



# PREFERRED INSPECTION SERVICES

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## HOME INSPECTION

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04/28/2026



Inspector

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MAINTENANCE ITEM

RECOMMENDATION/EVALU  
ATION

SAFETY ISSUE

## SUMMARY

- ⊖ 1.1.1 Inspection Details - General: Hornet, Bee or Wasp Nests
- ⊖ 1.1.2 Inspection Details - General: Evidence of termites
- ⚠ 2.2.1 Grounds - Soils/Drainage/Landscaping: Yard or Patio Strainer Missing or Broken
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- 🔧 2.5.1 Grounds - Sidewalks/Patios: Minor Deterioration
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- ⚠ 2.5.3 Grounds - Sidewalks/Patios: Trip Hazards
- ⊖ 2.6.1 Grounds - Patio Cover(s): Wood Damage
- ⚠ 2.6.2 Grounds - Patio Cover(s): Exposed Post Bracket Remnants
- ⊖ 2.9.1 Grounds - Fences, Gates: Unstable
- 🔧 2.9.2 Grounds - Fences, Gates: Bottom rail buried
- ⊖ 2.9.3 Grounds - Fences, Gates: Open area in fence
- 🔧 2.9.4 Grounds - Fences, Gates: Minor deterioration
- ⊖ 2.12.1 Grounds - Firepit: Inoperable
- ⊖ 3.2.1 Exterior and Foundation - Exterior Walls/Trim: Siding/trim Damage
- ⊖ 3.2.2 Exterior and Foundation - Exterior Walls/Trim: Dry Rot
- 🔧 3.2.3 Exterior and Foundation - Exterior Walls/Trim: Failing Paint or Stain
- ⊖ 3.2.4 Exterior and Foundation - Exterior Walls/Trim: Openings in the Exterior Wall
- ⊖ 3.3.1 Exterior and Foundation - Stucco: Repair/Replace Stucco
- ⊖ 3.3.2 Exterior and Foundation - Stucco: Efflorescence
- 🔧 3.3.3 Exterior and Foundation - Stucco: Cosmetic Stucco Damage Below Weep Screed
- 🔧 4.4.1 Roofing - Roof Drainage Systems: Missing Over Entrances
- ⊖ 4.5.1 Roofing - Roof Sheathing, Fascia Board: Wood Rot , Termite Damage
- ⚠ 6.2.1 Garage - House-to-Garage Door: Pet Door, Window
- 🔧 6.5.1 Garage - Garage Floor: Minor Deterioration
- 🔧 6.5.2 Garage - Garage Floor: Garage Floor Covered
- ⚠ 6.6.1 Garage - Garage Walls/Ceilings: Breach of Fire Rated Walls/Ceilings

- 🔧 7.2.1 Plumbing - Service/Main Line: Flow Meter Movement
- 🔧 7.2.2 Plumbing - Service/Main Line: Old Gate Valve
- 🔧 7.7.1 Plumbing - Drain and Waste Lines: Recommend Video Scope
- 🔧 8.2.1 Water Heater - Tank: Lifespan 10-12 years
- ⚠️ 8.5.1 Water Heater - TPR Valve: Missing Drain Line
- 🚫 8.8.1 Water Heater - Sediment Trap: Missing
- 🔧
- 9.2.1 Fireplaces, Chimneys and Flues - Wood burning Fireplaces, Stoves & Inserts: Specialist to Inspect, Clean, Repair All Wood Burning Appliances
- 🔧 9.3.1 Fireplaces, Chimneys and Flues - Gas Fired Fireplace, Log Lighter: Service Recommended
- ⚠️ 9.3.2 Fireplaces, Chimneys and Flues - Gas Fired Fireplace, Log Lighter: Need Damper Clamp
- 🚫 9.4.1 Fireplaces, Chimneys and Flues - Chimneys: Cracked Pre-Cast Chimney
- 🔧 10.2.1 Electrical - Main Panel: Sub 200 amp panel
- ⚠️ 10.2.2 Electrical - Main Panel: Open Slots
- 🚫 10.6.1 Electrical - Receptacles (Outlets) /Junction Boxes: No Power
- ⚠️ 10.6.2 Electrical - Receptacles (Outlets) /Junction Boxes: Cover Plate Missing, Damaged
- 🔧 10.6.3 Electrical - Receptacles (Outlets) /Junction Boxes: Multiple GFCIs's Same Circuit
- 🚫 10.7.1 Electrical - Switches: Unknown Switch
- 🔧 10.8.1 Electrical - Ceiling Fan(s): Inoperable, Switch Not Found
- 🚫 10.9.1 Electrical - Lighting: Lighting Missing/Damaged/Substandard
- ⚠️ 10.13.1 Electrical - Smoke and Carbon Monoxide Alarms: Missing Smoke Alarms
- ⚠️ 10.13.2 Electrical - Smoke and Carbon Monoxide Alarms: Missing Carbon Monoxide Alarms
- 🔧 11.6.1 Interiors - Walls, Ceilings, Fixtures: Minor Cracks, Nail Pops
- 🚫 11.6.2 Interiors - Walls, Ceilings, Fixtures: Needs Repair
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- 🔧 11.6.4 Interiors - Walls, Ceilings, Fixtures: Stains, Unknown if Active Leak
- ⚠️ 11.7.1 Interiors - Interior Doors: Mirrored Doors Cracked
- 🔧 11.10.1 Interiors - Floors: Squeaky
- 🚫 11.10.2 Interiors - Floors: Wood Floors Damaged
- 🔧 11.11.1 Interiors - Trim: Baseboard
- ⚠️ 11.12.1 Interiors - Stairs/Handrails/Guardrails: Handrails Loose/Wobbly
- 🚫 11.12.2 Interiors - Stairs/Handrails/Guardrails: Loose spindles
- 🔧 12.2.1 Heating and Air Conditioning - Forced Air (Heating): Service Recommended
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- 🔧 12.5.2 Heating and Air Conditioning - Air Conditioning: R-22 Warning
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- 🔧 14.2.1 Built-in Appliances - Refrigerator: Ice/Water Dispenser
- 🔧 14.3.1 Built-in Appliances - Range/Oven: Igniters Inoperable
- 🚫 14.3.2 Built-in Appliances - Range/Oven: Door Does Not Fully Close
- ⚠️ 14.5.1 Built-in Appliances - Exhaust Hood/Fan: Flexible Exhaust Duct

- 🔑 15.2.1 Bathrooms, Laundry and Sinks - Counters, Backsplashes: Need caulk at gaps
- ⊖ 15.5.1 Bathrooms, Laundry and Sinks - Toilets: Loose Toilet
- ⊖ 15.5.2 Bathrooms, Laundry and Sinks - Toilets: Runs Continuously
- ⊖ 15.6.1 Bathrooms, Laundry and Sinks - Bathtubs: Tile/Grout deteriorated
- ⊖ 15.7.1 Bathrooms, Laundry and Sinks - Shower: Loose shower head trim ring

# 1: INSPECTION DETAILS

		IN	NI	NP	O
1.1	General	X			X

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**General: Start Time**  
9:00

**General: In Attendance**  
N/A

**General: Temperature (approximate)**  
57 Fahrenheit (F)

**General: Type of Building**  
Detached, Single Family

**General: Weather Conditions**  
Clear, Cool

**General: Occupancy**  
Vacant

**General: Utilities Not On**  
All on

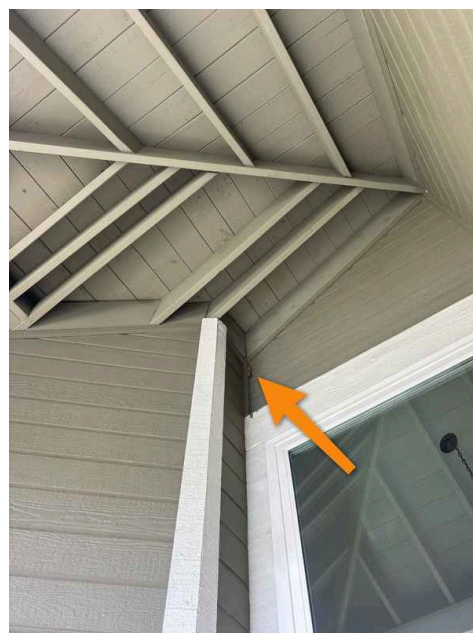
## Observations

1.1.1 General

### HORNET, BEE OR WASP NESTS

 Recommendation/Evaluation

One or more hornet, bee or wasp nests were found at the eaves or other areas of the exterior, in the attic, or in the crawl space. This is a potential safety hazard. A qualified technician should remove nests or exterminate as needed.



Front door

## 1.1.2 General

**EVIDENCE OF TERMITES**

Recommendation/Evaluation

Evidence of termite activity was found in the form of fecal pellets, dead insects, active larvae, and/or wood damage in the attic, crawl space, basement, garage, and/or interior rooms.

A qualified technician should evaluate the property for termite activity and make recommendations for treatment and /or repairs as needed



Termite dust in attic

## 2: GROUNDS

		IN	NI	NP	O
2.1	General	X			
2.2	Soils/Drainage/Landscaping	X			X
2.3	Vegetation	X			
2.4	Driveway	X			
2.5	Sidewalks/Patios	X			X
2.6	Patio Cover(s)	X			X
2.7	Decks/Porches			X	
2.8	Stairs/Handrails/Guardrails			X	
2.9	Fences, Gates	X			X
2.10	Retaining Walls	X			
2.11	Outdoor Barbeque/Grill			X	
2.12	Firepit	X			X

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### Information

**Soils/Drainage/Landscaping: Site Profile**  
Level

**Driveway: Driveway Condition**  
Serviceable

**Driveway: Driveway Material**  
Concrete



**Sidewalks/Patios: Sidewalks/Patio Condition**  
Serviceable

**Sidewalks/Patios: Sidewalks/Patio Material**  
Concrete, Stones, Tile

**Patio Cover(s): Patio Cover Condition**  
Serviceable



**Patio Cover(s):** Patio Cover  
**Material**  
Wood



**Fences, Gates:** Fence, Gate  
**Condition**  
Serviceable

**Fences, Gates:** Fence, Gate  
**Material**  
Concrete, Block, Wrought Iron



**Retaining Walls:** Retaining Wall  
**Condition**  
Serviceable

**Retaining Walls:** Retaining Wall  
**Material**  
Concrete, Block

**Firepit:** Above ground



### General: Limitations

Unless expressly specified in the inspection, the following elements and their associated equipment, controls, electrical systems, and plumbing systems are not part of this assessment: separate buildings or structures, fences, gates, retaining walls, subterranean drainage systems, catch basins, or concealed sump pumps, swimming pools and their safety gear, spas, hot tubs, or saunas, the waterproofness of decks, balconies, or stair membranes, trees, landscaping, soil properties, soil stability, erosion, and erosion control, ponds, water features, irrigation, or yard sprinkler systems, sport courts, playgrounds, recreational or leisure equipment, areas beneath exterior structures with less than 3 feet of vertical clearance, invisible fencing, seawalls, docks, and boathouses, as well as retractable awnings. Any remarks concerning these elements are offered as a courtesy only.

## Observations

### 2.2.1 Soils/Drainage/Landscaping

#### **YARD OR PATIO STRAINER MISSING OR BROKEN**

 Safety Issue

One or more yard or patio drain strainers is missing or broken. This can allow leaves and other debris to clog the drain. It is also a safety hazard for small children as their feet and legs can fall in. Recommend replacement as needed.



