

Project Summary:

Job Address: 2120 The Strand
Manhattan Beach, CA 90266

Zone: Area District III (RM - Residential Medium Density)

Building Type: Single Family Residence (with ADU & JADU - Attached)

Occupancy Group: R3/U

Construction Type: Type V-B (Sprinklered Throughout)
(Under Separate Permit)

Number of Stories: 3-Stories

Parking: 3-Car Parking

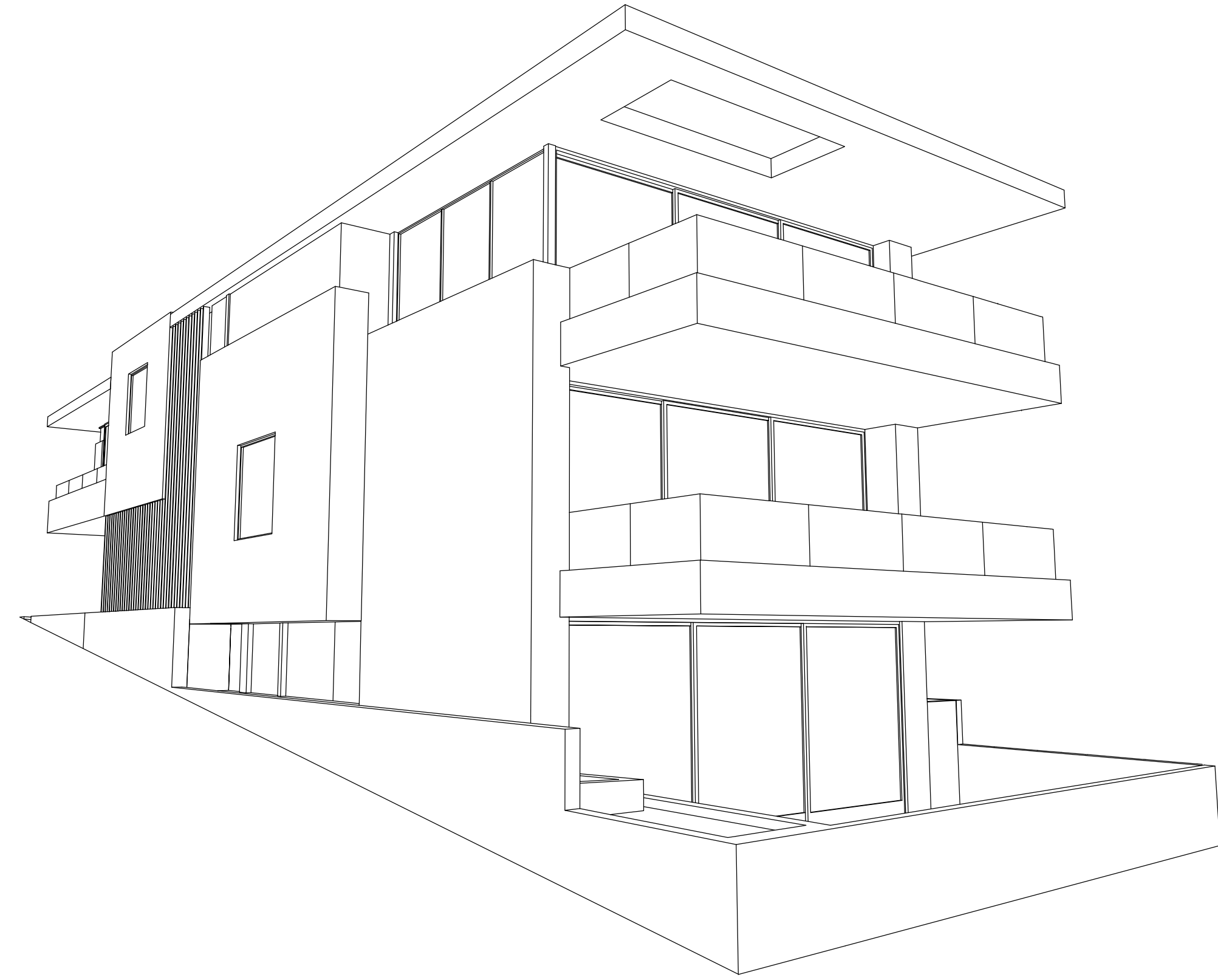
Lot Size: 3,307 sf

Legal Description: APN-4178-013-009
LOTS 16 & 17, BLOCK 8, NORTH
MANHATTAN BEACH SUBDIVISION NO. 2,
VACATED STREET ADJACENT ON SW AND
EX OF STREETS, M.B. 2-1

Project Description: (N) Single-Family Residence (with ADU & JADU attached)

2120 THE STRAND

SINGLE FAMILY RESIDENCE WITH (ADU & JADU-ATTACHED)



Sheet Index:

Architectural	Notes/Schedules
A-1.0	Cover Sheet
A-1.2	Survey
A-1.3	Site Plan
A-2.0	Floor Plans
A-2.1	Floor Plans
A-2.2	Floor Plans
A-2.3	Roof Plan
A-3.0	Exterior Elevations
A-3.1	Exterior Elevations
A-4.0	Building Sections
A-8.0	Architectural Details

Structural



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Manhattan Beach, CA 90266
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f. 310.545.4330
www.mleearchitects.com

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2120 The Strand

2120 The Strand
Manhattan Beach, CA 90266

Codes & Amendments

This project is designed to comply with the following:
Manhattan Beach Municipal Code
2022 California Residential Code (CRC)
2022 California Building Code (CBC)
2022 California Mechanical Code (CMC)
2022 California Plumbing Code (CPC)
2022 California Electrical Code (CEC)
2022 California Green Building Standards
2022 California Energy Efficiency Standards
Local Jurisdiction Amendments

(E) Building To be Demolished
2120 The Strand
Multi-Family Residential: 7-Unit
8,880 SF
30' Max. Building Height

Approximate Rough Grading Quantities**
Cut: 700 (CY)
Fill: 200 (CY)
Grading Plans under separate permit

Project Data:

Lot Area: 3,307 s.f.
Buildable Floor Area Allowable: 5,291.2 s.f. (=3,307 x 1.6)
Proposed: 4,196 s.f.

Open Space Requirements 4,174 x .15 = 626.1
Required: 626.1 s.f.
Proposed: 949 s.f. (complies)

Garage: 575 s.f.
Total Habitable Living: 5,508 s.f.

