

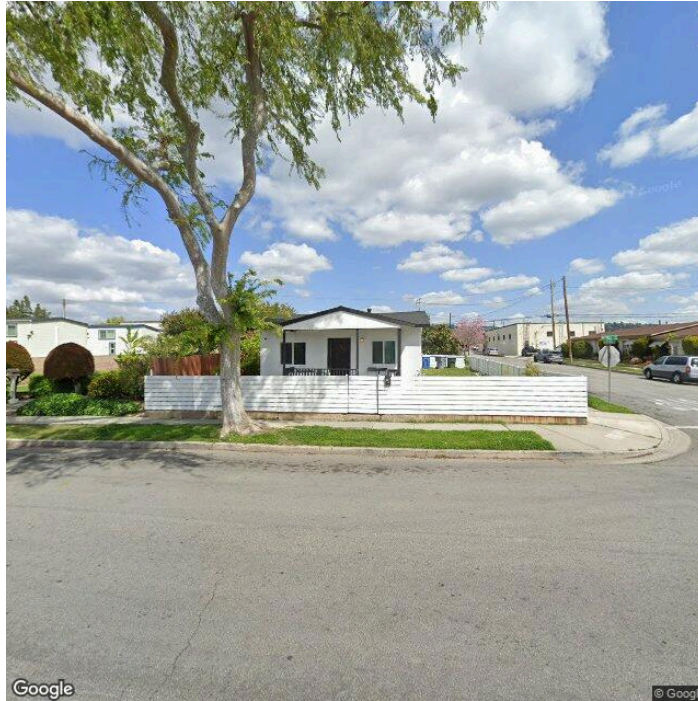


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RESIDENTIAL HOME INSPECTION

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MAY 6, 2026



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TABLE OF CONTENTS

1: Inspection Details	5
2: Roof	9
3: Roof 2	16
4: Exterior	21
5: Exterior 2	30
6: Basement, Foundation, Crawlspace & Structure	35
7: Plumbing	39
8: Plumbing 2	46
9: Electrical	49
10: Electrical 2	53
11: Cooling	56
12: Cooling 2	57
13: Heating	59
14: Heating 2	61
15: Kitchen	62
16: Kitchen 2	68
17: Doors, Windows & Interior	70
18: Doors, Windows & Interior 2	78
19: Laundry	85
20: Bathroom(s)	87
21: Bathroom(s) 2	93
22: Attic, Insulation & Ventilation	95
23: Attic, Insulation & Ventilation 2	100



MAINTENANCE ITEM



REPAIR RECOMMENDED

SUMMARY

- 🔧 2.2.1 Roof - Coverings: Exposed Fasteners
- 🔧 2.2.2 Roof - Coverings: Previous Patching
- 🔧 2.2.3 Roof - Coverings: Soft Spot Detected
- 🔧 2.2.4 Roof - Coverings: Uneven Roof Slope Observed
- 🔧 3.6.1 Roof 2 - Gutters & Downspouts: Missing Gutters & Downspout
- ⊖ 4.1.1 Exterior - Eaves, Soffits & Fascia: Damage Observed at Eaves
- ⊖ 4.1.2 Exterior - Eaves, Soffits & Fascia: Damage At Rafter Tail
- 🔧 4.2.1 Exterior - Wall-Covering, Flashing & Trim: Damaged Wall-Covering Material
- ⊖ 4.3.1 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Negative Grading
- ⊖ 4.4.1 Exterior - GFCIs & Electrical: Missing GFCI
- ⊖ 4.6.1 Exterior - Stairs, Steps, Stoops, Stairways & Ramps: Loose Handrail
- 🔧 5.1.1 Exterior 2 - Eaves, Soffits & Fascia: Damage Observed at Fascia
- 🔧 5.3.1 Exterior 2 - Vegetation, Grading, Drainage & Retaining Walls: Fence Defect
- ⊖ 5.4.1 Exterior 2 - GFCIs & Electrical: Exterior Lighting Not Operable from Switches
- ⊖ 6.1.1 Basement, Foundation, Crawlspace & Structure - Under-Floor Crawlspace: Moisture Below Plumbing Piping
- ⊖ 6.1.2 Basement, Foundation, Crawlspace & Structure - Under-Floor Crawlspace: Crack Observed
- 🔧 7.2.1 Plumbing - Water Supply : Missing Water Pressure Regulator
- ⊖ 7.3.1 Plumbing - Hot Water Source: Water Heater - Missing Sediment Trap
- ⊖ 7.3.2 Plumbing - Hot Water Source: Missing Shut-Off Valve
- 🔧 7.4.1 Plumbing - Drain, Waste, & Vent Systems: Sewer Cleanout Not Observed – Unable to Perform Sewer Scope
- ⊖ 8.3.1 Plumbing 2 - Hot Water Source: Missing TPR Drain Pipe
- 🔧 9.5.1 Electrical - Panelboards & Breakers: Missing Screw At the Panel Cover
- ⊖ 9.5.2 Electrical - Panelboards & Breakers: Double Tapped at Breaker Main Service Panel
- ⊖ 9.5.3 Electrical - Panelboards & Breakers: BREAKER ON OFF POSITION
- 🔧 9.7.1 Electrical - AFCIs: Missing AFCI & GFCI Breakers