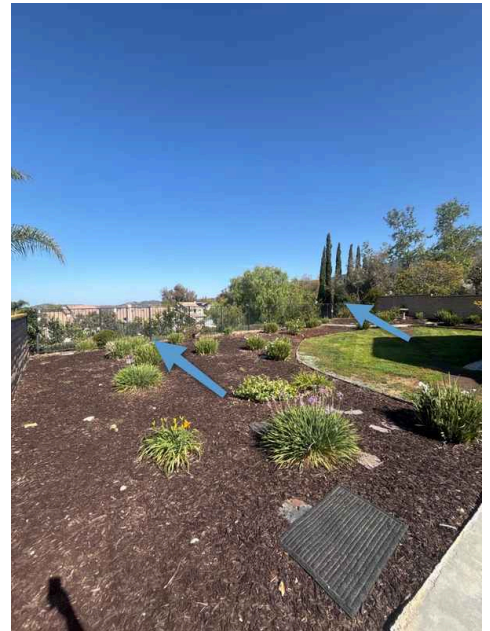
Right side

2.2.2 Soils/Drainage/Landscaping

 Maintenance Item

**SLOPE CREEP**

This home is built on or near a slope. As such, minor settling can occur and is often referred to as "slope creep". This can be a common occurrence in this area, and can have various degrees of severity. Issues such as hardscape pulling away from the building, cracks in the foundation, and/or minor cracks in the walls are common. Recommend monitoring in the future. If conditions worsen, a qualified engineer or contractor should be consulted for further evaluation.



2.5.1 Sidewalks/Patios

 Maintenance Item

**MINOR DETERIORATION**

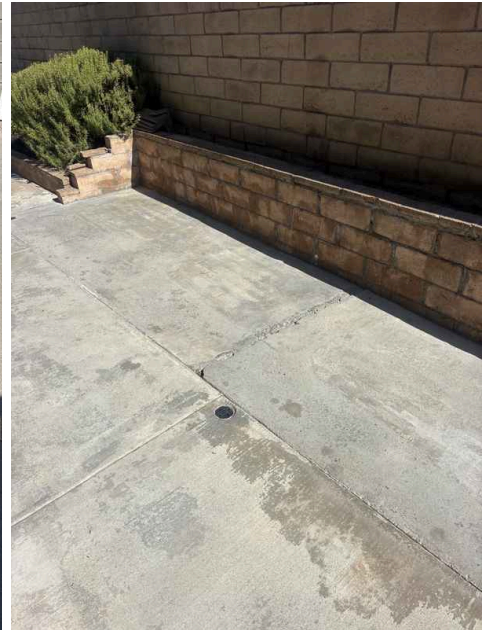
Minor signs of deterioration, such as cracks, holes, settling, or heaving, were observed in the sidewalks or patios, but there are no trip hazards present. The client may consider making repairs primarily for cosmetic purposes.



Front yard



Front yard



Right side



Backyard

2.5.2 Sidewalks/Patios

Recommendation/Evaluation

**NEEDS REPAIR**

Cracks, holes, settling, heaving, and general deterioration have been identified in the sidewalks and/or patios. It is recommended to have a qualified contractor make the necessary repairs as required.



Front entry

2.5.3 Sidewalks/Patios

Safety Issue

**TRIP HAZARDS**

Cracks, holes, settling, heaving, and general deterioration have led to trip hazards in the sidewalks or patios. To ensure safety, it is strongly recommended to hire a qualified contractor to make the necessary repairs and eliminate these trip hazards.



Backyard



Backyard

2.6.1 Patio Cover(s)

Recommendation/Evaluation

**WOOD DAMAGE**

Dry rot or other unspecified damage was found in support posts, joists, beams, bracing, lattice boards, trim or ledger boards at one or more structures covering decks, patios and/or porches. Recommend that a qualified person repair as necessary. All damaged wood should be replaced.



2.6.2 Patio Cover(s)

Safety Issue

**EXPOSED POST BRACKET REMNANTS**

Post bracket remnants from an old patio cover exist in the patio . SHarp, rusty metal is exposed and could cause injury. Recommend grinding the metal down below the patio surface and patching as needed.



Backyard

2.9.1 Fences, Gates

Recommendation/Evaluation

**UNSTABLE**

One or more sections of fencing is deteriorated and unstable. Recommend a qualified contractor repair/replace as needed.



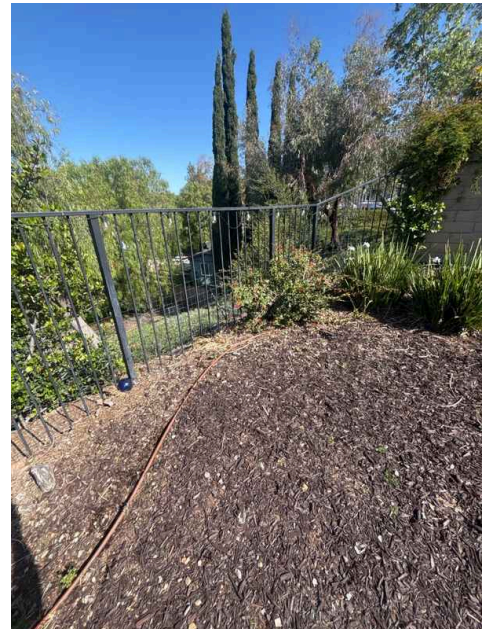
Right side

2.9.2 Fences, Gates

 Maintenance Item

**BOTTOM RAIL BURIED**

The bottom rails on one or more sections of wrought iron fencing are buried below the soil line. This can accelerate corrosion or corrosion may have already occurred. Recommend regrading soil at least 2" below the bottom rail.



Back right corner

2.9.3 Fences, Gates

 Recommendation/Evaluation

**OPEN AREA IN FENCE**

One or more sections of fencing had large openings in them. Recommend repairing as needed.



Back left

2.9.4 Fences, Gates

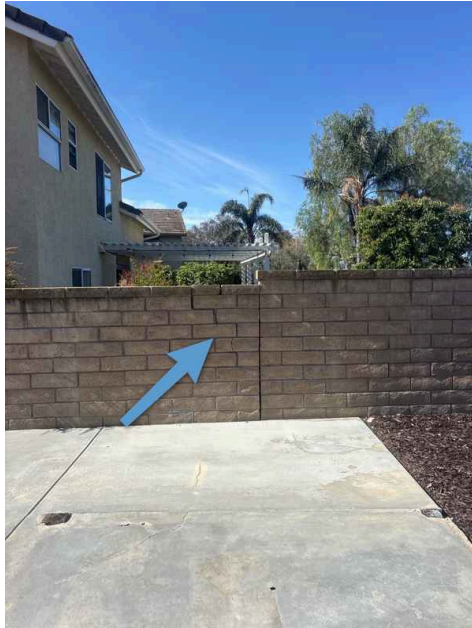
 Maintenance Item

**MINOR DETERIORATION**

One or more sections of fencing had minor deterioration.



Right side



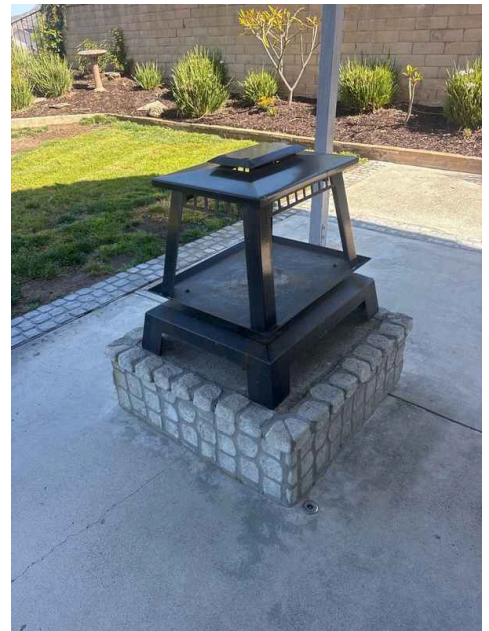
Left side

2.12.1 Firepit

 Recommendation/Evaluation

**INOPERABLE**

The firepit was inoperable at the time of the inspection



Abandoned

# 3: EXTERIOR AND FOUNDATION

		IN	NI	NP	O
3.1	General	X			
3.2	Exterior Walls/Trim	X			X
3.3	Stucco	X			X
3.4	Foundation	X			
3.5	Footings	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Exterior Walls/Trim: Wall Cover Material**

Wood Fiber, Stucco, Wood

**Exterior Walls/Trim: Wall Cover Condition**

Serviceable

**Exterior Walls/Trim: Wall Structure**

concrete block



**Foundation: Foundation Condition**

Serviceable

**Foundation: Foundation Type**

Concrete Slab

**Foundation: Foundation/Stem Wall Material**

Concrete

**Footings: Footing Material**

Concrete

**General: Limitations**

Unless explicitly included in the inspection, the following elements, along with any associated equipment, controls, electrical systems, or plumbing systems, are not part of this assessment:

1. Detached buildings or structures.
2. Motorized gates.
3. Retaining walls.
4. Underground drainage systems, catch basins, or concealed sump pumps.
5. Swimming pools and their safety equipment.
6. Spas, hot tubs, or saunas.
7. The watertightness of decks, balconies, or stair membranes.

8. Trees and landscaping.
9. Soil properties, soil stability, erosion, and erosion control.
10. Ponds, water features, irrigation systems, or yard sprinkler systems.
11. Sport courts, playgrounds, recreational equipment, or leisure equipment.
12. Areas beneath exterior structures with less than 3 feet of vertical clearance.
13. Invisible fencing.
14. Sea walls, docks, and boathouses.
15. Retractable awnings.

Any remarks provided concerning these items are solely offered as a courtesy and are not included in the official inspection.

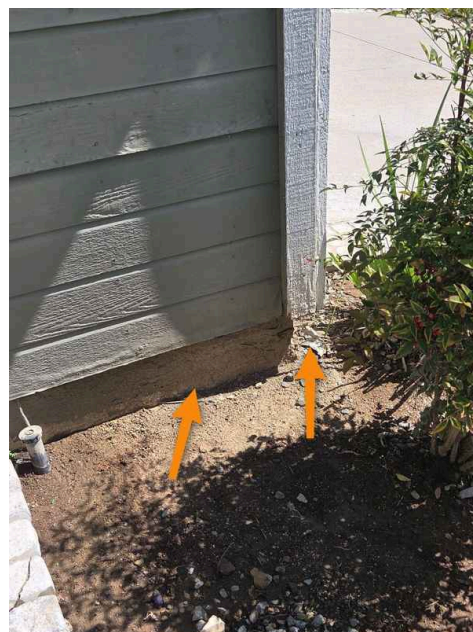
## Observations

### 3.2.1 Exterior Walls/Trim

 Recommendation/Evaluation

#### **SIDING/TRIM DAMAGE**

Certain portions of the siding and/or trim exhibit signs of deterioration, looseness, splitting, warping, absence, damage, or do not meet the expected standards. It is advisable to engage a qualified professional to address these issues by carrying out repairs, replacements, or the installation of new siding or trim components as needed.



Entry

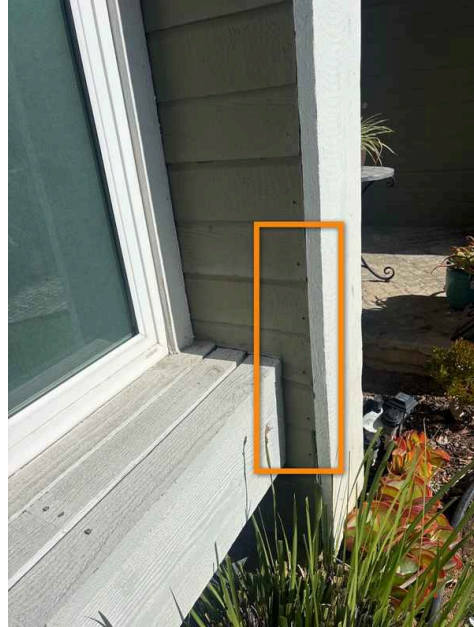
## 3.2.2 Exterior Walls/Trim

**DRY ROT**
 Recommendation/Evaluation

Fungal rot has been identified in one or more areas of the siding, trim, window sills, window frames, soffits, fascia, gable ends, rafter tails, or exposed beams. To prevent the further development of these conditions, it is essential to address the conducive factors for rot, such as wood-soil contact or a reversed perimeter slope. It is recommended that a qualified professional takes the necessary actions to rectify these issues. Additionally, all deteriorated wood affected by fungal rot should be completely replaced.



