



www.STOCKTONARCHITECTS.com

Client

Gary Mantizyan
9865 Lanark St.
Sun Valley, CA 91352
(818)640-5590

Project

Lanark House

9865 W.Lanark Street
Sun Valley, CA 91352
(APN#2403-023-034)

Consultants

Architect
Richard Stockton
16461 Sherman Way #100
Van Nuys, CA 91406
(818)-888-9443

Consultant

Name

Address

Address

Phone

Consultant

Name

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Professional

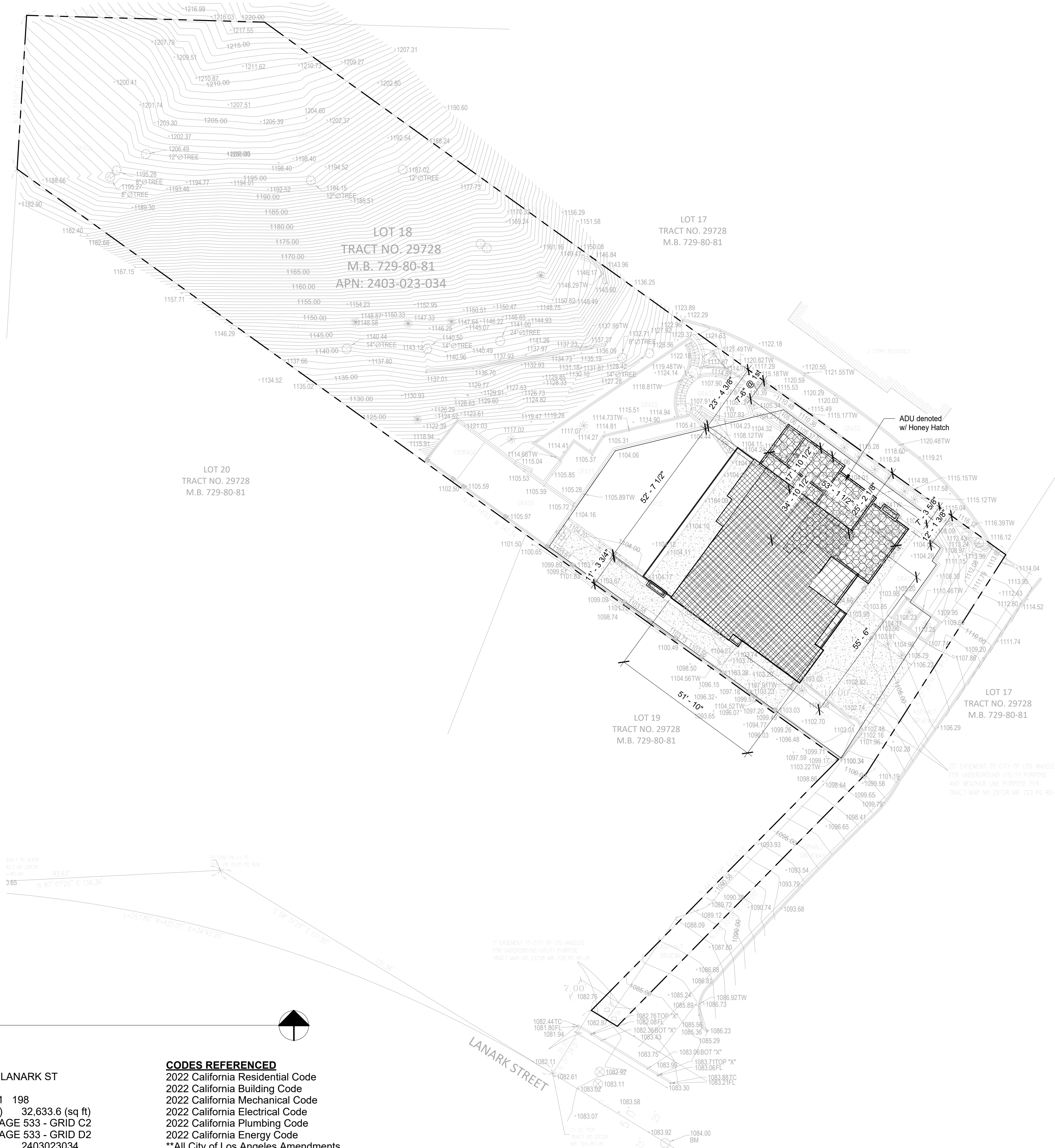
Date	Description	Issued to

Project Status

Proposed Site Plan

Date	Issue Date
Drawn By	Author
Checked By	Checker
A100	
Scale	As indicated

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Area Tabulation (Gross by Occupancy)		
Level	Name	Area

(E) 1st Story	Covered Patio	650 SF
(E) 1st Story	Garage	585 SF
(E) 1st Story	Porch	42 SF
(E) 1st Story	Residence	2759 SF
(E) 1st Story		4036 SF
(E) 2nd Story	Residence	2287 SF
(E) 2nd Story		2287 SF
Grand total		6323 SF

Area Tabulation (Gross Home)		
Level	Name	Area

(E) 1st Story	Residence	2759 SF
(E) 2nd Story	Residence	2287 SF
Grand total		5046 SF

① Site - Proposed
1" = 20'-0"

LEGAL DESCRIPTION:

Site Address 9865 W LANARK ST
ZIP Code 91352
PIN Number 192B181 198
Lot/Parcel Area (Calculated) 32,633.6 (sq ft)
Thomas Brothers Grid PAGE 533 - GRID C2
Thomas Brothers Grid PAGE 533 - GRID D2
Assessor Parcel No. (APN) 2403023034

Tract TR 29728
Map Reference M B 729-80/81
Block None
Lot 18
Arb (Lot Cut Reference) None
Map Sheet 192B181
Zoning RE20-1

SCOPE OF WORK:

Proposed 2-Story Major Remodel
& Addition to an Existing 2-Story
SFD Type VB R-3 Occupancy w/
an Attached 2-Car Garage Type
VB U Occupancy

CODES REFERENCED

2022 California Residential Code
2022 California Building Code
2022 California Mechanical Code
2022 California Electrical Code
2022 California Plumbing Code
2022 California Energy Code
**All City of Los Angeles Amendments