- 🔧 10.7.1 Electrical 2 - AFCIs: Missing AFCI & GFCI Breakers
- ⊖ 13.1.1 Heating - Heating System Information: Wall Furnace - Loose Heater Cover Panel
- 🔧 15.2.1 Kitchen - Kitchen Sink: Flex Drain Connection
- 🔧 15.5.1 Kitchen - Floors, Walls, Ceilings: Stains Observed
- 🔧 15.6.1 Kitchen - Appliances : Missing Anti-Tip Bracket on Oven
- ⊖ 15.6.2 Kitchen - Appliances : Garbage Disposal Inoperable
- 🔧 16.5.1 Kitchen 2 - Floors, Walls, Ceilings: Unleveled, Soft Spot At Flooring
- 🔧 17.3.1 Doors, Windows & Interior - Windows: Missing Window Screen
- ⊖ 17.4.1 Doors, Windows & Interior - Switches, Fixtures & Receptacles: No Power at Outlet(s)
- ⊖ 17.4.2 Doors, Windows & Interior - Switches, Fixtures & Receptacles: Ceiling Fan Did Not Operate
- ⊖ 17.4.3 Doors, Windows & Interior - Switches, Fixtures & Receptacles: Recess Lights Inoperable
- 🔧 17.5.1 Doors, Windows & Interior - Floors, Walls, Ceilings: Damage At Drywall
- ⊖ 18.5.1 Doors, Windows & Interior 2 - Floors, Walls, Ceilings: Moisture Staining At Walls & Ceiling
- ⊖ 19.1.1 Laundry - Laundry Room, Electric, and Tub: Missing GFCI Protection
- 🔧 20.3.1 Bathroom(s) - Sinks, Tubs & Showers: Slow Drain
- ⊖ 20.3.2 Bathroom(s) - Sinks, Tubs & Showers: Active Leak At Shower
- ⊖ 20.6.1 Bathroom(s) - Heat Source in Bathroom: Bathroom Lacks Permanent Heat Source
- 🔧 20.7.1 Bathroom(s) - Cabinetry, Ceiling, Walls & Floor: Cabinet Damage
- 🔧 20.7.2 Bathroom(s) - Cabinetry, Ceiling, Walls & Floor: Caulk & Seal
- 🔧 20.7.3 Bathroom(s) - Cabinetry, Ceiling, Walls & Floor: Floor Damage
- 🔧 20.7.4 Bathroom(s) - Cabinetry, Ceiling, Walls & Floor: Ceiling Stains
- 🔧 20.8.1 Bathroom(s) - Door: Door Doesn't Latch
- ⊖ 21.6.1 Bathroom(s) 2 - Heat Source in Bathroom: Bathroom Lacks Permanent Heat Source
- ⊖ 21.7.1 Bathroom(s) 2 - Cabinetry, Ceiling, Walls & Floor: Moisture Damage, Staining In Bathroom - Active
- ⊖ 22.1.1 Attic, Insulation & Ventilation - Structural Components & Observations in Attic: Discoloration & Stains
- ⊖ 22.1.2 Attic, Insulation & Ventilation - Structural Components & Observations in Attic: Bathroom Exhaust Vent Discharging into Attic
- ⊖ 22.1.3 Attic, Insulation & Ventilation - Structural Components & Observations in Attic: Non-Standard Attic Framing Supports Observed
- 🔧 22.2.1 Attic, Insulation & Ventilation - Insulation in Attic: Attic Access Lacks Insulation
- ⊖ 23.1.1 Attic, Insulation & Ventilation 2 - Structural Components & Observations in Attic: Bathroom Exhaust Vent Discharging into Attic

1: INSPECTION DETAILS

Information

General Inspection Info: Occupancy

Main - Vacant, ADU - Occupied

General Inspection Info: Weather Conditions

Sunny

General Inspection Info: Type of Building

Single Family, ADU

General Inspection Info: In Attendance

Client, Client's Agent

I prefer to have my client with me during my inspection so that we can discuss concerns, and I can answer all questions.