Front right



Front yard

## 3.2.3 Exterior Walls/Trim

**FAILING PAINT OR STAIN**
 Maintenance Item

The paint or stain finish on certain parts of the structure is deteriorating, evidenced by issues such as peeling, fading, wear, or thinning. When the finish on the siding and trim is compromised, it becomes susceptible to moisture damage. It is advisable to engage a qualified contractor to carry out the necessary preparations, which may include cleaning, scraping, sanding, priming, and caulking. Following these preparations, a complete repainting or restaining of the entire exterior of the building should be performed in accordance with standard building practices. Any repairs required for the siding or trim should be addressed prior to this refinishing process.



Front left corner

## 3.2.4 Exterior Walls/Trim

 Recommendation/Evaluation**OPENINGS IN THE EXTERIOR WALL**

Openings in the wall exist , which could allow moisture and pests into the wall cavity. Recommend repair as needed.



Backyard

## 3.3.1 Stucco

 Recommendation/Evaluation**REPAIR/REPLACE STUCCO**

Cracks, deterioration, and/or damage were identified in certain sections of the exterior stucco finish. In regions with high humidity or damp climates, these issues can facilitate the intrusion of moisture into the cracks or damaged regions, potentially exacerbating the deterioration of the stucco. Moreover, the wall concealed behind the stucco can also sustain moisture-related damage. Please be aware that the areas concealed behind the stucco are inaccessible and therefore not included in this inspection.

It is advisable to engage a qualified contractor for a thorough evaluation and to determine the need for repairs or replacement of the stucco as deemed necessary to maintain the structural integrity and appearance of the exterior.



Front of garage

3.3.2 Stucco

 Recommendation/Evaluation

**EFFLORESCENCE**

Efflorescence damaged stucco was found in one or more areas. Moisture wicking from the soil will cause damage to this area of stucco in the form of bubbling and/or powdery residue. Recommend that a qualified contractor treat the area for efflorescence then repair or replace the stucco as necessary.



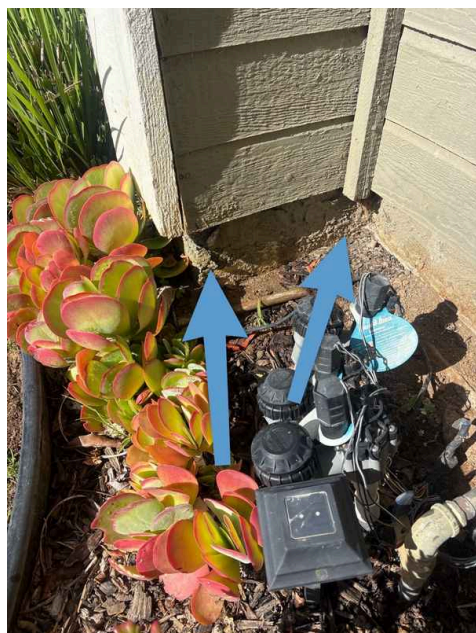
Backyard left side

3.3.3 Stucco

 Maintenance Item

**COSMETIC STUCCO DAMAGE BELOW WEEP SCREED**

Areas of cosmetic stucco deterioration were noted at the foundation below the weep screed metal. The client may wish to have these areas repaired for cosmetic reasons.



Front of house



Front yard

# 4: ROOFING

		IN	NI	NP	O
4.1	General	X			
4.2	Coverings	X			
4.3	Flashings	X			
4.4	Roof Drainage Systems	X			X
4.5	Roof Sheathing, Fascia Board	X			X
4.6	Satellite Dishes	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**General: Inspection Method**

Traversed

**General: Roof Type/Style**

Gable

**Coverings: Material**

Concrete tile

**Coverings: Material Condition**

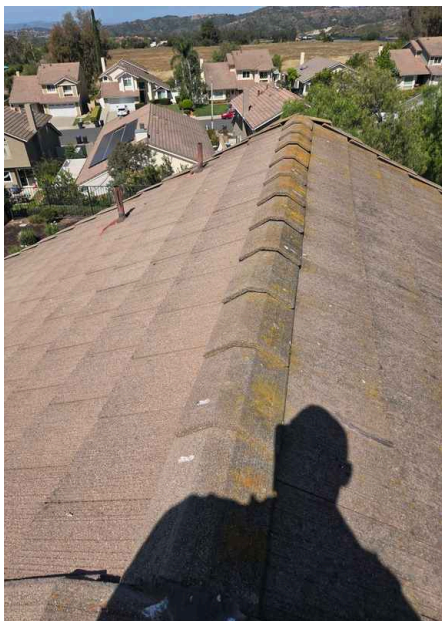
Serviceable

**Coverings: Approximate Remaining Life (Years)**

15- 20

**Flashings: Material**

Galvanized



**Roof Drainage Systems: Gutter Material**

None

**General: Limitations**

Please note that certain items or areas were not included in this inspection. These exclusions encompass areas that could not be accessed or viewed clearly due to limited access and solar roofing components. Any comments made regarding these items are provided as a courtesy only.

It's essential to be aware that the inspector does not provide an estimate of the remaining life of the roofing material, nor do they guarantee that leaks have not occurred in the roof surface, skylights, or roof penetrations in the past. The inspection addresses only active leaks, visible signs of possible sources of leaks, and evidence of past leaks observed during the inspection. However, the inspector does not guarantee or warrant that leaks will not occur in the future.

To assess the performance of the roof drainage system, it would require the inspection to be conducted during and after prolonged periods of heavy rain. If this is not the case, the inspector cannot determine if gutters, downspouts, and extensions are functioning adequately or are free from leaks.

## Observations

### 4.4.1 Roof Drainage Systems

#### MISSING OVER ENTRANCES

 Maintenance Item

Gutters were found to be missing over one or more entrances. This absence of gutters can lead to people getting wet when entering or exiting the building during rainy periods.

It is advisable to have a complete drainage system in place for most buildings. At a minimum, it is recommended to install gutters over entrances to help channel rainwater away from the entrances and keep those using them dry during inclement weather.



### 4.5.1 Roof Sheathing, Fascia Board

#### WOOD ROT , TERMITE DAMAGE

 Recommendation/Evaluation

Fungal rot or termite damage has been detected in one or more roof areas, particularly at the edges of the roof sheathing, rafter tails, and/or fascia boards. To address this issue, it is recommended to engage a qualified contractor who can make necessary repairs.

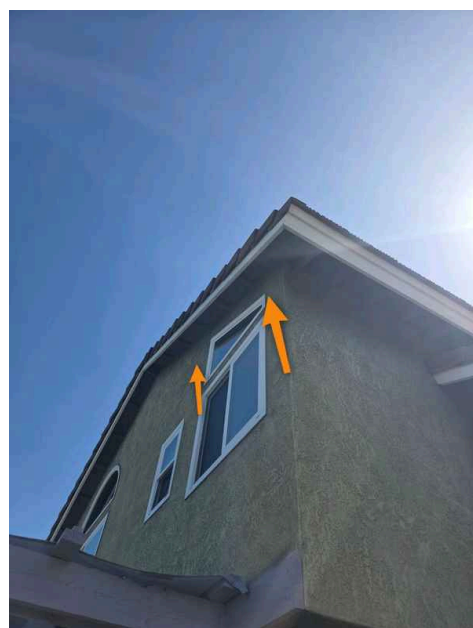
The repair process may involve replacing all rotten wood, priming and painting new wood, and installing flashing as needed. These repairs are essential to restore the structural integrity of the affected roof areas and prevent further damage from fungal rot or termites.



Upper level front over the garage



Right side



Rear

# 5: ATTIC AND ROOF STRUCTURE

		IN	NI	NP	O
5.1	General	X			
5.2	Attic Access	X			
5.3	Roof Structure	X			
5.4	Insulation	X			
5.5	Attic Ventilation	X			
5.6	Exhaust Ducts	X			

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## Information

**General: Inspection Method**

Traversed

**General: Attic Access Location**

guest bedroom closet

**Attic Access: Access type**

Attic lid

**Roof Structure: Roof Structure**

Rafters

**Roof Structure: Ceiling Structure**

Ceiling Joists

**Roof Structure: Roof/Ceiling Structure Condition**

Serviceable



**Insulation: Insulation Condition**

Serviceable

**Insulation: Insulation Material**

Fiberglass roll/batt

**Insulation: Insulation Rating**

R-30



**Attic Ventilation: Ventilation Condition**

Serviceable

**Attic Ventilation: Ventilation Type**

Box, Roof to Wall

**General: Limitations**

Please be aware that certain items or areas were not included in this attic inspection. These exclusions encompass areas that could not be traversed or viewed clearly due to limited access and components obscured by insulation. Any comments provided regarding these items are offered as a courtesy only.

Additionally, the inspector does not assess the adequacy of the attic ventilation system. A comprehensive evaluation of the attic ventilation system would require complete access to all roof and attic spaces during all seasons and various weather conditions, which is beyond the scope of this inspection.

It's important to note that the inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters, or ceiling beams, including their spacing or sizing. Assessing these structural elements is outside the scope of this inspection.

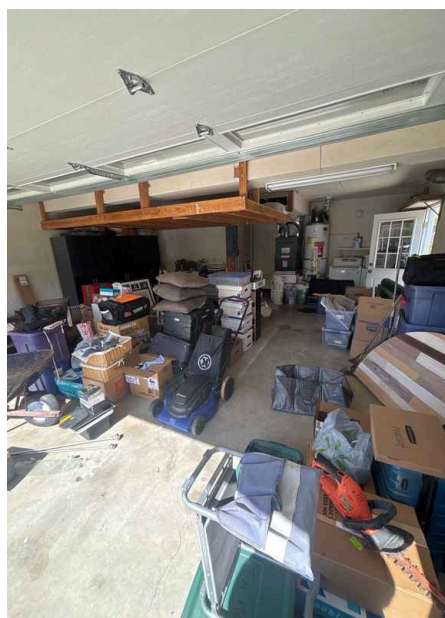
# 6: GARAGE

		IN	NI	NP	O
6.1	General	X			
6.2	House-to-Garage Door	X			X
6.3	Garage Door	X			
6.4	Automatic Opener	X			
6.5	Garage Floor	X			X
6.6	Garage Walls/Ceilings	X			X

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## Information

**General: Garage**  
Attached, Garage



**House-to-Garage Door: Attached Garage-House Door Condition**  
Repair/Replace

**House-to-Garage Door: Attached Garage-House Door Type**  
Solid, Wood

**Garage Door: Material**  
Insulated, Aluminum

**Garage Door: Type**  
Sectional

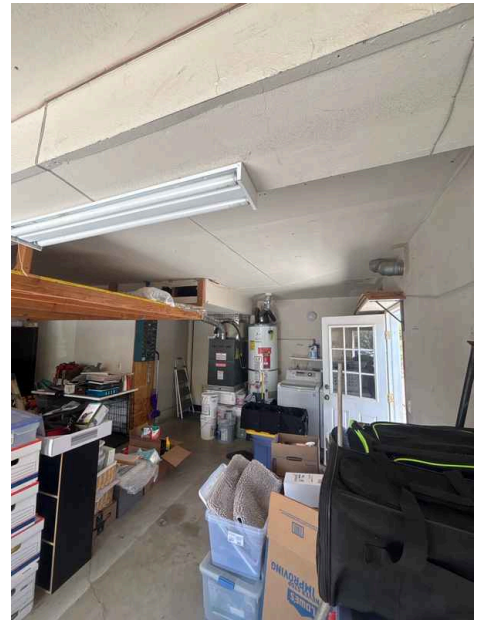
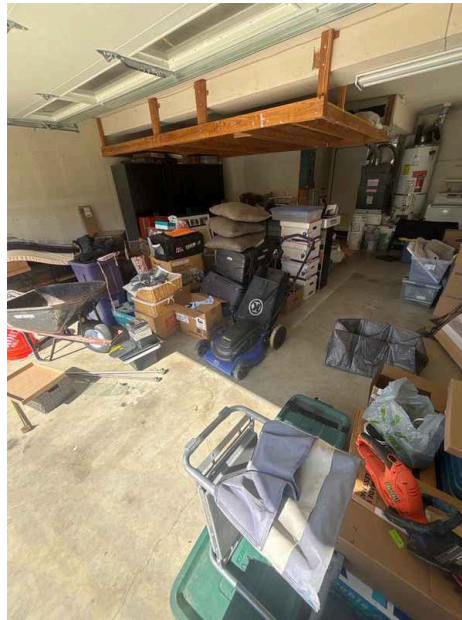
**Garage Door: Number Of Doors**  
1