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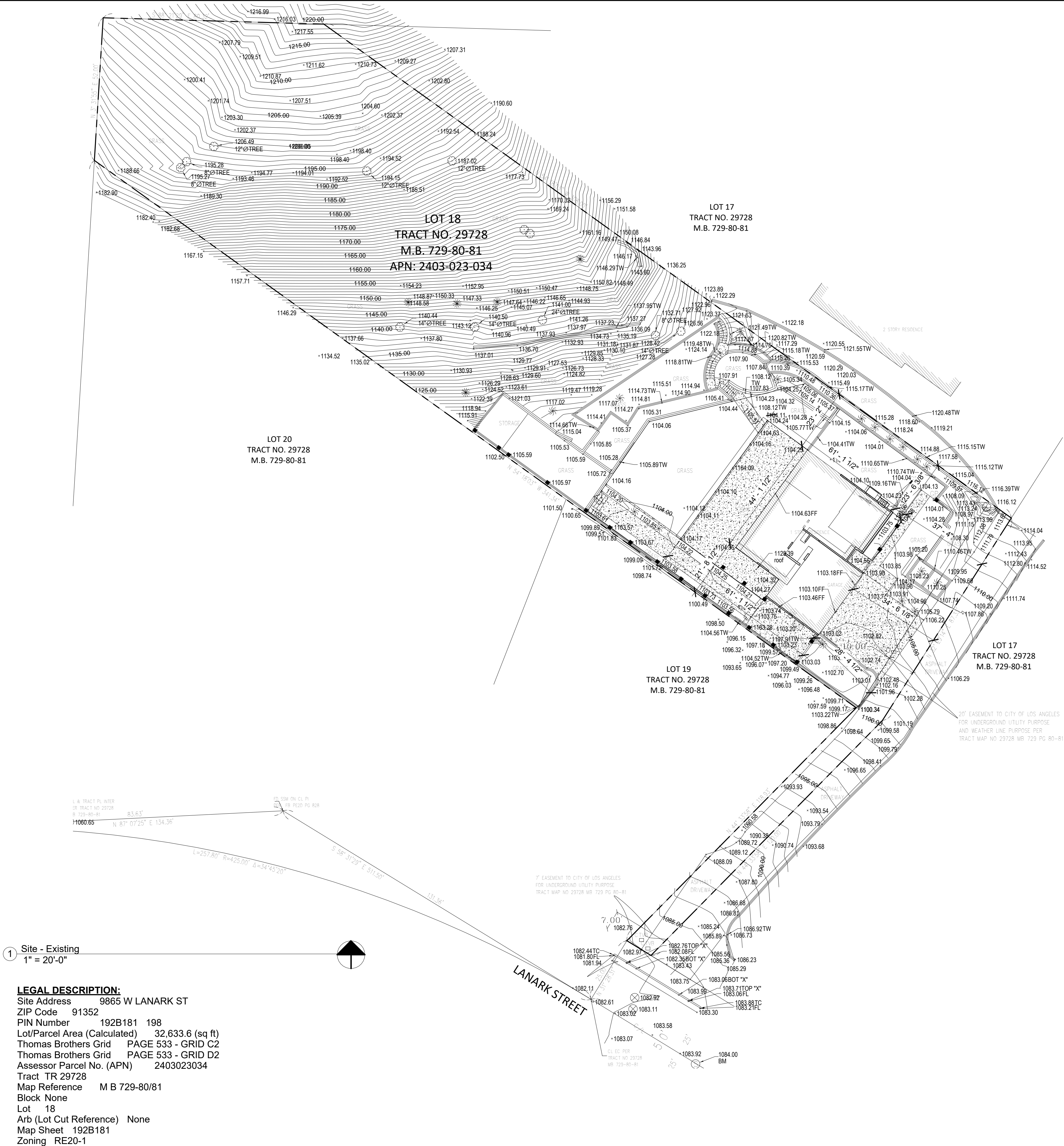
Project Status

Site - Existing

Date	Issue Date
Drawn By	Author
Checked By	Checker

A101

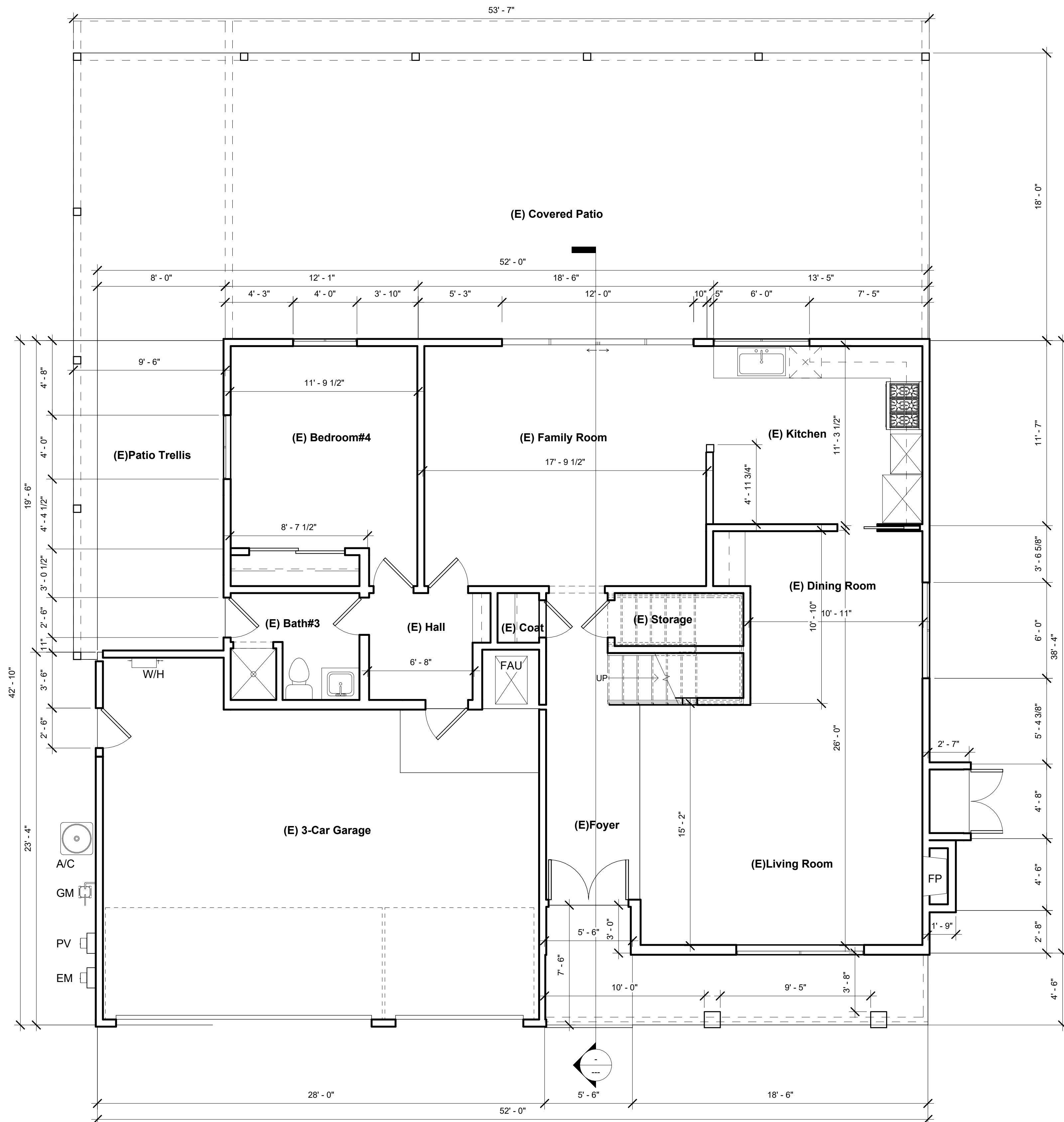
Scale As indicated



1 Site - Existing
1" = 20'-0"

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1 (E) 1st Story
1/4" = 1'-0"



