight seals**
- See interior section for additional information - some exterior window areas may not be visible due to height/limited access/vegetation/etc.
- **Consult the termite report for all wood windows/frames at this structure (if wood is present)**
- Windows are not original to structure – check permits for all replacements to ensure proper installation in accordance with local building codes (may not include all windows at the structure)
- Worn windows/screens - typical for age
- Recommend weather tight service/maintenance
- Torn/bent/worn screens - needs maintenance/repair



**Torn/bent/worn screens - needs maintenance/repair**

# FOUNDATION

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## 1. Access Panels

Observations:

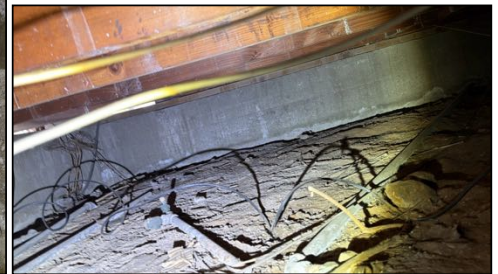
- Inspection method: crawlspace completely traversed
- Access entry has normal wear at the time of the inspection with no major visible defects
- Access entry is below grade level - moisture may enter this area during rain - recommend adding a moisture entry barrier curb



## 2. Foundation Walls

Observations:

- Constructed of: concrete
- Visible foundation wall areas are worn and stained areas - typical for age of the structure and material
- **Efflorescence** present - indicates past moisture accumulation - monitor for further moisture intrusion
- Evidence of moisture entering - needs to be serviced - hidden defects may exist
- Concrete deteriorated in areas - needs to be serviced - front corner at porch/driveway



**Efflorescence present - indicates past moisture accumulation - monitor for further moisture intrusion**



**Evidence of moisture entering - needs to be serviced - hidden defects may exist**



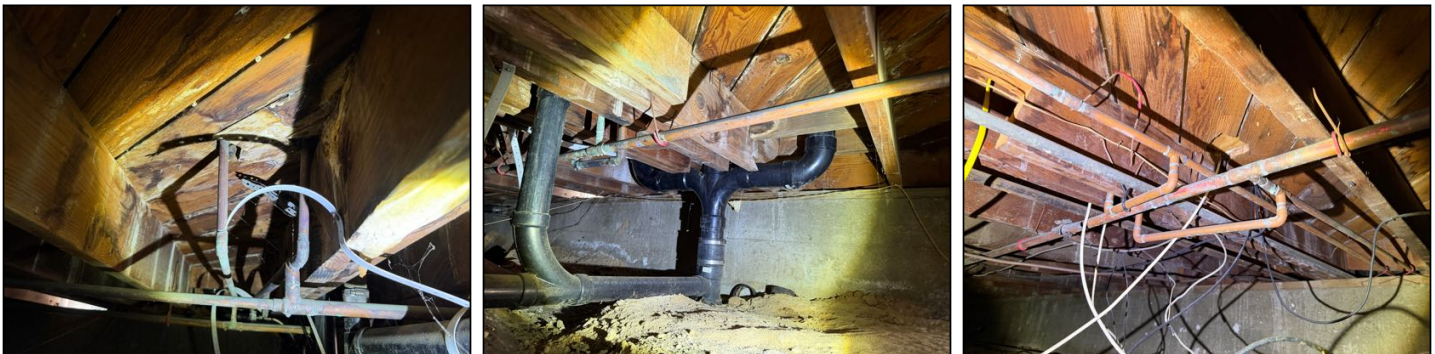
**Concrete deteriorated in areas - needs to be serviced - front corner at porch/driveway**



### 3. Sub Flooring

Observations:

- Stained areas present – consult termite report for any wood/moisture issues



### 4. Sill Plate

Observations:

- Normal wear for age where visible with no major visible defect found at the time of the inspection

## 5. Anchor Bolts

### Observations:

- Anchor bolts present - worn with rust present - typical for age



**Anchor bolts present - worn with rust present - typical for age**

## 6. Ventilation

### Observations:

- No visible signs of rodents found in the crawl space, however a complete pest inspection is highly recommended
- Existing ventilation appeared to be adequate on the day of the inspection
- Debris present under structure - recommend removal of debris to allow for optimal ventilation



**Debris present under structure - recommend removal of debris to allow for optimal ventilation**



**Debris present under structure - recommend removal of debris to allow for optimal ventilation**



**Debris present under structure - recommend removal of debris to allow for optimal ventilation**

## 7. Vent Screens

### Observations:

- Normal wear at time of inspection with no major visible defects - recommend routine maintenance or repairs on vent screens as needed to prevent pest entry to under structure areas