**Automatic Opener: Serviceable**

**Garage Floor: Garage Floor Condition**  
Serviceable

**Garage Walls/Ceilings: Garage Wall/Ceiling Condition**  
Repair/Replace



### Garage Walls/Ceilings: Garage Ventilation

Adequate

## Observations

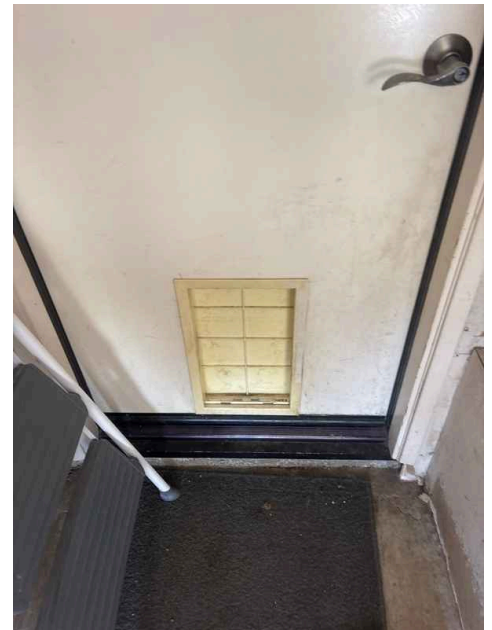
### 6.2.1 House-to-Garage Door

#### **PET DOOR, WINDOW**

 Safety Issue

The door between the garage and the house has been altered with the addition of a pet door and/or window, and as a result, it is no longer fire-resistant. This presents a potential safety hazard, as doors separating the house from the garage should be constructed from fire-resistant materials to prevent the spread of fire and fumes from the garage into the interior living space. Typically suitable materials for such doors include solid core wood, steel, honeycomb steel, or doors that are factory labeled as fire-rated.

To address this safety concern and align with standard building practices, it is strongly recommended that a qualified contractor replaces or repairs the door. During this process, any other necessary corrections should be made to reestablish the required fire resistance between the garage and the dwelling, thereby ensuring the safety of the living space in the event of a garage-related fire.

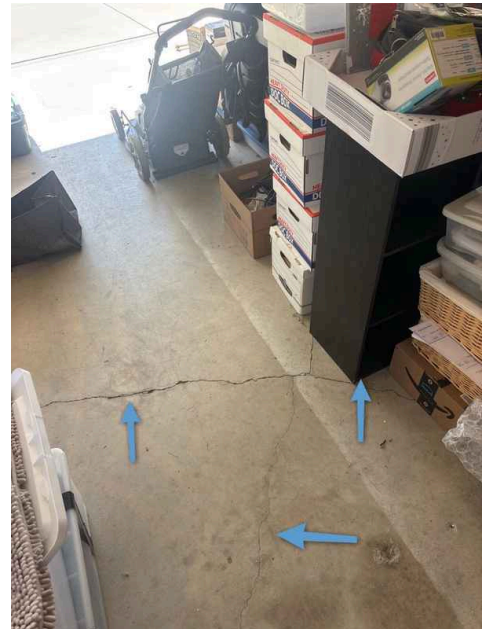


6.5.1 Garage Floor

 Maintenance Item

**MINOR DETERIORATION**

Minor cracks or deterioration were found in the concrete slab floor. These are common and appeared to be only a cosmetic issue.

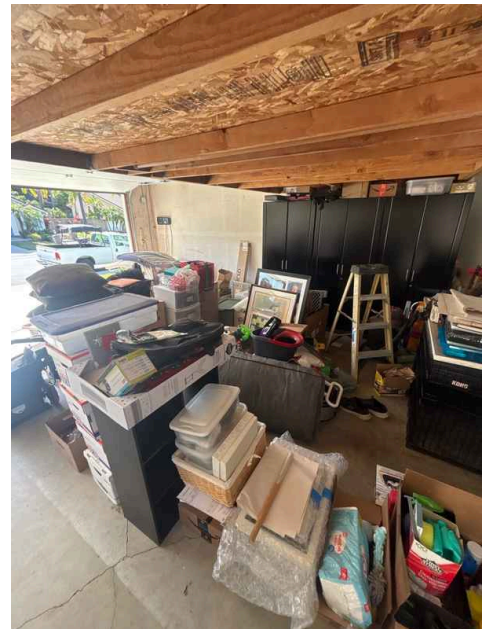


6.5.2 Garage Floor

 Maintenance Item

**GARAGE FLOOR COVERED**

The garage floor was covered with flooring material and/or personal items. A thorough inspection of the garage slab/floor could not be completed as a result. Recommend further inspection once the items have been removed.



## 6.6.1 Garage Walls/Ceilings

**BREACH OF FIRE RATED WALLS/CEILINGS**

In the attached garage, one or more issues were identified, such as gaps, holes, pet doors, or areas with missing or substandard drywall on the walls or ceilings. Contemporary standard building practices require wooden-framed ceilings and walls that separate the house and garage to offer a limited fire-resistance rating, thus preventing the spread of fire from the garage to the house.

To ensure compliance with these safety standards and maintain the fire-resistant barrier, it is recommended that a qualified individual repairs the identified issues following standard building practices. This may involve patching openings or holes, using fire-resistant caulking to firestop gaps, and installing fire-resistant wall coverings such as Type X drywall where necessary. This will enhance the fire safety of the garage and its separation from the house.



# 7: PLUMBING

		IN	NI	NP	O
7.1	General	X			
7.2	Service/Main Line	X			X
7.3	Supply Lines	X			
7.4	Supply Line Hangers	X			
7.5	Valves	X			
7.6	Hose Bibs	X			
7.7	Drain and Waste Lines		X		
7.8	Vent Lines	X			
7.9	Gas Supply Piping	X			
7.10	Fuel Systems	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Service/Main Line: Main Supply Pipe Material

Copper



### Service/Main Line: Main Water Shut-Off Device (Location)

Exterior

### Service/Main Line: Water Pressure P.S.I.

50



### Supply Lines: Supply Line Condition

Serviceable

### Supply Lines: Supply Line Material Type

Copper

### Vent Lines: Condition

Serviceable

### Vent Lines: Material

ABS

### Fuel Systems: Fuel Systems Condition

Serviceable

### Fuel Systems: Fuel Shut-Off

Gas Meter



### General: Limitations

The following items are not included in this inspection:

1. Private/shared wells and related equipment.
2. Private sewage disposal systems.
3. Hot tubs or spas.
4. Main, side, and lateral sewer lines.
5. Gray water systems.
6. Pressure boosting systems.
7. Trap primers.
8. Incinerating or composting toilets.
9. Fire suppression systems.
10. Water softeners, conditioners, or filtering systems.
11. Plumbing components concealed within the foundation or building structure or in inaccessible areas, such as below tubs.
12. Underground utilities and systems.
13. Overflow drains for tubs and sinks.
14. Backflow prevention devices.

Please note that any comments made regarding these items are provided as a courtesy only. It's important to understand that the inspector does not operate water supply or shut-off valves due to the risk of valves leaking or breaking during operation. The inspector also does not conduct tests for the presence of lead in the water supply, water pipes, or solder, and does not determine if plumbing and fuel lines are adequately sized. Additionally, the inspector does not determine the existence or condition of underground or above-ground fuel tanks.

### Service/Main Line: Pressure Regulating Valve Exists

Pressure regulators allow you to reduce the pressure to your desired level or what is appropriate for your private plumbing. An adjustable spring-loaded diaphragm within the regulator reduces the pressure to a set level before the water reaches any plumbing fixtures inside the home.



### Service/Main Line: Flow meter

A flow meter is a device that measures how much liquid or gas moves through a pipeline in a given period of time. By measuring flow rates, flow meters provide crucial visibility into what's flowing where, within pipes, drainage systems, and other types of infrastructure.



## Observations

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## 7.2.1 Service/Main Line



Maintenance Item

**FLOW METER MOVEMENT**

The flow meter at the main water meter had slight movement. This can be an indication of a water supply line leak but can also be something as simple as a leaking faucet or leaking toilet valve. Recommend a qualified plumber evaluate the flow meter after all known plumbing fixture issues have been repaired.



Running toilet causing flow meter movement

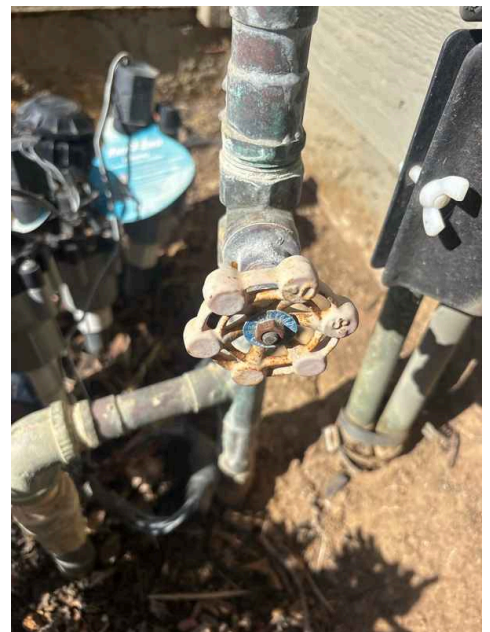
## 7.2.2 Service/Main Line



Maintenance Item

**OLD GATE VALVE**

The main water shut-off handle is an older gate valve. These types of valves are unreliable and prone to failure. It is especially important to be able to reliably operate the main water shut-off valve in an emergency, such as when a supply pipe bursts. Recommend that a qualified plumber replace with a newer ball valve .



## 7.7.1 Drain and Waste Lines



Maintenance Item

**RECOMMEND VIDEO SCOPE**

We always recommend a sewer line inspection for single family homes. (The internal plumbing systems for condominiums and townhomes are typically covered by the homeowner's association) Even newer homes can have problems with the sewer lines, and the likelihood of issues increases after 15 years. Based on worn or newer waste clean-out caps, the overall age of the building, nearby trees, or other findings noted in this report, or information provided to the inspector, the waste lines may have a history of clogging. Significant repairs may be needed. If on a public sewer system, the property owners are usually responsible for repairs to the side sewer and publicly owned lateral lines. Consult with the property owner regarding past repairs to these lines. The client has been notified of this recommendation but has declined the additional service. We can return at a later date and perform the sewer line inspection for an additional cost of \$275 or we recommend that a qualified plumber inspect the waste lines using a video scope device to determine if they need repair or replacement. Note that repairs are often expensive due to the need for excavation.

# 8: WATER HEATER

		IN	NI	NP	O
8.1	General	X			
8.2	Tank	X			X
8.3	Tankless			X	
8.4	Earthquake Straps	X			
8.5	TPR Valve	X			X
8.6	Platform			X	
8.7	Controls	X			
8.8	Sediment Trap	X			X
8.9	Electric			X	
8.10	Burners		X		
8.11	Exhaust	X			
8.12	Recirculating Pump			X	
8.13	Combustion Air	X			
8.14	Expansion Tank			X	

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**General: Water Heater Condition**  
Serviceable

**General: Water Heater Type**  
Tank

**General: Capacity**  
50



**General: Energy Source**  
Natural Gas

**General: Age**  
21



**General: TPR Valve**



**General: Location**  
Garage

**Controls: Location**  
On unit



### General: Limitations

The inspection report does not include an evaluation of the following items, and comments made in this regard are provided as a courtesy only:

1.  
Water Recirculation Pumps: The inspection does not assess the condition or functionality of water recirculation pumps, which are used to ensure hot water is quickly available at fixtures. Maintenance and evaluation of these systems are beyond the scope of the inspection.
2.  
Solar Water Heating Systems: Solar water heating systems, which utilize solar panels to heat water, are not evaluated during the inspection. These systems have unique components and require specialized assessments.
3.  
Energy Smart or Energy Saver Controls: Any specialized energy-saving controls or devices are not inspected. The assessment of such controls typically requires knowledge of their specific operation and settings.
4.  
Catch Pan Drains: Drains in catch pans under water heaters are not evaluated during the inspection. The inspection does not include a check of these drains or their functionality.