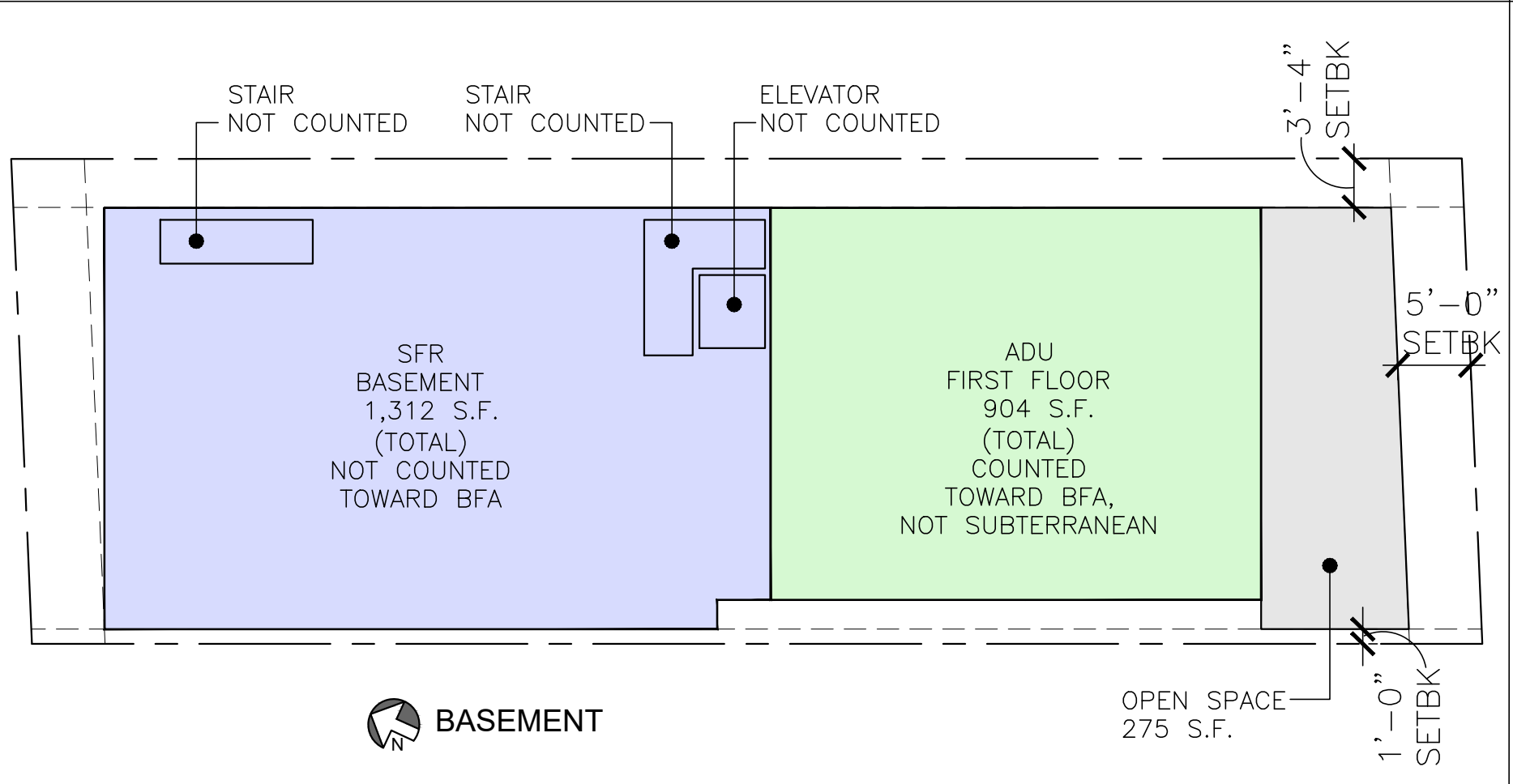
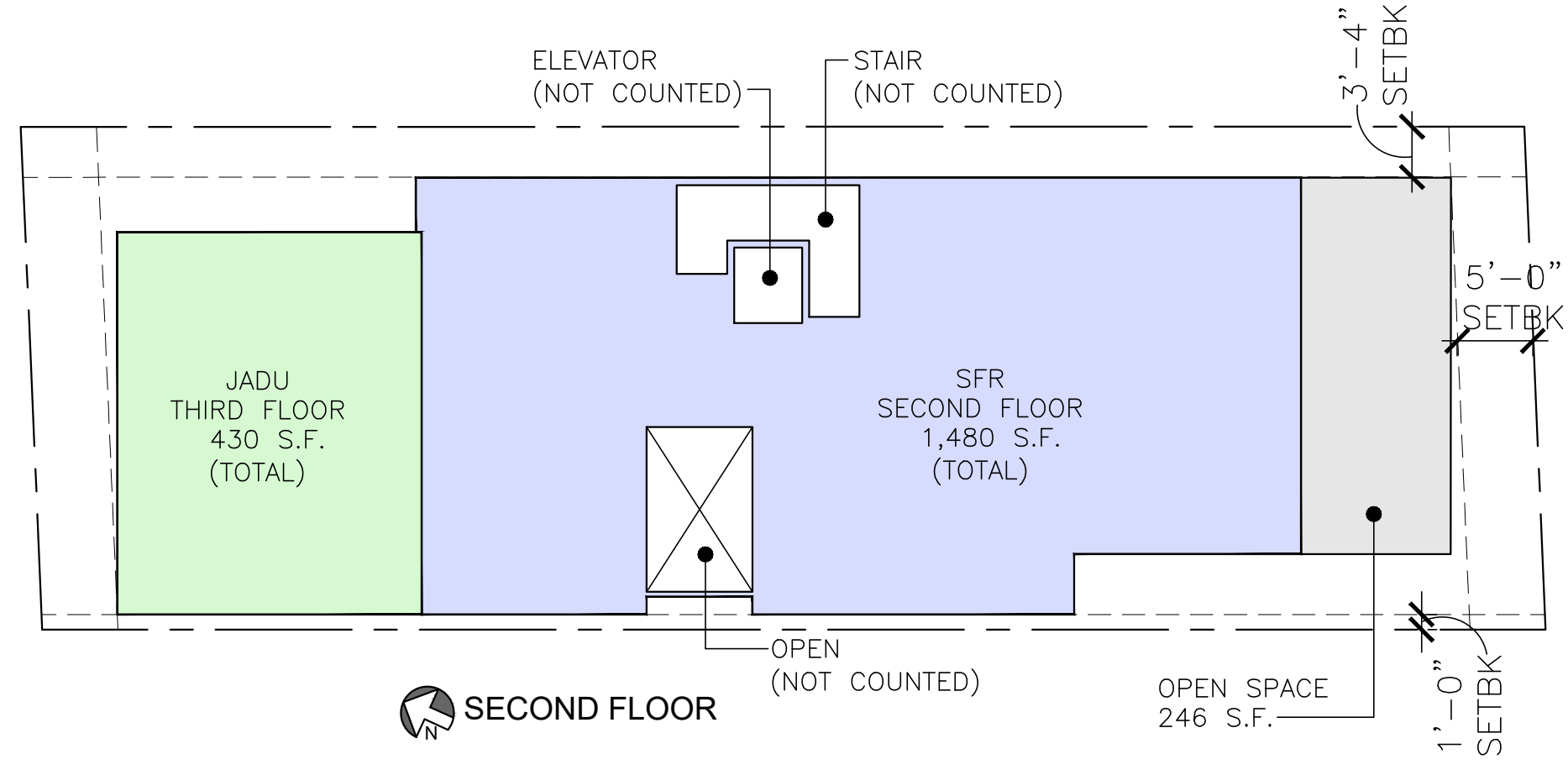
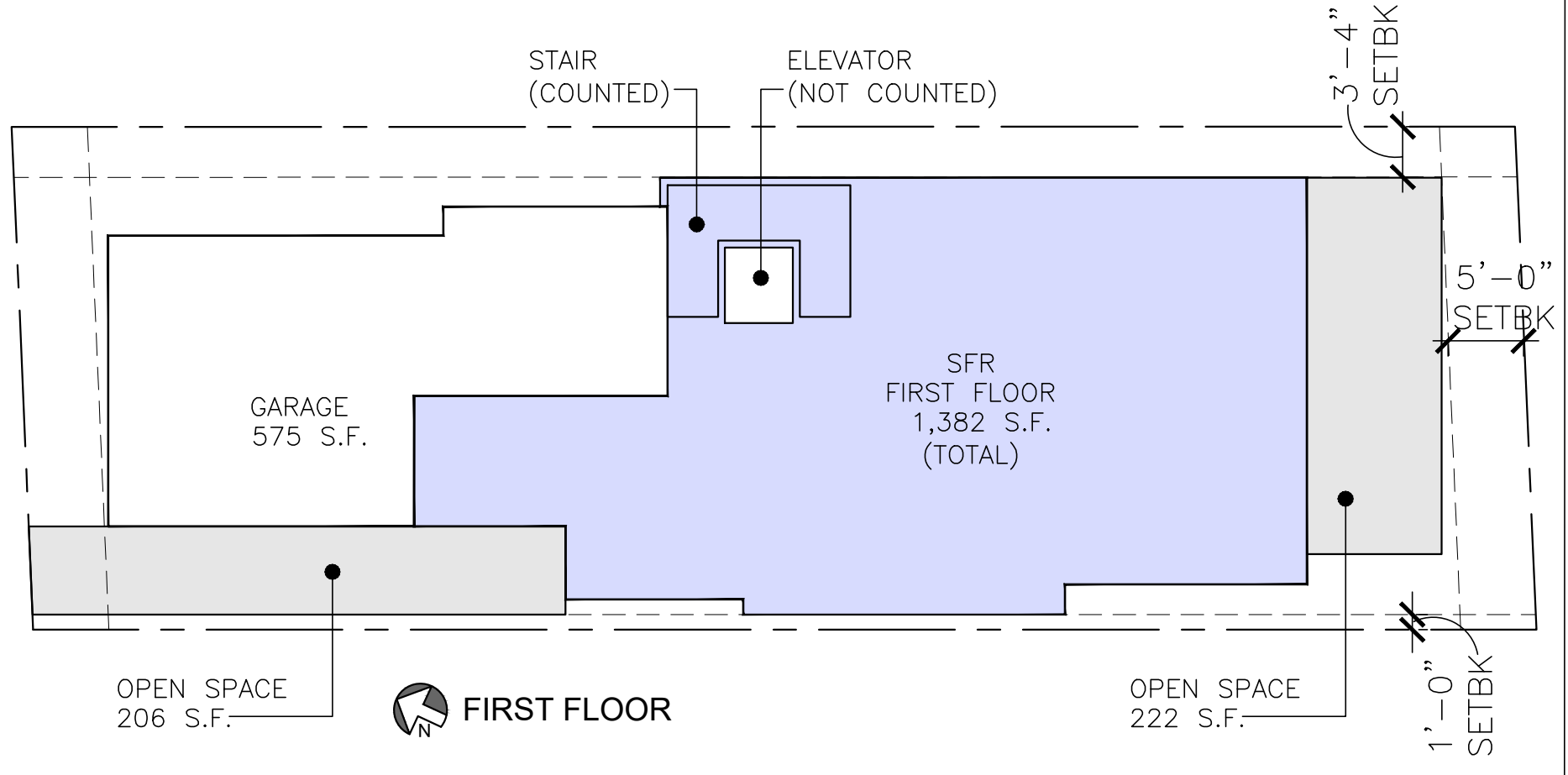
ADU & JADU
Open space not required

Gross Total Habitable Living + Garage: 6,083 s.f.