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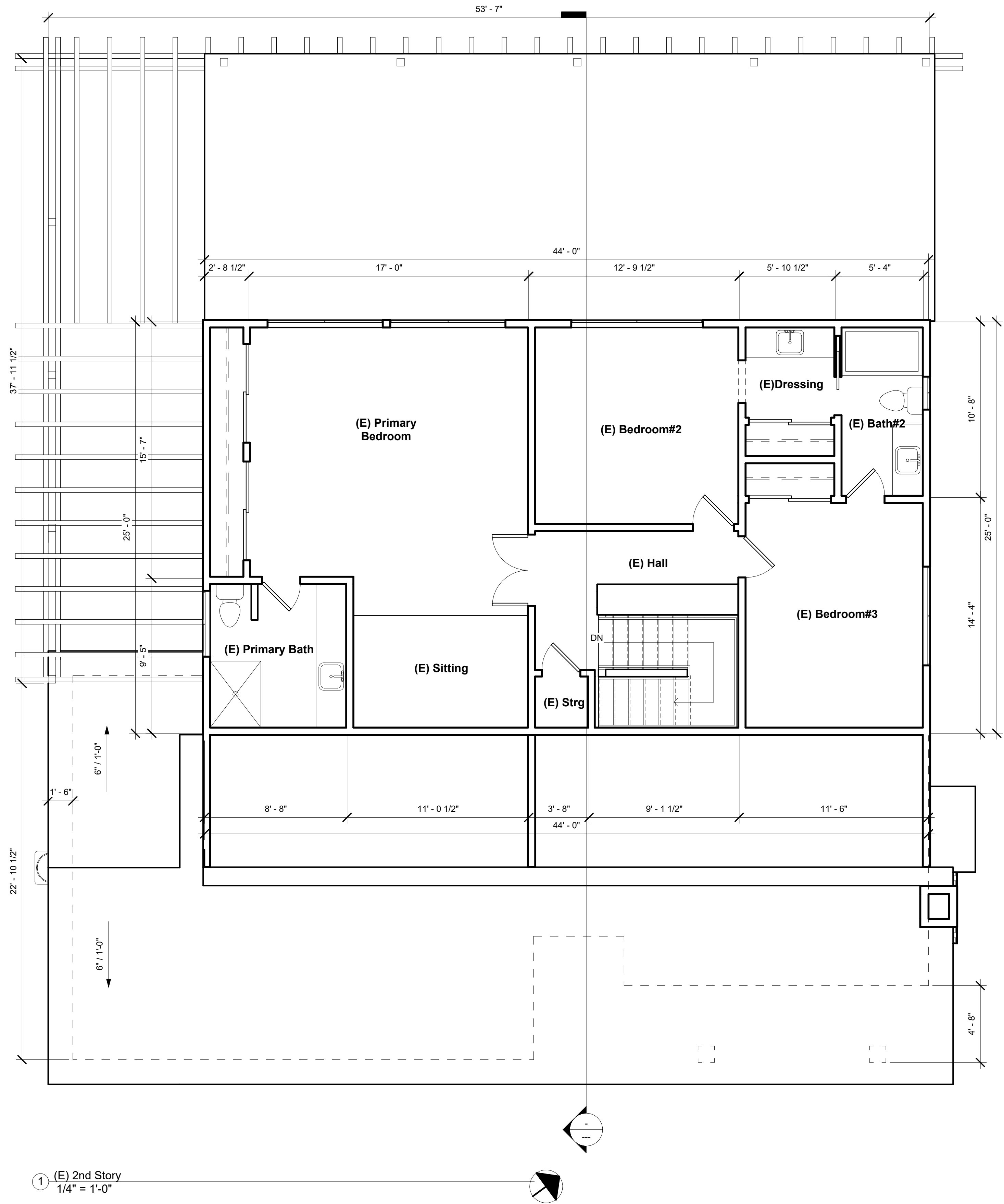
(E) 1st Story
Floor Plan

Date	Issue Date
Drawn By	Author
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A200

Scale 1/4" = 1'-0"

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Date	Description	Issued to

Project Status

(E) 2nd Story
Floor Plan

Date	Issue Date
Drawn By	Author
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A201	
Scale	1/4" = 1'-0"

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Date	Description	Issued to

Project Status

Proposed 1st
Story Floor
Plan

Date	Issue Date
Drawn By	Author
Checked By	Checker

A204

Scale 1/4" = 1'-0"

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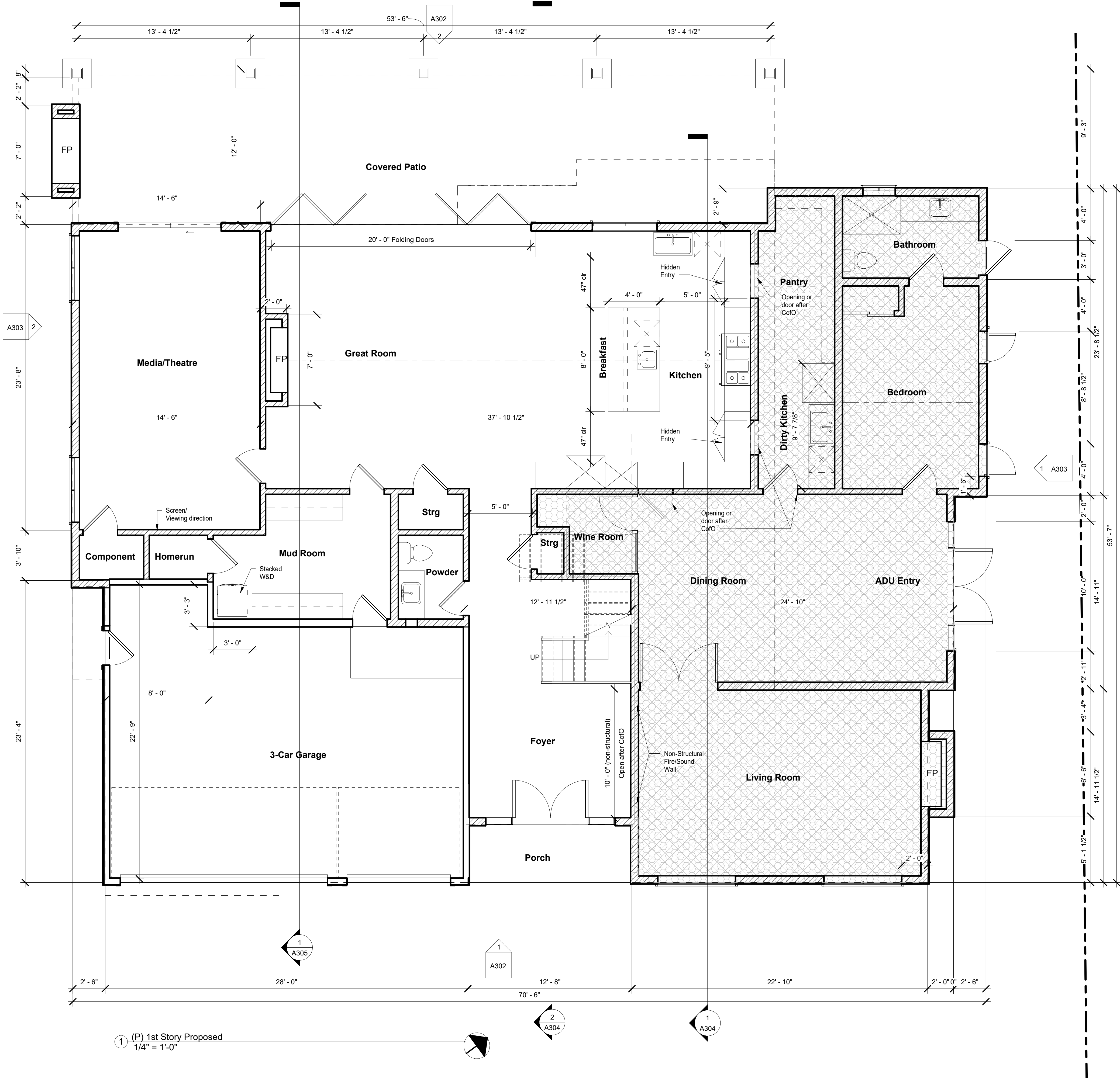
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Incl. Ext Walls





