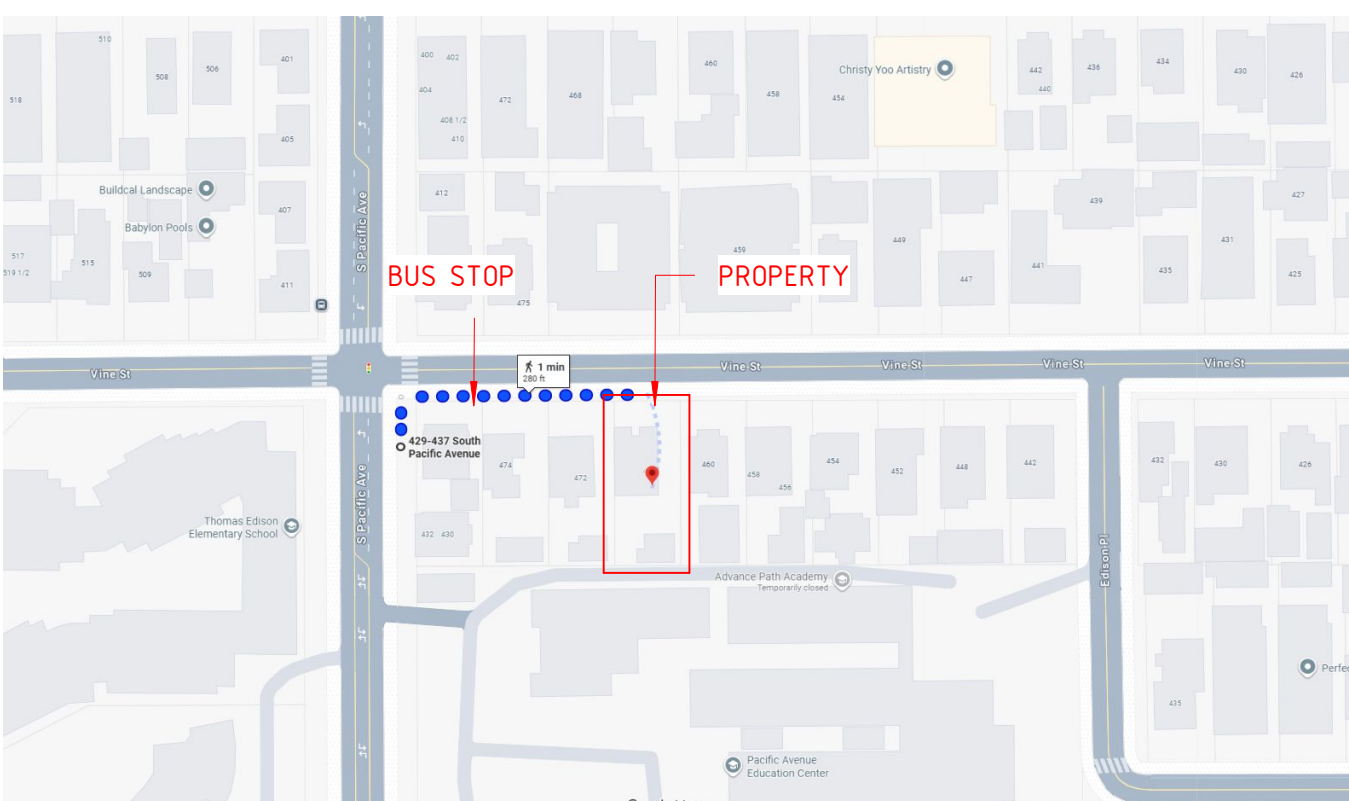


PROJECT DESCRIPTION	
SCOPE OF WORK	ADDITION OF ADU1 & ADU2 : 800SF/500SF
PROJECT ADDRESS	466 VINE ST, GLENDALE, CA 91204, USA
PROPERTY DESCRIPTION	USE: RESIDENTIAL CONSTRUCTION TYPE: V-B NUMBER OF STORIES: ONE MAX HEIGHT: 16'-4" FIRE SPRINKLERS: NON
YEAR SFD BUILT:	1922
LOT AREA	6250 SF
CODES	2023 GLENDALE BUILDING & CODE (GBC) AND GLENDALE BUILDING & SAFETY REACH CODE 2022 CALIFORNIA BUILDING CODE (CBC) 2022 CALIFORNIA RESIDENTIAL CODE (CRC) 2022 CALIFORNIA PLUMBING CODE (CPC) 2022 CALIFORNIA MECHANICAL CODE (CMC) 2022 CALIFORNIA ELECTRICAL CODE (CEC) 2022 CALIFORNIA FIRE CODE (CFC) 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING CODE (CGBS)
LEGAL DESCRIPTION	AIN/PARCEL ID: 5696-009-018 ZONE NAME: R 2250 FIRE ZONE: NO TRACT: 1067 LOT: 17
AREA SUMMARY	LOT AREA: 6250 SF RFA ALLOWABLE: 40% = 2500 SF - (E) SFR: 1392 SF - (N) ADU1: 800 SF (EXEMPT) - (N) ADU2: 500 SF TOTAL EXISTING: 1892 SF TOTAL PROPOSED : 1892 SF < 2580 SF

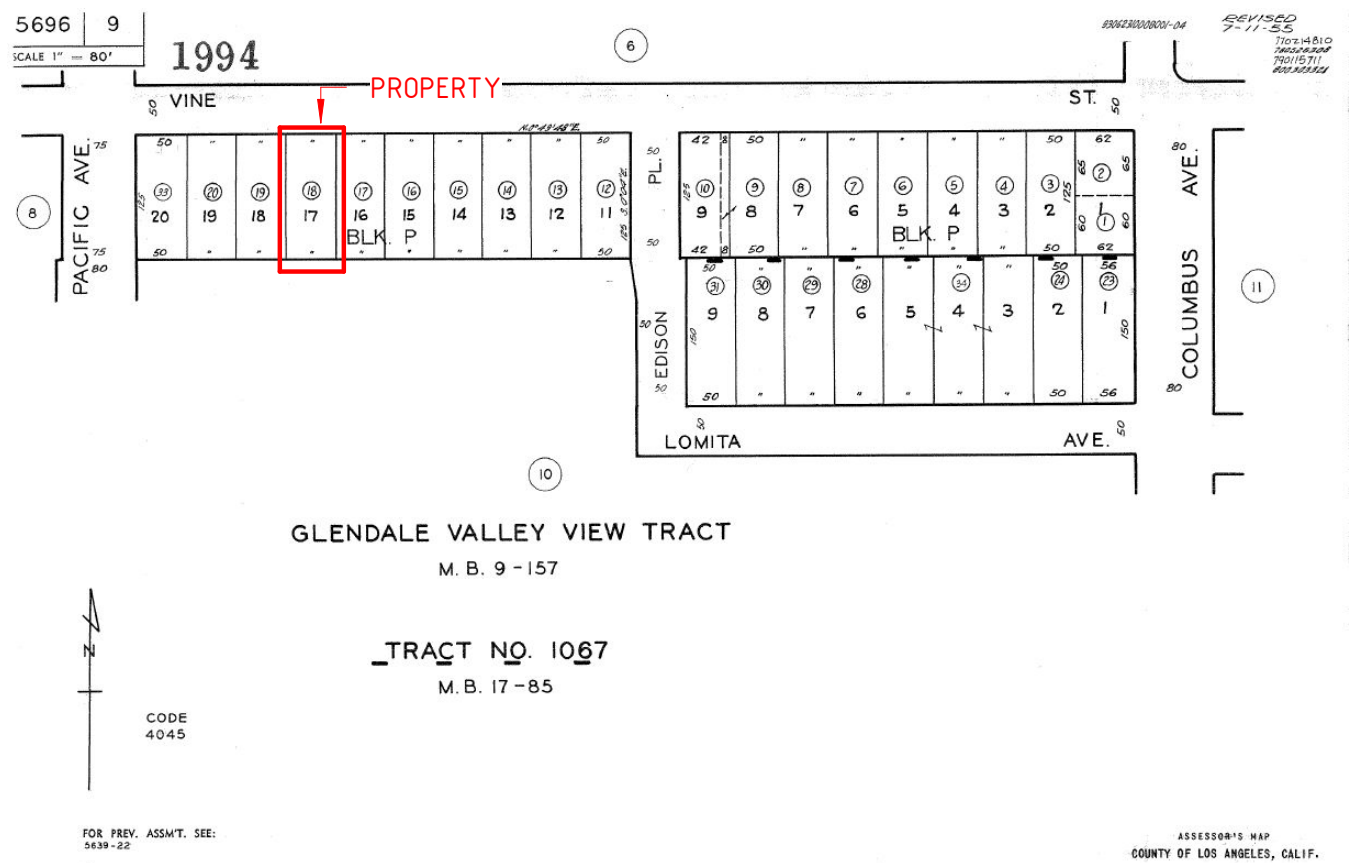
PROJECT DIRECTORY

OWNER	ARCHITECTURAL DESIGNER
ADDRESS: 466 VINE ST, GLENDALE, CA 91204, USA	BERG DEVELOPMENT ADDRESS: 2316 W VICTORY BLVD, BURBANK, CA 91506
CONTACT:	PHONE: +1 (717) 944-7999
	CONTACT: TARON SARGSYAN EMAIL: www.bergdevelop.com
STRUCTURAL ENGINEER	TITLE 24 ENGINEER
MLB CONSULTING AND ENGINEERING	PASSIVE HOUSE
ADDRESS: 7918 FOOTHILL BLVD. SUNLAND, CA 91040	ADDRESS: 1151 RAYMOND AVE, #103 GLENDALE, CA 91201
PHONE: (818) 521-6342	PHONE: (747) 272-7346
CONTACT: GEGAM BURNAZYAN	CONTACT: MOVSES HAMBARDZUMYAN
EMAIL: gegam@mlbengineering.org	RCN: 13522

VICINITY MAP



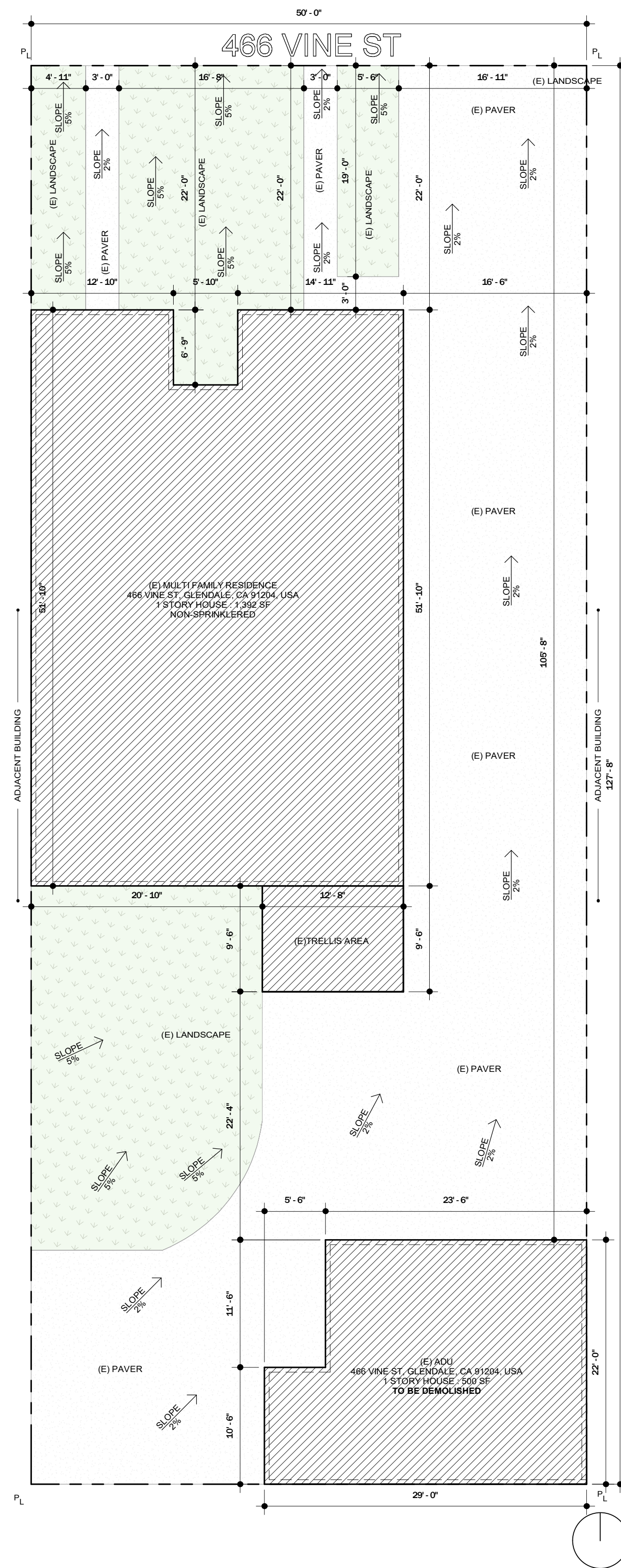
ASSESSOR MAP



SHEET LIST	
SHEET NUMBER	SHEET NAME
A1	SITE PLAN EXISTING
A2	PROPOSED FLOOR PLAN
A3	PROPOSED ROOF PLAN
A4	PROPOSED ELEVATIONS
A5	PROPOSED SECTIONS
A6	GRN

GENERAL NOTES:

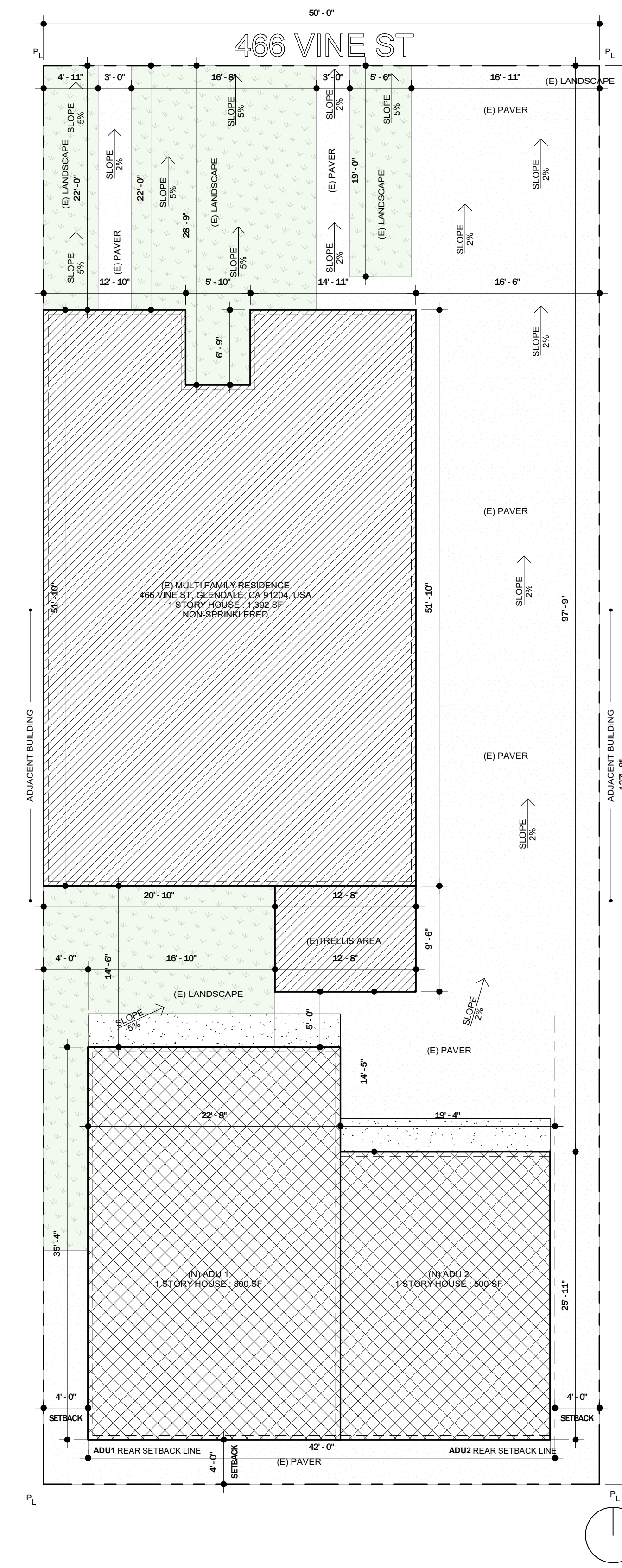
- ALL CONSTRUCTION SHALL COMPLY WITH THE 2022 EDITION OF THE CRC, OR CBC, CMC, CPC, AND CEC AS ADOPTED AND AMENDED BY THE STATE OF CALIFORNIA IN TITLE 24 CCR AND THE CITY OF BURBANK LOCAL MENDMENTS.
- SEPARATE PERMITS MAY BE REQUIRED FOR MECHANICAL, ELECTRICAL, PLUMBING, SHORING, GRADING, AND DEMOLITION
- ALL PROPERTY LINES, EASEMENTS, AND EXISTING BUILDINGS HAVE BEEN INDICATED ON THIS SITE PLAN.
- A SECURITY FENCE SHALL BE PROVIDED AROUND THE CONSTRUCTION AREA THAT SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING. (BMC 9-1-2-3302.4)
- WATER SHALL BE PROVIDED ON THE SITE AND USED TO CONTROL DUST.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED ON SITE. (BMC 9-1-2-3305.1)
- THE FINISH GRADE SHALL SLOPE A MIN. OF 5%, OR 6", TO POINT 10 FEET FROM BUILDING FOUNDATION, OR TO AN APPROVED ALTERNATE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES SHALL SLOPE A MINIMUM OF 2%. (CBC 1804.4, CRC R401.3)
- THE TOP OF THE EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER A MINIMUM OF 12" PLUS 2%. (CBC 1808.7.4, CRC R403.1.7.3)



1 SITE PLAN - EXISTING
SCALE: 1/8" = 1'-0"

SITE LEGEND

	(E) STRUCTURE
	(N) STRUCTURE
	DEMOLITION
	(E) PAVER
	CONCRETE
	GRASS/TURF
	(E) PROPERTY LINE



2 SITE PLAN - PROPOSED
SCALE: 1/8" = 1'-0"



2316 W Victory Blvd,
Burbank, CA 91506

PROJ
ECT:
466 Vine St, Glendale, CA
91204, USA

TOWN, STATE
DA 05/01/24
PROJEC 00001
T NO
REVIS DA
ION TE

NOT
ES:

**SITE
PLAN
EXISTING**

SCALE: As
INDICATED

A1

DRAWN BY: KD

SAFETY GLAZING (TEMPERED GLAZING) IS REQUIRED FOR THE FOLLOWING:

1. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BI-FOLD DOORS
2. WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR. (CRC R308.4.2 ITEM 1)
3. WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR. (CRC R308.4.2 ITEM 2)
4. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WITH AN EXPOSED AREA IN THE INDIVIDUAL PANE LARGER THAN 9 SQ. FT., THE BOTTOM EDGE OF THE GLAZING IS 18 IN. ABOVE THE FLOOR, THE TOP EDGE OF THE GLAZING IS MORE THAN 36 IN. ABOVE THE FLOOR, AND HAS ONE OR MORE WALKING SURFACES WITHIN 36 IN. OF THE GLAZING. (CRC R308.4.3, CBC 2406.4.3)
5. GLAZING LESS THAN 60" ABOVE A SHOWER OR TUB FLOOR. (CRC R308.4.5, CBC 2406.5)
6. GLAZING WHERE THE BOTTOM EDGE IS LESS THAN 36" ABOVE THE STAIRWAYS, LANDINGS, AND RAMP. (CRC R308.4.6, CBC 2406.4.6)
7. GLAZING ADJACENT TO THE STAIRWAY BOTTOM LANDING WHERE THE GLAZING IS LESS THAN 36" ABOVE THE LANDING AND WITHIN 60" HORIZONTAL ARC LESS THAN 180 DEGREES FROM THE BOTTOM TREAD NOSING SHALL BE SAFETY GLAZING. (CRC R308.4.7, CBC 2406.4.7)
8. GLAZING IN GUARDS AND RAILINGS. (CRC R308.4.4, CBC 2406.4.4)

NOTE:
THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

NOTE:
BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 SF WHEN ABOVE THE GRADE FLOOR AND 5 SF ON THE GRADE FLOOR, A MINIMUM NET HEIGHT OF 24", A MINIMUM NET WIDTH OF 20", AND A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.

SMOKE ALARM REQUIREMENTS:

1. AN APPROVED SMOKE ALARM SHALL BE INSTALLED FOR NEW CONSTRUCTION AND ALTERATION, REPAIR OR ADDITIONS REQUIRING PERMIT EXCEEDING \$1000. A FLEXIBLE DUCT CANNOT EXCEED 6 FT. AND TAKING PLACE OR IN BUILDING UNDERGOING ALTERATION OR REPAIR THAT DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT WHICH COULD PROVIDE ACCESS FOR WIRING.
2. SMOKE ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT.
3. SMOKE DETECTORS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP.

CARBON MONOXIDE ALARM REQUIREMENTS:

1. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED FOR EXISTING BUILDINGS AND NEW CONSTRUCTION WHEN THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE, FIREPLACE, AND/OR AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING.
2. CO ALARMS SHALL BE "HARD WIRED" AND SHALL BE EQUIPPED WITH BATTERY BACKUP.
3. CO ALARMS SHALL BE LISTED FOR COMPLIANCE WITH UL 2034, UL 217, UL 2075, AND MAINTAINED PER NFPA 720.
4. CO ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENT.
5. CO ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN THE INDIVIDUAL DWELLING UNIT.
6. IN EXISTING DWELLING UNIT, A CO ALARM IS PERMITTED TO BE BATTERY OPERATED WHERE REPAIR OR ALTERATION DO NOT RESULT IN THE REMOVAL OF WALL OR CEILING FINISHES.

NOTE:
THE LANDINGS OR FINISHED FLOORS SHALL NOT BE MORE THAN 1/4" LOWER THAN THE TOP OF THRESHOLD EXCEPT THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 7/8" BELOW THE TOP OF THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.

LEGEND

- NEW WALL
- EXISTING WALL
- DEMO WALL
- 1 HOUR FIRE RATED WALL
- WINDOW TAG
- DOOR TAG
- "ENERGY STAR" COMPLAINT EXHAUST FAN WITH HUMIDISTAT 50 CFM MINIMUM
- SMOKE ALARM SHALL RECEIVED THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP

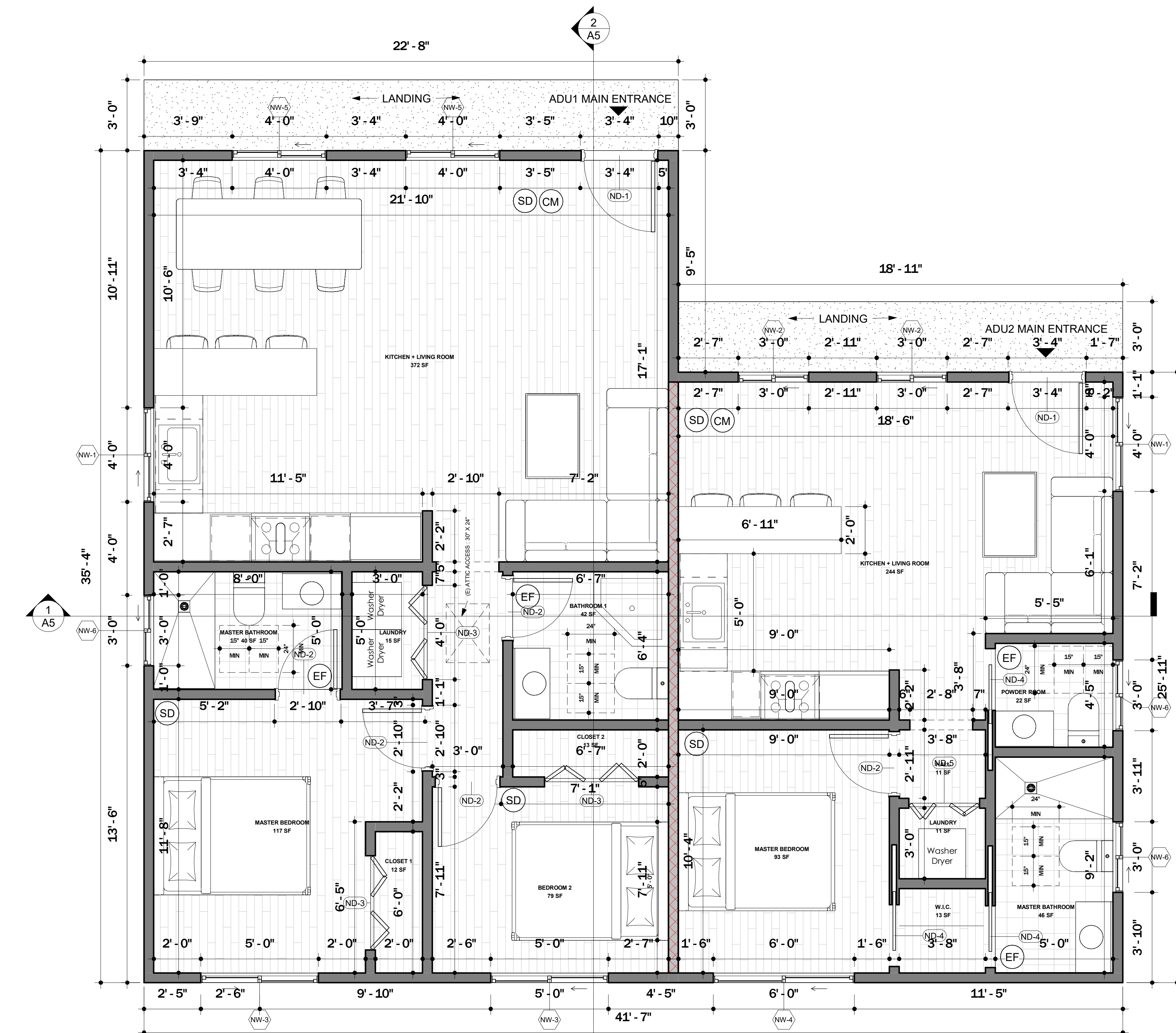
NOTE:
Shower floors and walls above bathtubs with installed shower head shall be finished with a nonabsorbent surface to a height not less than 6 ft. above the floor.

