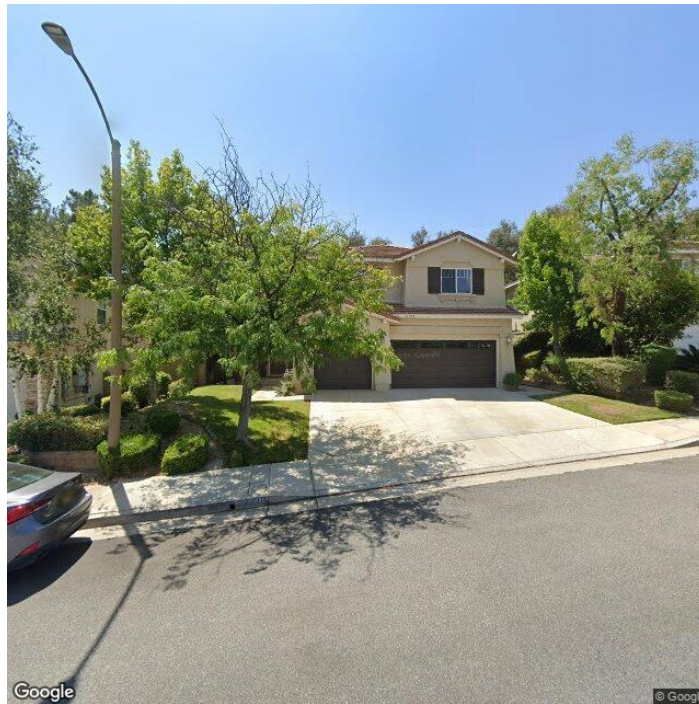




LICHI RESIDENTIAL REPORT

27213 Blueridge Dr
Santa Clarita, CA 91354

Ethylene Duffy
DECEMBER 19, 2025



Inspector

Jim Uhl

30 years residential remodel construction.
14 years InterNachi certified inspector

661-510-6292

jcuhl@sbcglobal.net



Agent

Jessica Lane
Equity Union

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SUMMARY



MAINTENANCE ITEM



RECOMMENDATION



SAFETY HAZARD

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- 🔧 7.6.1 Plumbing - Fuel Storage & Distribution Systems: missing emergency gas shut off wrench
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- 🔧 11.3.2 Doors, Windows & Interior - Windows: Damaged screens
- ⊖ 11.4.1 Doors, Windows & Interior - Floors: Moderate Wear
- ⊖ 11.5.1 Doors, Windows & Interior - Walls: Holes
- ⊖ 11.8.1 Doors, Windows & Interior - Countertops & Cabinets: Replacement Required
- ⚠ 11.10.1 Doors, Windows & Interior - garage : Garage Door Safety Reverse Improper
- ⊖ 11.10.2 Doors, Windows & Interior - garage : Missing/Damaged door seal
- ⚠ 12.1.1 Harmful Substance Alert - Environmental Hazard: Extensive Nicotine/Tar Damage
- ⊖ 12.2.1 Harmful Substance Alert - Microbial Growth: Microbial Growth Present

1: INSPECTION DETAILS

Information

General: In Attendance Client, Client's Agent, Home Owner, Listing Agent	General: Occupancy Furnished, Vacant	General: Temperature (approximate) 78 Fahrenheit (F)
General: Type of Building Single Family	General: Weather Conditions Clear, Dry	
General: Inspector Qualifications James Uhl of LiCHI Inspections is a California State licensed General and Plumbing Contractor. James Uhl is a Certified Home Inspector (CPI) with the InterNACHI Association of Home Inspectors. Contractors License # B/C36 770586 CPI Certification # NACHI09081701		
General: General Condition This home is in poor condition and will need extensive work to retore to a habitable state.		

2: ROOF

Information

General: Inspection Method Roof	General: Roof Type/Style Gable	Coverings: Material Tile
Flashings: Material Bonderized/Galvanized Steel		

Deficiencies

2.2.1 Coverings

 Recommendation

HIP AND RIDGE REQUIRE MAINTENNACE

Hip and ridge shingles and tiles seal adjacent roof planes. Deficiencies in this area can allow water in at the top of the roof system thus bypassing the waterproof system.