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Project Status

Proposed 2nd
Story Floor
Plan

Date	Issue Date
Drawn By	Author
Checked By	Checker

A205

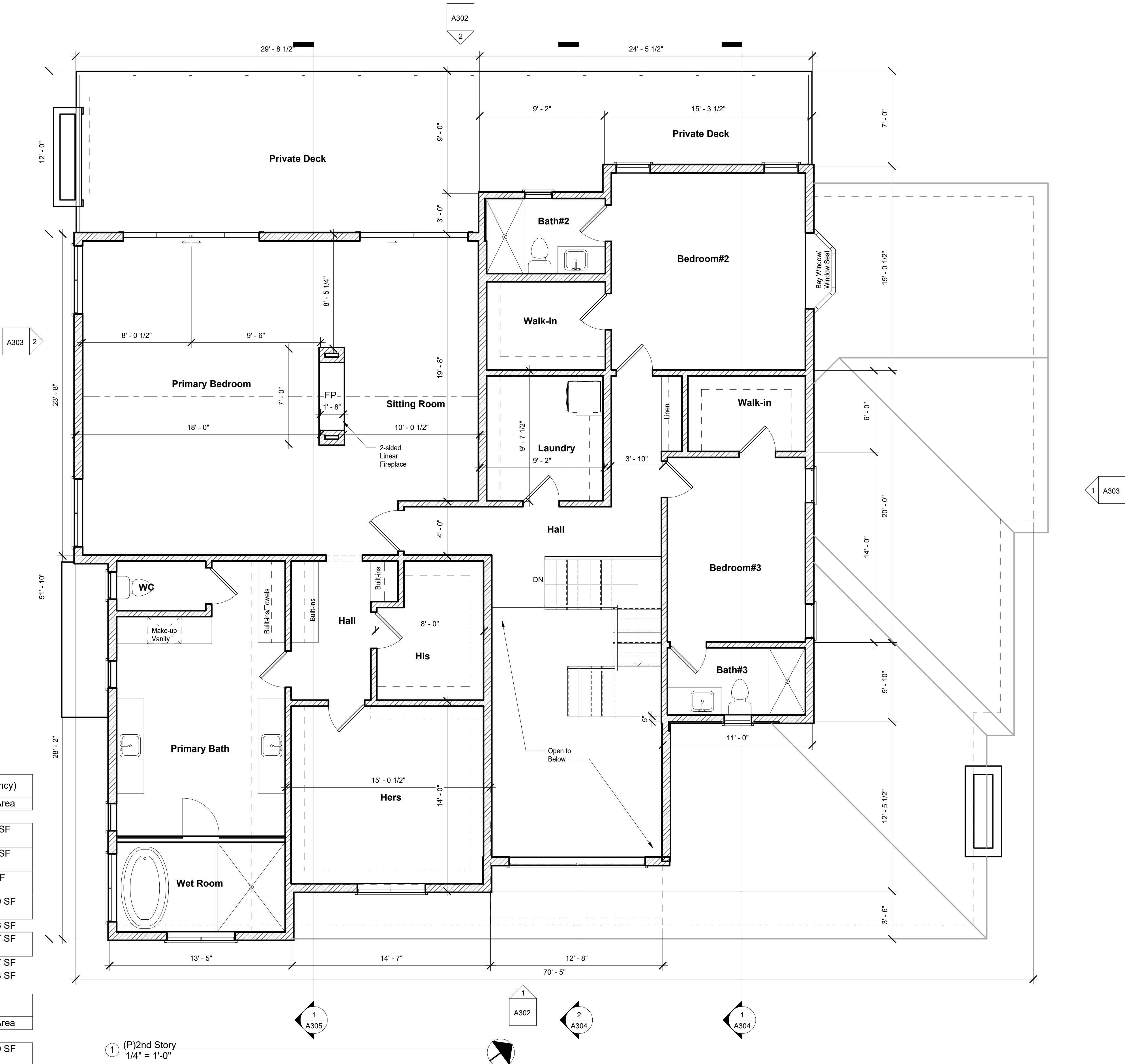
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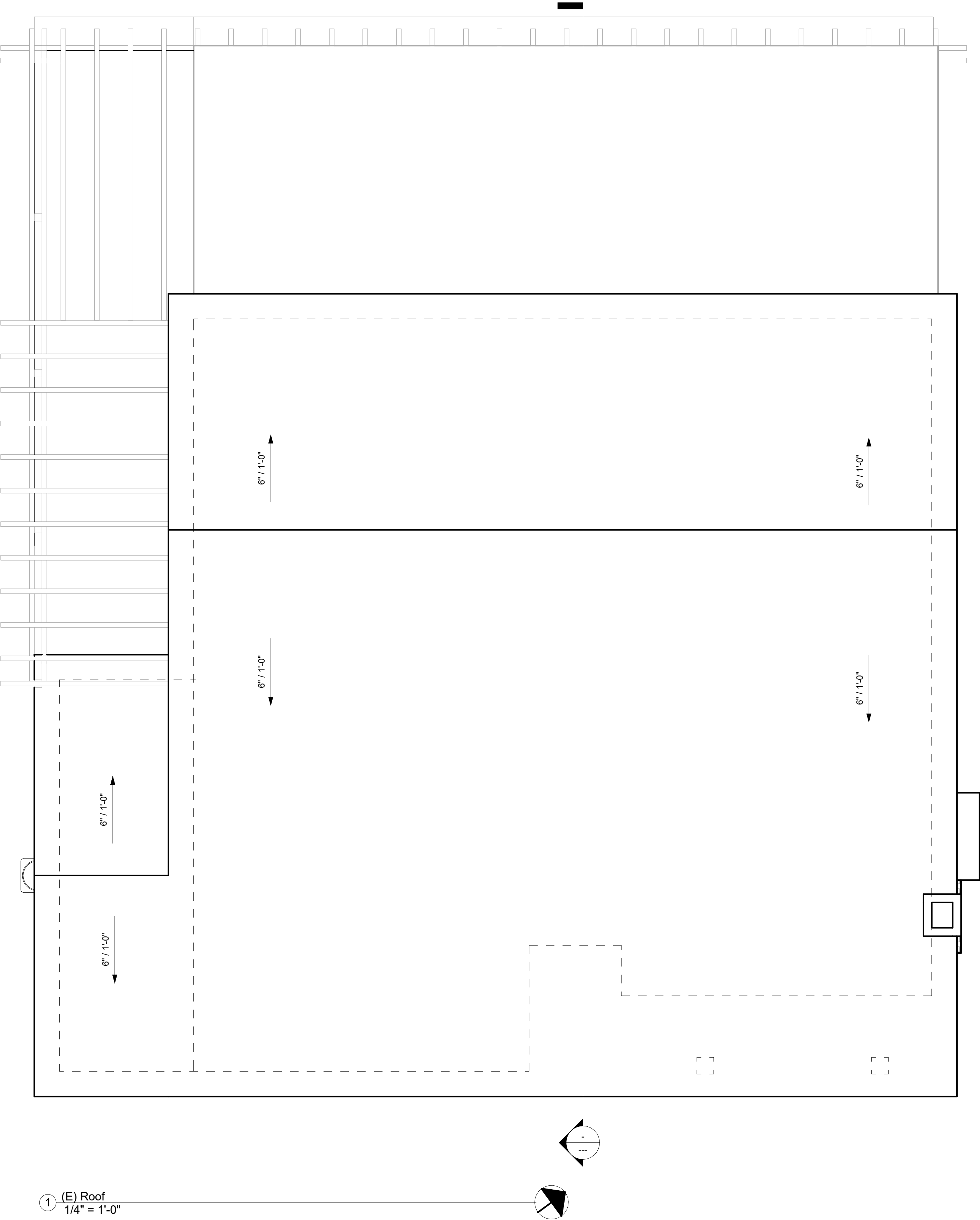
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Project Status

(E) Roof Plan

Date	Issue Date
Drawn By	Author
Checked By	Checker
A206	
Scale	1/4" = 1'-0"

5/27/2024 4:35:56 PM

Solar Reflectivity (SR), Thermal Emittance (TE) & Solar Reflectance Index (SRI) Data