General Inspection Info: Inspection Scope and Limitations

This inspection report, including all photographs, findings, and attachments, is the exclusive property of the client who ordered and paid for the inspection through Paradigm Inspection Group. The contents of this report are intended solely for the client's use and may not be transferred, reproduced, or relied upon by any third party without the written consent of Paradigm Inspection Group.

This home inspection is a non-invasive, visual-only assessment of the property's accessible systems and components, based on the conditions observed at the time of inspection. The inspection was performed in accordance with the InterNACHI Standards of Practice. The following limitations apply throughout the report:

- Inaccessible or Obstructed Areas:

Personal belongings, furniture, stored materials, appliances, insulation, or finishes may restrict visibility or access to walls, ceilings, floors, attics, crawlspaces, and electrical or plumbing panels.

- Weather and Safety Conditions:

Roofs, exteriors, or other elevated or wet areas may be partially limited due to safety concerns, rain, wind, or other environmental conditions at the time of inspection.

- Concealed Systems:

Most electrical wiring, plumbing lines, framing, and ductwork are located behind walls, ceilings, or floors and cannot be fully inspected or tested.

- Testing Limitations:

The inspection does not include destructive testing, code compliance verification, engineering analysis, or environmental testing (such as lead, asbestos, radon, or mold) unless specifically noted as an additional service.

- System Operation:

Appliances, HVAC equipment, outlets, and fixtures are tested only if safely accessible and operable at the time of inspection. Seasonal or weather-related limitations may affect testing.

- Specialized Components:

Chimney interiors, HVAC interiors, fire sprinklers, solar systems, low-voltage systems, alarm systems, and pool/spa equipment may require evaluation by licensed specialists and are beyond the general scope of this inspection.

- Normal Wear and Tear:

Cosmetic defects, aging, and minor imperfections consistent with the age and use of the home are considered normal and are generally excluded from the inspection findings.

- Time-Based Observations:

This inspection reflects conditions present at the time of inspection only. Future performance or conditions of any system, component, or structure cannot be predicted or guaranteed.

General Inspection Info: General Home Maintenance Tips

Regular maintenance helps preserve the value, safety, and efficiency of your home. Below are recommended tips for keeping your home in good condition:

* HVAC System

- Replace air filters every 1–3 months.
- Schedule professional servicing twice a year (heating in fall, cooling in spring).
- Keep outdoor condenser units clear of debris and vegetation.

Water Heater

- Drain and flush annually to remove sediment buildup.
- Inspect for leaks, corrosion, or rust.
- Test the temperature-pressure relief (TPR) valve once a year.

Plumbing System

- Check under sinks and around fixtures for signs of leaks.
- Avoid chemical drain cleaners—use a snake or enzymatic cleaner instead.
- Insulate exposed pipes in attics and crawlspaces to prevent freezing.

< Electrical System

- Test GFCI and AFCI outlets monthly.
- Do not overload circuits.
- Have a licensed electrician inspect and service aging panels and visible splices.

Roof and Gutters

- Inspect roof surfaces annually and after major storms.
- Clean gutters and downspouts twice a year (spring and fall).
- Check for proper drainage away from the foundation.

Attic and Crawlspace

- Inspect for signs of moisture, pests, or insulation damage at least once a year.
- Ensure vents are unobstructed for proper airflow.

Smoke & Carbon Monoxide Detectors

- Test monthly and replace batteries every 6 months.
- Replace units every 7–10 years per manufacturer guidelines.

Windows & Doors

- Check weatherstripping and seals for drafts annually.
- Lubricate hinges and locks as needed.

✓ Exterior Maintenance

- Repaint or reseal trim and siding as needed to prevent moisture intrusion.
- Trim vegetation at least 12 inches away from the home.
- Check grading to ensure water drains away from the foundation.