Recommendation
Contact a qualified roofing professional.



2.2.2 Coverings

 Recommendation

TILES CRACKED/BROKEN

Roof had cracked/broken tiles. Recommend a qualified roof contractor repair or replace to prevent moisture intrusion.

Recommendation
Contact a qualified roofing professional.





improper repair to broken tile



improper repair to broken tile



2.2.3 Coverings

UNDERLAYMENT DAMAGE

 Recommendation

The roof underlayment had areas of moderate damage visible at the time of the inspection. These areas should be repaired by a qualified roofing contractor to help prevent damage from roof leakage. The underlayment was inspected in representative areas only.



2.4.1 Flashings

DAMAGED

Flashings that are damaged do not function as intended and require service or replacement.

Recommendation

Contact a qualified roofing professional.



Recommendation



this dormer vent is crushed and will pool water

2.5.1 Skylights, Chimneys & Other Roof Penetrations

PIPE FLASHING MISSING/DETERIORATED SEALANT

Pipe penetrations are flashed with a roof jack. The connection between the pipe and the roof jack requires sealant. This is a maintenance area and requires servicing from time to time.

Recommendation

Contact a qualified roofing professional.



Recommendation



all pipe penetrarions' sealant is cracked



3: EXTERIOR

Information

General: Inspection Method Visual	Siding, Flashing & Trim: Siding Material Stucco	Exterior Doors: Exterior Entry Door Wood, Sliding Glass Door
Walkways, Patios & Driveways: Driveway Material Concrete	Decks, Balconies, Porches & Steps: Appurtenance Patio	Decks, Balconies, Porches & Steps: Material Concrete

Deficiencies

3.2.1 Siding, Flashing & Trim

CRACKING - MINOR

Stucco showed cracking in one or more places. Minor cracking is typical in stucco applications but should be sealed and monitored for any changes.

 Recommendation



vertical cracking requires repair

3.2.2 Siding, Flashing & Trim

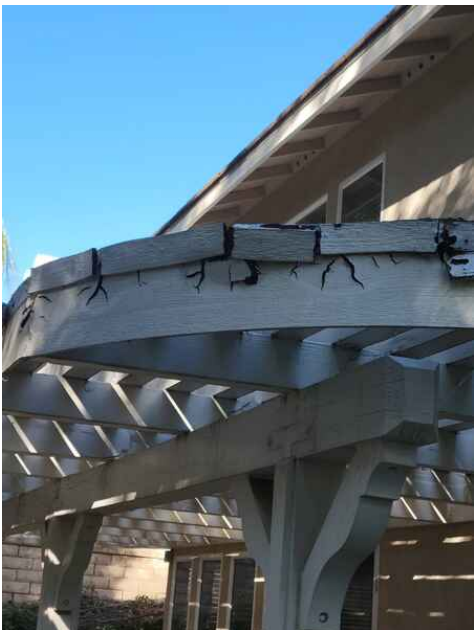
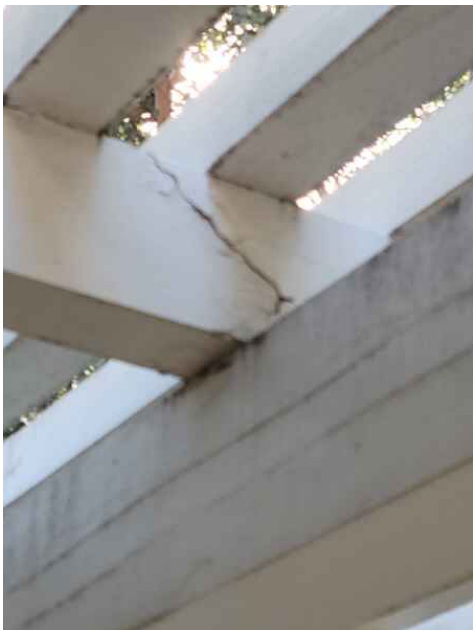
WOOD DESTROYING ORGANISM ALERT

There is major dry rot and termite damage to the patio cover. There are no structural or trim components that have not been affected. This patio cover needs a full replacement. We recommend a WDO inspection to determine if more areas of damage exist.