Product	Color	Tier	CRRR Rated Product Directory								CA 2019 Title 24*	LA County Title 31**	Energy Star Certified
			Product ID	Solar Reflectance		Thermal Emittance		Solar Reflective Index					
				Initial	Aged	Initial	Aged	Initial	Aged				
Landmark'	Solaris Birchwood	Good	0668-0084	0.21	0.21	0.92	0.83	21	17	YES	NO	NO	
Landmark'	Solaris Burnt Sienna	Good	0668-0153	0.20	pending	0.92	pending	20	pending	YES	YES	NO	
Landmark'	Solaris Crystal Gray	Good	0668-0058	0.27	0.26	0.92	0.90	29	27	YES	YES	YES	
Landmark'	Solaris Georgetown Gray	Good	0668-0116	0.20	0.20	0.91	0.92	19	20	YES	YES	NO	
Landmark'	Solaris Heather Blend	Good	0668-0117	0.20	0.20	0.91	0.92	19	20	YES	YES	NO	
Landmark'	Solaris Mist White	Good	0668-0071	0.26	0.28	0.92	0.90	28	29	YES	YES	YES	
Landmark'	Solaris Moire Black	Good	0668-0129	0.19	pending	0.91	pending	18	pending	YES	NO	NO	
Landmark'	Solaris Mojave Tan	Good	0668-0115	0.19	0.20	0.88	0.90	17	19	YES	NO	NO	
Landmark'	Solaris Resawn Shake	Good	0668-0118	0.19	0.20	0.92	0.93	19	20	YES	YES	NO	
Landmark'	Solaris Silver Birch	Good	0668-0072	0.26	0.27	0.90	0.89	27	28	YES	YES	YES	
Landmark'	Solaris Weathered Wood	Good	0668-0119	0.20	0.21	0.91	0.91	19	21	YES	YES	NO	
Landmark' PRO	Solaris Max Del Burnt Sienna	Better	0668-0154	0.21	pending	0.92	pending	21	pending	YES	YES	NO	
Landmark' PRO	Solaris Max Del Georgetown Gray	Better	0668-0122	0.20	pending	0.94	pending	21	pending	YES	YES	NO	
Landmark' PRO	Solaris Max Del Heather Blend	Better	0668-0123	0.19	pending	0.93	pending	19	pending	YES	NO	NO	
Landmark' PRO	Solaris Max Del Moire Black	Better	0668-0130	0.19	pending	0.91	pending	18	pending	YES	NO	NO	
Landmark' PRO	Solaris Max Del Resawn Shake	Better	0668-0124	0.19	pending	0.93	pending	19	pending	YES	NO	NO	
Landmark' PRO	Solaris Max Del Weathered Wood	Better	0668-0125	0.21	pending	0.94	pending	22	pending	YES	YES	NO	
Landmark' PRO	Solaris Silver Birch	Better	0668-0072	0.26	0.27	0.90	0.89	27	28	YES	YES	YES	
Landmark' TL	Solaris Country Gray	Best	0668-0149	0.21	0.20	0.92	0.90	21	19	YES	NO	NO	
Landmark' TL	Solaris Moire Black	Best	0668-0148	0.19	0.19	0.93	0.91	19	18	YES	NO	NO	
Landmark' TL	Solaris Platinum	Best	0668-0147	0.21	0.20	0.93	0.90	22	19	YES	NO	NO	

* Can be used to comply with the 2019 California Title 24 Part 6 Cool Roof Requirements.
** Can be used to comply with Los Angeles County, California Title 31 cool roof requirements for steep-sloped residential construction.

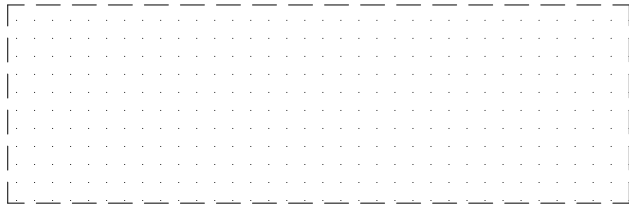
ROOF NOTES:

- 1 ALL ROOFS SHALL RECEIVE A MINIMUM CLASS "A" COMPOSITION SHINGLE "COOL ROOF" INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS TO ACHIEVE A WARRANTY AS SELECTED BY OWNER (MAX 100 LBS PER SQUARE) BY "CERTAINTED" OR AN APPROVED EQUAL ICC-ES# ESR-1389 (Model Landmark TL Solaris Moire Black)
2. FLASH ALL ROOF TO ROOF, VALLEYS, & EDGES WITH 26 GAGE G.I. SHEET METAL (SEAL ALL JOINTS FOR WATERTIGHT FINISH)
3. ALL ROOF TILES SHALL BE INSTALLED WITH A MINIMUM OF (2) FASTENERS PER TILE OR A MINIMUM OF (1) FASTENER FOR INTERLOCKING LUGGED TILES.
4. ALL EXPOSED SHEET METAL TO BE PAINTED SHALL BE BONDERIZED- TYP.
5. PROVIDE G.I. GUTTERS AND DOWN SPOUTS AS REQUIRED ON LOCATIONS AS DIRECTED BY OWNER. CONDUCT ALL WATER TO RAIN TANKS (BMP) - SEE ELEVATIONS AND SITE FOR LOCATIONS.
6. PROVIDE DRAFT STOPS OF NOT LESS THAN 1/2" GYPSUM BOARD ON (1) SIDE OF THE TRUSS/RAFTERS/BLOCKING CONTAINED WITHIN THE CONCEALED SPACE OF THE MANSARD ROOF. DRAFT STOPS SHALL ALIGN WITH THE COMMON 1-HOUR UNIT SEPARATION WALLS BELOW.
7. A FIRE RETARDANT ROOF COVERING IS REQUIRED. CLASS "A" MINIMUM RATED ROOF COVERING SHALL BE INSTALLED ON ALL FLAT ROOFS AND SLOPED ROOFS

GREEN NOTES:

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
3. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
4. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS "FOR FUTURE SOLAR ELECTRIC."
5. FORM GRN16 AND AN OPERATION AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN SECTION 4.410.1, SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.
6. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM ENERGY CODE SECTIONS 110.10(b) THROUGH 110.10(c) SHALL BE PROVIDED TO THE OCCUPANT.