NOTE:
DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDING OR FLOORS NOT MORE THAN 7/8" BELOW THE TOP OF THRESHOLD EXCEPT 2 OR FEWER RISERS STAIRWAY LOCATED ON THE EXTERIOR SIDE OF DOOR AND THE DOOR DOES NOT SWING OVER THE STAIRWAY

A MINIMUM 4" MOISTURE EXHAUST DUCT MUST BE PROVIDED (CMC 504.4.2)

DRYER EXHAUST CANNOT EXCEED 14 FT. WITH A MAXIMUM OF TWO 90 DEG. ELBOWS (CMC 504.4.2.1)

FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL



1 FLOOR 1 PLAN - PROPOSED
SCALE: 3/8" = 1'-0"

DOOR MARK	QUANTITY	WIDTH	HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM STREET Y/N	EXISTING OPERATION	NEW OPERATION	FRAME TYPE	EXISTING GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	EXISTING EDGE DETAIL	NEW EDGE DETAIL	ENERGY EFFICIENT Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE Y/N
ND-1	2	3' - 0"	6' - 8"	--	WOOD	N	--	SWINGING	BLOCK	--	--	Y	--	STUCCO	Y	N/A	N
ND-2	5	2' - 6"	6' - 8"	--	WOOD	N	--	SWINGING	BLOCK	--	--	Y	--	STUCCO	Y	N/A	N
ND-3	3	4' - 0"	6' - 8"	--	WOOD	N	--	BI-FOLD	BLOCK	--	--	Y	--	STUCCO	Y	N/A	N
ND-4	3	2' - 6"	6' - 8"	--	WOOD	N	--	POCKET	BLOCK	--	--	Y	--	STUCCO	Y	N/A	N
ND-5	1	3' - 6"	6' - 8"	--	WOOD	N	--	BI-FOLD	BLOCK	--	--	Y	--	STUCCO	Y	N/A	N

DOOR SCHEDULE
1/4" = 1'-0"



2318 W Victory Blvd, Burbank, CA 91506

PROJ ECT: 466 Vine St, Glendale, CA 91204, USA

TOWN, STATE

DA	05/01/24
PROJEC	00001
T NO	
REVIS	
ION	DA
	TE

NOT ES:

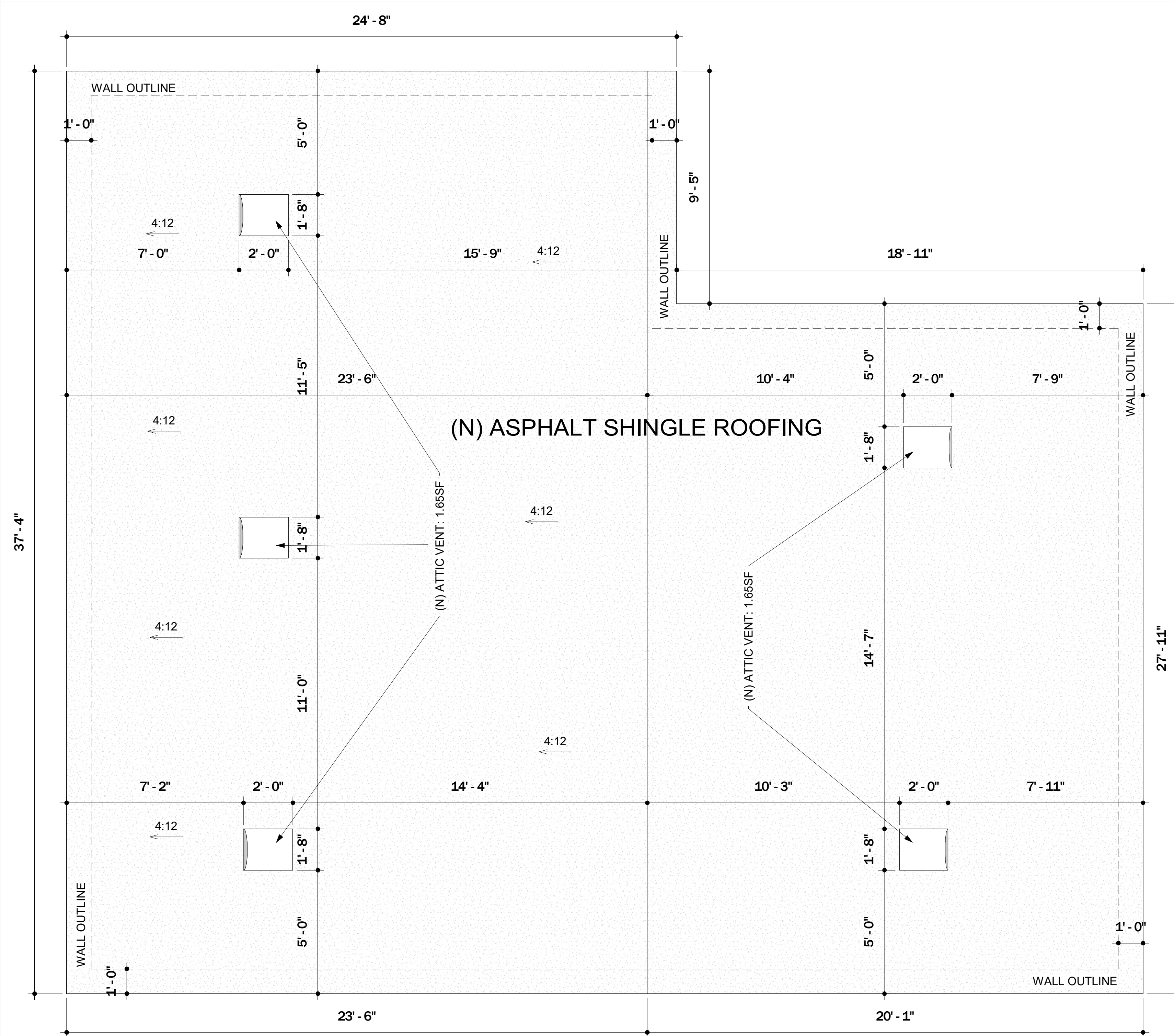


PROPOSED FLOOR PLAN

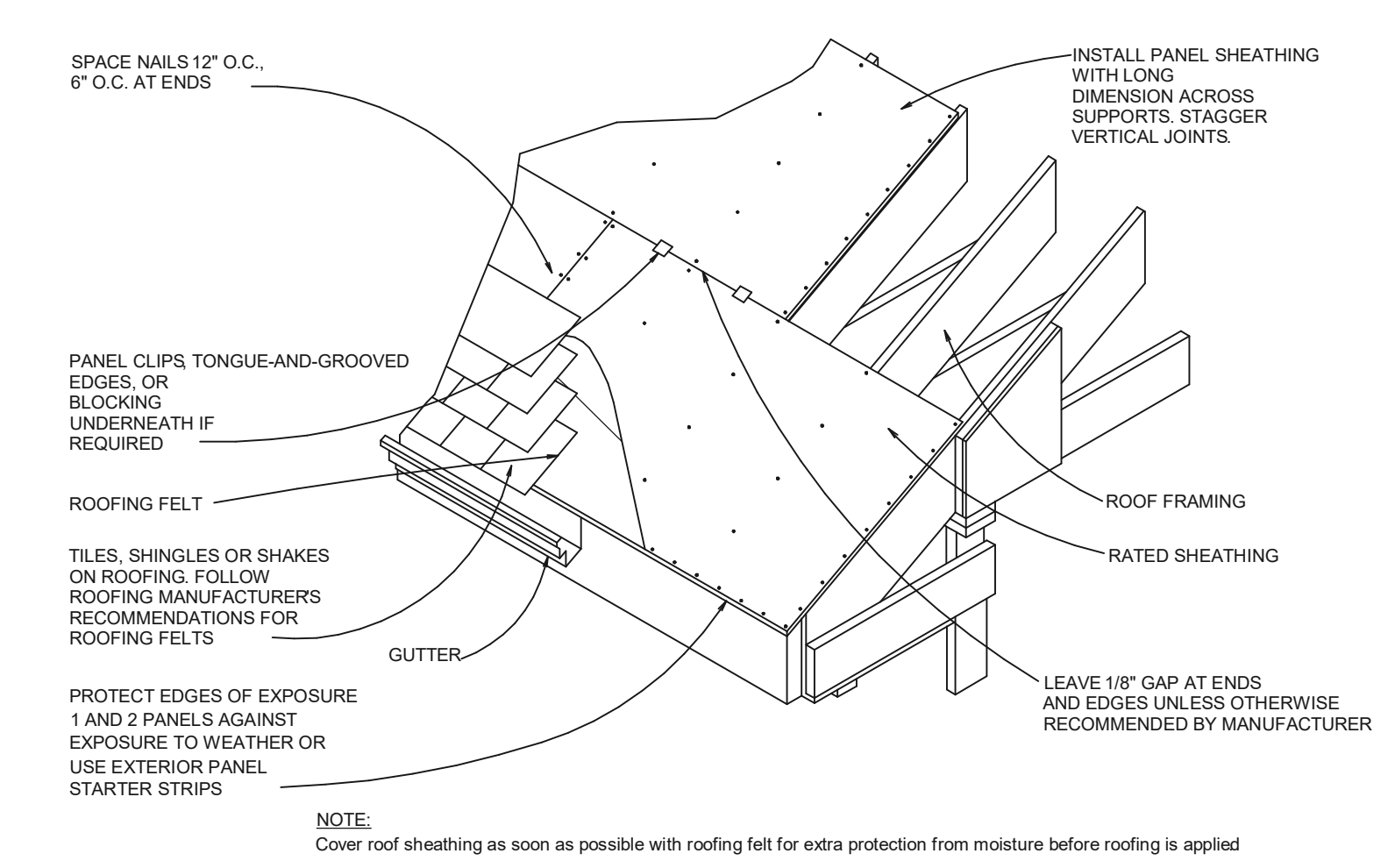
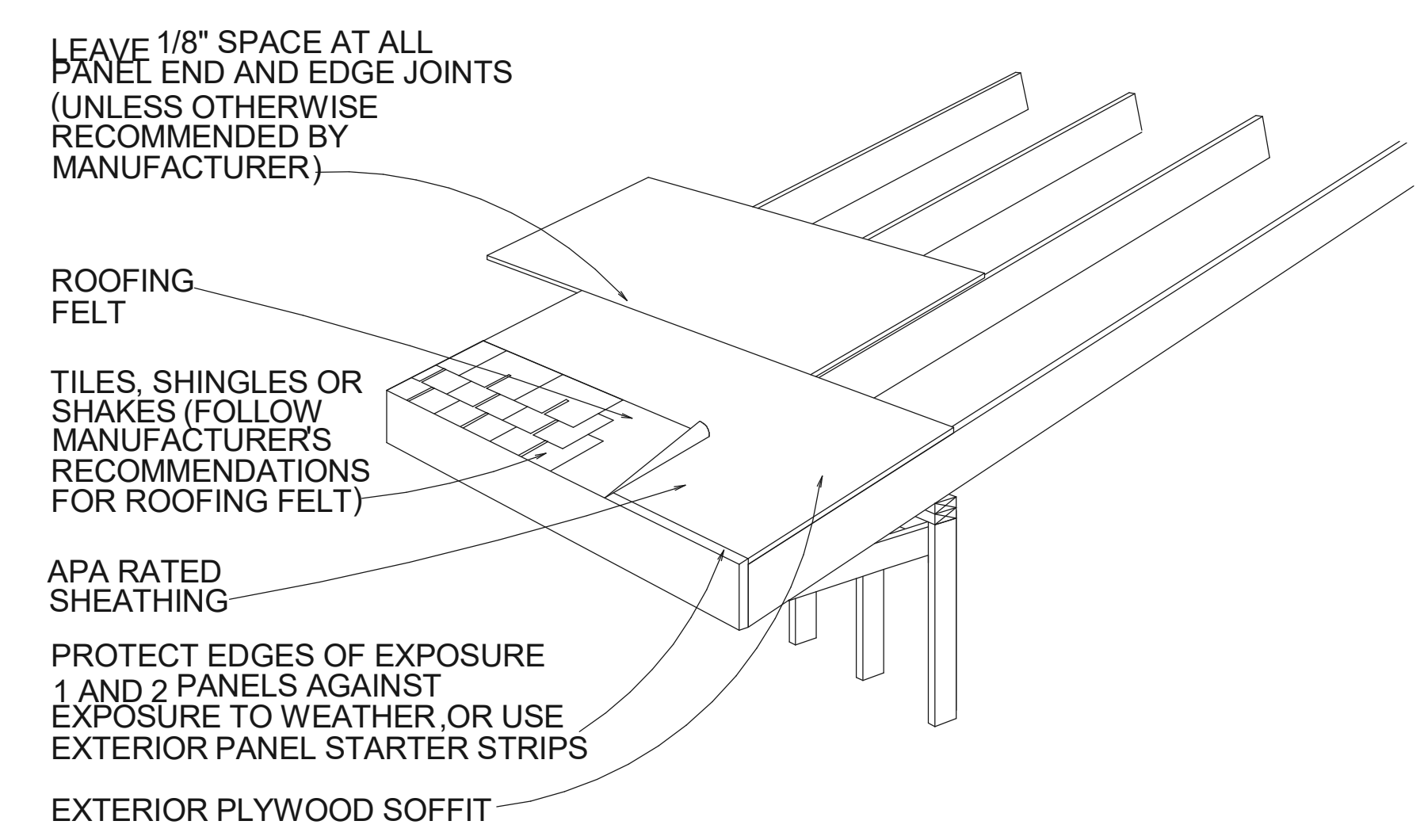
SCALE: As Indicated