5.  
Remaining Life of Water Heaters: The inspection report does not provide an estimate of the remaining lifespan of water heaters.
6.  
Appropriateness of Water Heater Sizing: The inspection does not determine if the water heaters are appropriately sized for the property's hot water needs.
7.  
Evaluations Requiring Pilot Lights or Shut-Off Valve Operation: The inspector does not perform evaluations that require pilot lights to be lit or shut-off valves to be operated.

For a comprehensive assessment of any of these items or systems, property owners should consult with qualified specialists or contractors with expertise in these specific areas.

## Observations

### 8.2.1 Tank

#### LIFESPAN 10-12 YEARS



The water heater appears to be near, at, or beyond its estimated useful life, which is typically 10-12 years. Due to its age and potential for failure, it is recommended that you budget for a replacement in the near future or consider replacing it preemptively before any leaks occur. It's important to be aware that significant flooding can result if the water heater fails.

If you decide not to replace the water heater immediately, it is advisable to have a qualified professional install a catch pan and drain or a water alarm to help prevent damage in case of a water heater leak. These safety measures can provide added protection for your property in the event of a failure.

### 8.5.1 TPR Valve

#### MISSING DRAIN LINE



The drain line for the temperature-pressure relief valve was missing. This is a potential safety hazard, as it poses a risk of scalding if someone were to be standing next to the water heater when the valve opens. Recommend that a qualified plumber install a drain line with appropriate material as per standard building practices.



## 8.8.1 Sediment Trap



## Recommendation/Evaluation

**MISSING**

A sediment trap was missing from the gas supply line to the water heater. Sediment traps are required by most plumbing codes to prolong the life of the water heater by trapping oil, scale, water condensation and/or debris. Recommend that a qualified technician install a sediment trap per standard building practices. Note that while sediment traps are part of the uniform plumbing code, the lack of one is not a safety risk. They merely protect the appliances.



# 9: FIREPLACES, CHIMNEYS AND FLUES

		IN	NI	NP	O
9.1	General	X			
9.2	Wood burning Fireplaces, Stoves & Inserts	X			X
9.3	Gas Fired Fireplace, Log Lighter	X			X
9.4	Chimneys	X			X
9.5	B-Vent, Exhaust Pipes	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### General: Type

Masonry, Pre-cast, Gas, Masonry



### Chimneys: Wood Burning

#### Chimney Type

Pre-cast Concrete



### Chimneys: Gas Fired Flue Type

Direct Vent

### General: Limitations

This inspection does not cover the following items: coal stoves, gas logs, chimney flues (except when visible). Any comments made regarding these items are merely provided as a courtesy. Please note that the inspector does not assess the adequacy of drafting or sizing of fireplace and stove flues. Additionally, the inspector does not verify if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not conduct assessments that involve lighting pilot lights or igniting fires. The inspection primarily involves a basic visual examination of a chimney and any connected wood-burning equipment. It's important to be aware that the National Fire Protection Association recommends a comprehensive Level 2 chimney inspection for every property sale or transfer involving a wood-burning device. This in-depth examination may uncover issues that may not be evident to a generalist home inspector.

## Observations

### 9.2.1 Wood burning Fireplaces, Stoves & Inserts



## **SPECIALIST TO INSPECT, CLEAN, REPAIR ALL WOOD BURNING APPLIANCES**

One or more wood-burning fireplaces or stoves were identified on the property. To ensure their safe and efficient operation, it is recommended that these devices be professionally inspected and cleaned on an annual basis. This regular maintenance helps prevent the accumulation of creosote and allows for the identification of any necessary repairs. According to the National Fire Protection Association, a "Level 2" chimney inspection is advised for every property sale or transfer that includes a wood-burning device.

It is recommended that you discuss with the property owner the history of servicing and repairs related to all wood-burning devices and associated chimneys or flues at this location. Furthermore, consulting with a qualified specialist to assess all wood-burning devices and chimneys, as well as to perform any required cleaning and repairs, is strongly recommended. Please note that if a wood stove insert is installed, it may need to be removed for a thorough evaluation.

### 9.3.1 Gas Fired Fireplace, Log Lighter



## **SERVICE RECOMMENDED**

We recommend that the client carefully review all available documentation for the gas-fired fireplaces and stoves in the property. The maintenance and servicing requirements for these appliances may vary depending on their typical use, such as routine heating versus ambiance. In general, gas-fired appliances like these typically require servicing on an annual basis or every few years to ensure safe and efficient operation. To determine if immediate service is needed, we suggest consulting with the property owner and, if necessary, seeking the expertise of a qualified specialist.

### 9.3.2 Gas Fired Fireplace, Log Lighter



## **NEED DAMPER CLAMP**

In a fireplace with a gas burner, the presence of a chimney damper that can close is a safety hazard. This situation can allow exhaust gases from the burner or pilot light to enter living spaces. To ensure safety, modifications should be made to prevent the damper from closing. This can be achieved by installing a C-clamp or other "damper clamp" on the damper plate to keep it permanently open and prevent the hazard. Recommend that this modification be made promptly to address the safety concern.



9.4.1 Chimneys

Recommendation/Evaluation

**CRACKED PRE-CAST CHIMNEY**

The fireplace and chimney are a "Rampart" pre-cast product, very common from the late 70's to early 90's construction in southern California. Several cracks were noted during the inspection. These fireplace/chimneys are prone to cracking. There is only one approved repair option, called "Thermocrete". If the cracking is severe and the structural integrity is compromised, these structures have to be torn down and rebuilt in a different manner, which can be costly and requires a building permit. It is beyond the scope of the normal home inspection to determine this. Recommend further evaluation by a certified chimney sweep/fireplace inspector who can determine if the fireplace and chimney can be repaired.



# 10: ELECTRICAL

		IN	NI	NP	O
10.1	General	X			
10.2	Main Panel	X			X
10.3	Sub-Panel(s)			X	
10.4	Breakers	X			
10.5	Wiring	X			
10.6	Receptacles (Outlets) /Junction Boxes	X			X
10.7	Switches	X			X
10.8	Ceiling Fan(s)	X			X
10.9	Lighting	X			X
10.10	Exterior	X			
10.11	Doorbells	X			
10.12	Landscape Lighting			X	
10.13	Smoke and Carbon Monoxide Alarms	X			X
10.14	Solar Electric			X	

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**General: Service Condition**  
Serviceable

**General: Service Type**  
Underground

**General: Amperage**  
100

**General: Main Disconnect Rating**  
100

**General: Protection**  
Breakers

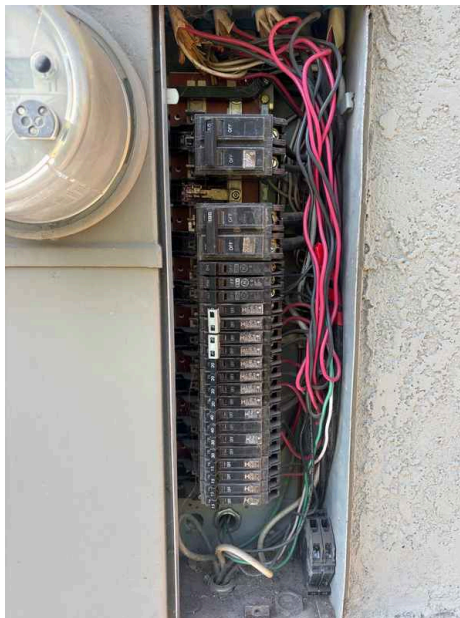
**General: System Ground**  
Concrete Encased Electrode



**Main Panel: Main Panel Condition**  
Serviceable

**Main Panel: Main Panel Location**  
Right side

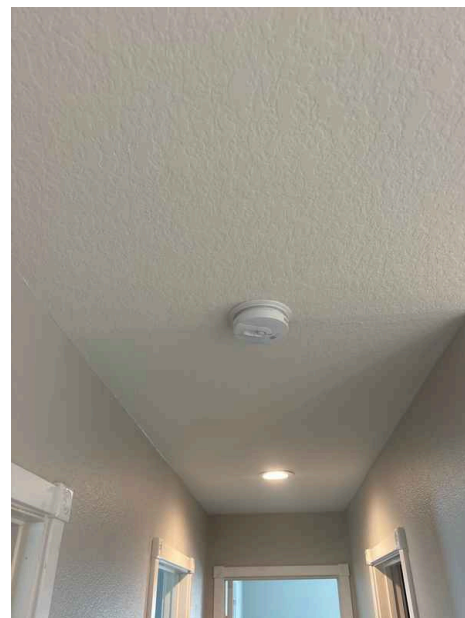
**Wiring: Wiring Condition**  
Serviceable



**Wiring: Wiring Type**  
Copper Solid, Copper Multi

**Smoke and Carbon Monoxide Alarms: Carbon Monoxide Alarms Installed**  
No

**Smoke and Carbon Monoxide Alarms: Smoke alarms Installed**  
Yes



2nd Floor hallway

**General: Limitations**

The following items are not covered in this inspection:

- Generator systems
- Transfer switches
- Surge suppressors
- Inaccessible or concealed wiring
- Underground utilities and systems
- Low-voltage lighting or lighting controlled by timers or sensors

Comments made about these items are provided as a courtesy, and the inspector does not determine:

- The adequacy of grounding or bonding
- Whether the system has sufficient capacity for the client's specific needs
- Whether the system has reserve capacity for future additions or expansions

The inspector does not perform the following tasks:

- Operate circuit breakers as part of the inspection
- Install or change light bulbs
- Evaluate every wall switch or receptacle, but instead tests a representative number based on various standards of practice
- Test receptacles that are not of standard 110-volt configuration, including 240-volt dryer receptacles
- Determine the functionality, power source, or placement of smoke and carbon monoxide alarms as part of this inspection

It is the responsibility of the client to verify the proper operation and placement of smoke and carbon monoxide alarms upon taking occupancy. Additionally, it is recommended to change the batteries in these devices, which have a limited lifespan and should be replaced every 10 years.

The inspector will attempt to locate and evaluate all main and sub-panels. However, some panels may be concealed, and if panels are discovered after the inspection, a qualified electrician should assess and repair them if necessary.

The inspector will try to determine the overall electrical service size, but such estimates are not guaranteed as the overall capacity may be diminished by lesser-rated components in the system. Any recommended repairs should be carried out by a licensed electrician.

## Receptacles (Outlets) /Junction Boxes: Primary GFCI Location

Garage, Exterior (Individual), Powder bathroom, Guest bathroom, Master bathroom

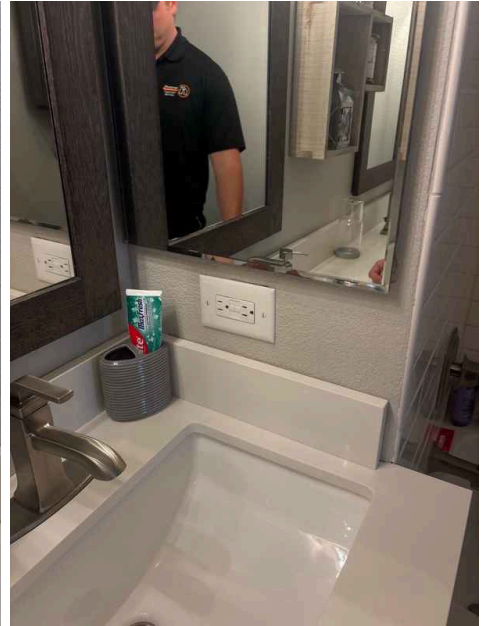
The ground-fault circuit interrupter, or GFCI, is a fast-acting circuit breaker designed to shut off electric power in the event of a ground-fault within as little as 1/40 of a second.



Garage



1st Floor powder bathroom



2nd Floor guest Bathroom



## Observations

10.2.1 Main Panel

### SUB 200 AMP PANEL

The electrical service is below the standard 200 amps. While it is adequate for this size of a home, it may prove to be inadequate for future upgrades such as an electrical vehicle charger. Recommend consulting with a qualified electrician about a possible panel upgrade.