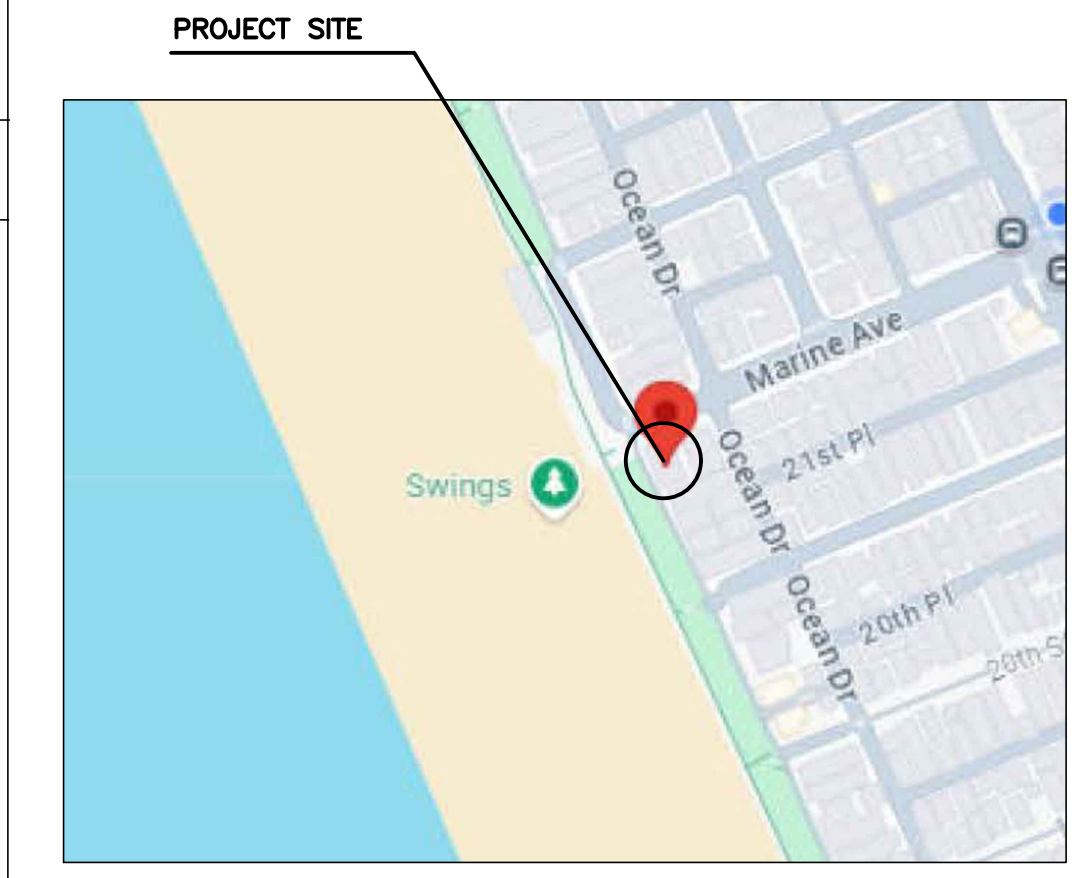
BUILDING-A SINGLE FAMILY WITH ADU & JADU - ATTACHED			
LIVING AREA	ACTUAL S.F. (MARKETABLE)	COUNTED S.F. (BFA)	OPEN SPACE
UNIT-1 (ADU)	904 s.f.	904 s.f.	Not Required
UNIT-2 (SINGLE FAMILY)			
BASEMENT	* (1,312 s.f.)	(not counted)	(275 s.f.)
FIRST FLOOR	(1,382 s.f.)	(1,382 s.f.)	(428 s.f.)
SECOND FLOOR	(1,480 s.f.)	(1,480 s.f.)	(246 s.f.)
	4,174 s.f.	2,862 s.f.	949 s.f.
UNIT-3 (JADU)	430 s.f.	430 s.f.	Not Required
TOTAL LIVING AREA	5,508 s.f.	4,196 s.f.	Required: 626.1 s.f. Proposed: 949 s.f.
GARAGE	575 s.f.		
GROSS BLDG. s.f.	6,083 s.f.		

* BASEMENT NOT COUNTED TOWARD BFA

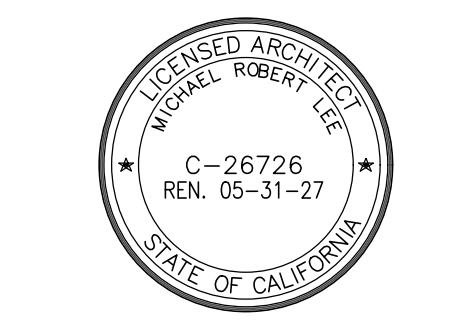
BFA & OPEN SPACE CALCULATIONS DIAGRAM
N.T.S.



* Not a part of this submittal



Vicinity Map:
Not to Scale



Date: 03/29/2024

Revisions	By
Coastal Submittal Set 12.11.2024	JMG
Coastal Submittal Set 02.21.2025	JMG
Coastal Submittal Set 05.22.2025	JMG

Contacts:

Structural Engineer	General Contractor
Energy Consultant	Geotechnical Consultant
Civil Engineer	Civil Grading + Drainage Engineer
Denn Engineers 3914 Del Amo Blvd. #921 Torrance, CA 90503 (310) 542-9433	

Height Calculation:
(1) 38.29 + (2) 38.49 + (3) 50.49 + (4) 50.56 = (5) 177.83 / 4 = Avg. Grade Elevation: (6) 44.45 + Height Limit (7) = 30 Max. Allowable Height Elevation (8) 74.45

(1)	(2)	(3)	(4)	(7)	(8)
38.29	38.49	50.49	50.56	30	74.45

Proposed Height Limit 74.45

Scale: SEE DWG.

Drawn by: JPT

Cover Sheet Building-A

A 1.0

BOUNDARY SURVEY WITH TOPOGRAPHY

FOR
WPL PROPERTIES
JENNIFER HALFORD
106 SUNBIRD CLIFFS LANE
COLORADO SPRINGS, CO 80919
PHONE (310) 936-6157

JOB ADDRESS

2120 THE STRAND
MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION

LOTS 16 & 17, BLOCK 8, NORTH MANHATTAN BEACH
SUBDIVISION NO. 2, VACATED STREET ADJACENT ON SW
AND EX OF STREETS, M.B. 2-1, APN 4178-013-009

AREA = 6.615 SF

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT



DRAWN BY: KW CHECK BY: TS

DRAWN ON: AUGUST 13, 2024

REVISIONS: FEBRUARY 13, 2025

SET MONUMENTS: FEBRUARY 13, 2025

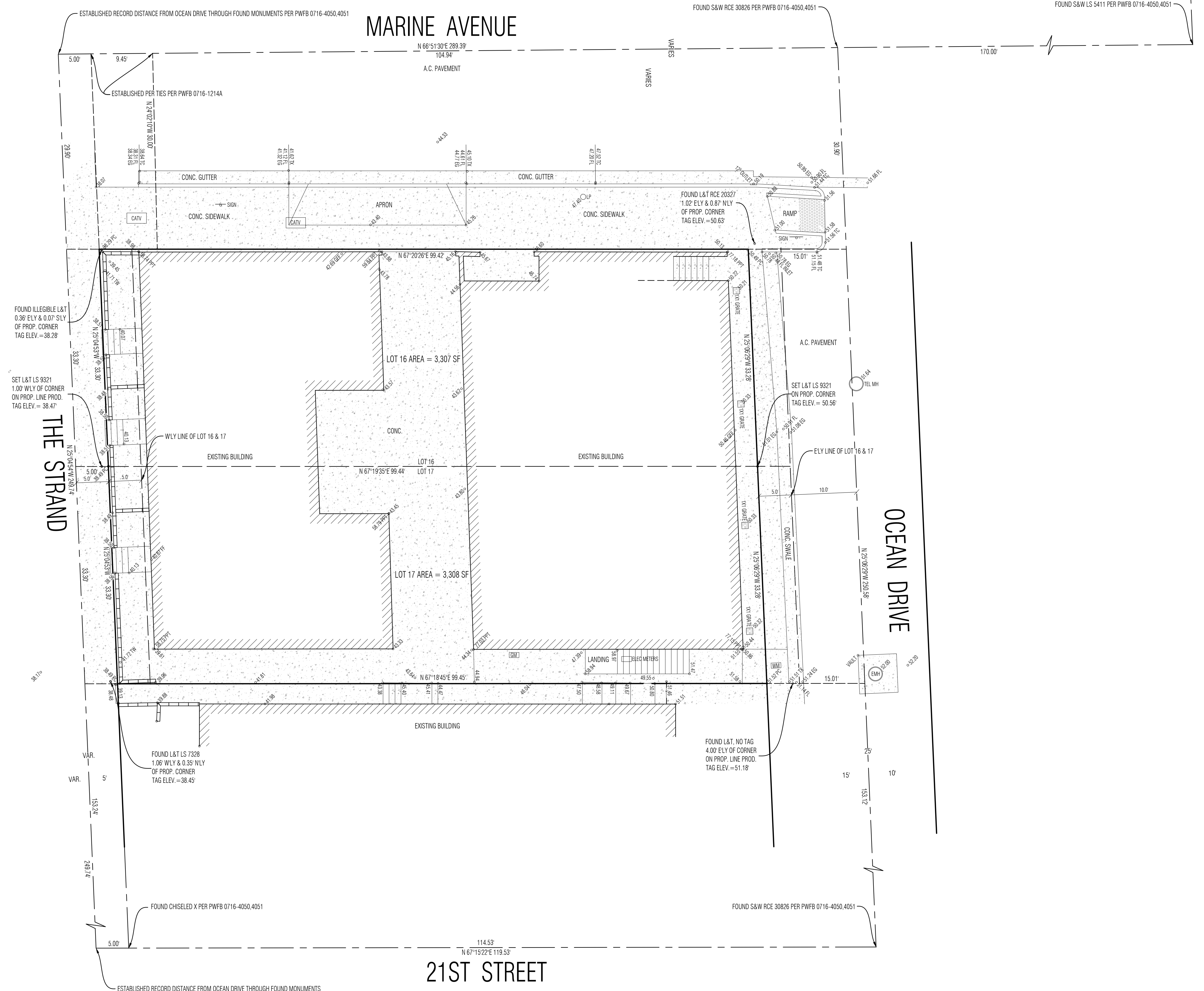
LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	+106.76 EXISTING ELEVATION		EXISTING FENCE
	EXISTING CONTOUR		EXISTING FENCE
	BLOCK WALL		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN		
CATV	CABLE TV PULL BOX		
CONC.	CONCRETE		
CHANN	CHANNEL		
CEFB	CITY ENGINEERS FIELD BOOK		
CA	CATERLINE		
C.L.F. / W.L.F.	CHAIN LINK FENCE / WROUGHT IRON FENCE		
ELY	EASTERLY		
EG	EDGE OF GUTTER		
EM	ELECTRIC METER		
FF	FINISH FLOOR		
FR	FRESH DRAIN		
FL	FLOWLINE		
GFF	GARAGE FINISH FLOOR		
GM	GAS METER		
GW / SW	GWYRE		
I.P.	IRON PIPE MONUMENT		
L&T	LEAD AND TAG MONUMENT		
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)		
NLY	NORTHERLY		
N&L / N&W	NAIL AND TAG / NAIL AND WASHER MONUMENT		
PE	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)		
PE (CONT)	TELEPHONE / CABLE TV		
PP	PROPERTY CORNER / PROP. CORNER		
PL	PROPERTY LINE / PROP. LINE		
PP / UP	POWER POLE / UTILITY POLE		
PRKT	PARADET		
PWFB	PUBLIC WORKS FIELD BOOK		
R.R.	RAIL ROAD		
RFB	ROAD DEPARTMENT FIELD BOOK		
R.S.	RECORD OF SURVEY		
SPN / S&W	SPRINKLER AND WASHER MONUMENT		
SY	SOUTHERLY		
SSCO	SANITARY SEWER CLEAOUT		
STK / STR&T	STAKE / STAKE AND TAG MONUMENT		
STL / LT	STREET LIGHT POLE / LIGHT POLE		
TC	TOP OF CURB		
TX / BX	TOP OF APRON / BOTTOM OF APRON		
WLY	WESTERLY		
WM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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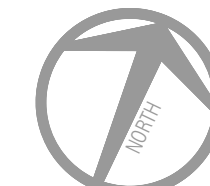
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE DONE BY DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.