Recommendation

Contact a qualified professional.

 Recommendation



3.6.1 Eaves, Soffits & Fascia

EAVES - DAMAGED

Recommendation

There are areas of the upper floor eaves that have significant nicotine damage and will require remediation to properly correct.



3.6.2 Eaves, Soffits & Fascia

PAINT/FINISH FAILING

Recommendation

The paint or finish is failing. This can lead to deterioration and rot of the material. Recommend that the areas be properly prepared and painted / finished.



3.7.1 Vegetation, Grading, Drainage & Retaining Walls



Recommendation

EXTERIOR GRADE TOO HIGH

The exterior grade between the soil and the weepscreed is too low, less than 4 inches, to prevent moisture intrusion.

Recommendation

Contact a qualified professional.



3.8.1 Fencing

GATE REQUIRES SERVICING

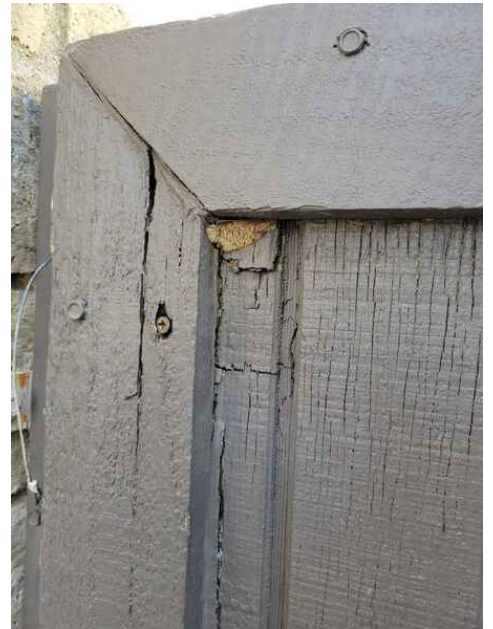
Gates can sag or loose squareness over time and require repair or adjustment. Contact welding or fence contractor to evaluate and repair.

Recommendation

Contact a qualified professional.



Recommendation



the gate has dry rot and needs repair or replacement

4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

Information

General: Inspection Method
Visual

Foundation: Material
Slab on Grade

5: HEATING

Information

Equipment: Brand Comfort Maker	Equipment: Energy Source Natural Gas	Equipment: Heat Type Forced Air
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Distribution Systems: Ductwork
Insulated

General: AFUE Rating
mid-efficiency

AFUE (Annual fuel utilization efficiency) is a metric used to measure furnace efficiency in converting fuel to energy. A higher AFUE rating means greater energy efficiency. 90% or higher meets the Department of Energy's Energy Star program standard.

Equipment: Equipment Tag/Temperature Readings

The attic mount furnaces had doors that were taped shut and falling off. Because of this we were unable to open the furnaces to photograph the data tags and inspect the units. However, using normal thermostat controls, the heat was functional on both units.



Deficiencies

5.3.1 Normal Operating Controls

INTERMITTENT FAILURE

The upstairs thermostat went blank and did not respond to controls on 2 occasions. While it did resume normal function, we recommend replacing this unit.

Recommendation

Contact a qualified professional.

Recommendation



screen blank and non-responsive in this mode

6: COOLING

Information

Cooling Equipment: Brand Comfort Maker	Cooling Equipment: Energy Source/Type Central Air Conditioner	Cooling Equipment: Location Side yard
Distribution System: Configuration Central		

General: Old Equipment
The HVAC equipment is older, and it is recommended to budget for replacement of aged out equipment.

Cooling Equipment: Equipment Tag Photographs
Pictures of your equipment tags are useful in identifying brand, SEER rating, AMP capacity, breaker size, age etc. Only one of the two data tags was legible.