10.2.2 Main Panel

 Safety Issue

**OPEN SLOTS**

The main electrical panel was found to have one or more open slots where circuit breakers are typically installed. This condition exposes energized electrical equipment, creating a significant shock hazard. To address this safety concern, it is strongly recommended that a qualified person install closure covers in any open slots where circuit breakers are missing. These covers will help protect against electrical shock and enhance the safety of the electrical system.



10.6.1 Receptacles (Outlets) /Junction Boxes

 Recommendation/Evaluation

**NO POWER**

One or more electric receptacles (outlets) were found to have no power. Recommend a qualified electrician evaluate and repair as needed.

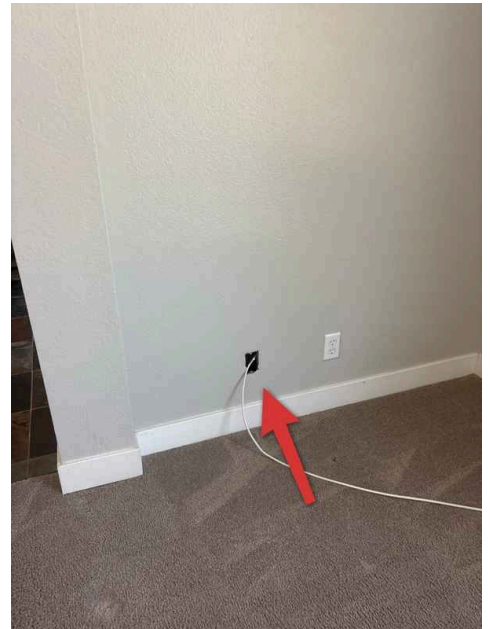


Rear living room

## 10.6.2 Receptacles (Outlets) /Junction Boxes

 Safety Issue**COVER PLATE MISSING, DAMAGED**

Cover plates for switches, receptacles (outlets) or junction boxes were missing or broken in one or more locations. These plates are intended to contain fire and prevent electric shock from occurring due to exposed wires. Recommend that a qualified person install new cover plates as needed.



Master Bedroom

## 10.6.3 Receptacles (Outlets) /Junction Boxes

 Maintenance Item**MULTIPLE GFCIS'S SAME CIRCUIT**

Multiple GFCI protected receptacles were installed on the same circuit . Typically, only one GFCI protected receptacle is needed at the beginning of the circuit run. While this is not a safety hazard, it is an inconvenience, as each GFCI will need to be reset if one trips.

Recommend replacement of the additional GFCI receptacles with standard receptacles.



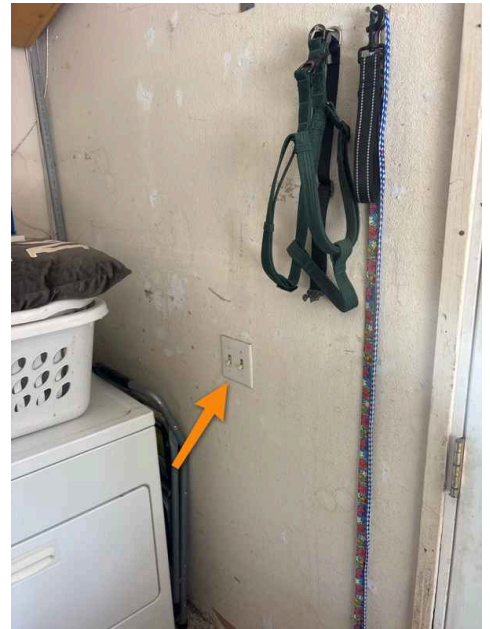
Master Bathroom is connected to 2nd Floor guest bathroom

10.7.1 Switches

Recommendation/Evaluation

**UNKNOWN SWITCH**

We cannot verify what one or more switches operates. Recommend a qualified electrician verify where the switch leads



Garage

10.8.1 Ceiling Fan(s)

Maintenance Item

**INOPERABLE, SWITCH NOT FOUND**

One or more ceiling fans appeared to be inoperable, or the normal controls could not be located. Recommend asking the property owner about their operation. If necessary, a qualified electrician should evaluate and repair as needed.



Dead remote Kitchen



Dead remote middle guest bedroom

10.9.1 Lighting

Recommendation/Evaluation

**LIGHTING MISSING/DAMAGED/SUBSTANDARD**

Light fixtures were missing, damaged, deteriorated, loose, substandard in one or more locations. Recommend that a qualified electrician repair or replace light fixtures as needed.



Kitchen

10.13.1 Smoke and Carbon Monoxide Alarms

Safety Issue

**MISSING SMOKE ALARMS**

Smoke alarms were missing from one or more areas. This is a potential safety hazard. A qualified electrician should install smoke alarms per standard building practices (e.g. in hallways leading to bedrooms, in each bedroom, and on each floor).



1st Floor



All bedrooms

10.13.2 Smoke and Carbon Monoxide Alarms

 Safety Issue

**MISSING CARBON MONOXIDE ALARMS**

Carbon monoxide alarms were missing from one or more floors/hallways. This is a potential safety hazard. The state of California requires carbon monoxide alarms to be installed for new construction and/or for homes being sold. Recommend installing approved carbon monoxide alarms outside of each separate sleeping area in the immediate vicinity of the bedrooms, and on each level of the home, in accordance with the manufacturer's recommendations.



1st Floor



2nd Floor

# 11: INTERIORS

		IN	NI	NP	O
11.1	General	X			
11.2	Windows	X			
11.3	Screens	X			
11.4	Window Coverings	X			
11.5	Skylights			X	
11.6	Walls, Ceilings, Fixtures	X			X
11.7	Interior Doors	X			X
11.8	Exterior Doors	X			
11.9	Interior Cabinets/Built-Ins	X			
11.10	Floors	X			X
11.11	Trim	X			X
11.12	Stairs/Handrails/Guardrails	X			X
11.13	Thermal Scan	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### Windows: Window Type

Sliding, Double Pane

### Windows: Window Material

Vinyl

### Walls, Ceilings, Fixtures:

#### Condition

Serviceable



### Walls, Ceilings, Fixtures: Wall Covering Type

Drywall

### Walls, Ceilings, Fixtures: Ceiling Type or Covering

Drywall

### Exterior Doors: Door Condition

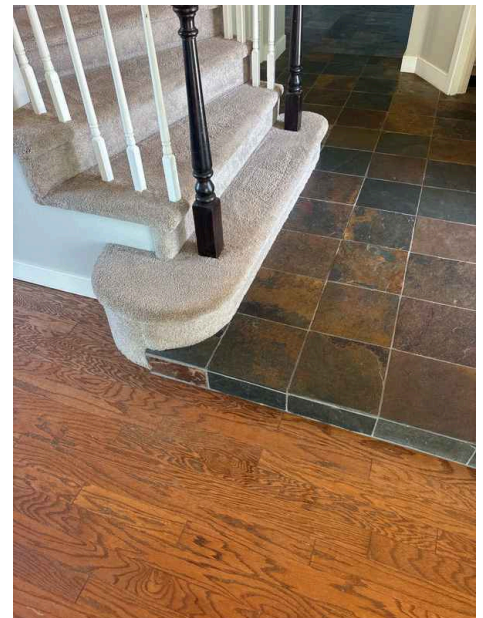
Serviceable



**Exterior Doors: Door Type**  
Sliding Glass

**Interior Cabinets/Built-Ins: Cabinetry**  
Wood

**Floors: Flooring Condition**  
Serviceable



**Floors: Flooring Type**  
Wood, Tile, Carpet

### General: Limitations

Please be advised that the following items are not covered in this inspection: security, intercom, and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies like nail pops, scuff marks, dents, dings, or other blemishes resulting from normal wear and tear on wall, floor, and ceiling surfaces and coverings, as well as in equipment; issues related to interior decorating; low-voltage and gas lighting systems. Any comments made regarding these items are provided for informational purposes only.

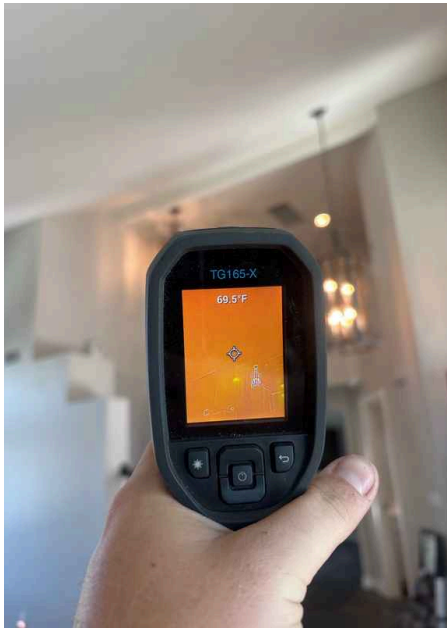
Also, it's important to note that the inspector does not assess areas or items that require the relocation of stored items, furnishings, debris, equipment, floor coverings, insulation, or similar materials. This inspection does not encompass testing for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substances. Certain items, such as window and cabinet operability, closet door and drawer function, are checked on a sampled basis.

Please be aware that paint might conceal defects in walls and ceilings, and floor coverings can mask floor issues. Furnishings could obscure defects in walls, floors, and floor coverings. If furnishings were present during the inspection, it is recommended that a thorough evaluation of walls, floors, and ceilings previously hidden by furniture be conducted when feasible.

Additionally, identifying the cause and source of odors is not within the scope of this inspection.

## Thermal Scan : Thermal Scan Performed

A thermal scan was performed on the property on all walls, floors, and ceilings, including inside bathroom and kitchen cabinets.



## Observations

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11.6.1 Walls, Ceilings, Fixtures

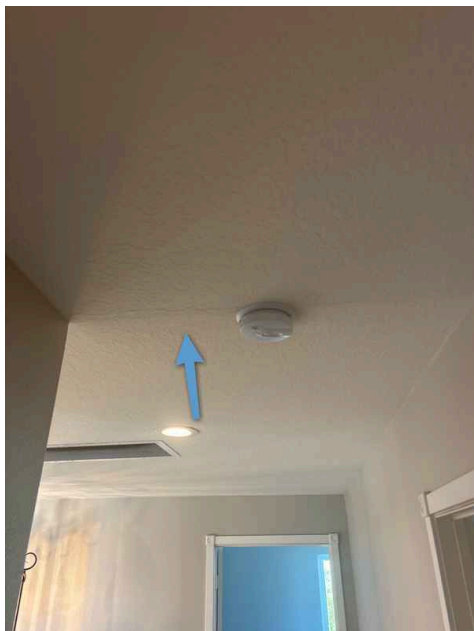
 Maintenance Item

**MINOR CRACKS, NAIL POPS**

Minor cracks, nail pops, and blemishes were observed in walls and/or ceilings in one or more areas of the property. These imperfections are often the result of normal settling and changes in humidity, and they are typically not indicative of structural issues. While these issues are generally cosmetic and do not pose a significant concern, some homeowners may choose to repair them for aesthetic reasons.



Dining Room window



2nd Floor hallway

11.6.2 Walls, Ceilings, Fixtures

 Recommendation/Evaluation

**NEEDS REPAIR**

Walls and/or ceilings were damaged, cracked or had substandard repairs in one or more areas. Recommend that a qualified technician repair as needed.



Garage



Rear living room



Over oven

## 11.6.3 Walls, Ceilings, Fixtures



Maintenance Item

**DRY STAINS, MONITOR**

One or more wall or ceiling areas were showing water stains. However, no elevated levels of moisture were detected. The stain(s) may be due to past roof and/or plumbing issues. Recommend consulting with the property owner and monitor the stained area(s) in the future, especially after heavy or prolonged rain. If elevated moisture is found in the future, a qualified contractor should evaluate and repair as needed.



Garage ceiling

## 11.6.4 Walls, Ceilings, Fixtures



Maintenance Item

**STAINS, UNKNOWN IF ACTIVE LEAK**

Stains were found in wall or ceiling areas in one or more areas. It is unclear if an active leak exists due to recent dry weather or inaccessible height. Recommend consulting with the current owner about these stains, monitoring the stains in the future, and/or having a qualified contractor evaluate and repair as needed.