- SOLAR PANEL SHOWN HATCHED (250 S.F. MIN.) -



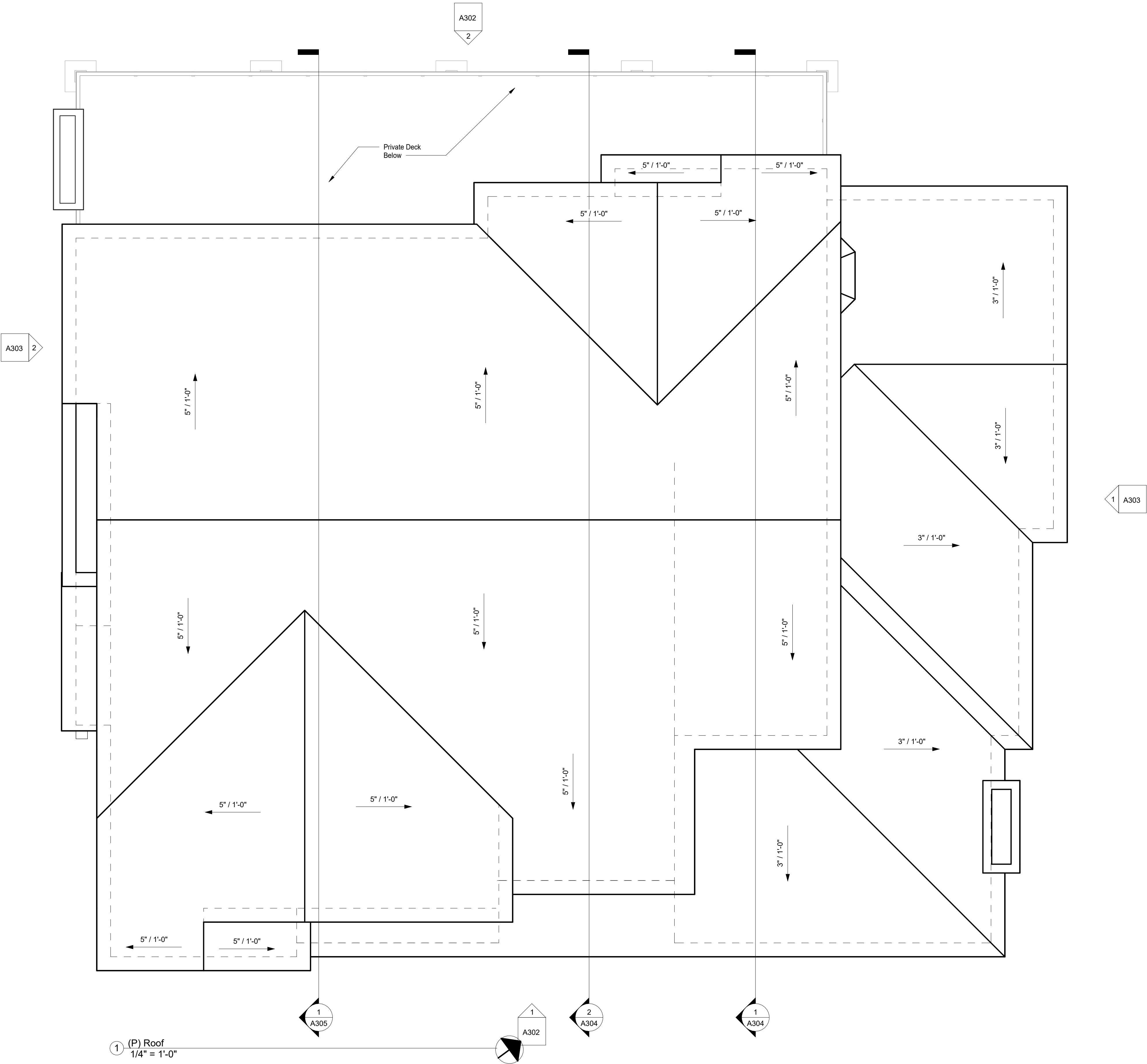
ATTIC VENT TABULATION S.F.D.:

THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF SPACE VENTILATED. ALL ROOFS SHALL BE VENTILATED W/ VENTILATORS OR EQUAL PROVIDING 0.50 SQ. FT. OF FREE VENT AREA EACH

TOTAL ROOF AREAS

- 1ST FLOOR = XXX SQ. FT.
REQUIRED ATTIC VENTILATION = XXX / 300 = X.XX SQ. FT. OF FREE VENT AREA
(X) OHAGIN VENTS PROVIDE = X.X SQ. FT. OF FREE VENT AREA

- 2ND FLOOR = XXX SQ. FT.
REQUIRED ATTIC VENTILATION = XXX / 300 = X.XX SQ. FT. OF FREE VENT AREA
(X) OHAGIN VENTS PROVIDE = X.X SQ. FT. OF FREE VENT AREA



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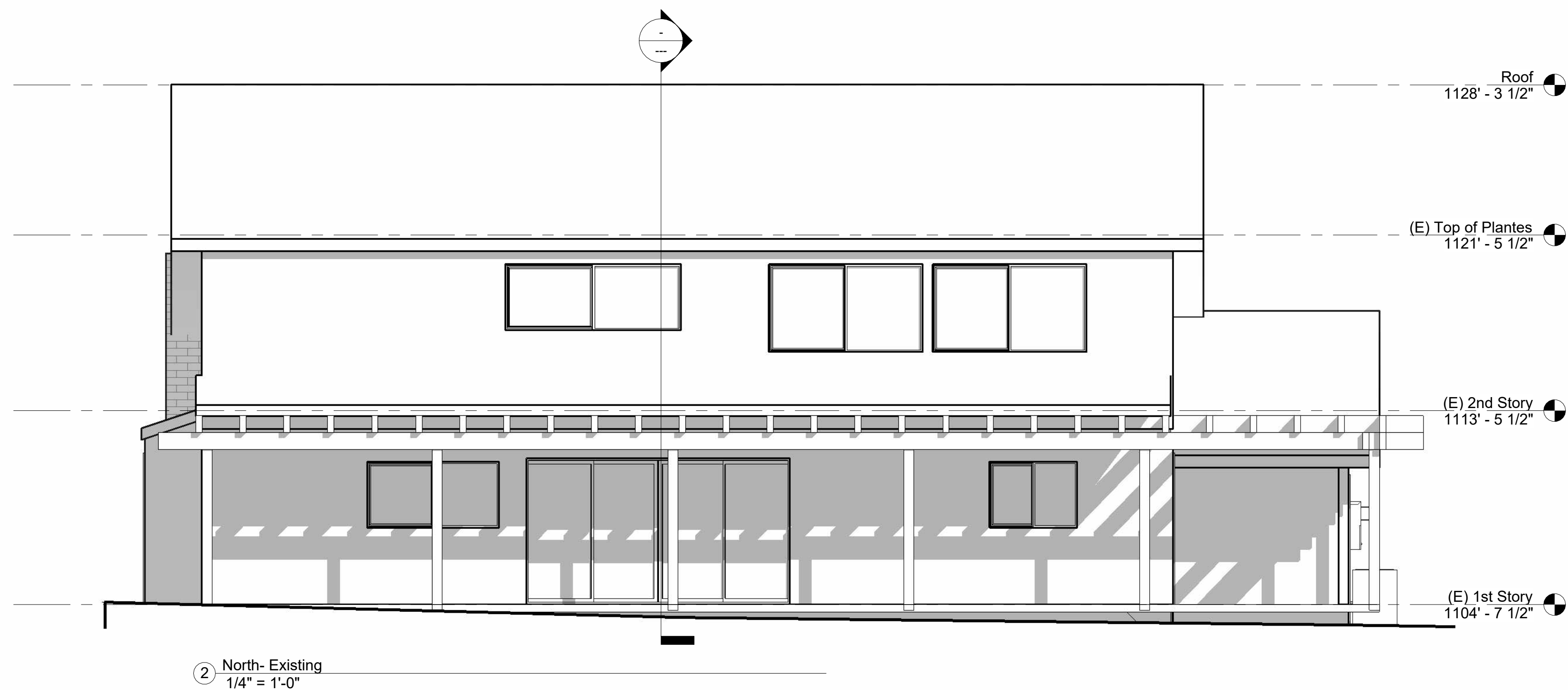
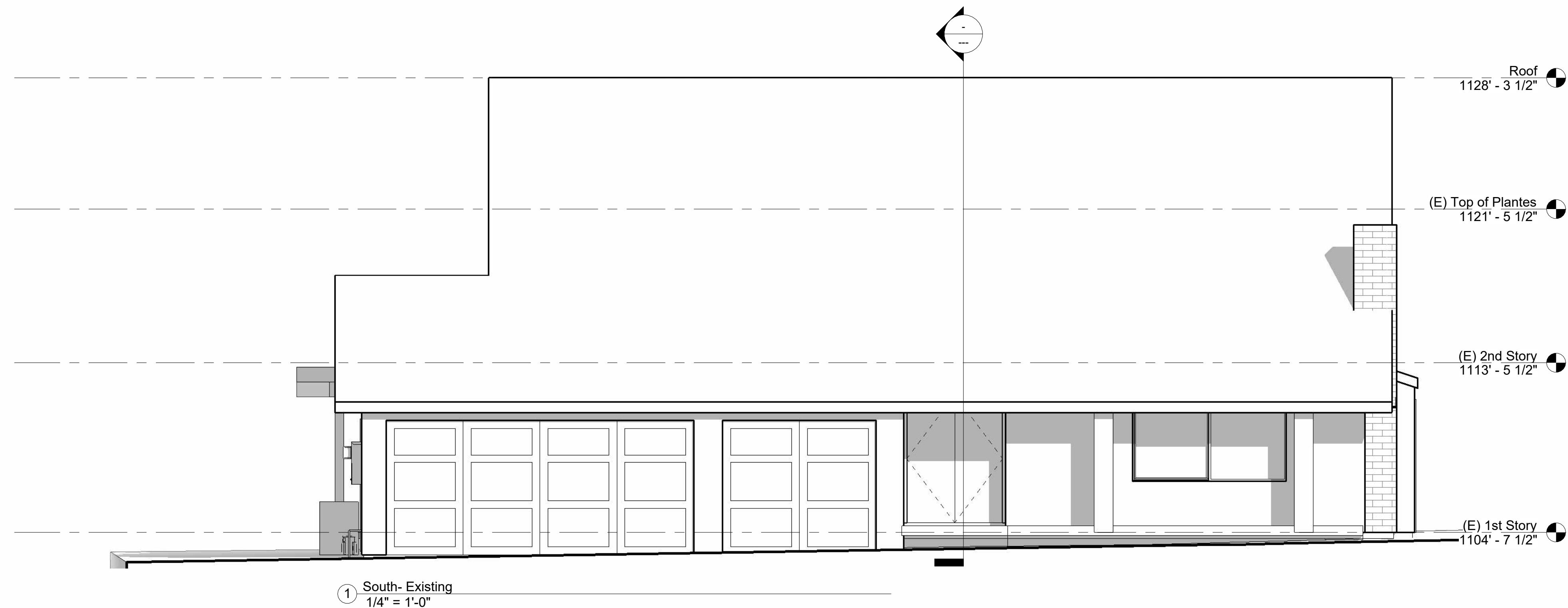
Project Status