Deficiencies

6.2.1 Cooling Equipment

FAILED TO PRODUCE TYPICAL TEMPERATURE SPLIT

 Recommendation

The air conditioner was functional but did not produce a proper temperature split. We recommend an HVAC contractor evaluate and repair/replace as needed to restore optimal function.

Recommendation
Contact a qualified heating and cooling contractor

6.2.2 Cooling Equipment

DIRTY FILTER

Dirty filters reduce air flow, inhibit heating and cooling capacities, and can lead to damage to the equipment. Replace filter, and replace monthly during periods of use.

Recommendation

Contact a qualified professional.



6.2.3 Cooling Equipment

END OF EXPECTED LIFE

This central HVAC is near or has exceeded the designed life expectancy. Due to the severe damage to the condensing units and the furnace cabinets, these units will need to be replaced.

Recommendation

Contact a qualified professional.



below grade



below grade



active leak



drainpipes are not properly glued and separating



water staining around drain pipes

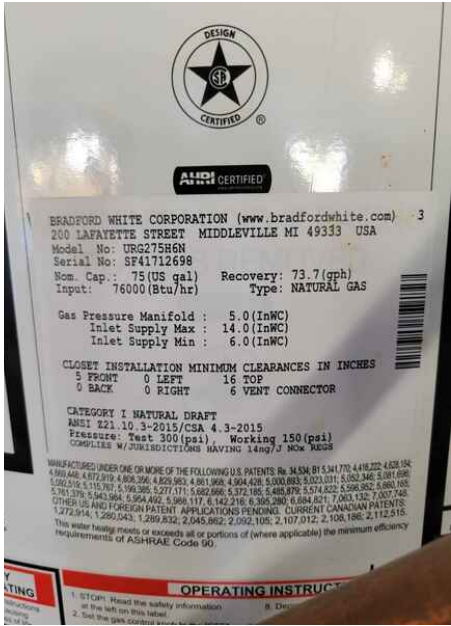
7: PLUMBING

Information

General: Filters Drinking Water Filter	General: Water Source Public	Main Water Shut-off Device: Location Garage
Drain, Waste, & Vent Systems: Material PVC	Water Supply, Distribution Systems & Fixtures: Distribution Material CPVC	Water Supply, Distribution Systems & Fixtures: Water Supply Material PVC
Hot Water Systems, Controls, Flues & Vents: Capacity 75 gallons	Hot Water Systems, Controls, Flues & Vents: Location Garage	Hot Water Systems, Controls, Flues & Vents: Power Source/Type Gas
Fuel Storage & Distribution Systems: Main Gas Shut-off Location Gas Meter		
Hot Water Systems, Controls, Flues & Vents: Manufacturer Bradford & White		
I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding. Here is a nice maintenance guide from Lowe's to help.		

Hot Water Systems, Controls, Flues & Vents: Water Heater Tag

The water heater tag is useful in identifying size, age, BTU usage, manufacturer, model, etc. and a photograph has been provided for your convenience.



2018 (7 1/2 years old) Bradford White 75-gallon water heater

Fuel Storage & Distribution Systems: Location of Gas Meter and Shut Off

It is important to familiarize yourself with the location of the main gas shut off. A picture has been provided for your future reference.



Pressure reducing valve: Pressure Acceptable

Water pressure is to be between 35 psi and 80 psi. This pressure was acceptable at time of inspection.