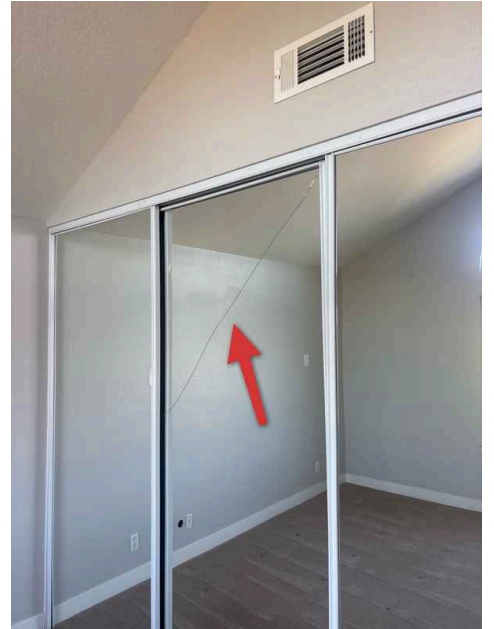


Living Room

## 11.7.1 Interior Doors

**MIRRORED DOORS CRACKED** Safety Issue

Mirror glass in one or more interior closet doors was broken.  
Recommend that a qualified contractor replace glass where necessary.



Master Bedroom

11.10.1 Floors

 Maintenance Item

**SQUEAKY**

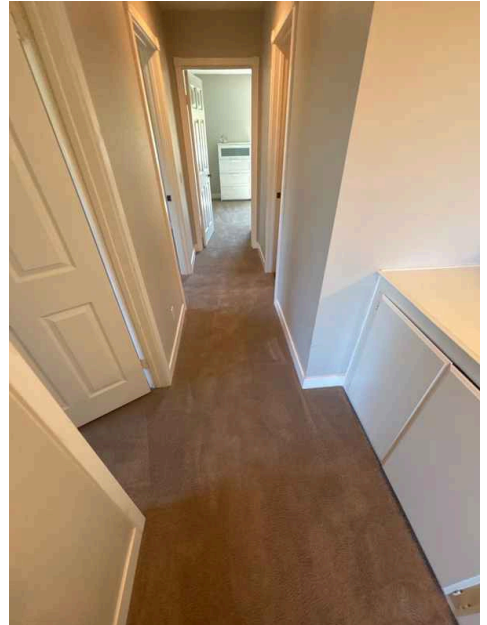
Squeaking or creaking noises were noted when walking on one or more sections of flooring. These sounds are typically a result of substandard construction practices, such as inadequate fastening of the sub-floor decking to the framing below. Common issues include insufficient use of glue and the use of nails instead of screws. In most cases, this concern is more of an annoyance than a structural problem. The difficulty of repairs depends on factors like the type of floor covering and the accessibility to the underside of the sub-floor.



Middle guest bedroom



Rear guest bedroom



2nd Floor hallway



Master Bedroom

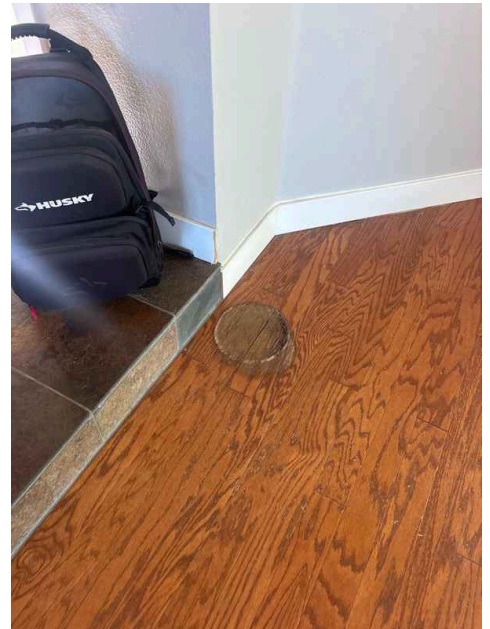
## 11.10.2 Floors

 Recommendation/Evaluation**WOOD FLOORS DAMAGED**

Wood flooring in one or more areas is experiencing cupping, crowning, or buckling. These issues are typically associated with changes in moisture content in the wood flooring. Cupping and crowning often occur when the top and bottom surfaces of the wood absorb moisture unevenly, causing the wood to warp. Buckling is a more severe condition where the wood flooring lifts away from the subfloor.

To address these problems, it is advisable to consult with the property owner and, if necessary, have a qualified specialist evaluate the extent of the damage and the underlying causes. Depending on the severity, affected areas of the wood flooring may need to be refinished to restore a flat and even surface.

Additionally, it's important to identify and rectify any moisture-related issues to prevent further damage to the wood flooring. This may involve addressing water leaks, improving ventilation, or using moisture barriers during refinishing or installation.

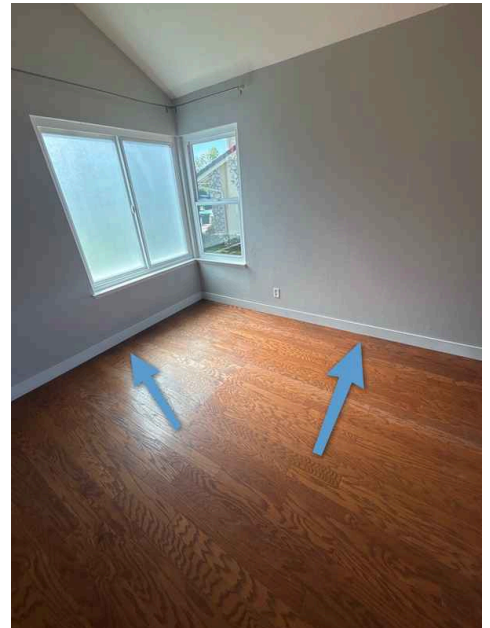


Front door

## 11.11.1 Trim

 Maintenance Item**BASEBOARD**

Baseboard was damaged or missing at one or more interior locations. Recommend repair/replacement as needed.



Front living room loose

## 11.12.1 Stairs/Handrails/Guardrails

**HANDRAILS LOOSE/WOBBLY** Safety Issue

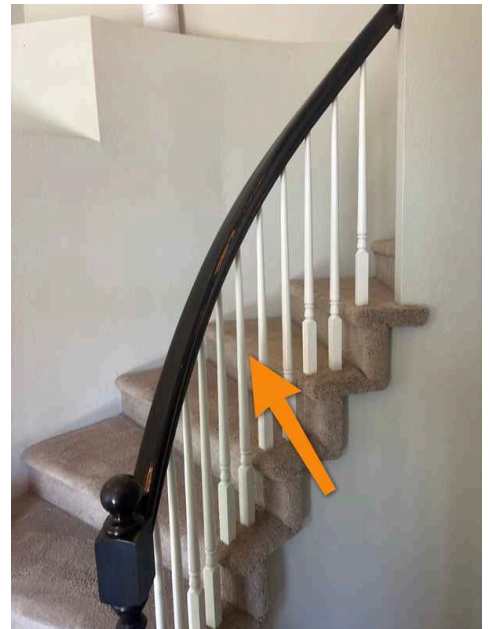
One or more flights of stairs hand handrails that were loose, wobbly, damaged or deteriorated. This is a safety hazard. Recommend that a qualified technician repair/replace as needed.



## 11.12.2 Stairs/Handrails/Guardrails

**LOOSE SPINDLES** Recommendation/Evaluation

One or more vertical spindles on the stair railing were loose or insecure. Recommend a qualified technician repair as needed.



# 12: HEATING AND AIR CONDITIONING

		IN	NI	NP	O
12.1	General	X			
12.2	Forced Air (Heating)	X			
12.3	Exhaust	X			
12.4	Filters	X			
12.5	Air Conditioning	X			X
12.6	Ducts, Registers	X			X
12.7	Thermostat	X			
12.8	Whole House Fan	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**General: Type**

Forced Air

**General: Distribution**

Ducts/Registers

**Forced Air (Heating): Condition**

Serviceable



**Forced Air (Heating):**

**Approximate Age**

20

**Forced Air (Heating): Energy**

**Source**

Natural Gas

**Filters: Filter Location**

Air Handler Base



**Filters: Type**  
Disposable



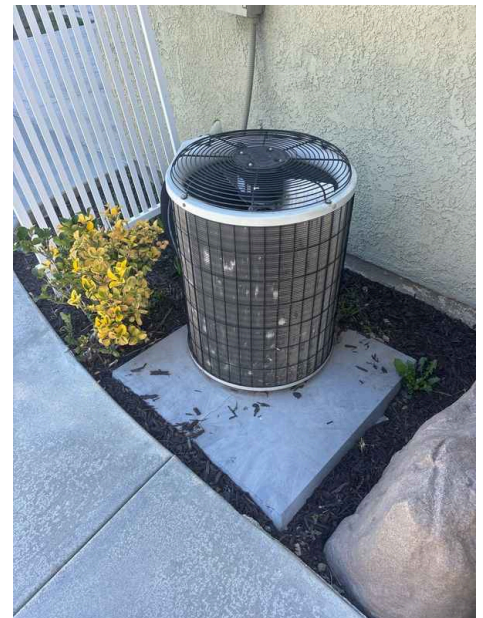
**Air Conditioning: Approximate Age**  
26

**Air Conditioning: Condition**  
Serviceable



**Air Conditioning: Type**  
Forced Air

**Air Conditioning: Location**  
Side yard



**Thermostat: Condition**  
Serviceable



### General: Limitations

The inspection report includes a disclaimer stating that certain items are not included in the inspection. These items are not assessed during the inspection, and comments made regarding them are provided as a courtesy. Here is a summary of the items not covered in the inspection:

1. Humidifiers, dehumidifiers, and electronic air filters.
2. Solar, coal, or wood-fired heating systems.
3. Thermostat or temperature control accuracy and timed functions.
4. Heating components concealed within the building structure or in inaccessible areas.
5. Underground utilities and systems.
6. Safety devices and controls (due to automatic operation).

The inspector does not provide estimates for the remaining life of heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, and does not perform evaluations that require certain operational actions, such as lighting pilot lights or operating shut-off valves.

It is also noted that the inspection does not assess the integrity of furnace heat exchangers or verify their condition. The report advises monitoring condensation pans and drain lines for clogs or leaks. Additionally, when buildings contain furnishings or stored items, the inspector may not be able to verify the presence of a heat source in all "liveable" rooms.

This disclaimer is a standard practice in home inspections to set clear boundaries on what is and isn't part of the inspection scope. Homebuyers are encouraged to have specialized inspections or evaluations for items or systems not covered by the general home inspection if they have specific concerns or questions.

### Forced Air (Heating): Temperature Variation Noted (Heat)

Yes



### Air Conditioning: Temperature Variation Noted (Cooling)

Yes



### Whole House Fan: Information

This home is equipped with a whole house fan. These fans provide cooling for interior spaces by pulling hot interior air up into the attic and out through attic vents, and by drawing cooler air in from the outside through open windows. They are intended to operate only when the outside temperature is cooler than inside, typically during the spring and fall months. Multiple windows should be opened to equal or exceed 3 times the area of the fan opening. If air conditioning is installed it should not be operated while the whole house fan is operated. These fans do not dehumidify and can be noisy during operation.

Attic vents should be kept clear at all times. Inadequate attic venting may result in attic air blowing through ceiling penetrations such as lights, or down through wall framing. It's beyond the scope of a home inspection to determine if attic venting is adequate.

Whole house fans can be effective for cooling, but they come with specific safety considerations. It's important to be aware of the following safety issues related to whole house fans:

- 1) Injury Risk: People can get injured if they come into contact with the fan blades or belts. Ensure that the fan is properly secured and that no one is in close proximity to the fan during operation.
- 2) Louver Operation: The louvers should always be open during the operation of the fan. If they are obstructed, the fan may overheat and pose a fire hazard. Keep the area above the fan unobstructed.
- 3) Storage: Do not store items on top of the fan, as this can obstruct airflow and cause overheating.

4) Negative Interior Air Pressure: Operating the whole house fan can create negative air pressure inside the home. This can lead to backdrafting in gas-fired appliances such as water heaters and clothes dryers. Backdrafting can cause carbon monoxide hazards and flame rollout. Ensure that your gas appliances are properly vented and not affected by the negative pressure created by the fan.