## 8. Electrical

### Observations:

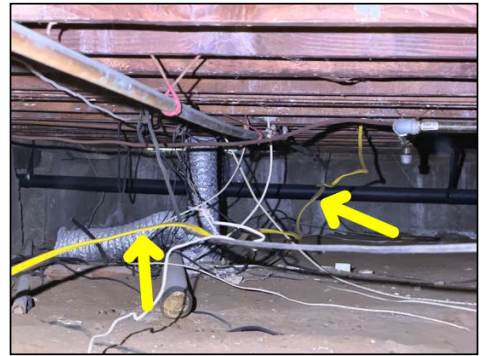
- Evidence of electrical alterations under the structure - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code
- **Unsecured wiring - recommend servicing - All wiring should be properly secured to the framing.**
- **Wires/conduit lying on ground - potential hazard - needs to be serviced**
- **Conduit or metal wire sheathing in contact with soil - needs to be serviced**



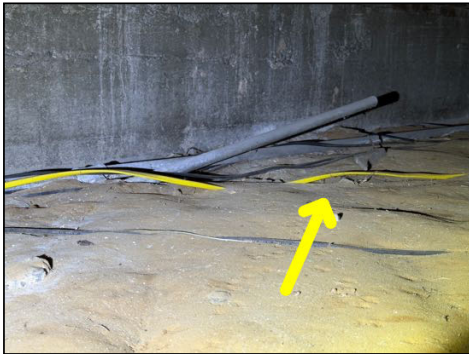
Wires/conduit lying on ground - potential hazard - needs to be serviced



Wires/conduit lying on ground - potential hazard - needs to be serviced



Unsecured wiring - recommend servicing - All wiring should be properly secured to the framing.



Wires/conduit lying on ground - potential hazard - needs to be serviced

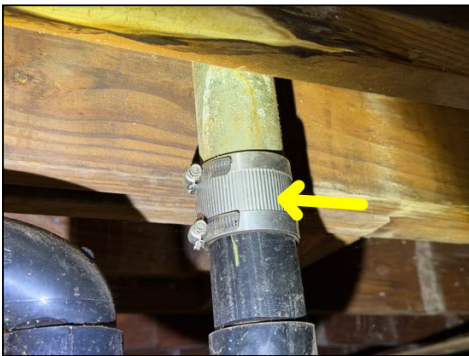


Conduit or metal wire sheathing in contact with soil - needs to be serviced

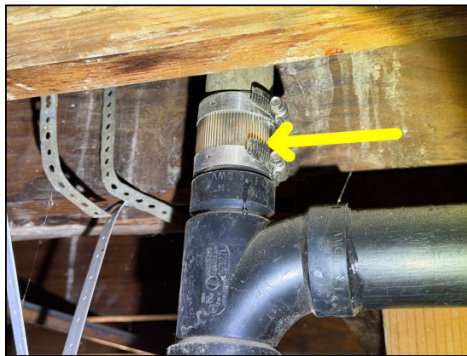
### 9. Plumbing

#### Observations:

- Evidence of altered plumbing/piping under the structure - check all installation permits to ensure that all plumbing was installed to city/county building code. The home inspector is not a building code violation inspector.
- The inspector ran water during the inspection prior to inspecting under the structure
- Visible/accessible plumbing areas have normal wear at the time of inspection with no major visible defects
- No visible leaks found at the time of the inspection
- **Galvanized steel and cast iron plumbing drain piping present - we recommend that licensed plumber further evaluate due to the age of the materials present**
- Rubber drain connections present - these are not for long term use - recommend upgrading connections



Rubber drain connections present - these are not for long term use - recommend upgrading connections



Rubber drain connections present - these are not for long term use - recommend upgrading connections

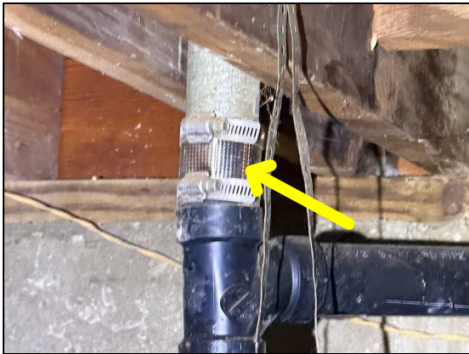


Rubber drain connections present - these are not for long term use - recommend upgrading connections





Rubber drain connections present - these are not for long term use - recommend upgrading connections



Rubber drain connections present - these are not for long term use - recommend upgrading connections