A2

DRAWN BY: KD



1 ROOF PLAN - PROPOSED
 SCALE: 3/8" = 1'-0"



ATTIC VENT CALCULATION LEGEND FOR ADU 1	
ATTIC CALCULATION	ATTIC VENT CALCULATION ATTIC AREA - 754 SF ATTIC VENT REQUIRED - 754/150 ~ 5.0 SQ FT ATTIC VENT AREA PROVIDED 5.0 SF / 1.65 SF = 3.0 (3 VENTS)
	PROVIDED 1.65SF ROOF VENT ATTIC VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. (APPROXIMATELY 10 SQ.IN. FOR EACH 10 SQ.FT. OF ATTIC AREA) IS REQUIRED
ATTIC VENT CALCULATION LEGEND FOR SB9	
ATTIC CALCULATION	ATTIC VENT CALCULATION ATTIC AREA - 463 SF ATTIC VENT REQUIRED - 463/150 ~ 3.0 SQ FT ATTIC VENT AREA PROVIDED 3.0 SF / 1.65 SF = 1.8 (2 VENTS)
	PROVIDED 1.65SF ROOF VENT ATTIC VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED. (APPROXIMATELY 10 SQ.IN. FOR EACH 10 SQ.FT. OF ATTIC AREA) IS REQUIRED

- NOTES:**
- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
 - An approved Seismic Gas Shut Off Valve or Excess Flow Shut Off Valve will be installed on the fuel gas line on the down-stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170,158 and 180,670) Separate plumbing permit is required.
 - Provide ultra-flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
 - Provide (70) (72) inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. (1210.2.3, 2406.4.5, R307.2, R308.4)
 - Water heater must be strapped to wall. (507.3 & LAPC)
 - Sprinkler system must be approved by the Mechanical Division prior to installation.
 - A fire alarm (visual and audible) system is required. The alarm system must be approved by the Fire Department and Electrical Plan Check prior to installation. (LAMC 57.122)
 - Carbon monoxide alarm is required. (915.4, R315)

WINDOW MARK	QUANTITY	EXISTING WIDTH	EXISTING HEIGHT	EXISTING MATERIAL	NEW MATERIAL	VISIBLE FROM STREET Y/N	EXISTING OPERATION	NEW OPERATION	NEW FRAME TYPE	EXISTING GRID (SDL) Y/N	KEEP EXISTING SILL & FRAME Y/N	BUILD NEW SILL & FRAME Y/N	SILL HEIGHT	EXISTING EDGE DETAIL	NEW EDGE DETAIL	ENERGY EFFICIENT Y/N	TEMPERED GLASS Y/N	FIRE HAZARD ZONE Y/N	WINDOW WITHIN 18" OF FLOOR OR 40" OF DOOR
NW-1	2	4'-0"	3'-0"	--	VINYL	N	--	DOUBLE SLIDING	NAIL-ON FIN	--	N	Y	3'-0"	Y	STUCCO	Y	Y	N	N
NW-2	2	3'-0"	4'-0"	--	VINYL	N	--	DOUBLE SLIDING	NAIL-ON FIN	--	N	Y	2'-8"	Y	STUCCO	Y	Y	N	N
NW-3	2	5'-0"	4'-0"	--	VINYL	N	--	DOUBLE SLIDING	NAIL-ON FIN	--	N	Y	2'-8"	Y	STUCCO	Y	Y	N	N
NW-4	1	6'-0"	4'-0"	--	VINYL	N	--	DOUBLE SLIDING	NAIL-ON FIN	--	N	Y	2'-8"	Y	STUCCO	Y	Y	N	N
NW-5	2	4'-0"	4'-0"	--	VINYL	N	--	DOUBLE SLIDING	NAIL-ON FIN	--	N	Y	2'-8"	Y	STUCCO	Y	Y	N	N
NW-6	3	3'-0"	2'-8"	--	VINYL	N	--	DOUBLE SLIDING	NAIL-ON FIN	--	N	Y	3'-4"	Y	STUCCO	Y	Y	N	N

WINDOW SCHEDULE
 1/4" = 1'-0"

LADBS STAMP FRAME

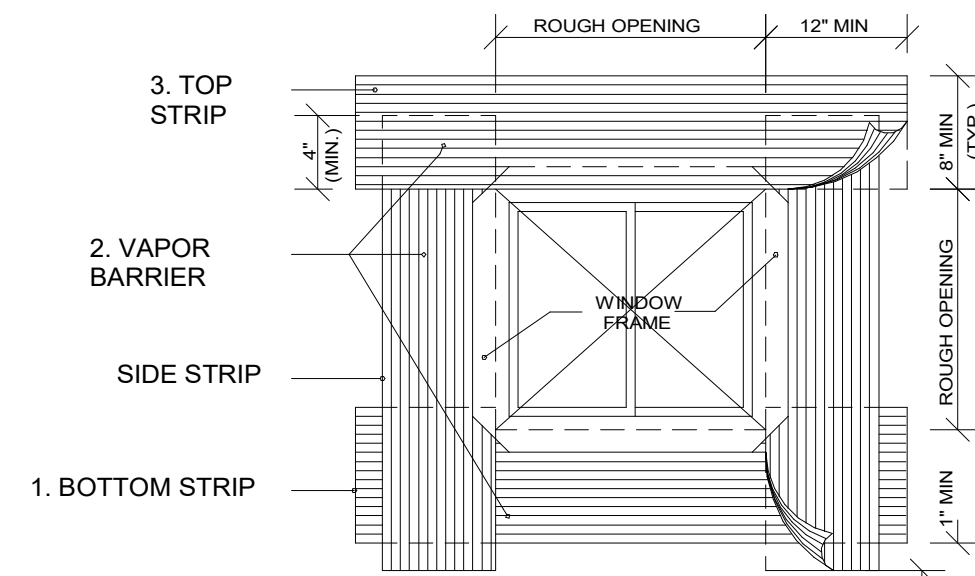
PROPOSED ROOF PLAN

SCALE: As Indicated

A3

DRAWN BY: **KD**

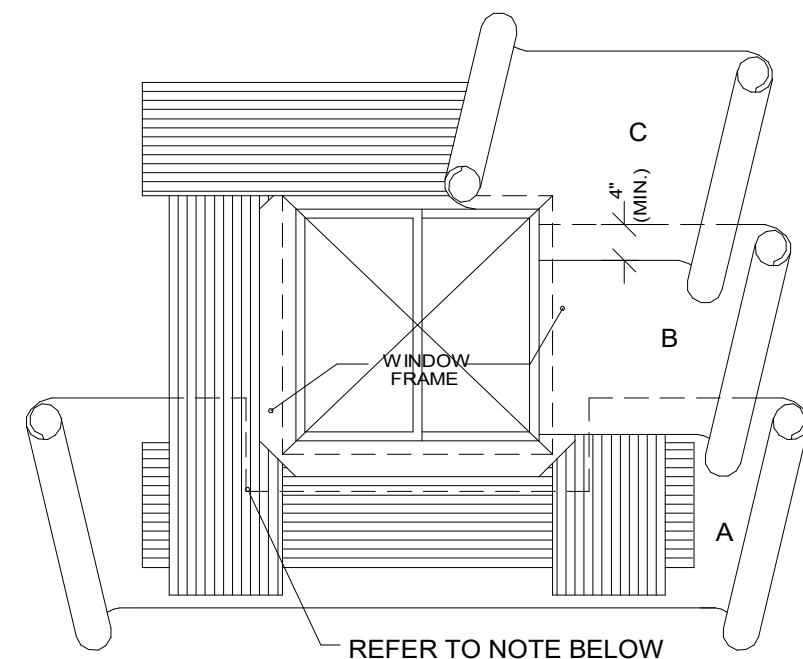
DOOR/ WINDOW FLASHING DETAIL



VAPOR BARRIER INSTALLATION

1. ATTACH SILL STRIP WITH TOP EDGE 3/12" ABOVE THE ROUGH SILL & LAP OVER SILL PLATE - EXTEND BEYOND EDGE OF ROUGH OPENING AT LEAST 8". SECURE ALL SISAL KRAFT OR SIMILAR APPROVED FLASHING MATERIAL WITH GALVANIZED NAILS OR POWER-DRIVEN STAPLES.
2. ATTACH JAMB STRIPS WITH SIDE EDGE EVEN WITH ROUGH-JAMB FRAMING. START STRIP 1" BELOW LOWER EDGE OF SILL STRIP AND EXTEND 4" ABOVE LOWER EDGE OF LINTEL.
3. APPLY CONTINUOUS SEAL TO THE TOP (HEAD) AND SIDES (JAMB) OF WINDOW. INSTALL WINDOW INTO ROUGH OPENING WITH SILL AND JAMB OVER PREVIOUSLY INSTALLED FLASHING. EMBED JAMB FLASHING INTO SEALANT. ATTACH HEAD FLASHING OVER THE WINDOW FRAME.
4. APPLY CONTINUOUS SEAL ALONG THE TOP (HEAD) FRAME. EMBED BOTTOM OF HEAD FLASHING AGAINST SEALANT (FLASHING GOES OVER SEALANT).
5. COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL: LAY BUILDING PAPER UNDER SILL STRIP.

NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL LINE ON EACH SIDE OF THE OPENING (SHOWN AS SHORT DASHED LINES). DO NOT SLICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OVER THE JAMB STRIPS. INSTALL SUCCESSIVE LINES OF BUILDING PAPER (B, C, D, ETC.) OVER JAMB AND HEAD FRAMES, LAPPING EACH COURSE.



BUILDING PAPER INSTALLATION

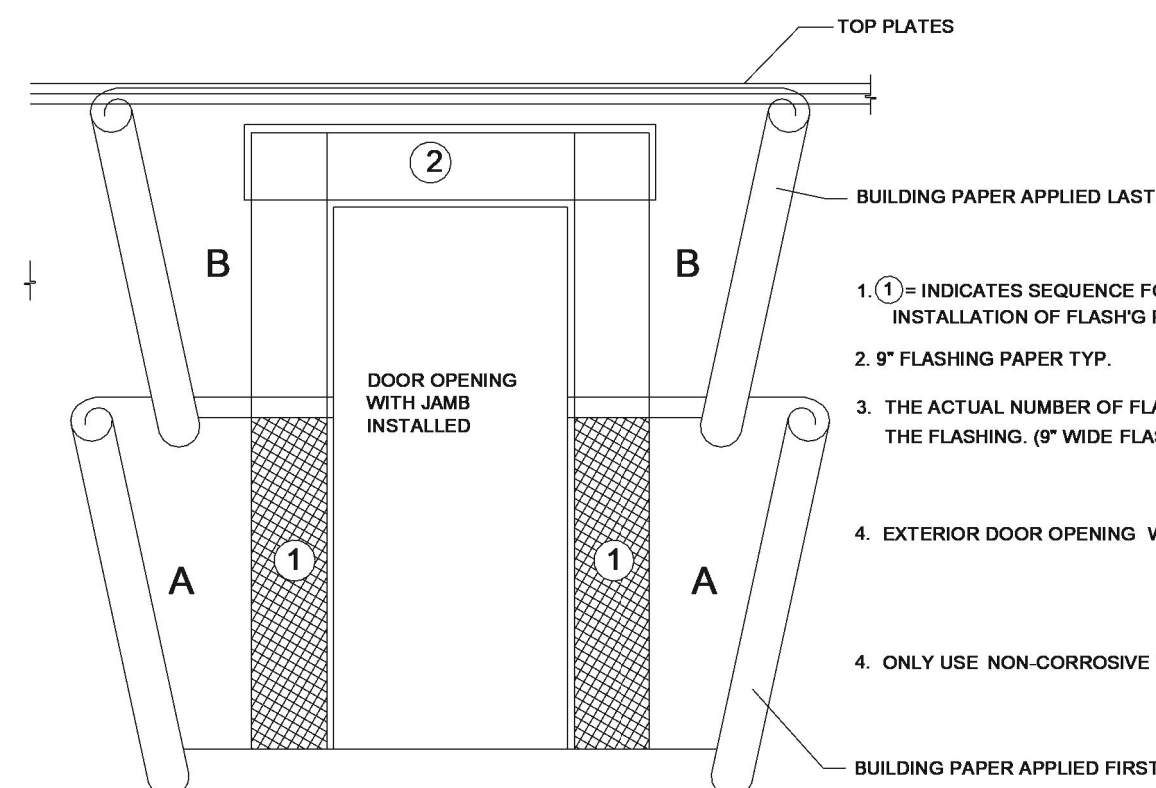
1. WIRE GAUGE, SPACING, AND ATTACHMENT SHALL BE IN ACCORDANCE WITH THE BUILDING NEWS ITEMS 47-1.
2. PERIPHERAL FLASHING, AT ALL EDGES OF WALL OPENINGS, MUST COVER THE WIRE BACKING.
3. NO ATTACHMENT DEVICES NOR THE WIRE BACKING SHALL COVER OR PENETRATE THE FLASHING MATERIAL.

THE HEAD, JAMB, & SILL PROFILES DEPICTED IN THE DETAILS ARE INTENDED AS A GENERIC REPRESENTATION AND SPECIAL ATTENTION MUST BE PAID TO THE ACTUAL MANUFACTURER'S HEAD, JAMB & SILL PROFILES.