apprx 70psi at time of inspection

Deficiencies

7.3.1 Drain, Waste, & Vent Systems

IMPROPER CONNECTION

An improper drain connection was observed and requires correction.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



uncapped drain tube from previous reverse osmosis type system

7.3.2 Drain, Waste, & Vent Systems

LEAKING PIPE

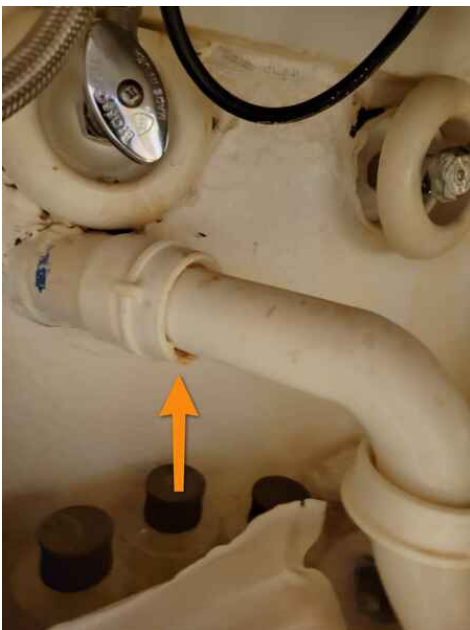
All of the sink drainpipe assemblies have active leaks or evidence of leakage.



Recommendation



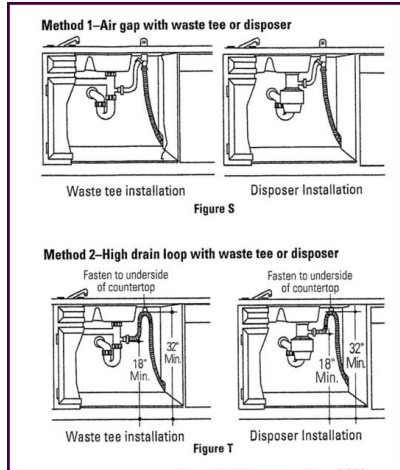
standing water at time of inspection



7.3.3 Drain, Waste, & Vent Systems

DISHWASHER AIR GAP MISSING/IMPROPER

The dishwasher air gap provides a physical separation between the sewer system and the dishwasher and is required by code. There shall be a device mounted on the sink or counter-top and plumbed into the garbage disposal or an approved tailpiece Wye. The tube connecting shall have a continuous slope to the connection point.



Recommendation
Contact a qualified professional.



tube does not have continual slope towards drain

7.5.1 Hot Water Systems, Controls, Flues & Vents

SEISMIC STRAP MISSING/IMPROPERLY INSTALLED

Seismic restraint strapping is missing/improperly installed. 75 gallons and larger require 3 seismic straps. This water heater only has 2 and requires improvement.

Recommendation
Contact a qualified professional.

7.6.1 Fuel Storage & Distribution Systems

MISSING EMERGENCY GAS SHUT OFF WRENCH

An emergency gas shut off wrench is recommended to be present. Recommend hanging such wrench from gas meter with a light gauge chain or weather resistant cable.

Recommendation
Contact a handyman or DIY project

7.8.1 Fixtures

FAUCET LEAKING/NOT OPERATING CORRECTLY

Most of the faucets were found to be leaking or not operating correctly and require repair or replacement. The cold water in the primary bathroom soaking tub did not operate but was not photographed. We recommend this tub not be operated until a licensed plumber has repaired as it is possible to have them leak beneath the tub deck.

Recommendation
Contact a qualified professional.



filtered water tap not connected to sink



loose and leaking at base



tub spouts all stuck in shower position



loose handle with leak from cartridge



faucet not installed



leak under faucet not fully installed



cartridge seized



tub spouts are stuck in shower mode



reduced flow and inoperable drain



leak at base of faucet

7.8.2 Fixtures

LOOSE TUB OVERFLOW COVERS

All of the overflow tub gaskets are loose and subject to leakage. Overflow cover screws serve to both secure the cover plate and compress the overflow gasket. A loose overflow cover plate is indicative of an improperly sealed gasket. Poor gasket seals can allow water to leak from the overflow system into the walls and ceilings.

Recommendation

Contact a qualified professional.



Recommendation

7.8.3 Fixtures

MISSING SEALANT

Any gaps between fixtures and adjacent surfaces are to be sealed with approved caulking or silicone to prevent moisture intrusion.

Recommendation

Contact a qualified professional.