Galvanized steel and cast iron plumbing drain piping present - we recommend that licensed plumber further evaluate due to the age of the materials present



### 10. Exhaust Vents

Observations:

- Masonry/cement/transite type vent pipe present - needs to be serviced and possibly upgraded to newer style vents



**Masonry/cement/transite type vent pipe present - needs to be serviced and possibly upgraded to newer style vents**

# GROUNDS

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## 1. Driveways and Walkways

**Constructed of:** Concrete • Gravel

Observations:

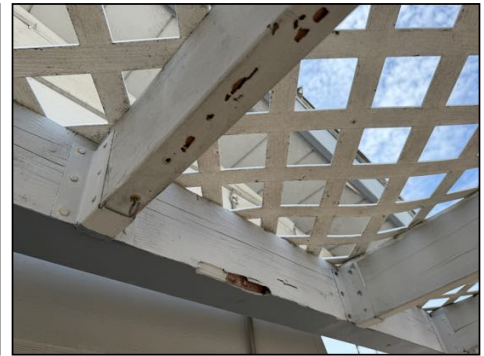
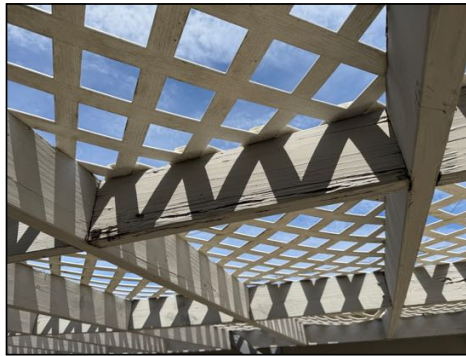
- Worn with common cracks/chips - typical for age of material
- Driveway stained in areas
- Walkways stained in areas

## 2. Patio and Porch Roofs

**Constructed of:** Shade type wood

Observations:

- Worn/weathered materials - typical for age
- Consult termite report for all exterior wood conditions
- **Wood deterioration observed - consult termite report**
- **Detached, standalone type structure – service needed**



## 3. Patio and Porch Decks

Observations:

- Worn with common cracks/chips - typical for age of material
- Stained/worn areas - typical for age and use
- **Displaced/lifted/uneven areas trip hazard - needs to be serviced**



**Displaced/lifted/uneven areas trip hazard - needs to be serviced**

## 4. Stairs & Handrails

Observations:

- Stairs are worn/weathered - typical for the age of the materials
- **Rise too short - unsafe - needs to be serviced**
- Worn/loose rails - typical for the age of the materials



Rise too short - unsafe - needs to be serviced



Worn/loose rails - typical for the age of the materials

### 5. Exterior Electrical

#### Observations:

- The visible and tested fixtures/switches/outlets were in a loose/worn condition - typical for age
- Some light(s) did not function (some may be on sensors or timers) - check bulbs first, then consult an electrician to further evaluate as needed
- Fixture globes/covers damaged or missing – service needed
- Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry
- Outlet covers missing inside shed – service needed



Some light(s) did not function (some may be on sensors or timers) - check bulbs first, then consult an electrician to further evaluate as needed



Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry



Fixture globes/covers damaged or missing – service needed



Fixture globes/covers damaged or missing – service needed



Outlet covers missing inside shed – service needed



Outlet covers missing inside shed – service needed



Outlet covers missing inside shed – service needed

## 6. GFCIs

Observations:

- GFCI upgrades are recommended on ALL exterior outlets for increased safety
- Tested and operational at time of inspection via normal control

## 7. Exterior Plumbing and Faucets

Observations:

- Exterior plumbing is present and not original to the structure - check all installation permits to ensure installation to building code
- Accessible exterior faucets operated with normal wear at time of inspection via normal fixture controls

## 8. Main Water Valve

**Type of plumbing:** Copper • Copper piping is not original to the structure - check all permits to ensure piping was installed to city/county plumbing codes

Observations:

- Location: south side
- No visible leaking found at the main valve area at the time of the inspection
- Main valve handle is worn/rusted – typical wear for age – upgrade recommended



Main valve handle is worn/rusted – typical wear for age – upgrade recommended

## 9. Water Pressure

Observations:

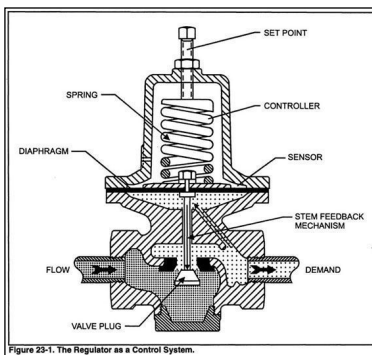
- Recommended water pressure is between 55 to 80 pounds per square inch (psi)
- Water Pressure can fluctuate depending upon time of day and municipal service adjustments
- Approximate pounds per square inch: 80