Proposed Roof Plan

Date	Issue Date
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A207

Scale As indicated



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Project Status

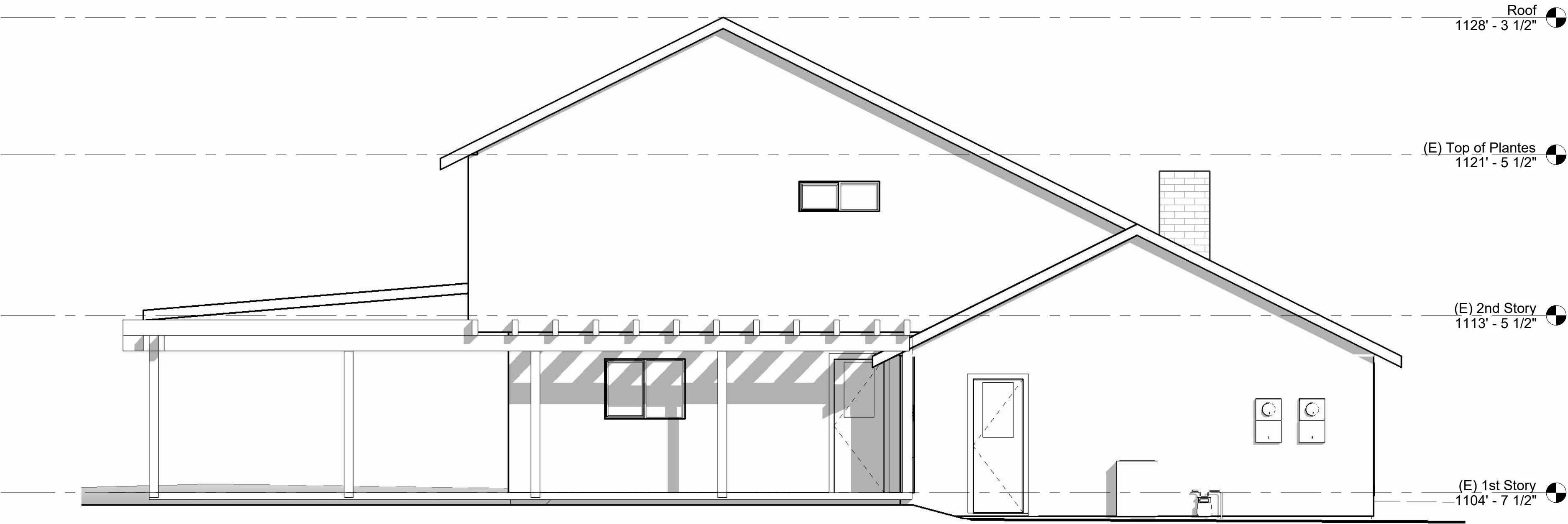
Exterior Elevations-Existing

Date	Issue Date
Drawn By	Author
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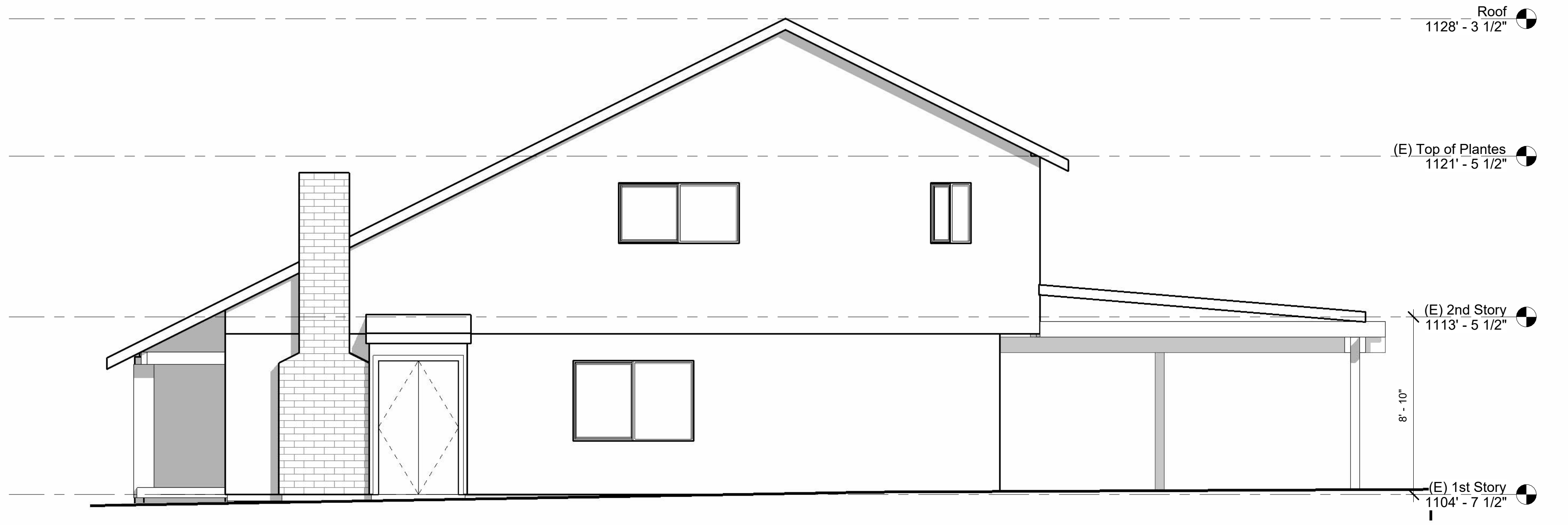
A300