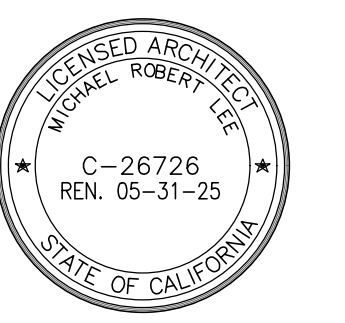
BENCHMARK NO. 098392 / ELEVATION 37.168 (2013 QUAD YEAR)
US&GS BRASS DISC MONUMENT MARKED MKD 1-1052-1960, IN THE FIRST STEP BELOW
IN CONCRETE WALK AT THE STAIRS TO THE BEACH 7 FEET WEST OF THE CENTERLINE OF
THE STRAND AND NEAR THE CENTERLINE PROD. OF MARINE AVENUE

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY.
NO EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING.

UPWARD TITLE COMPANY
ORDER NO. 4220124-00818
DATED JULY 15, 2024



SCALE 1" = 8'



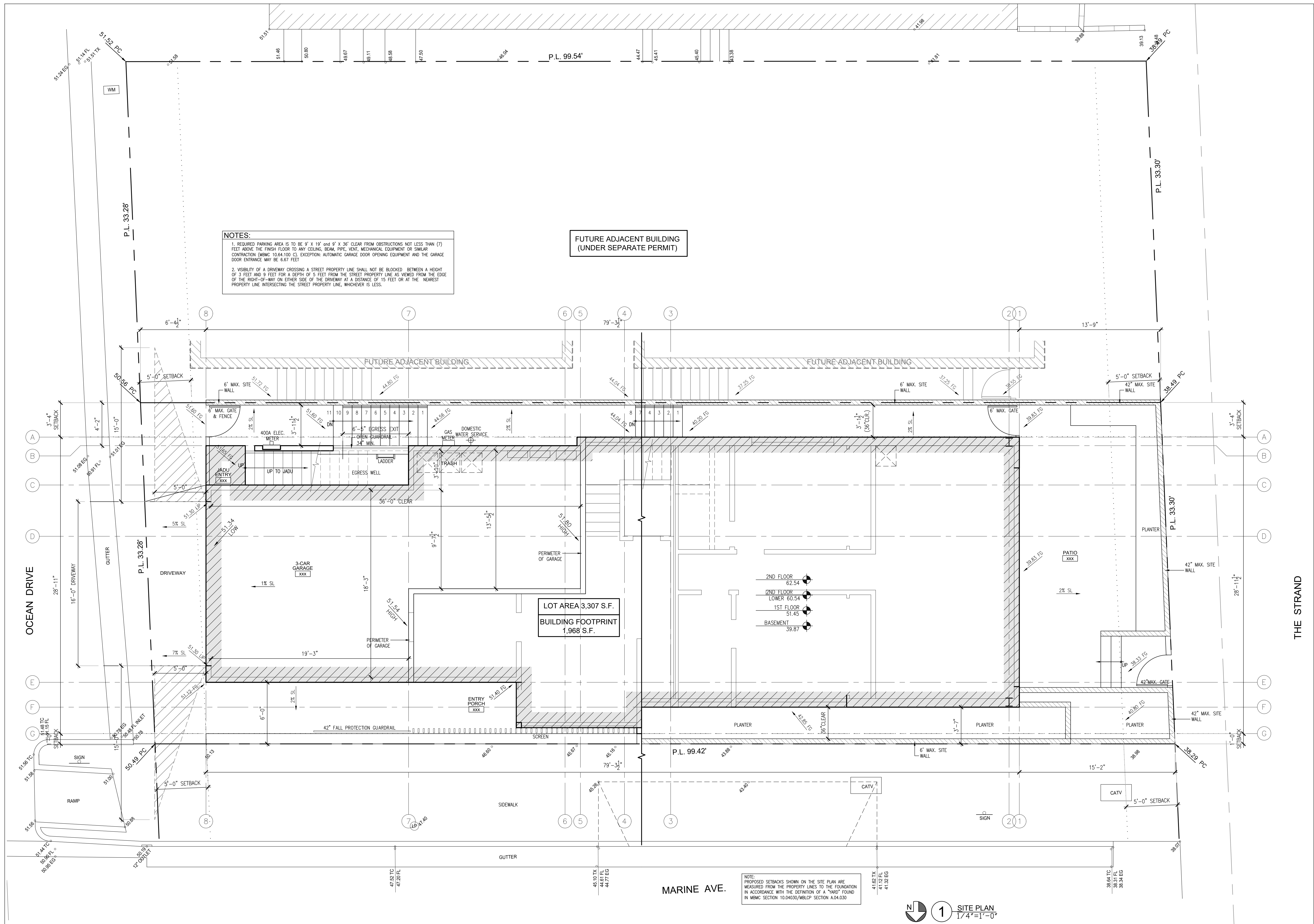
Date: 03/29/2024

Revisions	By
Coastal Submittal Set 12.11.2024	JMG
Coastal Submittal Set 02.21.2025	JMG
Coastal Submittal Set 05.22.2025	JMG

Scale: 1/4" = 1'-0"

Drawn by: JPT

Site Plan
 Building-A



NOTES:
 1. REQUIRED PARKING AREA IS TO BE 9' X 13' and 9' X 35' CLEAR FROM OBSTRUCTIONS NOT LESS THAN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONTRACTION (MBMC 10.64.100 C). EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67 FEET
 2. VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.

FUTURE ADJACENT BUILDING
 (UNDER SEPARATE PERMIT)

LOT AREA 3,307 S.F.
 BUILDING FOOTPRINT 1,968 S.F.

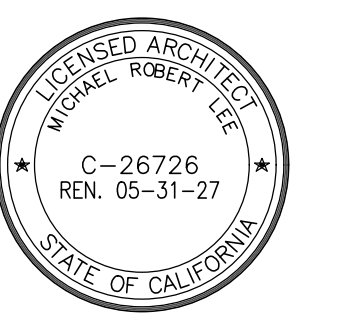
2ND FLOOR 62.54
 2ND FLOOR LOWER 60.54
 1ST FLOOR 51.45
 BASEMENT 39.87

NOTE: PROPOSED SETBACKS SHOWN ON THE SITE PLAN ARE MEASURED FROM THE PROPERTY LINES TO THE FOUNDATION IN ACCORDANCE WITH THE DEFINITION OF A "YARD" FOUND IN MBMC SECTION 10.04030/NB/COP SECTION A.04-030

THE STRAND

MARINE AVE.