### 10. Pressure Regulator

Observations:

- None visible but we recommend adding pressure regulator to allow adjustments to water pressure



### 11. Sprinklers

Observations:

- Leaking/evidence of leaking at valves – recommend servicing



Leaking/evidence of leaking at valves – recommend servicing

### 12. Fencing and Walls

**Constructed of:** Block • Wood • Stucco - zero lot line

Observations:

- Visible fencing/wall areas are worn and weathered - typical for the age of the materials
- Cracking/chipping small and typical for age at block - monitor for further cracking and repair as needed

### 13. Gates

**Constructed of:** Chain link

Observations:

- Normal wear at the time of the inspection - no major visible/functional defects

## 14. Planters

### Observations:

- Some areas not completely visible for inspection due to soil/plants/vegetation
- Normal wear on the day of the inspection - no major visible defects
- Recommend adding drainage in planter areas to direct moisture away from the structure
- Recommend pruning or remove any plants or trees that are in contact or proximity to structure to eliminate pathways of wood destroying insects and moisture
- Tree limbs within 10 feet of roof should be trimmed away to provide air and sunlight to roof, while minimizing debris & dampness



## 15. Grading

### Observations:

- No drains visible at the property at the time of the inspection, drains are recommended to divert water away from structure
- Small localized water ponding may occur in areas - monitor these areas as drains may be needed
- **Grade slopes towards structure - needs to be serviced**



**Grade slopes towards structure - needs to be serviced**

# ROOF

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## 1. Condition

**Information:** Inspection method - from a ladder at the eaves and from the garage roof • Drone camera inspection could not be performed due to air space or other restrictions

**Constructed of:** Asphalt shingles

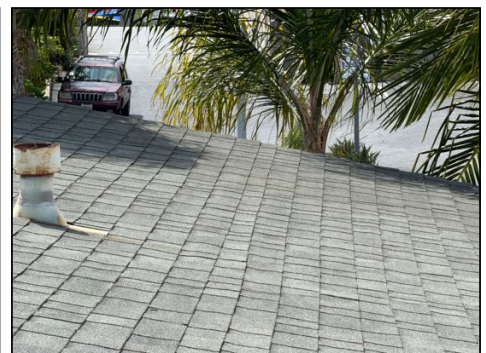
Observations:

- Visible materials show signs of normal wear for the age of the materials at time of inspection - no major visible defects - Regular seasonal maintenance is recommended to extend the life of the roof
- **Tree branches rub roof - needs to be serviced**
- **Satellite dish fastened direct to roof - screws will need periodic caulk maintenance**



**Satellite dish fastened direct to roof - screws will need periodic caulk maintenance**

**Tree branches rub roof - needs to be serviced**





## 2. Flashings

Observations:

- Normal wear at time of inspection - no major visible defects - recommend seasonal mastic maintenance to prevent moisture intrusion

## 3. Gutters and Down Spouts

Observations:

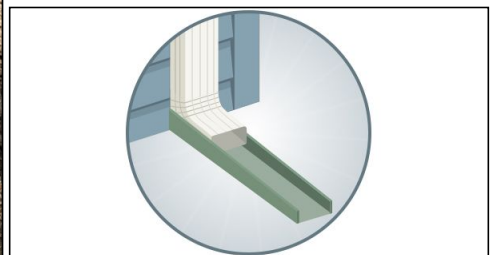
- Partial gutter systems in areas – recommend gutters on all feasible sides of structure to help divert water away from the structure
- Worn/older gutters - typical wear for age and weather exposure - annual maintenance is recommended
- Extensions/splashblocks needed at downspout terminations to direct water away from foundation
- Clogged/restricted by debris in areas - recommend servicing



**Clogged/restricted by debris in areas - recommend servicing**



**Extensions/splashblocks needed at downspout terminations to direct water away from foundation**



## 4. Vents and Vent Caps

Observations:

- Worn/weathered cap(s) – recommend seasonal maintenance to ensure that caps do not become loose or develop other defects
- **Mastic at vent(s) is weathered and cracked - needs to be serviced and resealed at all penetration points**