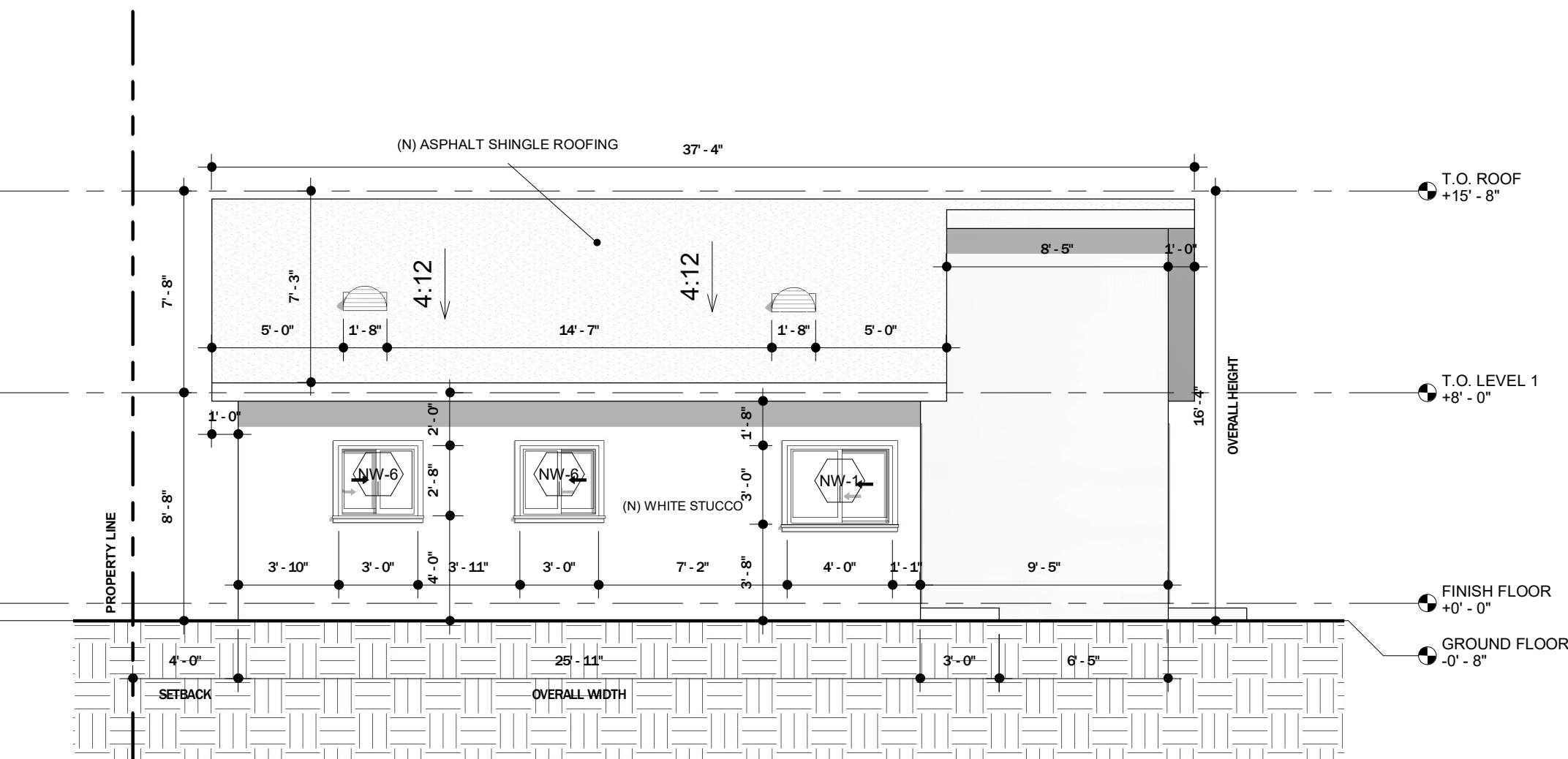
NOTES

1. CORROSION RESISTANT WEEP SCREED SHALL BE PROVIDED BELOW THE STUCCO AT A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
2. WHERE STUCCO / SIDING IS APPLIED OVER PLY SHEATHING, GRADE "D" PAPER UNDER LATH SHALL BE PROVIDED.
3. NO. 26 GALVANIZED SHEET GAGE WEEP SCREED WITH 3-1/2" FLANGE AT STUCCO / SIDING SHALL BE PLACED AT A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS (CBC 2512.1.2)
4. NEW STUCCO FINISH COLOR TO MATCH EXITING COLOR U.N.O.
5. PROVIDE ANTI-GRAFFITI FINISH WHITING THE FIRST 9" MEASURED FROM GRADE AT EXTERIOR WALLS AND DOORS.
6. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORD BY THE OWNER TO COVENANT-AND AGREE WITH THE CITY TO REMOVE ANY GRAFFITI WHITING 7-DAYS OF THE GRAFFITI BEING APPLIED(6306) ESR-2701

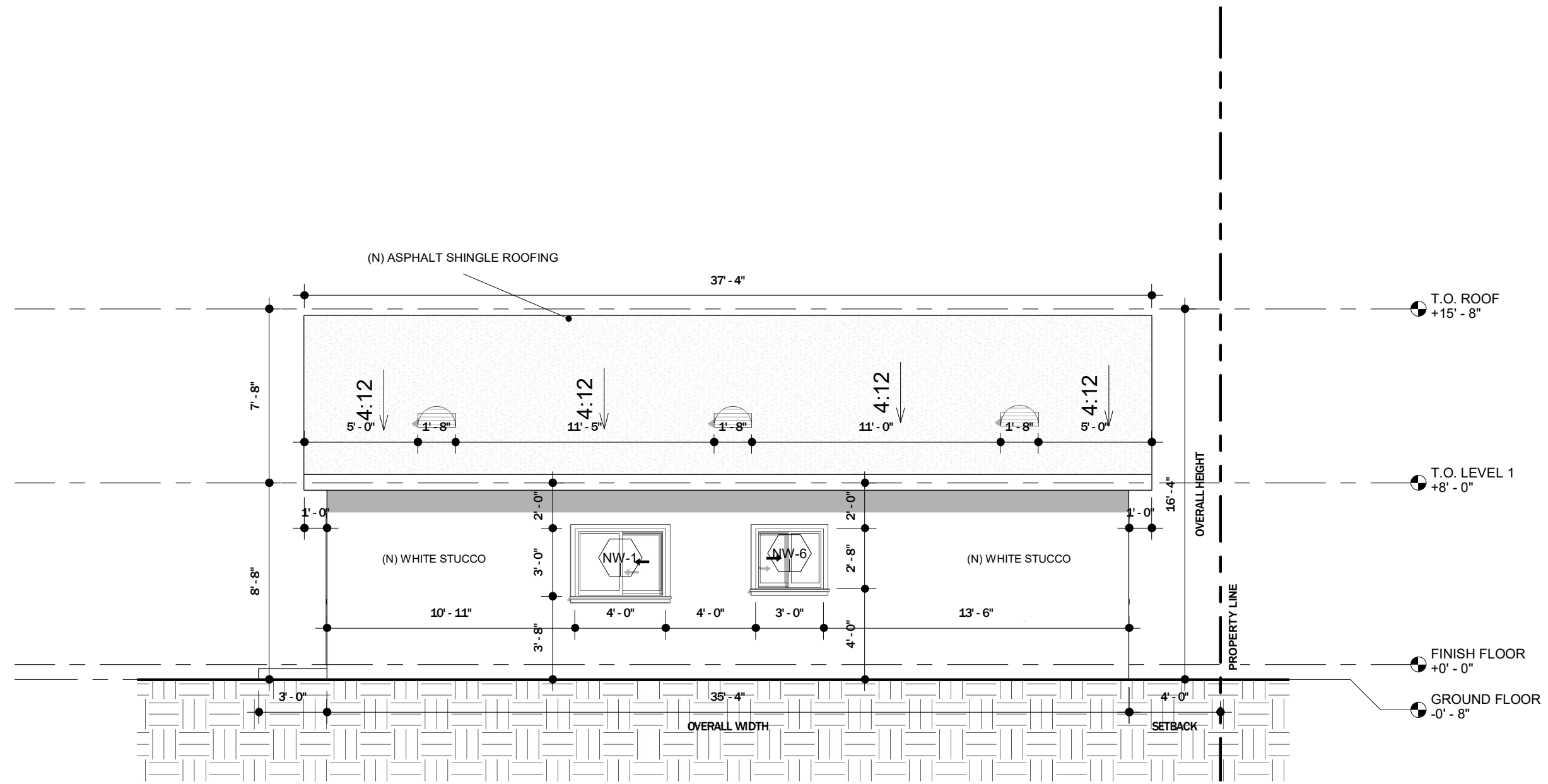
DOOR FLASHING



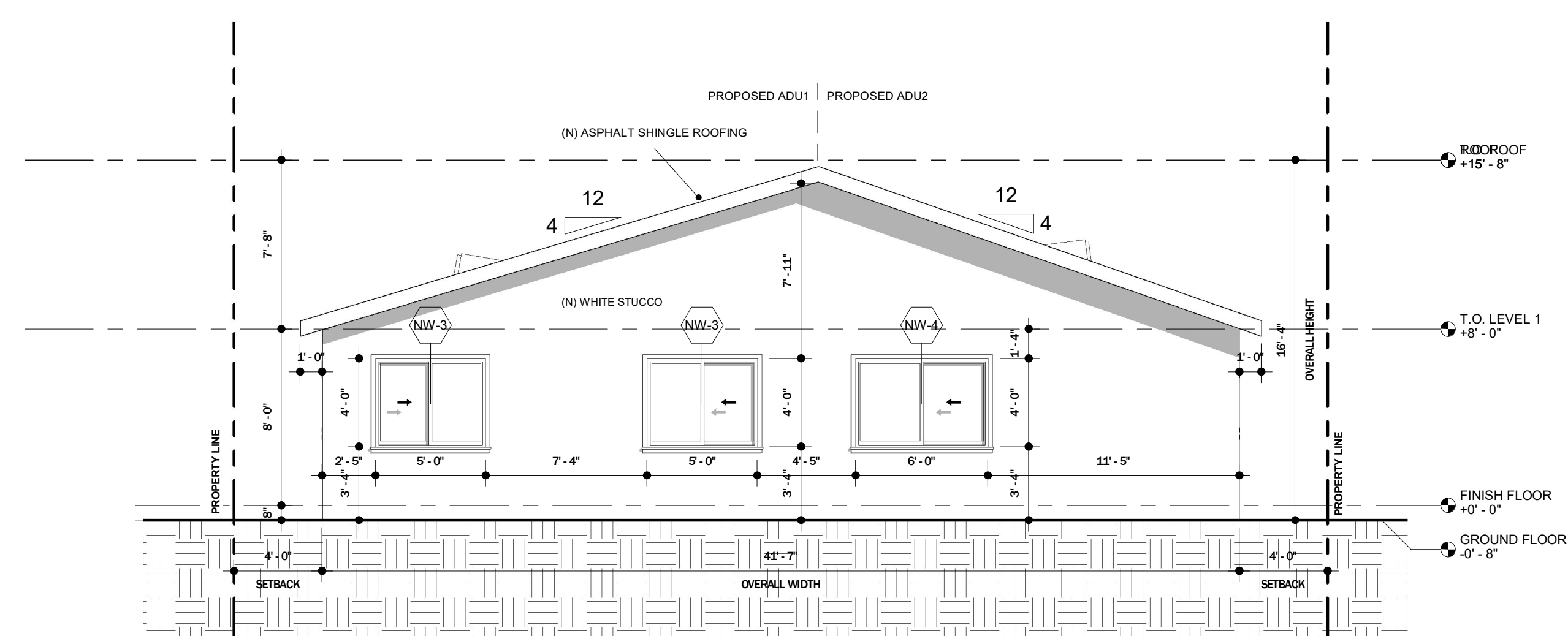
1. (1) INDICATES SEQUENCE FOR INSTALLATION OF FLASHING PAPER
2. 9" FLASHING PAPER TYP.
3. THE ACTUAL NUMBER OF FLASHING PIECES REQUIRED IS DETERMINED BY THE EXACT OPENING AND THE SIZE OF THE FLASHING. (9" WIDE FLASHING MIN.)
4. EXTERIOR DOOR OPENING WITH JAMB INSTALLED. STUCCO MOLDING OR TRIM INSTALLED AFTER FLASHING PAPER.
4. ONLY USE NON-CORROSIVE TYPE FASTENERS.