OCEAN DRIVE



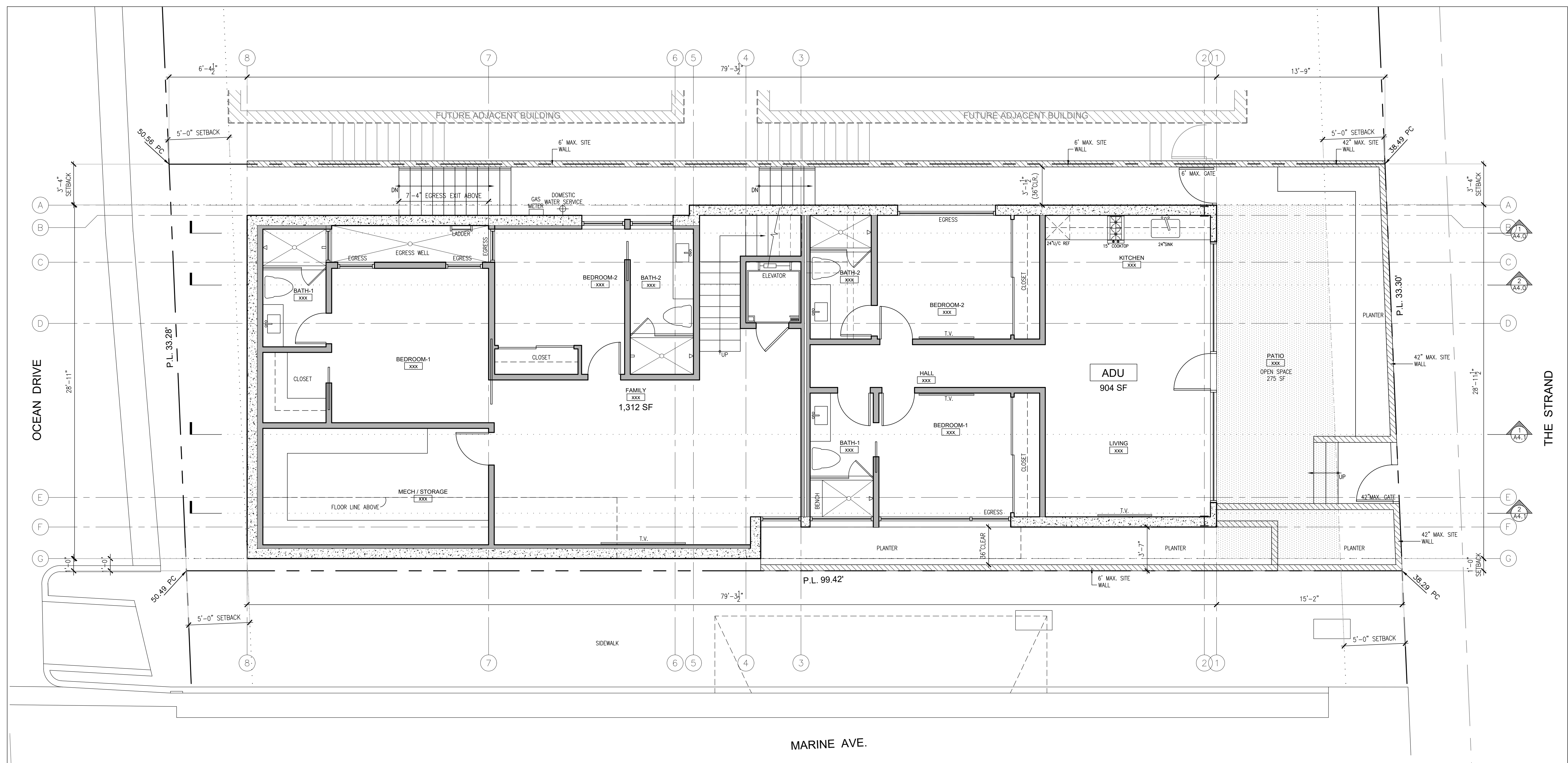
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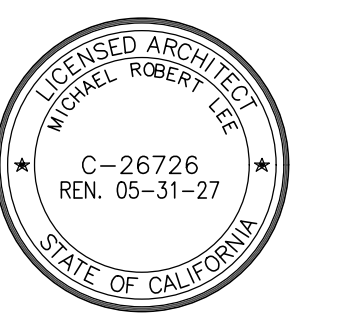
Drawn by: JPT
Floor Plans
Building-A

A **2.0**



MARINE AVE.

1 BASEMENT FLOOR PLAN
 1/4" = 1'-0"



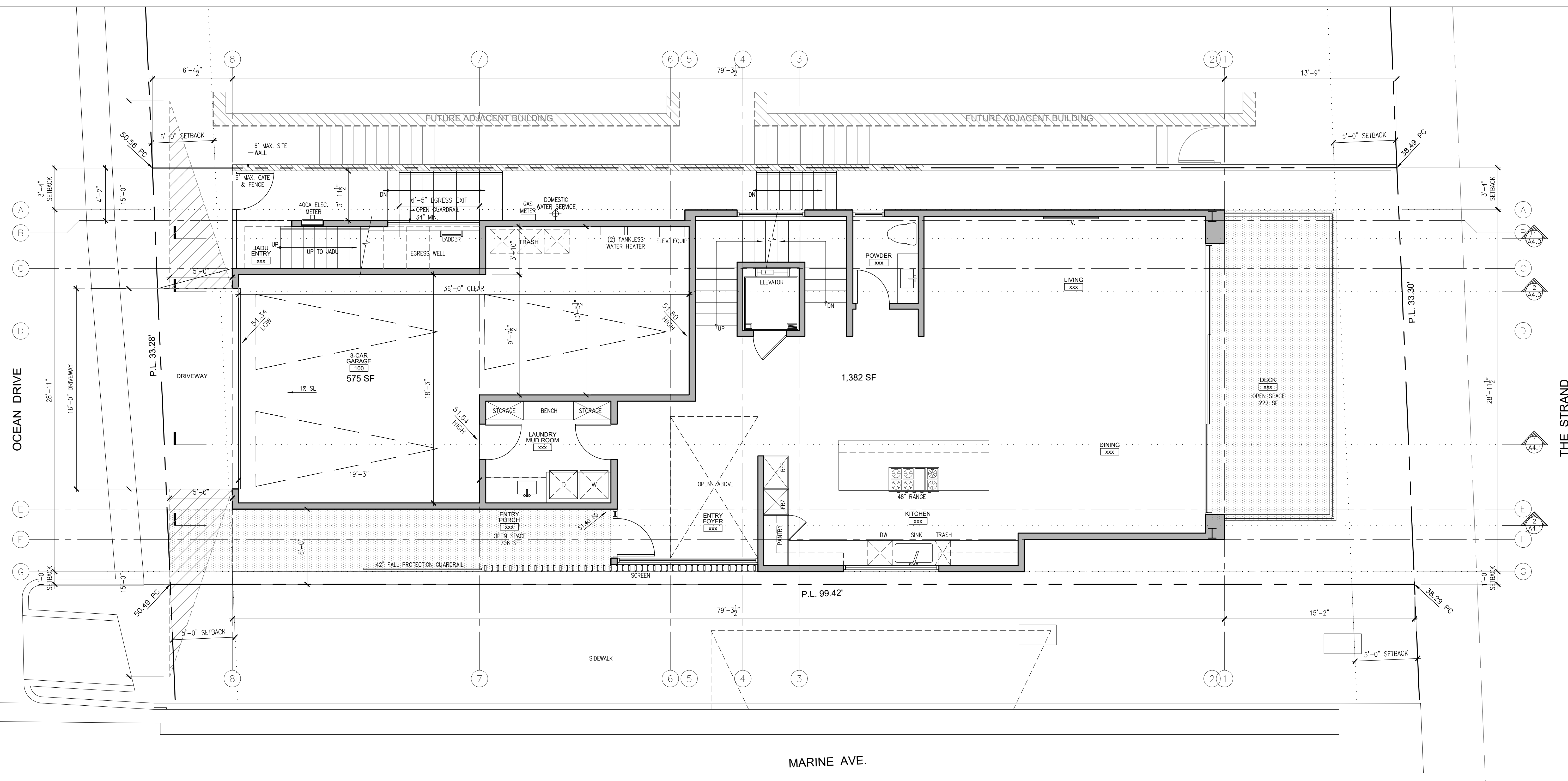
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Scale: 1/4" = 1'-0"

Drawn by: JPT
Floor Plans
Building-A

A 2.1



1 FIRST FLOOR PLAN
 1/4"=1'-0"

NOTES:

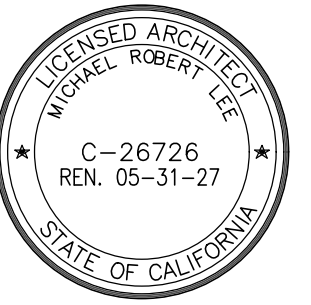
- REQUIRED PARKING AREA IS TO BE 9' X 19' and 9' X 36' CLEAR FROM OBSTRUCTIONS NOT LESS THAN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONTRACTION (MIMC 10.64.100 C), EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67 FEET
- VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.