**Mastic at vent(s) is weathered and cracked - needs to be serviced and resealed at all penetration points**

## Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
Air Gap	Air gap (drainage): The unobstructed vertical distance through free atmosphere between the outlet of the waste pipe and the flood-level rim of the receptacle into which the waste pipe is discharged.
Check permits	Home Inspectors cannot determine modification or alterations dates within any structure. The Home Inspector cannot determine building code violations. You are advised to check with the local city or county building and safety office regarding any planned or paid for construction/alterations permits to ensure that any alterations made to the structure were installed and or built to the proper building code standards for the date of the alteration. You are further advised to consult with your Realtor and the Seller/disclosures to understand the details of any and all alterations to the structure and/or contractor warranties that may apply to the alterations.
Combustion Air	The air flow openings designed to bring fresh outside air to the furnace and/or hot water heater or other appliances to be used in the combustion of fuels and the process of venting combustion gases. Normally, two separate supplies of air are brought in: one high and one low.
Efflorescence	Efflorescence is a crystalline or powdery deposit of salts often visible on the surface of concrete, brick, stucco, or natural stone surfaces. It occurs when water leaves behind salt deposits on the masonry surface.
Expansion Tank	An expansion tank or expansion vessel is a small tank used to protect closed (not open to atmospheric pressure) water heating systems and domestic hot water systems from excessive pressure. The tank is partially filled with air, whose compressibility cushions shock caused by water hammer and absorbs excess water pressure caused by thermal expansion.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.



Galvanized	<p>Although galvanized pipes have a general life expectancy of 50 years, their lifespan depends on many factors, from the frequency of use to the amount of water pressure. As such, they might come in need of replacement sooner or later than expected.</p> <p>Defects in galvanized pipes can manifest in multiple ways. The mounting build-up of mineral deposits resulting from corrosion can obstruct water pressure. Low water pressure around the house is usually a sign of a massive build-up of mineral deposits in galvanized pipes. Besides obstructing water pressure, the mineral build-up can also contaminate the water. They can give rise to discoloration in the water. Sometimes, discolored water from rusty galvanized pipes can leave visible brown stains on a porcelain sink. And as the corrosion eats deeper into the pipes, it weakens their integrity, inducing leakages across them. If any part of the galvanized pipes in an old house is leaking, then you should see further evaluation by a licensed plumber for other leakage spots that could break forth owing to years of gradual corrosion.</p>
Maintenance	<p>Performing unscheduled repairs to correct deficiencies that can occur during normal use and wear of building materials and/or systems within a building or home (this is called "corrective" maintenance). "Preventive" maintenance refers to regularly schedule inspections, services, adjustments and replacements to prevent damage or abnormal wear. Recurring maintenance are generally preventive maintenance items suggested by the manufacturer to help maintain life expectancy of building materials or components within a building or home. Emergency maintenance is considered to be an unscheduled repair to correct a deficiency that may lead to personal injury or property damage if left unaddressed.</p>
N/A	Not accessible, not inspected





## DISCLAIMERS

**Asbestos:** The inspector is not licensed by the EPA and cannot determine, report on or test if asbestos materials exist in any area throughout the structure. Any structure built prior to 1978 may contain asbestos in one or multiple building materials used during that era of construction. If you have concerns about possible asbestos, it is solely up to you to arrange for asbestos testing by an appropriate licensed contractor. The Elite Group Property Inspections will not engage in any claims regarding asbestos.

**Interior:** Limited inspection on all occupied/staged structures. Personal property, furniture, moving boxes or other items are not moved and will prevent a complete inspection (this applies to all areas inside and outside of the structure being inspected). We recommend checking for permits on all additional construction or alterations including, but not limited to: window replacements, patio roofs, out structures, garage and attic conversions, roof alterations, etc. performed on the property after original construction. If multiple people are present at or arrive during this inspection and enter areas or operate appliances or fixtures after they have already been inspected or reported on by the home inspector; the home inspector is not responsible for the condition of these items or areas after they are inspected; the home inspector does not go back and re-inspect the items/areas during this limited time inspection. The Inspector cannot determine if past or present hidden pet damage exists in any part of the structure. The inspector is not a code violation inspector and will not report on building code requirements in any way. Built-in central vacuum systems are not inspected. Interior window shutters/blinds/coverings are not tested or inspected as part of this home inspection (this includes all windows at the structure). Tint/film over windows is not inspected and often is bubbled/loose/peeling/scratched - tint/film (if present) can prevent an accurate inspection of the window glass areas. Only accessible windows and doors are inspected, personal items are not moved to access or test all doors and windows. Broken double pane seals cannot be determined with this inspection, dirty windows can hide signs of condensation between panes. Vertical operating windows are known to have sash cable/spring problems, although the problem may not exist at the time of the inspection, we recommend that you check them often and repair these windows upon discovery of any sash cable or spring problems. Only the visible and accessible switches/outlets are testing during this inspection, personal items are not moved to access any outlets/switches behind them. Fireplace is visually inspected only, the fireplace is not lit to test flame color or condition. The internal cavity of the fireplace is not inspected. It is recommended that you have an internal inspection of the chimney and/or a Gas Company evaluation of the fireplace beyond the scope of this inspection. Ceiling fan mounts cannot be checked by the inspector. Smoke and carbon monoxide detectors that are out of reach are not tested for functionality, all battery operated smoke detectors should be within reach for testing and maintenance. We recommend any mold or moisture damaged areas noted in the report be further evaluated for cause and correction by the appropriate licensed contractor.