Scale 1/4" = 1'-0"

5/27/2024 4:35:58 PM



① West- Existing
1/4" = 1'-0"



② East- Existing
1/4" = 1'-0"



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Project Status

Exterior Elevations- Existing

Date	Issue Date
Drawn By	Author
Checked By	Checker

A301

Scale	1/4" = 1'-0"
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① South- Proposed
1/4" = 1'-0"



② North- Proposed
1/4" = 1'-0"



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Exterior Elevations- Proposed

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A302

Scale 1/4" = 1'-0"



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Exterior Elevations-Proposed

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A303

Scale 1/4" = 1'-0"

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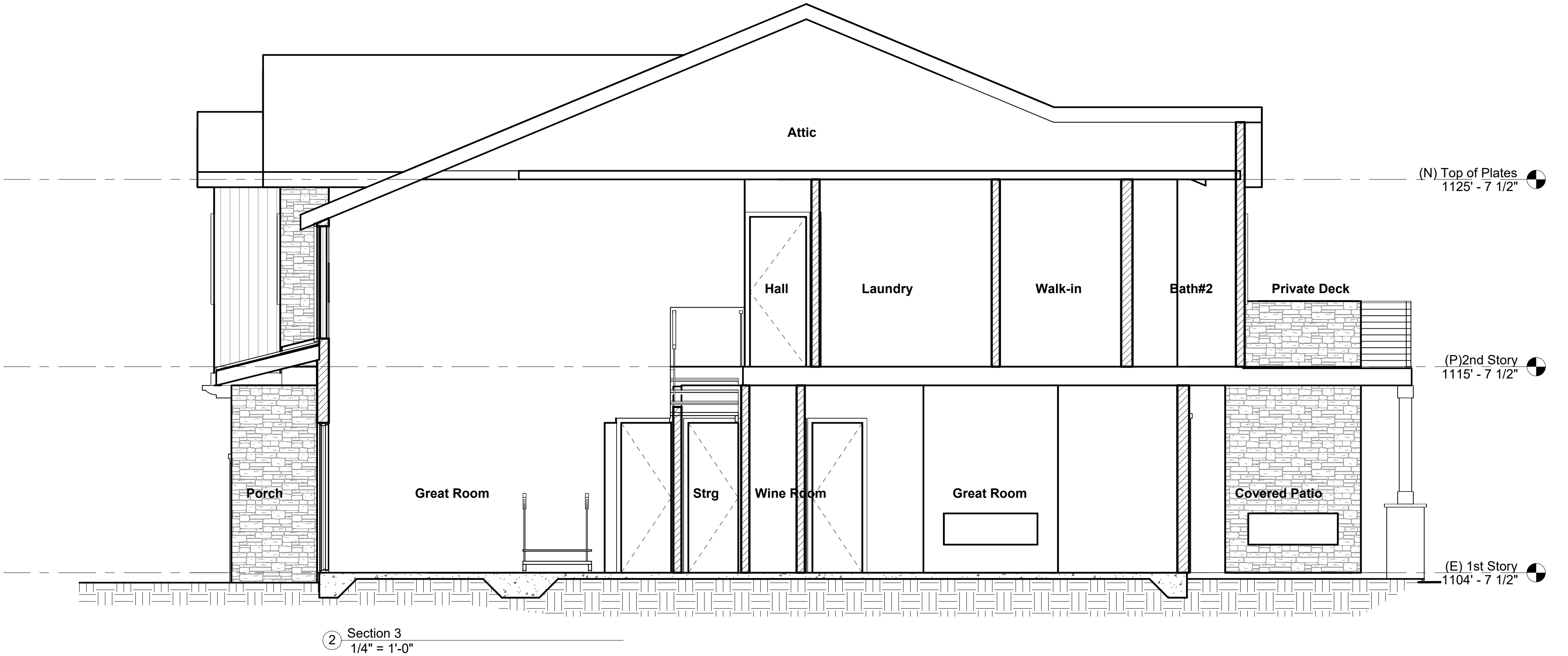
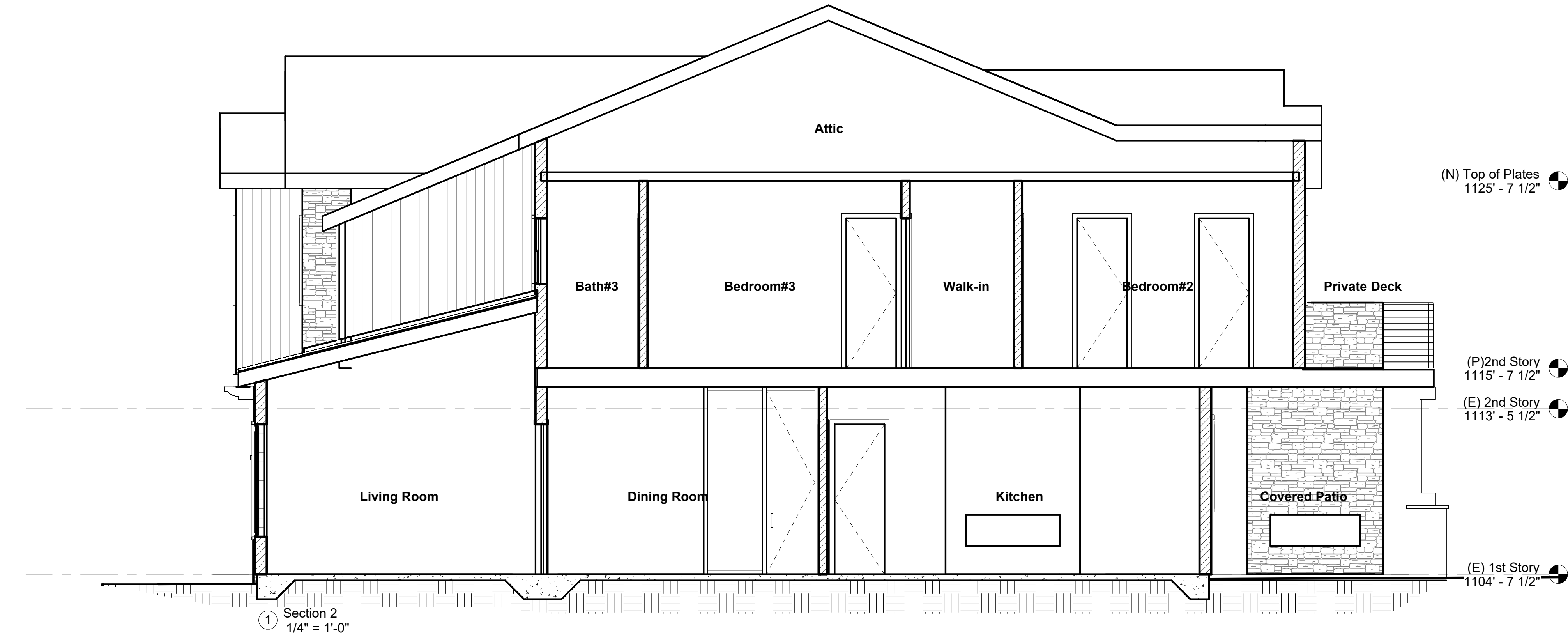
Building Sections-
Proposed

Date	Issue Date
Drawn By	Author
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A304

Scale 1/4" = 1'-0"

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Project Status

Building Sections-Proposed

Date	Issue Date
Drawn By	Author
Checked By	Checker

A305

Scale 1/4" = 1'-0"

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