AGING IN PLACE DESIGN AND FALL PROTECTION:

- NEWLY CONSTRUCTED DWELLINGS SUBJECT TO THE REQUIREMENTS OF THIS CODE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTIONS R327.1.1 THROUGH R327.1.4.
- NEW CONSTRUCTION DWELLING UNITS REQUIRE WATER CLOSET AND SHOWER GRAB BAR REINFORCEMENT FOR AT LEAST ONE BATHROOM ON THE ENTRY LEVEL OF THE DWELLING IN ACCORDANCE WITH 2022 CRC SECTION R327.1.1. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39 1/4 INCHES ABOVE FLOOR FLUSH WITH THE WALL.
 - REINFORCEMENT TO BE SOLID LUMBER AND NOT LESS THAN 2x8
 - WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ON ONE SIDE WALL AND THE BACK WALL.
 - WHERE THERE IS NO BATHROOM AT THE ENTRY LEVEL, THE REINFORCEMENT FOR GRAB BARS MAY BE INSTALLED ON THE SECOND OR THIRD FLOOR.
 - SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH THE CBCSC Section 4.410.1.

- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. [CRC R327.1.2]
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL ASSEMBLY. [CRC R327.1.4]



Date: 03/29/2024

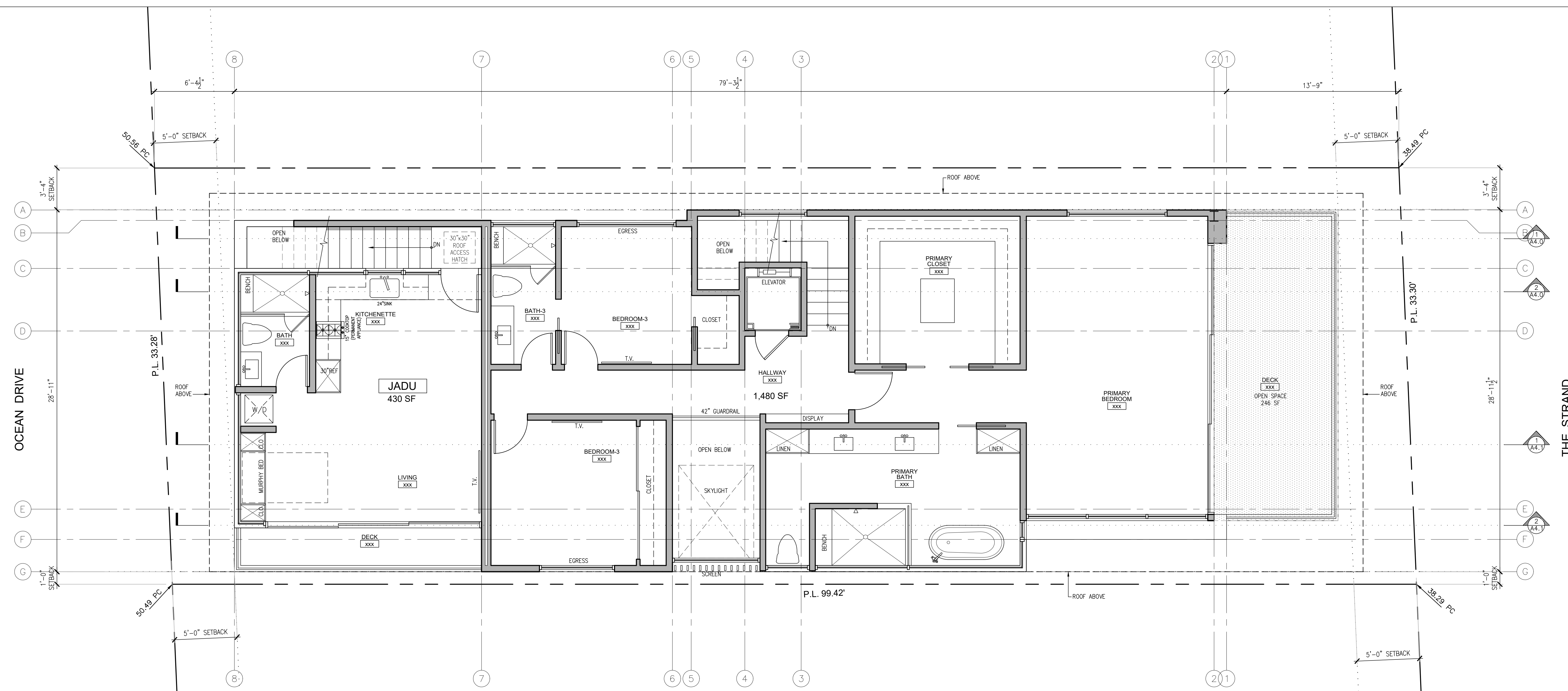
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Scale: 1/4" = 1'-0"

Drawn by: JPT

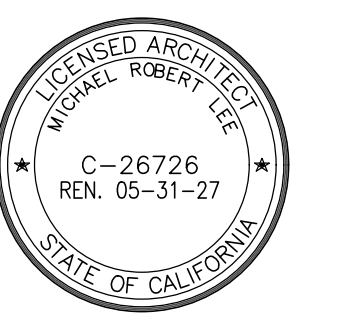
Floor Plans
 Building-A

A 2.2



MARINE AVE.

1 SECOND FLOOR PLAN (LOWER)
 1/4" = 1'-0"



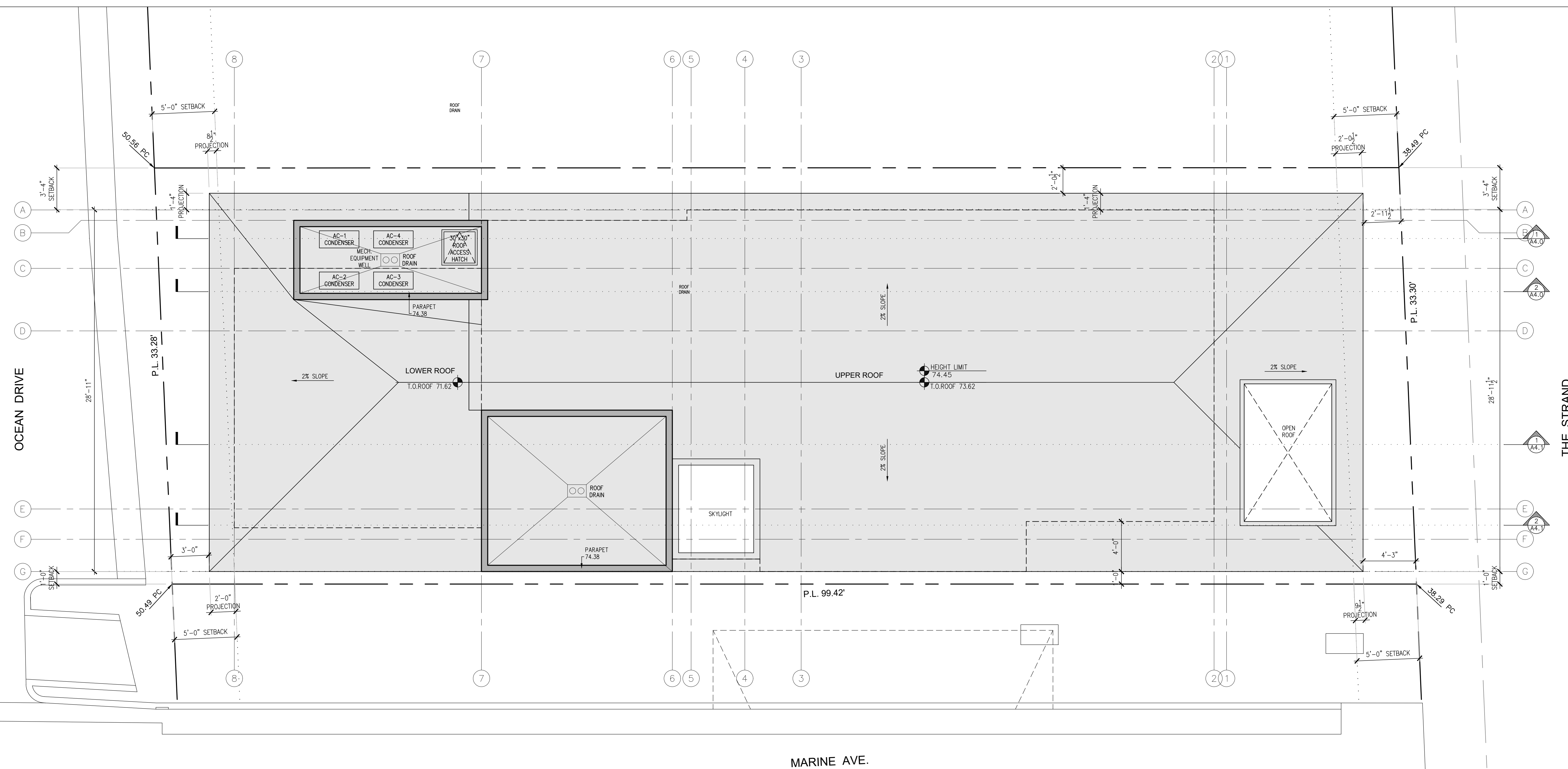
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Drawn by: JPT
Roof Plans
Building-A

A 2.3

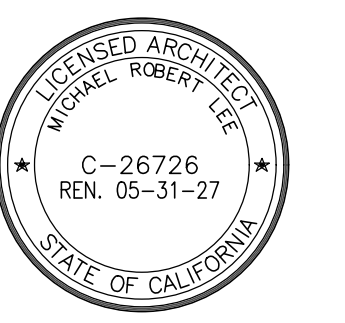


ROOFING MATERIALS:
1. FLAT ROOF
 ROOFING TO BE CLASS "A" FLAT ROOF:
 RUBBEROID ENERGY CAP
 TORCH GRANULE FR.
 ICC ESR - 1274
 CRC - 0676-0025B
 MINIMUM ROOF SLOPE IS 1/4":12 PER CRC SECTIONS R905.9.1

2. DECK & ROOF DECK WATERPROOFING
 TO BE DEX-0-TEX WEATHERWEAR PROMENADE ROOF DECK SURFACING OVER EXTERIOR GRADE PLYWOOD WITH STONE TILE FINISH. ICC ESR 1757.