**Bathrooms:** Bathtub and sink overflow drains and spa tub jet hoses are not inspected and leaks in these areas cannot be detected with this inspection. Shower pans are not leak tested and cannot be determined if properly water-proofed by the inspector, consult the termite report for any shower pan tests. Exterior or interior access panels are only inspected if readily accessible and operable (not sealed or painted or screwed shut), second story access panels are not opened. The home inspector cannot determine if shower pans or tubs are properly pitched for drainage. We recommend upgrading all electrical outlets to GFCI protection within 6 feet of all potential wet locations, however this may not be a requirement for the sale of a home based on the age of the home (this also applies to kitchen sinks, wet bar sinks and laundry sinks).

**Kitchen:** Appliances receive a limited inspection for basic functionality only, additional features are not tested. Appliances are NOT disassembled to evaluate the internal working parts of each appliance. The inspection cannot determine how well the dishwasher cleans the dishes. Disposal blades are not inspected. It cannot be determine how well the oven, range/cook-top or microwave cook food. Age, remaining life, BTU's, CFM's and other forms of efficiency or effectiveness are not determined with this inspection. Water purifying systems, instant hot systems and water softeners are not inspected. Non built-in appliances and built-in refrigerators are excluded from this report.

**Laundry:** Supply valves, laundry drain, gas valve and dryer vent cannot be tested whether a washing machine is present or not. Washer and dryer units are not inspected or turned on for testing during this inspection and are excluded from this report. Washer and dryers are not moved to inspect the walls/floors/other components behind them. Water supply valves that are left in the on position for a long period of time tend to leak when turned off or do not shut off completely. Drains are not pressure tested.

**Attic:** The inspector cannot determine, report on or test if asbestos materials exist in any area throughout the structure. When attic insulation is covering ceiling joists, we cannot completely inspect some areas due to inspector safety concerns. Most attics are not completely accessible due to limited space. Attic insulation and limited space will prevent the inspector from performing a complete inspection of the attic area, not all areas are accessible and will be determined at the inspector's discretion. The Inspector does not determine the R-value of insulation present or the efficiency or effectiveness of HVAC duct layout or design. Attic insulation is not touched, moved or otherwise disturbed during the inspection. Temperature sensors and fans for attic exhaust systems are not tested. Rodents: If there is visible evidence of rodents or other pests, it will be noted as such. Most rodent/pest infestation exists under attic insulation, in walls or in areas not visible to the inspector and cannot be identified with this inspection. It's recommended a pest inspection be performed beyond the scope of a home inspection whether or not evidence exists.

**Garage:** The garage is often the location where most storage occurs and receives a limited inspection when items are present. Personal items or other materials/possessions are not moved in any way to provide access to areas for inspection - areas of rafters, ceilings, firewall(s) or other walls should not be considered fully inspected if personal items or storage is present - defects may be present behind these items and not visible to the inspector at the time of inspection. Doors, windows, cabinets, DISCLAIMERS CONTINUED

counters, closets, slab areas, electrical areas, ventilation, plumbing areas or soffit(s) not fully accessible are not inspected, tested or evaluated. Firewall: fire rating labels are often not visible on finished drywall and cannot be determined with this inspection. Garage doors, hardware, openers and associated safety devices can only be inspected if these areas are clear of stored items and can be safely operated without disturbing other items in the garage. Garage doors, hardware and openers require periodic maintenance and servicing. Remote controls for openers are not tested. Door opener activator button should be minimum 54-inches above floor for safety.

Pressure sensors/systems are generally not tested due to the risk of damage if they are not properly operating - we recommend having a general service completed prior to regular use. We recommend checking permits for any converted garage areas or additional walls/ceilings or other alterations made to the garage.