Recommendation



shower leaking at enclosure

7.8.4 Fixtures



Recommendation

PHYSICAL DAMAGE

Physical damage to fixtures was observed. While some damages may only be cosmetic, others can lead to further damage or improper function of the fixture. We recommend all physical damage be corrected or replaced.

Recommendation

Contact a qualified professional.



7.8.5 Fixtures



Recommendation

TUB DRAIN MISSING/NOT FUNCTIONING

All tub drains are missing or not operating and require repair/replacement.

Recommendation

Contact a qualified plumbing contractor.



example of missing tub drain

7.8.6 Fixtures



Recommendation

TOILET DAMAGE

The toilet interiors are damaged and require replacement.

Recommendation

Contact a qualified professional.



example of toilet bowl conditions

8: ELECTRICAL

Information

Service Entrance Conductors: Electrical Service Conductors Below Ground, 220 Volts	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Main Panel Location Right	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Capacity 200 AMP
Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Manufacturer Cutler Hammer	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Panel Type Circuit Breaker	Main & Subpanels, Service & Grounding, Main Overcurrent Device: Service Panel Photograph A photograph of the service panel has been provided for your convenience.



Branch Wiring Circuits, Breakers & Fuses: Branch Wire 15 and 20 AMP Copper	Branch Wiring Circuits, Breakers & Fuses: Wiring Method Conduit, Romex
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Deficiencies

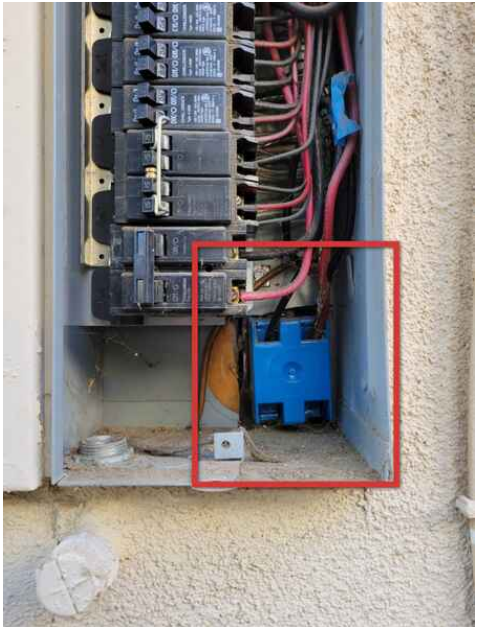
8.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

Safety Hazard

PANEL DAMAGED

A large hole has been cut into the panel to accept a plastic outlet box. This is a safety hazard, and we recommend replacing the panel as soon as possible.

Recommendation
Contact a qualified electrical contractor.



the arc rating of this panel has been nullified by an unapproved alteration

8.3.1 Branch Wiring Circuits, Breakers & Fuses

IMPROPER WIRING

 Safety Hazard

Wiring was observed to not be installed per building standards. See photos for comments.

Recommendation
Contact a qualified electrical contractor.



junction boxes open to weather



the exterior conduits are not installed with weatherproof fittings as required



this box is not rated for a 240-volt outlet.



the exterior conduits are not installed with weatherproof fittings as required



extension cord running between walls



non-weather resistant cover plates



non-weather resistant cover plates

8.4.1 Lighting Fixtures, Switches & Receptacles



Recommendation

FIXTURE MISSING

The wall fixture has been removed, and the wired switch still exists. We recommend a licensed electrician inspect and terminate wires to safety standards.

Recommendation

Contact a qualified professional.



8.4.2 Lighting Fixtures, Switches & Receptacles

PHYSICAL DAMAGE

Some of the cover plates, switches, or outlets have minor damage.

Recommendation

Contact a qualified professional.



8.6.1 Smoke Detectors

END OF EXPECTED LIFE

Smoke detectors have a maximum life span of 10 years. The plastic is designed in a manner as to turn yellow when life expectancy is reached. New smoke detectors are required in most areas.

Recommendation

Contact a qualified professional.