NOTES:
 - ROOF OVERHANG OF A SPRINKLERED BUILDING LOCATED 2 FEET UP TO 3 FEET AWAY FROM PROPERTY LINE SHALL BE 1 HOUR RATED ON THE UNDER SIDE. PER TABLE R302.1
 - MINIMUM ROOF SLOPE IS 1/4":12 PER CRC SECTIONS R905.9.1
 - PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
 - SOLAR PANEL PLANS UNDER SEPARATE PERMIT
 - COOL ROOF IS REQUIRED. SEE ROOF SPECS.

1 ROOF PLAN
 1/4" = 1'-0"



Date: 03/29/2024

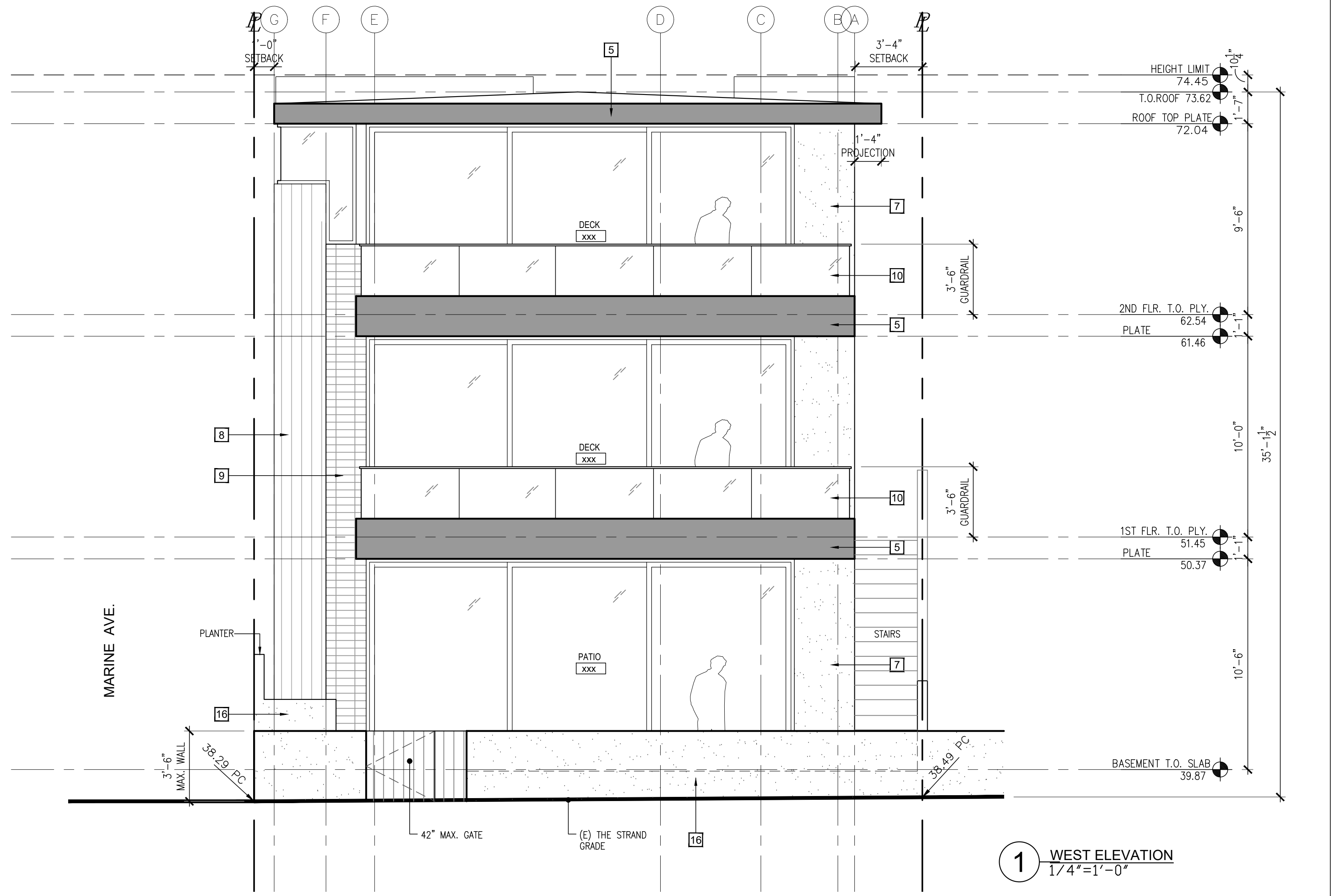
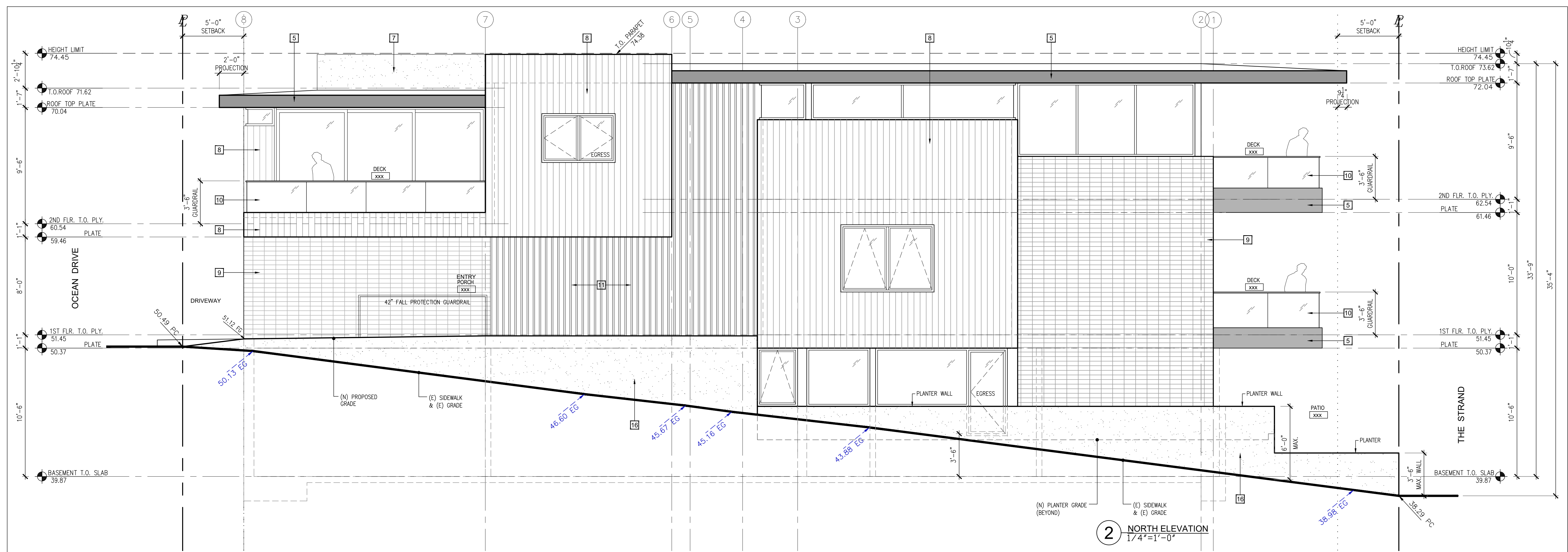
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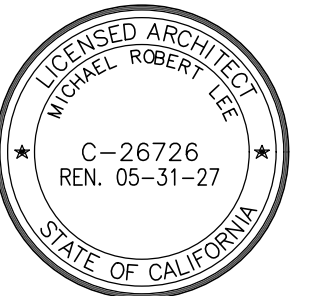
Exterior Elevations
 Building-A

A 3.0



KEY NOTES LEGEND:

1	400 AMP ELEC. PANEL (FULLY RECESSED INTO BUILDING WALL)
2	T.V. & PHONE (FULLY RECESSED INTO BUILDING WALL)
3	GAS METER (FULLY RECESSED INTO BUILDING WALL)
4	DOMESTIC WATER SERVICE
5	ALUMINUM HEAVY GAUGE ROOF FASCIA (PAC CLAD)
6	WOOD CLADDING (STAIN GRADE)
7	SMOOTH STUCCO
8	T & G VENEER (VERIFY WITH OWNER / ARCHITECTS)
9	BRICK, STONE OR PORCELAIN FINISH
10	GLASS GUARDRAIL 1/2" TEMP'D 42" MIN. HIGH
11	ARCHITECTURAL SCREEN (MATERIAL TO BE VERIFY)
12	DOWNSPOUT IN WALL
13	OVERFLOW DECK SCUPPER
14	WOOD GATE W/ STEEL FRAME (6'-0" MAX.)
15	EXPANSION JOINT (ALUMINUM)
16	CONCRETE SITE WALL STUCCO FINISH
17	
18	
19	
20	
21	ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.