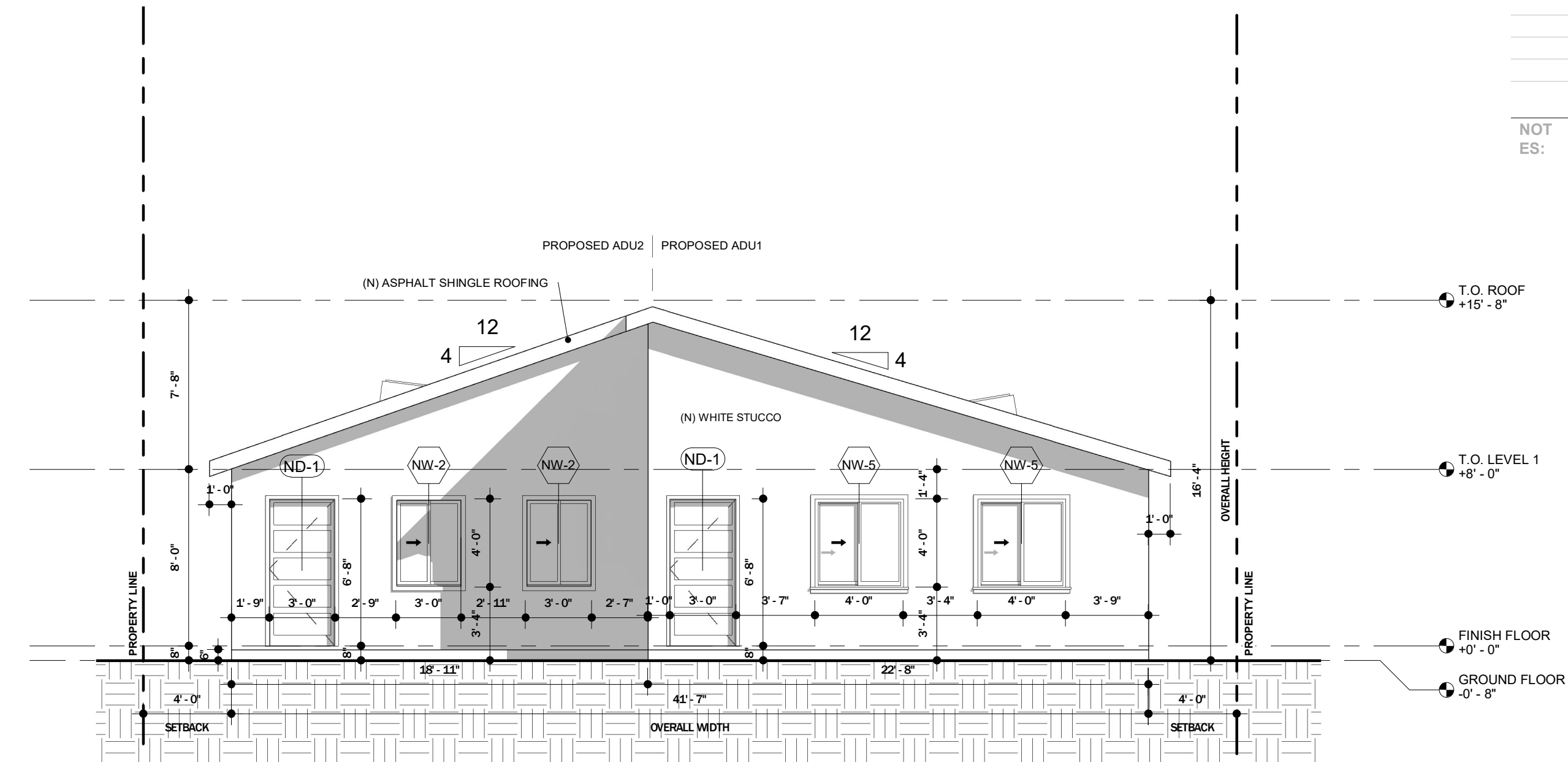
1 EAST - PROPOSED
SCALE: 3/16" = 1'-0"



2 WEST - PROPOSED
SCALE: 3/16" = 1'-0"



3 SOUTH - PROPOSED
SCALE: 3/16" = 1'-0"



4 NORTH - PROPOSED
SCALE: 3/16" = 1'-0"

EMERGENCY ESCAPE/ RESCUE OPENING

THE FOLLOWING WINDOW SIZES WILL BE THE MINIMUM ALLOWED FOR 5.0 SF.

SINGLE CASEMENT: 2-4 X 4-0, 2-6 X 3-6	SLIDER: 4-0 X 4-0, 5-0 X 3-6, 6-0 X 3-0
DOUBLE CASEMENT: 4-8 X 4-0	SINGLE/ DOUBLE HUNG: 3-0 X 5-0, 3-0 X 5-6, 3-4 X 5-0, 3-8 X 5-0, 4-0 X 5-0
CASEMENT/ FIXED COMBO: 7-0 X 4-0	SLIDER/ FIXED COMBO: 6-0 X 4-0, 10-0 X 4-0, 12-0 X 3-0
OTHER WINDOW TYPES: AWNING & BAY W/ FIXED CENTER: NONE W/ MANUF. DATA	SINGLE/ FIXED COMBO: NONE W/ MANUF. DATA

NOTE: SIZES ARE TAKEN FROM DATA SUPPLIED BY WINDOW MANUFACTURERS. HOWEVER, THESE ARE GENERAL DIMENSIONS AND MUST BE VERIFIED WITH ACTUAL WINDOWS INSTALLED TO MEET MINIMUM EGRESS REQUIREMENTS.

TOWN, STATE

DA	05/01/24
PROJEC	00001
T NO	
REVIS	DA
ION	TE

NOT ES:

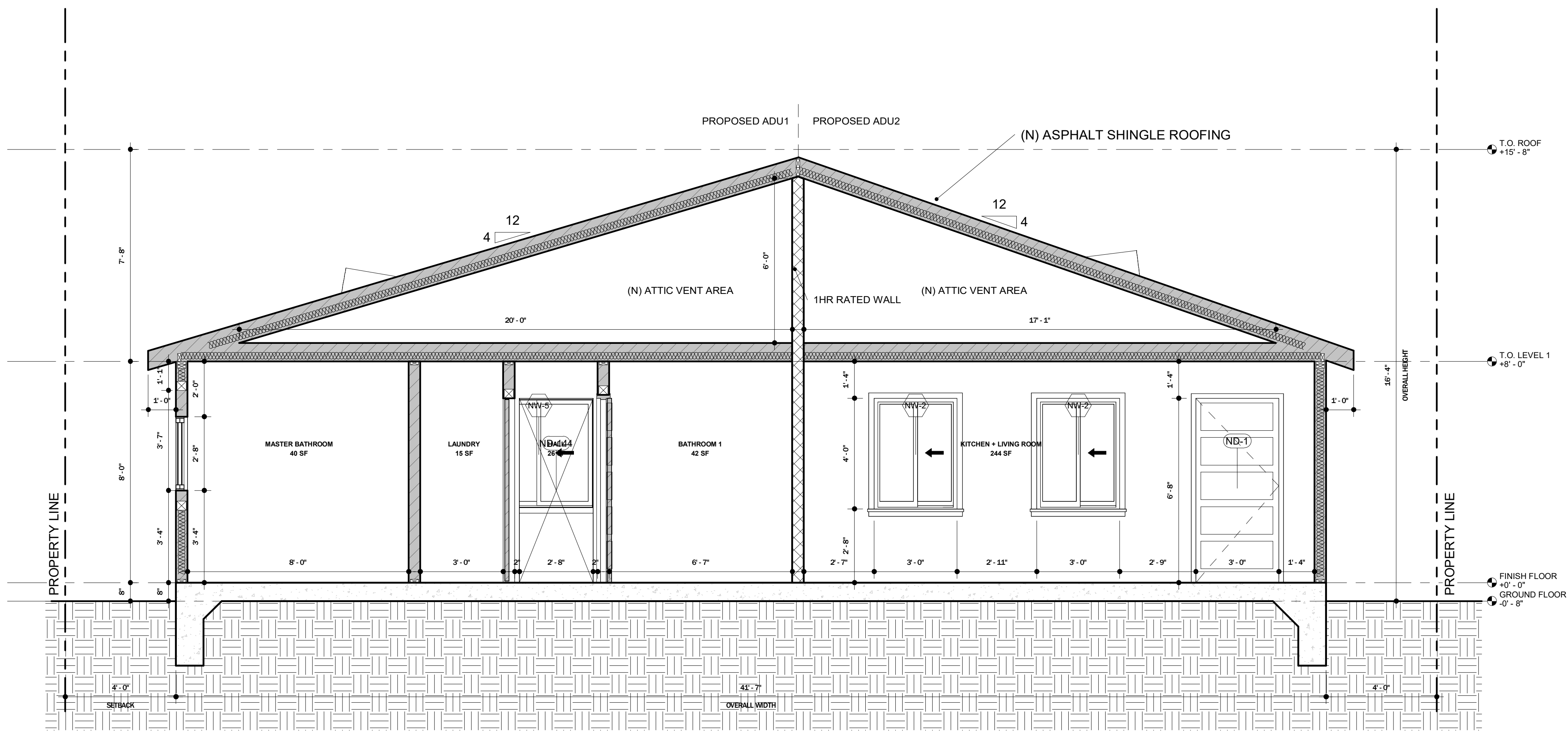
PROPOSED ELEVATIONS

SCA As
LE: indicated

A4

DRAWN BY: KD

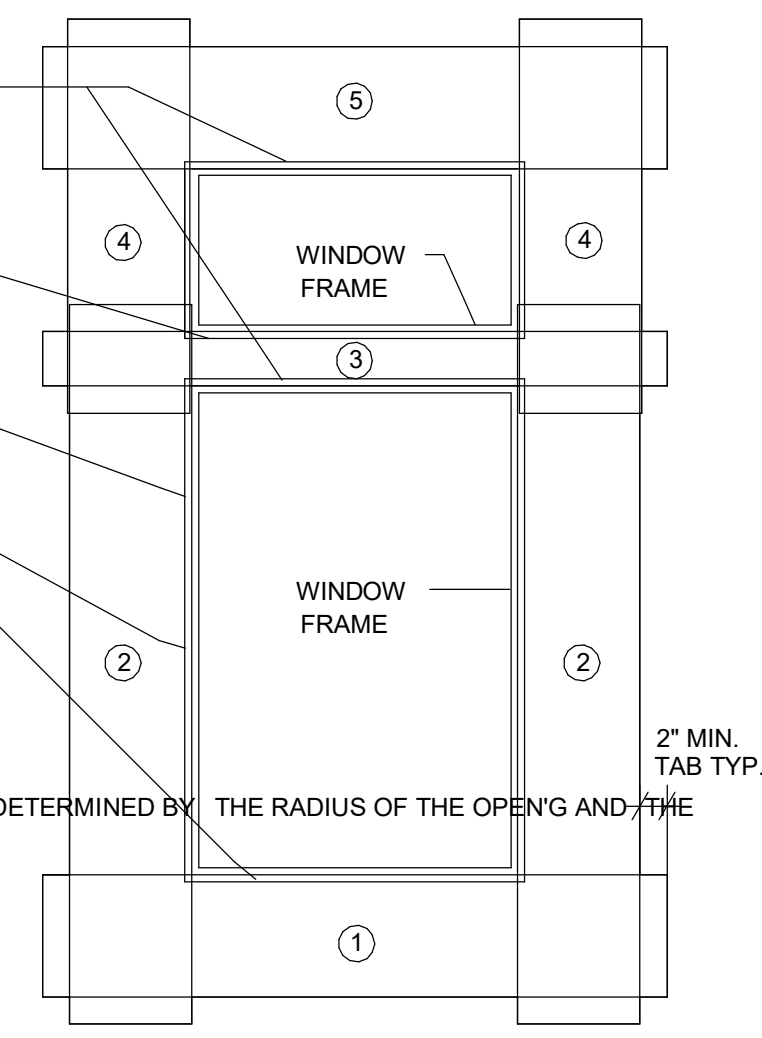
LADBS STAMP FRAME



1 SECTION 1 - PROPOSED
SCALE: 3/8" = 1'-0"

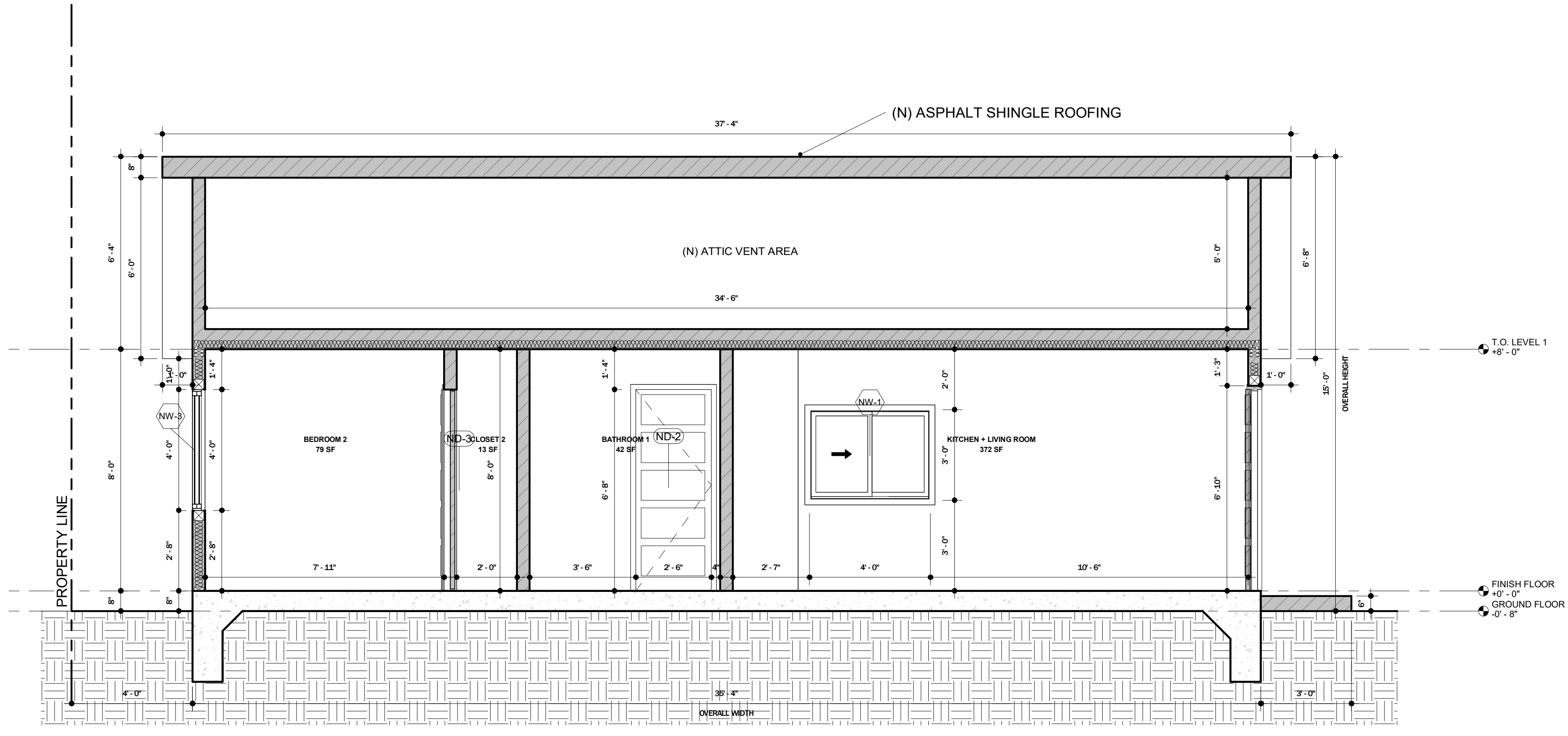
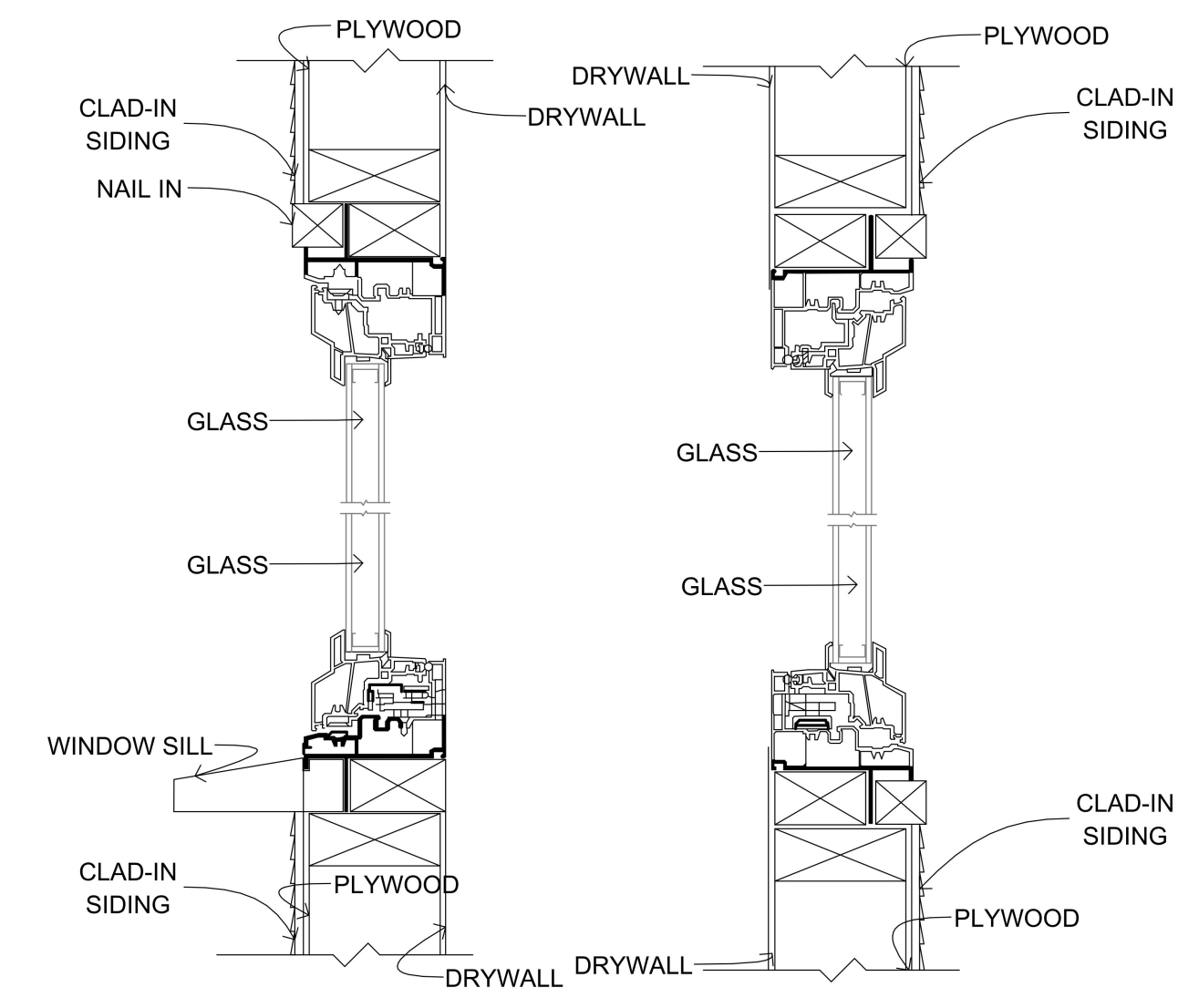
WINDOW FLASHING

FLASH'G PAPER O/ NAIL'G FIN TOP OF WINDOWS TYP.
SEALANT UNDER FLASH'G PAPER TO NAIL'G FIN @ TOP & JAMB OF WINDOWS TYP.

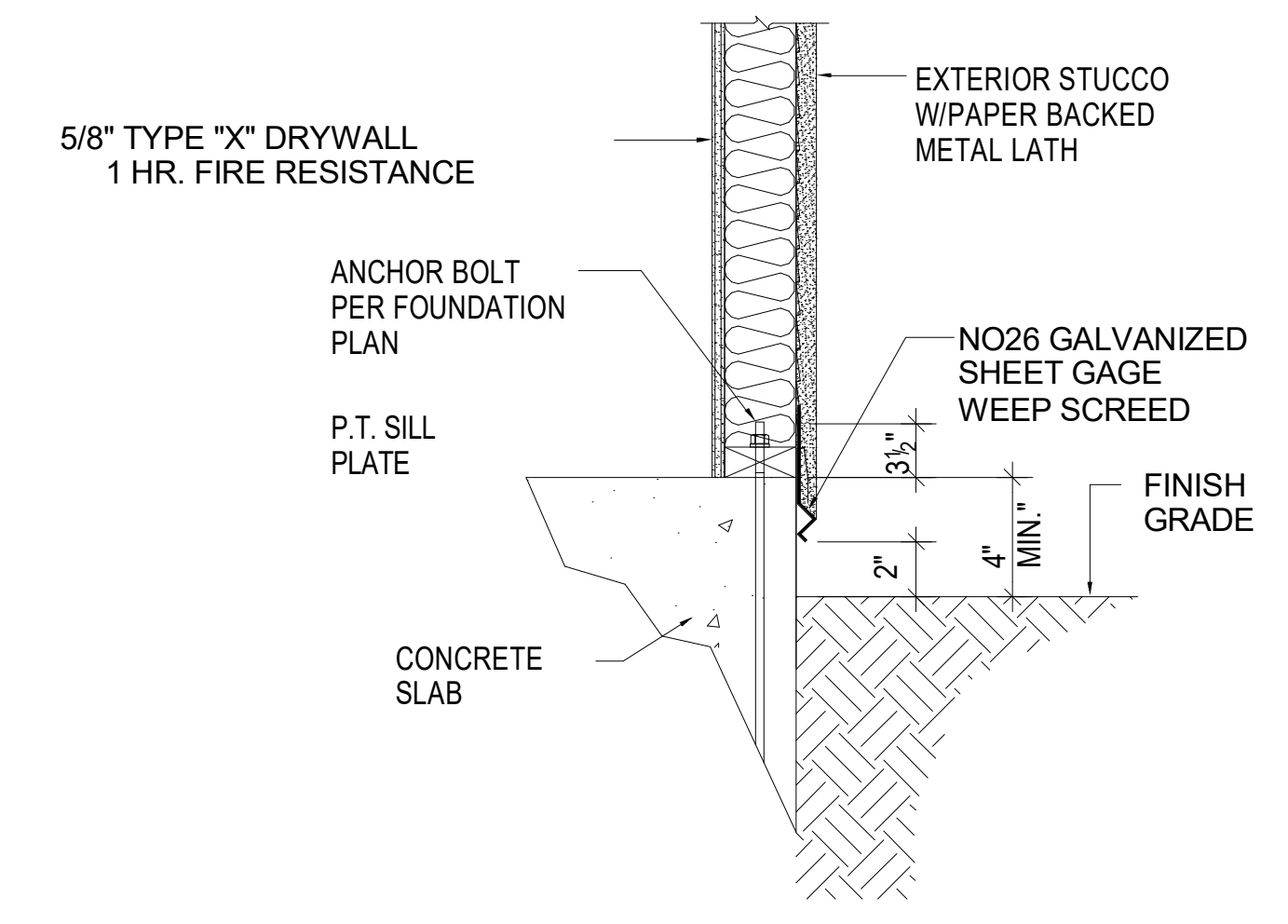


FLASH'G PAPER UNDER NAIL'G FIN ON BOTTOM & JAMB OF WINDOWS TYP.
NO SEALANT UNDER NAIL'G FIN @ BOTTOM OF WINDOWS TYP.

1. ① INDICATES SEQUENCE FOR INSTALLATION OF FLASH'G PAPER
2. 9" FLASH'G PAPER TYP.
3. THE ACTUAL NUMBER OF FLASH'G PIECES REQUIRED IS DETERMINED BY THE RADIUS OF THE OPENING AND THE SIZE OF THE FLASH'G. (9" WIDE FLASH'G MIN.)
4. ONLY USE NON-CORROSIVE TYPE FASTENERS.

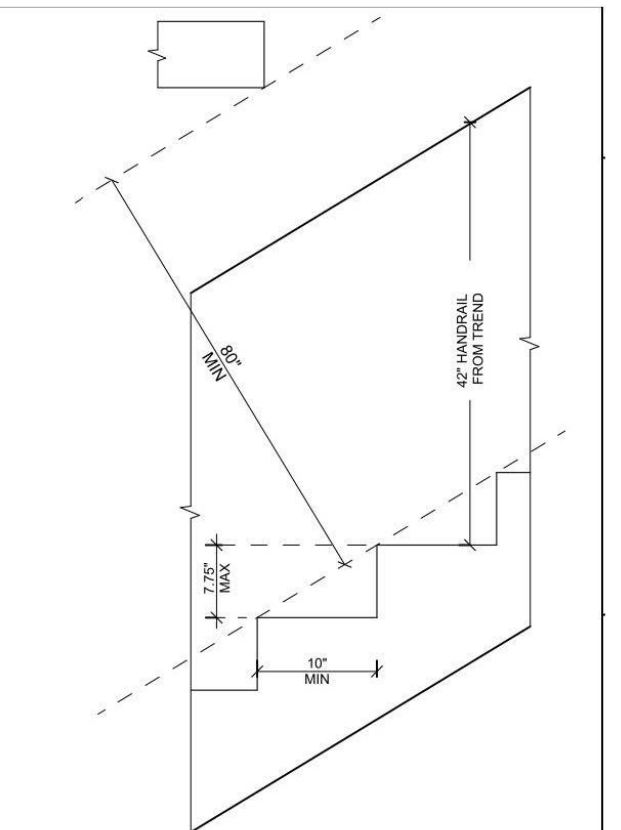


2 SECTION 2 - PROPOSED
SCALE: 3/8" = 1'-0"



DETAIL 02

NOTE:
16. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED.
17. PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS AT ().
18. FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2020 IBC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. 2407



LADBS STAMP FRAME

PROPOSED SECTIONS

SCA 3/8" = 1'-0"

A5

DRAWN BY: KD



**RESIDENTIAL MANDATORY MEASURES
ADDITIONS/ALTERATIONS**

The 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CalGreen) requires all of the following provisions. These provisions apply to additions or alterations that increases the conditioned space of existing residential buildings including one- and two-family dwellings, townhomes, and multi-family units in low-rise and high-rise residential buildings such as apartments, condominiums, hotels and other types of dwellings containing sleeping accommodations with or without common toilet or cooking facilities including accessory buildings, facilities and uses thereto. Detached "U" occupancy buildings are not subject to the requirements of CALGreen. Existing site and landscaping improvements that are not otherwise disturbed are also not subject to the requirements of CALGreen. For newly constructed residential building, see separate checklist. Repairs to existing structures are not subject to CALGreen at this time.

Please incorporate these requirements into the plans and sign the compliance statement at the end of this document. Provisions that are underlined and italicized shall be shown on the construction documents. The information listed here is an outline of the Mandatory Measures. For complete requirements and possible exceptions, please refer to the 2022 CalGreen Code. Code Sections in bold are City of Glendale additional mandatory CALGreen amendments.

ITEM #	CODE SECTION	REQUIREMENTS
Chapter 3 – GREEN BUILDING		
Addition and Alterations		
301.3		<ul style="list-style-type: none"> Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Section 4.106.4.3 may apply to additions or alterations of existing parking facilities or the addition of new parking facilities serving existing multi-family buildings. Requirements only apply within the specific area of the addition or alteration.
Chapter 4 – Residential Mandatory Measures		
Division 4.1 – Planning and Design		
Site Development (Sec. 4.106)		
1	4.106.1	General. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas.
2	4.106.2	<p>Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common development, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site.</p> <ul style="list-style-type: none"> Retention basins of sufficient size shall be utilized to retain storm water on the site. Where storm water is conveyed to a public drainage system or gutter, water shall be filtered through the use of a barrier system or wattle approved by the city. Compliance with all NPDES and City of Glendale Storm Water Management Ordinance.