9: FIREPLACE

Information

General: Type
Wood with gas log lighter

Deficiencies

9.2.1 Vents, Flues & Chimneys

 Recommendation

FURTHER INSPECTIONS REQUIRED

We recommend getting a separate fireplace inspection. We did note that the chimney is leaking water into the attic and the rain cap assembly needs improvement, this should only be performed by a licensed chimney contractor.

Recommendation
Contact a qualified chimney contractor.



combustible material touching chimney pipe



water trail



water pooling area



drip evidence from chimney

10: ATTIC, INSULATION & VENTILATION

Information

General: Dryer Power Source Gas	General: Dryer Vent Metal (Flex)	Attic Insulation: Insulation Type Fiberglass
Ventilation: Ventilation Type Dormer Vents	Exhaust Systems: Exhaust Fans Fan with Light	

Deficiencies

10.2.1 Attic Insulation

DISHEVELED INSULATION

 Recommendation

One or more areas of insulation were noted to be displaced. Ceiling insulation is the most effective insulation in a house system. Insulation should be repositioned to restore insulation value of ceiling.

Recommendation
Contact a qualified professional.



areas around all added recessed lights need improvement

10.4.1 Exhaust Systems

BATHROOM EXHAUST FANS DIRTY

 Recommendation

Exhaust fans are covered in nicotine and lint and require replacement.

Recommendation
Contact a qualified professional.



light not operating

11: DOORS, WINDOWS & INTERIOR

Information

Windows: Window Manufacturer Unknown	Windows: Window Type Single-hung, Sliders	Floors: Floor Coverings Carpet, Tile
Walls: Wall Material Drywall	Ceilings: Ceiling Material Drywall	Countertops & Cabinets: Cabinetry Wood
Countertops & Cabinets: Countertop Material Granite		
Windows: Window Glazing dual		
Windows are comprised of one or more panes of glass. Single glazed windows offer the least energy efficiency and are no longer code compliant for new construction. Consider replacing single glazed windows to dual or triple glazed windows to conserve energy and related costs		

Deficiencies

11.3.1 Windows

DAMAGED

 Recommendation

Several of the windows are damaged, not operating properly, or destroyed from nicotine. Moisture intrusion was observed on some of the windows as well. We recommend obtaining an evaluation and estimate on all of the windows from a licensed window contractor so that you can understand the cost of repairs.

Recommendation

Contact a qualified window repair/installation contractor.



cracked glass



nicotine damage



damaged screen and water damage



nicotine damage



cracked frame



several of the single hung windows have this damage



failed seal



moisture intrusion from this area



moisture intrusion



single hung windows are failing in this location throughout



active moisture



moisture/mold damage



window not operating correctly



nicotine damage



moisture intrusion



seal failure

11.3.2 Windows

DAMAGED SCREENS

Maintenance Item

One or more screens were noted to be torn, ripped, or otherwise damaged.

Recommendation

Contact a qualified professional.

11.4.1 Floors

MODERATE WEAR

Recommendation

Floors in the home exhibited moderate surface wear along major paths of travel. Recommend a qualified flooring contractor evaluate for possible re-finish.

11.5.1 Walls

HOLES

Recommendation

There are some holes in the drywall that require repair.

Recommendation

Contact a qualified professional.



11.8.1 Countertops & Cabinets

REPLACEMENT REQUIRED

Recommendation

The kitchen is damaged to the extent that the cabinets and countertops need to be replaced. The thermofoil doors have failed. Many of the hinges are loose or stripped. The countertop is cracked and requires replacement. The appliances are in a poor or improper state of condition. The number of repairs required will equal or exceed full replacement in most cases.