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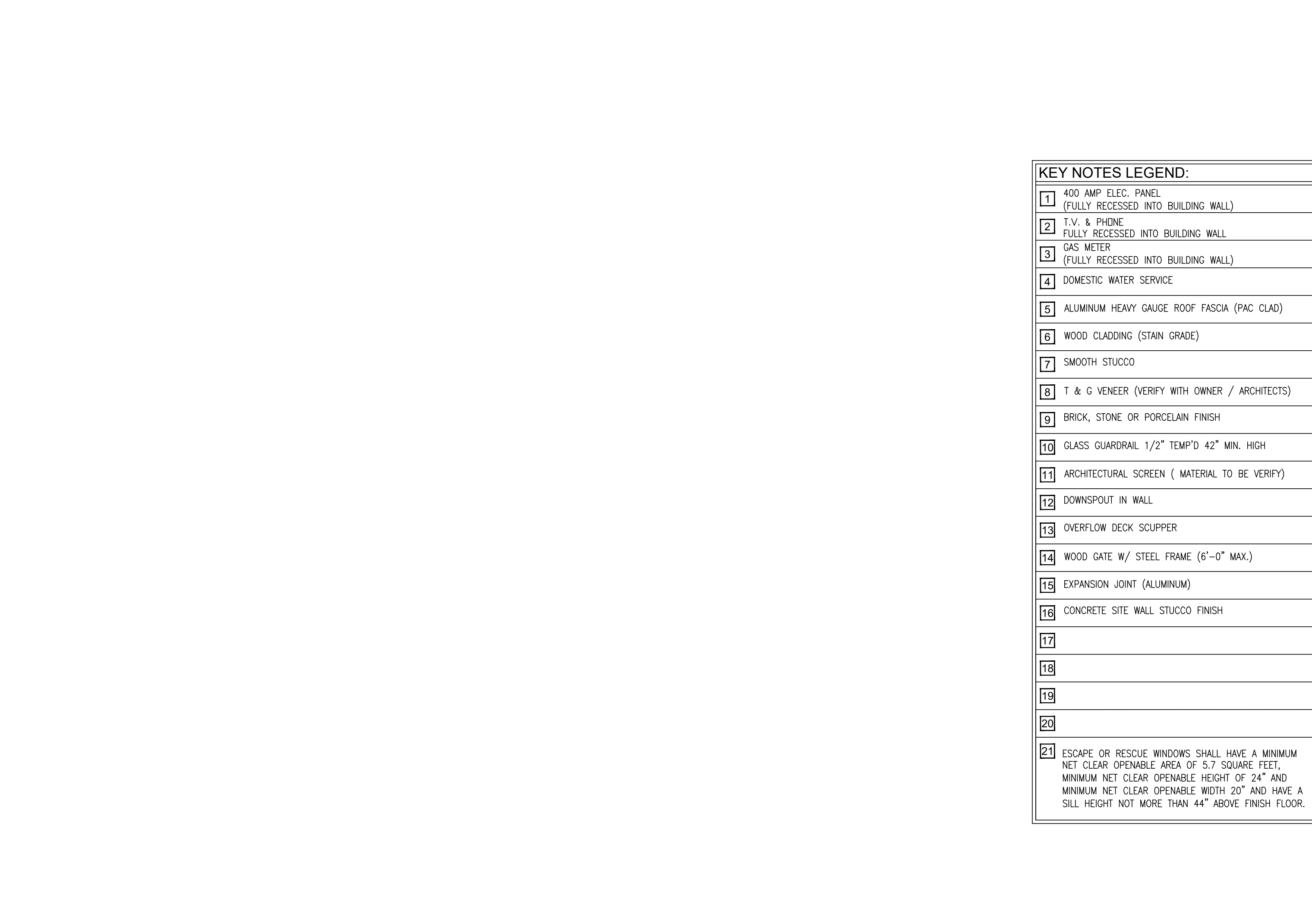
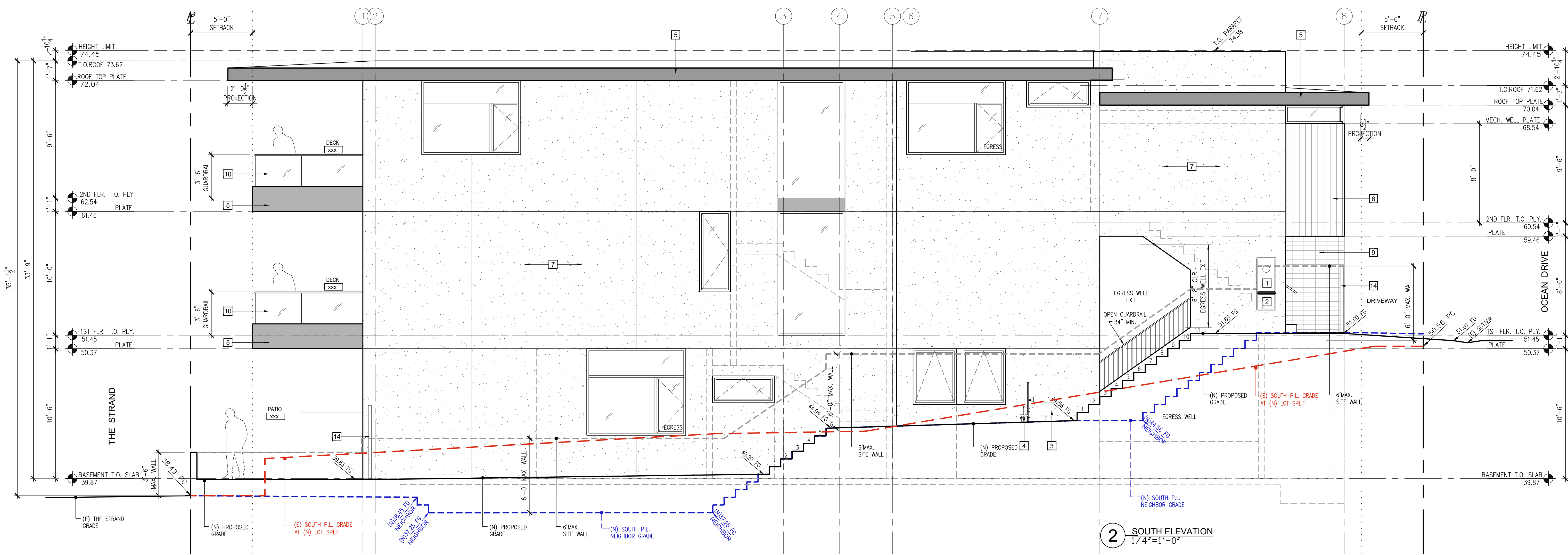
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Scale: 1/4" = 1'-0"

Drawn by: JPT

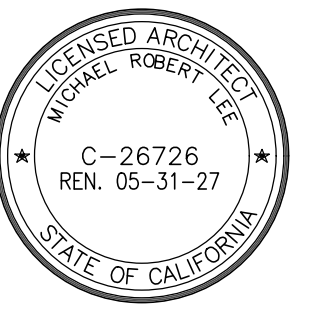
Exterior Elevations
Building-A

A 3.1



KEY NOTES LEGEND:

- 1 400 AMP ELEC. PANEL (FULLY RECESSED INTO BUILDING WALL)
- 2 T.V. & PHONE (FULLY RECESSED INTO BUILDING WALL)
- 3 GAS METER (FULLY RECESSED INTO BUILDING WALL)
- 4 DOMESTIC WATER SERVICE
- 5 ALUMINUM HEAVY GAUGE ROOF FASCIA (PAC CLAD)
- 6 WOOD CLADDING (STAIN GRADE)
- 7 SMOOTH STUCCO
- 8 T & G VENEER (VERIFY WITH OWNER / ARCHITECTS)
- 9 BRICK, STONE OR PORCELAIN FINISH
- 10 GLASS GUARDRAIL 1/2" TEMP'D 42" MIN. HIGH
- 11 ARCHITECTURAL SCREEN (MATERIAL TO BE VERIFY)
- 12 DOWNSPOUT IN WALL
- 13 OVERFLOW DECK SCUPPER
- 14 WOOD GATE W/ STEEL FRAME (6'-0" MAX.)
- 15 EXPANSION JOINT (ALUMINUM)
- 16 CONCRETE SITE WALL STUCCO FINISH
- 17
- 18
- 19
- 20
- 21 ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.



Date: 03/29/2024

Revisions	By
Coastal Submittal Set 12.11.2024	JMG
Coastal Submittal Set 02.21.2025	JMG
Coastal Submittal Set 05.22.2025	JMG

Scale: 1/4" = 1'-0"

Drawn by: JPT

Building Section
 Building-A

A 4.0