5) Child Safety: Children should never be allowed to operate whole house fans, as they may not fully understand the potential hazards associated with them.

Whole house fans should be shut down during cooler months when not needed. This includes installing an insulated cover over the fan and turning power off to the fan.

The client should be aware that some routine maintenance is required for whole house fans such as lubrication, and tightening or replacing belts cleaning. Consult with a heating and cooling specialist on this. Note also that motors and other components have a limited lifespan.



## Observations

### 12.2.1 Forced Air (Heating)

#### **SERVICE RECOMMENDED**



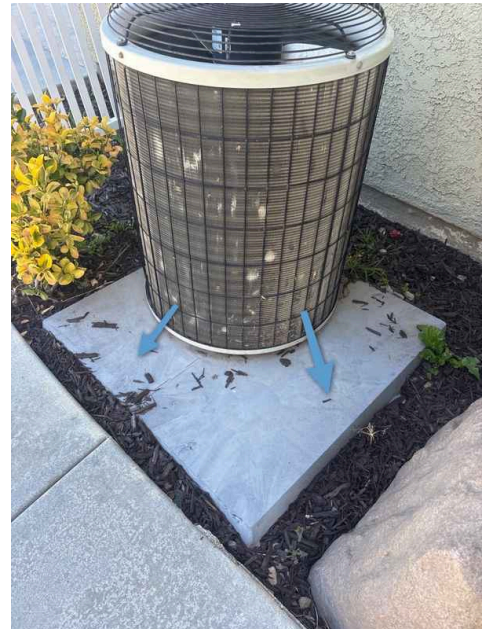
Regular service for the forced air heating/cooling system appeared to be more than 1 year ago, or the inspector was unable to determine the last service date. The inspector was unable to determine the last service date, or this system was serviced more than 1 year ago. We recommend that a qualified HVAC technician perform service on this system prior to close of escrow to identify and potentially issues and make repairs if necessary. Because this system has a compressor and refrigerant system, this servicing should be performed annually in the future.

## 12.5.1 Air Conditioning

**CONDENSER NOT SECURED TO THE PAD**

Maintenance Item

The air conditioning condenser was not secured to the pad as required. Movement of the unit due to internal vibration (or earthquake) can damage the refrigerant lines and their connections. Recommend a qualified specialist secure the condenser unit per building standards.



## 12.5.2 Air Conditioning

**R-22 WARNING**

Maintenance Item

The existing air conditioning unit is using R-22 refrigerant, commonly known as Freon, which was phased out and unavailable as of January 1st, 2020. The buyer should be aware that older air conditioning units cannot be recharged with refrigerant, if needed, after this date.

Should the existing refrigerant leak out, converting the compressor and evaporator coil to accept newer r-410 refrigerant or replacement of the entire condenser and evaporator coil units may be required.

## 12.5.3 Air Conditioning

**LIFESPAN BEYOND 15-20 YEARS**

Maintenance Item

The estimated useful life for most heat pumps and air conditioning condensing units is 15-20 years. If the unit in question appears to be at or beyond this age and/or its useful lifespan, it may require replacement or significant repairs in the near future. It is advisable to budget for a potential replacement to ensure continued comfort and efficiency in your heating and cooling system.

## 12.6.1 Ducts, Registers



Maintenance Item

**INSULATION DETERIORATED**

Sections of the heating and cooling ducts in an unconditioned space (e.g. crawl space, attic or basement) were not insulated, or the insulation was damaged or deteriorated. Reduced energy efficiency, moisture inside heating ducts, and/or "sweating" on cooling ducts can occur as a result. Recommend that a qualified technician repair as needed.



# 13: KITCHEN

		IN	NI	NP	O
13.1	General	X			
13.2	Counters	X			
13.3	Cabinets	X			
13.4	Sink	X			
13.5	Disposal	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Counters: Countertop Material**  
Tile



**Disposal: Serviceable**



**General: Limitations**

The following items are not included in this inspection: Appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

# 14: BUILT-IN APPLIANCES

		IN	NI	NP	O
14.1	Dishwasher	X			
14.2	Refrigerator	X			X
14.3	Range/Oven	X			X
14.4	Separate Cooktop			X	
14.5	Exhaust Hood/Fan	X			X
14.6	Microwave	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

**Dishwasher: Number of Dishwashers**

1



**Range/Oven: Temperature Reached After 10 Minutes**

400

**Refrigerator: Type of Refrigerator**    **Range/Oven: Oven/range turned off**  
 Freestanding



**Range/Oven: Range/Oven Energy Source**

Gas

**Exhaust Hood/Fan: Exhaust Hood Type**

Vented



**Microwave: Type of Microwave**  
Built-in



## Observations

### 14.2.1 Refrigerator

#### **ICE/WATER DISPENSER**

The refrigerator's ice maker, ice dispenser, and/or water dispenser was inoperable/malfunctioning. Recommend that a qualified person repair as necessary.

 Maintenance Item



Inoperable

## 14.3.1 Range/Oven

**IGNITERS INOPERABLE**

One or more burner igniters weren't operable. . Recommend qualified professional evaluate & repair.



Maintenance Item



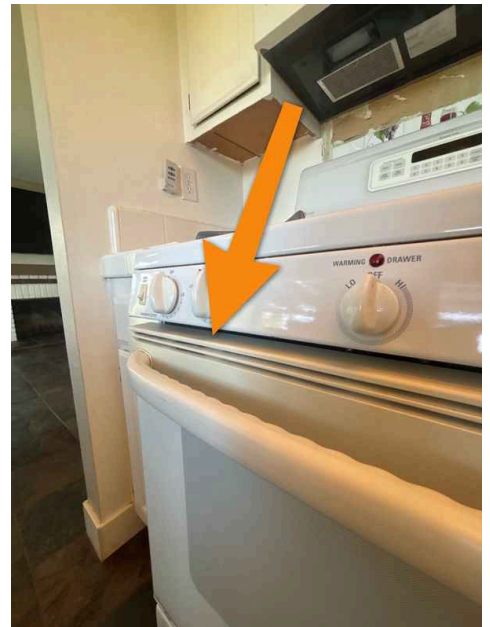
## 14.3.2 Range/Oven

**DOOR DOES NOT FULLY CLOSE**

The door gasket is often attached with small metal clips that push into holes in the door or oven cabinet around the cavity opening. If you find the door gasket loose, reinstall the gasket properly and you may be able to quickly fix the door closing properly in a matter of minutes.



Recommendation/Evaluation



Smoke escaping out of front of oven

## 14.5.1 Exhaust Hood/Fan

**FLEXIBLE EXHAUST DUCT**

The range hood duct is using an improper flexible duct. These are typically not allowed as cooking grease can collect in the folds of the duct. When combined with high temperatures, fires can start. This is the number one cause of kitchen fires according to the National Fire Protection Association. Recommend replacement with a smooth metal duct and sealed with temperature resistant tape.



Safety Issue

# 15: BATHROOMS, LAUNDRY AND SINKS

		IN	NI	NP	O
15.1	General	X			
15.2	Counters, Backsplashes	X			X
15.3	Cabinets	X			
15.4	Sinks	X			
15.5	Toilets	X			X
15.6	Bathtubs	X			X
15.7	Shower	X			X
15.8	Laundry	X			
15.9	Exhaust Fan	X			

IN = Inspected    NI = Not Inspected    NP = Not Present    O = Observations

## Information

### General: Location #1

Laundry, Garage



### General: Location #2

1st Floor, Powder



### General: Location #3

2nd Floor, Guest Bath



### General: Location #4

Master Bath

### General: Location #5

N/A

### General: Location #6

N/A



**General: Location #7**

N/A

**Laundry: Gas Supply**

Laundry room is equipped with a gas hook-up for dryer.

**Laundry: 220-V**

Laundry room is equipped with a 220-v hookup for dryer

**General: Limitations**

Please note that the inspection does not cover the following items: overflow drains for tubs and sinks, heated towel racks, saunas, steam generators, clothes washers, and clothes dryers. Any comments made about these items are provided as a courtesy. Additionally, the inspector does not test the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. Water supply or shut-off valves for sinks, toilets, bidets, and clothes washers are not operated during the inspection to avoid the risk of valve leaks or breakage. The inspector also does not assess the watertightness of shower pans or tub and shower enclosures, nor does the inspector evaluate the completeness or functionality of gas piping for laundry appliances.

**Observations**

15.2.1 Counters, Backsplashes

**NEED CAULK AT GAPS**

Gaps, absence of caulk, or inadequately applied caulking were observed between countertops and backsplashes, or in the vicinity of the sink. Such gaps can allow water infiltration, potentially resulting in damage. Recommend that a qualified technician address these issues as needed, which may include the installation or replacement of caulking to properly seal these areas.

 Maintenance Item



1st Floor powder bathroom

## 15.5.1 Toilets

**LOOSE TOILET** Recommendation/Evaluation

One or more toilets are loose where it attached to the floor. Leaks can occur as a result. Flooring, the sub-floor or areas below may get damaged. Sewer gases can enter living spaces. Recommend that a qualified plumber remove the toilet(s) for further evaluation and install a new wax ring. The toilet should also be caulked at the base of the bowl where it meets the floor to prevent movement and leaking, and for sanitary reasons.



1st Floor powder bathroom

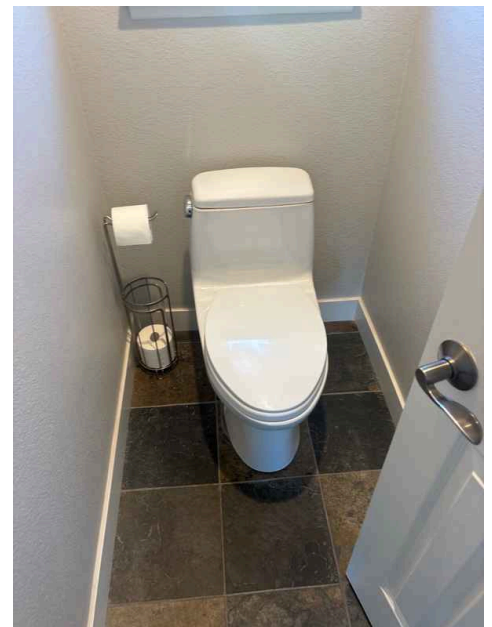


Master Bathroom

## 15.5.2 Toilets

**RUNS CONTINUOUSLY** Recommendation/Evaluation

One or more toilets ran water continuously or didn't shut off after being flushed, and water leaked from the tank into the bowl. Significant amounts of water can be lost through such leaks. If this system uses a septic system, the septic system can be overloaded and cause significant and potentially expensive damage. A qualified person should repair or replace components as necessary.



Master Bathroom

## 15.6.1 Bathtubs

 Recommendation/Evaluation**TILE/GROUT DETERIORATED**

One or more sections of grout was deteriorated, recommend filling in to avoid water intrusion.

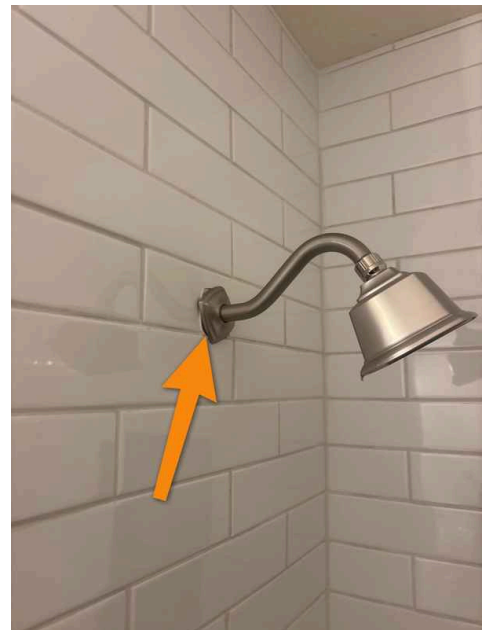


Master Bathroom

## 15.7.1 Shower

 Recommendation/Evaluation**LOOSE SHOWER HEAD TRIM RING**

The shower head trim ring is loose. Recommend re-sealing the trim ring to prevent moisture from getting into the opening and behind the tile.



2nd Floor guest bathroom

# STANDARDS OF PRACTICE

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