oven not installed to standards



countertop is cracked and previous repair attempt has failed



there is a complete thermofoil failure throughout



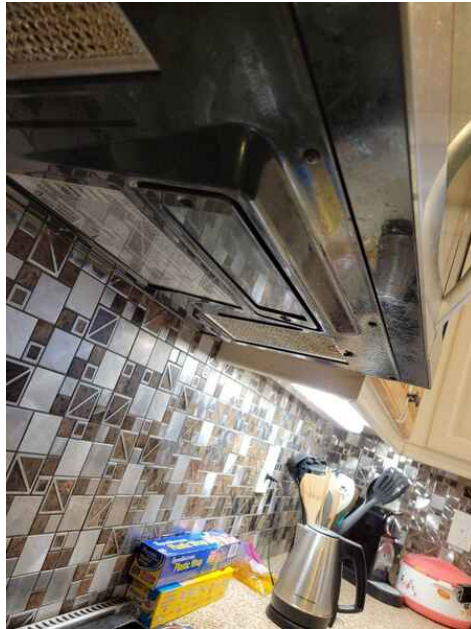
heat damage from improperly vented cooktop



cooktop has not been maintained



burner ignitor failure



light inoperable, and exhaust grossly undersized



a minimum of a 36-inch-wide hood is required for this cooktop



11.10.1 garage

GARAGE DOOR SAFETY REVERSE IMPROPER**Safety Hazard**

A garage door opener is equipped with a safety reverse for safety. This garage door safety reverse sensors are higher than safety standards permit and should be lowered no further than 6 inches above the ground.

Recommendation

Contact a qualified professional.



11.10.2 garage

MISSING/DAMAGED DOOR SEAL

There is water damage in front of the garage doors.

Recommendation

Contact a qualified professional.

 Recommendation





12: HARMFUL SUBSTANCE ALERT

Deficiencies

12.1.1 Environmental Hazard

 Safety Hazard

EXTENSIVE NICOTINE/TAR DAMAGE

This home has extensive nicotine/tar damage from smoking. The levels observed are concerning and considered a health hazard. Not only can visible areas be affected, but areas such as HVAC ducting, flooring, trim, cabinetry, natural stone, etc. can also be affected. Nicotine damage needs to be professionally remediated, and we strongly recommend an environmental contractor evaluate and develop a scope of work to remediate this issue. While some areas have been photographed, many more exist and will require a specific inspection to identify and document all areas. Due to the severity, we considered this a health and safety item and recommend immediate remediation for the health of the occupants.

Recommendation

Contact a qualified environmental contractor



nicotine has affected the exterior in this area



nicotine has affected the exterior in this area



the stone tile may have absorbed an amount that may be uncleanable



dripping from ceiling and running down walls exhaust fans are beyond repair/cleaning



ceilings and walls coated with nicotine damage



running down sides of tubs



example of walls coated with nicotine



silicone and tub yellowed with coating of nicotine/tar



extensive coating of nicotine/tar

12.2.1 Microbial Growth

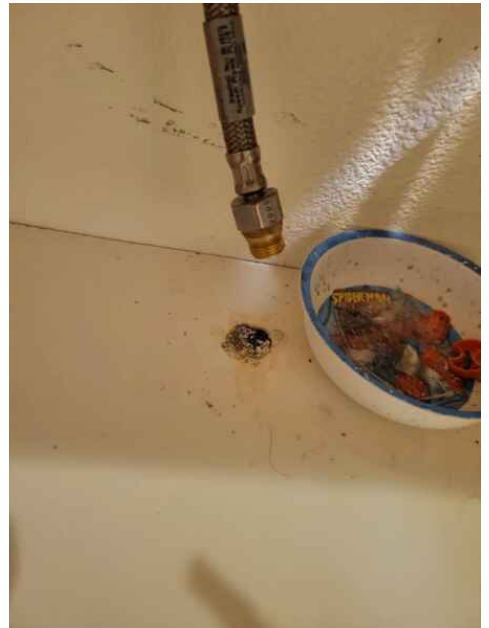
MICROBIAL GROWTH PRESENT



A microbial growth was observed at the time of your inspection. While not all such substances are harmful, the exact substance and harmful nature can only be determined by microscopic examination through a certified testing agent or facility. It is recommended to have this substance further evaluated by a professional remediator.

Recommendation

Contact a qualified professional.





possibly typical lumber mold but we recommend testing this area in the attic when other areas are tested



leakage from chimney



STANDARDS OF PRACTICE