**Heating & Air Conditioning:** This report does not indicate if the heater is on recall, a follow up with RecallChek.com is recommended. Electronic or Ultra violet air filters are not inspected. Inspector cannot determine if there is a crack in the firebox or if carbon monoxide is leaking in any part of the system. Not all registers can be tested for pressure flow, due to location, condition and operation of the heating & air conditioning system. Adjustable registers that are closed are not opened by the Inspector. Missing manufacturer labels prevent RecallChek (this is true for all appliances/systems at the structure). Age, remaining life, size or efficiency cannot be determined by the Inspector. The air conditioning system freon or other refrigerant levels are not checked or determined if leaking by the Inspector. Heaters, coil boxes, condensers and air compressors are NOT disassembled to evaluate the internal working parts. This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size or any other mechanical efficiency. Radiant heat is not inspected.

**Water Heater:** The water heater is visually inspected only, the combustion/pilot doors are not removed for flame or burner condition inspection due to the potential for draft to burn out the pilot flame. Circulation pumps, TPR Valves and pressure tanks cannot be tested with inspection. Solar water heaters are not inspected. Tankless units that are not original to the structure should be further evaluated by a qualified tankless technician as there are many aspects that are beyond of the scope of a general home inspection. Age, remaining life, size or efficiency cannot be determined by the Inspector. Gas lines are not measured or sized for water heater needs. The Inspector cannot light the pilot flame on the water heater or any other appliance where a pilot flame is not already on.

**Roof:** The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. If there are concerns or signs of possible roof leaks, please contact a licensed roofer to perform an additional inspection. Remaining roof life can only be determined by a licensed roofer. This applies to all roof areas evaluated during this inspection. Tile roofs, metal roofs or roof areas not accessible with a 12-foot ladder will receive a limited inspection from the ground or eaves only. Tile, metal or other materials that can be damaged will not be walked on by the Inspector. Chimney cavities are excluded from this inspection, recommend an internal chimney inspection be performed beyond the scope of the home inspection. Solar panels and tube globes are excluded from this report. Solar panels will prevent inspection of roof areas beneath them.

**Electrical/Gas:** Electrical panels are visually inspected only, the inspector does not perform a load calculation to determine service capacity adequacy. Some wire types cannot be determined due to wire casings cover wires entering the breakers. Panels with excess wiring are not completely visible due to amount of wires inside panel. Breakers are visually inspected only - the inspector does not perform any electrical stress tests on the system to determine if a breaker trips properly - including AFCI and GFCI breakers (consult an electrician for further evaluation, if this is a concern). Electrical and gas fires due to poor installation of wiring and faulty gas pipes cannot be determined by the inspector. Only accessible GFCLs with test and reset buttons are tested, the inspector does not determine which GFCI outlets may be linked to other areas of the structure. Ungrounded outlets may be present in older structures (pre-1965) even if the main or sub panels have been upgraded. The inspector cannot determine if all wiring has been updated. Expect to find ungrounded outlets in older homes (pre-1965) - this is not a defect. We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection. Carbon monoxide poisoning cannot be detected with this inspection, including all gas and propane systems interior and exterior of the structure. Gas supply valves are not turned or operated during this inspection. The internal condition of gas appliance ventilation exhaust pipes cannot be detected. Pilot lights and fire places are not lit by the inspector at any time, for any reason. It is the responsibility of the client to ensure that the main gas and electrical systems are on prior to the inspection. The requirement of gas line sediment traps is not determined by the inspector.

**Exterior Areas:** For all wood areas or damaged wooden areas and moisture problems (mold/mildew), consult the termite inspection report. See interior section of the report for additional window and door information. In no way, shape or form can the inspector determine if the exterior of the home is water tight or is built to prevent moisture intrusion, no hose or water testing is performed at this inspection. Stucco and siding require periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions. Fire pits, exterior fireplaces and exterior BBQ's are excluded from this inspection. We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection. Property boundary lines and encroachment determinations are beyond the scope of a home inspection and are not inspected or included in this report - Consult with another qualified professional as needed for evaluation if concerns exist in this area. Zero lot lines prevent a complete inspection of areas on other properties. Common areas controlled by Home Owner's Associations are not included in this inspection. Areas not visible or accessible due to height/angle/vegetation/other forms of limited access are not included in this inspection. Inspector does not use specialized instruments to detect moisture, if any, under stucco or siding surfaces.

**Grounds:** This inspection cannot determine if patio and porch roofs, balconies or patio enclosures are water tight, no water/hose

testing is performed. The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems and electric outdoor heating systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches, this is not a defect. Sprinklers on timers are not inspected, consult DISCLAIMERS CONTINUED

seller/HOA. Above ground pools, ponds, fountains, waterfalls, birdbaths, and associated equipment or pumps used for these items, are excluded from this report. Steep hillsides and inaccessible areas on the grounds are excluded from this report. It is highly recommend that all structures built on hillsides and slopes have a geological inspection performed to determine if the hillside/grading is stable.