ITEM #	CODE SECTION	REQUIREMENTS
3	4.106.3	Grading and paving. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. (Does not apply to additions and alterations not altering the drainage path.)
4	4.106.4.3	Multi-Family residential only: When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or altered, ten percent of the total number of parking spaces added or altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. (Electric Vehicle Charging Space definition: A space intended for future installation of EV charging equipment and charging of electric vehicles). <i>Construction documents shall show the requirements above.</i>
5	4.106.5 (GBSC)	Water permeable surface. <i>Provide calculation on site plan to show proposed water permeable surfaces shall not be less than 20 percent of the total on-grade, residential uncovered parking, walking or patio surfaces.</i> The primary driveway, the primary entry walkway and entry porch or landing and required accessible routes for persons with disability as required by Chapter 11A and 1 or 11B of CBC shall not be included when calculating the area required to be a permeable surface.
Division 4.2 – Energy Efficiency		
Performance Requirements (Sec. 4.201)		
6	4.201.1	Scope. This project shall comply with all applicable energy efficiency requirements as set forth in the 2022 California Energy Code and the City of Glendale Amendment to the California Energy Code Ordinance No. 5999. <i>Energy calculations and compliance forms shall be included as part of the plans and drawings.</i>
Division 4.3 – Water Efficiency and Conservation		
Indoor Water Use (Sec. 4.303)		
7	4.303.1	<p>Indoor water use. Plumbing fixtures and fittings shall comply with the following and shall be shown on the construction documents.</p> <ul style="list-style-type: none"> Water closets: Maximum 1.28 gallons per flush Urinals: Maximum 0.125 gallons per flush for wall-mounted. Other urinals: 0.5 gallons per flush. Single showerheads: Maximum flow rate of 2.0 gallons per minute at 80 psi. Multiple showerheads serving one shower: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi. Lavatory faucets within dwelling units: Max flow rate of 1.2 gallons per minute at 60 psi. Minimum flow rate of 0.8 gallon per minute at 20 psi. Lavatory faucets in common and public use areas: Maximum flow rate of 0.5 gallons per minute at 60 psi. Mating faucets: Maximum 0.25 gallons per cycle. Kitchen faucets: Maximum flow rate of 1.8 gallons per minute at 60 psi.

ITEM #	CODE SECTION	REQUIREMENTS
		<p>Plumbing fixtures and fittings shall be installed in accordance with the 2022 California Plumbing Code and shall meet the applicable standards referenced in Table 1701.1.1 of the California Plumbing Code.</p> <p>Note: All noncompliant plumbing fixtures in any residential property shall be replaced with water conserving plumbing fixtures. Plumbing fixtures replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final approval by the City of Glendale Building and Safety Division.</p>
8	4.303.3	Submetering for multi-family buildings and dwelling units in mixed use residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.
9	4.303.3	Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards in Table 1701.1.1 of the California Plumbing Code.
Outdoor Water Use (Sec. 4.304)		
10	4.304.1	Outdoor potable water use in landscape areas. Residential developments shall comply with a local water efficiency landscape ordinance or the current California Department of Water Resources' Model Water Efficiency Landscape Ordinance (MWELO) whichever is more stringent. <i>Landscape plans shall show all outdoor water efficiency features of CalGreen Section 4.304.</i>
Division 4.4 – Material Conservation and Resource Efficiency		
Enhanced Durability and Reduced Maintenance (Sec. 4.406)		
11	4.406.1	Rodent proofing. Annular spaces around pipes, electric cables, conduits or other openings in sole-bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the city building inspector.
Construction Waste Reduction, Disposal and Recycling (Sec. 4.408)		
12	4.408.1	<p>Construction waste management. Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with the City of Glendale's Construction and Demolition Waste Reduction and Recycling Plan (CDWRRP) Ordinance. A City approved waste management company/hauler shall be used for recycling of construction waste. Documentation of compliance shall be provided to the City's Building and Safety Division.</p> <p><i>The project shall complete the city's Construction and Demolition Waste Reduction and Recycling Plan form prior to the issuance of the building permit and pay the CDWRRP deposit.</i></p>
Building Maintenance and Operation (Sec. 4.410)		
13	4.410.1	Operation and Maintenance manual. The builder shall prepare an Operation and Maintenance Manual as outlined in 2022 CalGreen Section 4.410.1. The manual shall be given to the owner upon final approval by the building inspector. In such case where the property is being sold, it should be given to the new owner at the time of sale. A copy of the manual shall be available for the inspector prior to, or at the time of final inspection.

ITEM #	CODE SECTION	REQUIREMENTS
14	4.410.2	Recycling by occupants. Where 5 or more multifamily dwelling units are constructed on a building site, provide a readily accessible area(s) that serves all buildings on the site and is identified for recycling. Contact the City's Public Works Integrated Waste Management Division for details of the City's recycling ordinance.
Division 4.5 – Environmental Quality		
Fireplaces (Sec. 4.503)		
15	4.503.1	Fireplaces. Any installed gas fireplace shall be direct vent sealed combustion type. New wood burning masonry fireplaces are not allowed per SCAQMD Rule 445.
Pollutant Control (Sec.4.504)		
16	4.504.1	HVAC system protection. During the construction process and until final startup of the HVAC system, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other method to reduce the amount of water, dust and debris which may enter the system.
17	4.504.2	<p>Finish material pollutant control. Finish material pollutant control, shall comply as follows:</p> <ul style="list-style-type: none"> Adhesive, sealants and caulks used on this project shall comply with SCAQMD Rule 1168 for VOC limits and toxic compounds. Aerosol adhesives, sealants and caulks (in packaging units not more than one pound or 16 fluid ounces) shall comply with statewide VOC standards. Paints and coatings shall comply with VOC limits in CalGreen Table 4.504.3. Aerosol paints and coatings shall comply with statewide requirements and other requirements noted in CalGreen Section 4.504.2.3 Carpet Systems. All carpeting and carpet cushion shall meet the requirements of the Carpet and Rug Institute Green Label Plus Program. Adhesives shall comply with VOC limits in CalGreen Table 4.504.1. Resilient flooring. Where installed, 80% of the floor area receiving resilient flooring shall comply with one or more of the standards listed in CalGreen Section 4.504.4. Composite wood products used on the interior or exterior of the building shall comply with the formaldehyde limits in CalGreen Table 4.504.5. <p>Verification of compliance with the standards listed above shall be provided upon request to the building inspector.</p>
Interior Moisture Control (Sec. 4.505)		
18	4.505.1	<p>Interior moisture control. Buildings shall meet or exceed the provisions of the California Building Code.</p> <ul style="list-style-type: none"> Concrete Slab foundations. Concrete Slab-on-grade foundations/floors that are required to have a vapor retarder by the California Building Code section 1907 or the California Residential Code section R909, shall have a capillary break consisting of a 4-inch-thick base of 1/2 inch or larger clean aggregate with a vapor retarder in direct contact with concrete. The concrete mix design shall address bleeding, shrinkage, and curing. For additional information, see American Concrete Institute, ACE 302.2R-06.

ITEM #	CODE SECTION	REQUIREMENTS
		<p>b. Building materials with visible signs of water damage shall not be installed. Wall and floor framing lumber shall not be enclosed when the framing members exceed 19-percent moisture content. Moisture content shall be verified using one of the methods listed in CalGreen section 4.503.3.</p> <p>c. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities.</p>
Indoor Air Quality (Sec.4.506)		
19	4.506.1	<p>Bathroom and exhaust fans. Each bathroom (a room which contains a bathtub, shower, or tub/shower combination) shall be mechanically ventilated and shall comply with the following:</p> <ul style="list-style-type: none"> Exhaust fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, bathroom exhaust fans must be controlled by a humidity control. Humidity controls shall be capable of adjustment between 50% and 80% relative humidity. Humidity control may utilize manual or automatic means of adjustment which may be a separate component to the exhaust fan (not required to be built-in).
Environmental Comfort (Sec. 4.507)		
20	4.507.2	Heating and air-conditioning system design. HVAC systems shall be sized, designed and have equipment selected using the methods listed in CalGreen Section 4.507.2.
Natural Light and Ventilation (Sec. 4.509)		
21	4.509.1 (GBSC)	<p>Natural light and ventilation. <i>Provide calculation of required natural light and ventilation on plans showing the following:</i></p> <ul style="list-style-type: none"> The minimum glazed area for natural light shall not be less than 10 percent of the floor area of the room served. The minimum operable area for ventilation to the outdoors shall be 5 percent of the floor area of being ventilated.
Chapter 7 – INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS		
Qualifications (Sec. 702)		
22	702.1	<p>Installer and training. HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program.</p> <ul style="list-style-type: none"> State certified apprenticeship programs. Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.
23	702.2	Special inspection. When required by the California Building Code, or the approved plans, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with the CalGreen Code. Special inspectors shall comply with the following:

ITEM #	CODE SECTION	REQUIREMENTS
		<ul style="list-style-type: none"> Special Inspectors shall be approved by the City of Glendale Building & Safety Division prior to performing any special inspections of any component or system required by the CalGreen Code. Special Inspectors shall be qualified and able to demonstrate competence to the enforcing agency in the discipline which they are inspecting. Special Inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting.
Verifications (Sec. 703)		
24	703.1	Documentation. Documentation used to show compliance with this code shall include but is not limited to construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the City of Glendale which demonstrates substantial conformance.
DEFINITIONS		
25		ADDITION. An extension or increase in floor area of an existing building or structure.
26		ALTERATION OR ALTER. Any construction or renovation to an existing structure other than repair for the purpose of maintenance or addition.
27		LEVEL 2 ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). The 208/240-volt 40-ampere branch circuit, and the electric vehicle charging connectors, attachment plugs and all other fittings, devices, power outlets or apparatus installed specifically for the purpose of transferring energy between the premises wiring and the electric vehicle.
28		GREEN BUILDING. A holistic approach to design, construction and demolition that minimizes the building's impact on the environment, the occupants and the community.
29		HIGH-RISE RESIDENTIAL BUILDING. For the purposes of CALGreen, any building that is of Occupancy Group R and is four stories or greater in height.
30		LOW-RISE RESIDENTIAL BUILDING. For the purpose of CALGreen, any building that is of Occupancy Group R and is three stories or less.
COMPLIANCE STATEMENT		
31		<p>Compliance Statement. As the design professional or designer of record for this project, I certify that the design complies with all the applicable provisions of the 2022 California Green Building Standards Code (CalGreen Code) and including the Glendale Amendments to Volume IX Green Building Standards (Ord. No 5998 and No. 5999) of the 2023 Glendale Building and Safety Code.</p> <p>Signature _____ Print Name _____</p> <p>Company _____ Address _____</p> <p>Date _____ License _____</p>

TABLE 4.504.1
ADHESIVE VOC LIMITS ^{1, 2}
Less Water and Less Exempt Compounds in Grams per Liter

ARCHITECTURAL APPLICATIONS	CURRENT VOC LIMIT
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
Rubber floor adhesives	60
Subfloor adhesives	50
Ceramic tile adhesives	65
VCT and asphalt tile adhesives	50
Drywall and panel adhesives	50
Cove base adhesives	50
Multipurpose construction adhesives	50
Structural glazing adhesives	100
Single-ply roof membrane adhesives	250
Other adhesives not specifically listed	50
SPECIALTY APPLICATIONS	
PVC welding	510
CPVC welding	490
ABS welding	325
Plastic cement welding	250
Adhesive primer for plastic	550
Contact adhesive	80
Special purpose contact adhesive	250
Structural wood member adhesive	140
Top and trim adhesive	250
SUBSTRATE SPECIFIC APPLICATIONS	
Metal to metal	30
Plastic foams	50
Porous material (except wood)	50
Wood	30
Fiberglass	80

1. If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

TABLE 4.504.2
SEALANT VOC LIMITS
Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS	CURRENT VOC LIMIT
Architectural	250
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	250
Nonporous Porous	775
Modified bituminous	500
Marine deck	760
Other	750

TABLE 4.504.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{1, 3}
Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY	VOC LIMITS
Flat coatings	50
Nonflat coatings	100
Nonflat-high gloss coatings	150
SPECIALTY COATINGS	
Aluminum roof coatings	400
Basement specialty coatings	400
Bituminous roof coatings	50
Bituminous roof primers	350
Bond breakers	350
Concrete curing compounds	350
Concrete/masonry sealers	100
Driveway sealers	50
Dry fog coatings	150
Faux finishing coatings	350
Fire resistive coatings	350
Floor coatings	100
Form-release compounds	250
Graphic arts coatings (sign paints)	500
High temperature coatings	420
Industrial maintenance coatings	250
Low solid coatings ¹	120
Magnesium cement coatings	450
Mastic texture coatings	100
Metallic pigmented coatings	500
Multicolor coatings	250
Pretreatment wash primers	420
Primers, sealers, and undercoaters	100
Reactive penetrating sealers	350
Recycled coatings	250
Rust preventative coatings	250
Shellac	730
Clear	550
Opaque	550
Specialty primers, sealers and undercoaters	100
Stains	250
Stone Consolidation	450
Swimming pool coatings	340

TABLE 4.504.3 (CONT'D)
VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{1, 3}
Grams of VOC per liter of Coating, Less Water and Less Exempt Compounds

PRODUCT	CURRENT LIMIT
Traffic marking coatings	100
Tub and Tile refinish coating	420
Waterproofing membranes	250
Wood coatings	275
Wood preservatives	350
Zinc-rich primers	340

1. Grams of VOC per liter of coating, including water and including exempt compounds.
2. The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
3. Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2008. More information is available from the Air Resources Board.

TABLE 4.504.5
FORMALDEHYDE LIMITS ¹
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
[Thin medium density fiberboard ²	0.13

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333-96(2002). For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
2. Thin medium density fiberboard has a maximum thickness of 8 millimeters.



2318 W Victory Blvd
Burbank, CA 91506

PROJ
ECT:
466 Vine St, Glendale, CA
91204, USA

TOWN, STATE

DA 05/01/24
PE/JOEC
T NO 00001
REVIS
ION DA
TE TE

NOT
ES:

GRN

LADBS STAMP FRAME

SCA
LE:

A6

DRAWN
BY: KD