This inspection cannot determine ground movement or drainage issues, the addition of drains may be needed in areas. Fences, walls or gates are not evaluated for security or design. The Inspector cannot determine if planter areas are leaking into the structure, consult seller disclosures or obtain further evaluation of these areas for any moisture intrusion issues.

**Foundation:** Sump pumps, septic tanks and sewer drain pipes from structure to street are excluded from this inspection. The Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction (this is also true for attic spaces). Some areas of a raised foundation may not be accessible due to limited space, plumbing piping, duct work obstructions, insulation, soil levels and stem walls. The inspector will not traverse any area deemed unsafe or where damage may be caused as a result, this is up to the sole discretion of the Inspector (this is also true for attic spaces). It is not always possible for the inspector to view every side/angle/connection of all plumbing pipes due to plumbing design/layout/approach angle/etc. Underground plumbing/pipes cannot be visually inspected. Pressure testing is not performed during this limited inspection. Drain scope inspections are recommended whether a defect is detected or not. Slab foundations are often covered and not visible; therefore the inspection is limited. Slab foundation leaks cannot be determined by the home inspector.

**Pool:** Solar panels/heating systems are excluded from report. Valves that are not labeled for the pool and/or spa jets are excluded from this report and may prevent proper testing and inspection. Underground plumbing cannot be inspected. Automatic pool fill float valves and electronic chlorine dispensers are excluded from this report. Ultraviolet light and/or salt chlorine generator type water treatment systems not included in this inspection. Water chemistry is not tested. Control panels/fixtures on the side of the pool or spa and any remote controls are not included in this inspection. Portable spas have a limited inspection - no internal parts are inspected. The inspector cannot determine if a pool or spa leaks. The inspector cannot determine the remaining life of any of the pool equipment. Safety pressure relief valves (if present) are not operated and are excluded from inspection; an internal evaluation of the heater parts is beyond the scope of this inspection. It is the buyer's full responsibility to ensure the pool area is in full compliance with the safety laws and codes. If there is no self containing fence around the pool, all doors from the structure leading to the pool and spa must be equipped with safety alarms and secondary latches above the reach of children. All gates leading to the pool must self close and be equipped with a latch five feet or higher from the ground. The fencing in all cases must be five feet tall.

**Plumbing:** Plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed). Corrosion or rust is often a sign of slow leaking and should be further evaluated by a plumber if detected in the inspection or photos. If galvanized or cast iron plumbing is present in any part of the structure it is recommended that plumber further evaluate the plumbing system due to the age of the materials. Underground piping is not visible to the inspector, therefore cannot be evaluated by the inspector. Slab foundation leaks cannot be determined by the home inspector. The "plumbing type" section of the report includes a percentage approximation of the plumbing type, it is not a guarantee of the plumbing type in all areas. The inspector cannot see plumbing type or pinhole leaks inside walls, floors, slabs or other areas that may be covered. Leaks can occur after the inspection and are not the responsibility of the Inspector. Existing leaks, hidden leaks, or other leaks that occur from normal testing/inspection and subsequent damage from plumbing leaks are not the responsibility of the Inspector. This inspection also does not determine or identify geographic areas that are prone to defective materials or pinhole leaking issues. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area. Septic tanks, wells, pumps and associated equipment, water supply quantity and quality are not included in this inspection.

**\*Contractor References:** This report may contain a contractor reference and contractor contact information. Choosing a contractor is done solely at the risk of the client. The Elite Group cannot control the events that take place between contractors and customers and therefore cannot be held liable for any problems that may occur. References to contractors, their products and services, are provided "as is" without warranty of any kind, either expressed or implied. In no event shall The Elite Group be held liable for any incidental, indirect or consequential damages of any kind resulting from the information provided by each company and any business conducted as a result of such information. It is highly recommended that you check with your local licensing or business board for up to date and accurate information. When you contact a contractor you should:

1. Ask for and contact at least two customer references.
2. Find out how long they have worked in your area (familiarity with local building codes is important).
3. Ask if they are bonded (insured for damages and injuries on the job) Get a signed estimate for all parts and labor/installation.
4. You may wish to contact more than one contractor to ensure you are getting the best service and materials for your money.

This disclaimer applies to all references found on any and all of our report pages

SEE CONTRACT FOR ADDITIONAL INFORMATION AND DESCRIPTION OF ITEMS