Pest Prevention

- Seal gaps or holes in exterior walls.
- Keep firewood and debris away from the home's perimeter.

General Interior

- Keep humidity levels between 30–50% to prevent mold.
- Address signs of leaks or stains on ceilings/walls promptly.

Annual Professional Checks Recommended:

- HVAC servicing
- Roof evaluation
- Plumbing and electrical inspection (especially in older homes)
- Termite/pest inspection
- Chimney inspection (if applicable)

Your Job As a Homeowner: What Really Matters in a Home Inspection

Now that you've gotten your home inspection, you may still have some questions about your new house and the items revealed in your report.

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and your InterNACHI Certified Professional Inspector can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the sellers disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

But the issues that really matter fall into four categories:

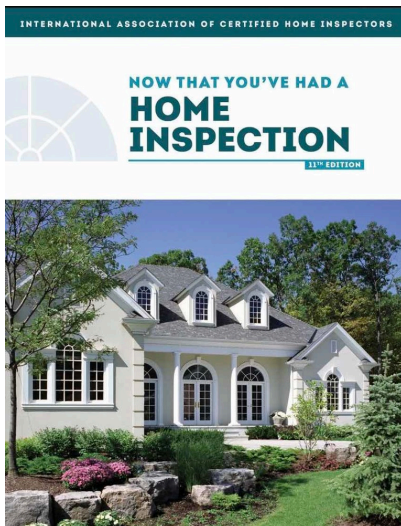
1. major defects, such as a structural failure;
2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and
4. safety hazards, such as an exposed, live buss bar at the electrical panel.

Anything in these categories should be addressed as soon as possible. Often, a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on your InterNACHI Certified Professional Inspector to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

Your Job As a Homeowner: Download Your E-Book On Home Maintenance



Thank you for hiring us for your Inspection needs. I have provided you a home maintenance book. It includes information on how your home works, how to maintain it, and how to save energy. To download this please make sure you are inside the portal view and not the pdf view. Please write my contact information within the book's inside cover, so that you can always contact me!

We're neighbors! So, feel free to reach out whenever you have a house question or issue.

Your Job As a Homeowner: Schedule a Home Maintenance Inspection



Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Your InterNACHI-Certified Professional Inspector can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

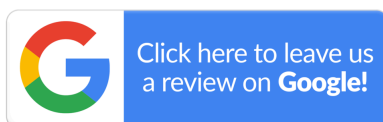
Schedule next year's maintenance inspection with your home inspector today!

Every house should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

Your Job As a Homeowner: How did we do?

Thank you so much for choosing Paradigm! It was a pleasure working with you. If you have any questions with your report please don't hesitate to reach out to me!

I strive to offer the best customer service possible and your experience helps me reach potential customers who could benefit from my service. It would mean the world to me if you could spend a little bit of your time to leave me a review on these platforms. It goes a long way!



2: ROOF

Information

General: Inspection Method

Roof

General: Roof Type/Style

Gable

Flashings: Material

Aluminum

Coverings: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

Coverings: □ Routine Maintenance

Routine roof inspection and maintenance are essential for preventing moisture intrusion and maximizing the lifespan of your roofing materials. Proper upkeep helps identify potential issues early, reducing the risk of costly repairs. Some key maintenance tips include:

- Regular Inspections: Check for damaged, loose, or missing shingles, especially after storms.
- Keep Gutters Clean: Ensure gutters and downspouts are free of debris to prevent water backup.
- Trim Overhanging Branches: Reduce the risk of damage from falling limbs and excessive debris buildup.
- Check Flashing and Seals: Inspect around chimneys, vents, and skylights for deteriorated sealant or gaps.
- Monitor for Moss and Algae Growth: Remove organic buildup to prevent moisture retention and deterioration.
- Address Ponding Water: Ensure proper drainage on flat or low-slope roofs to prevent water accumulation.

Regular maintenance can significantly extend the roof's service life and help protect the structure from water damage. If issues are found, consulting a qualified roofing professional is recommended.

Coverings: Type of Roof-Covering Described

Asphalt

I observed the roof-covering material and attempted to identify its type.

This inspection is not a guarantee that a roof leak in the future will not happen. Roofs leak. Even a roof that appears to be in good, functional condition will leak under certain circumstances. We will not take responsibility for a roof leak that happens in the future. This is not a warranty or guarantee of the roof system.

Coverings: Roof Was Inspected

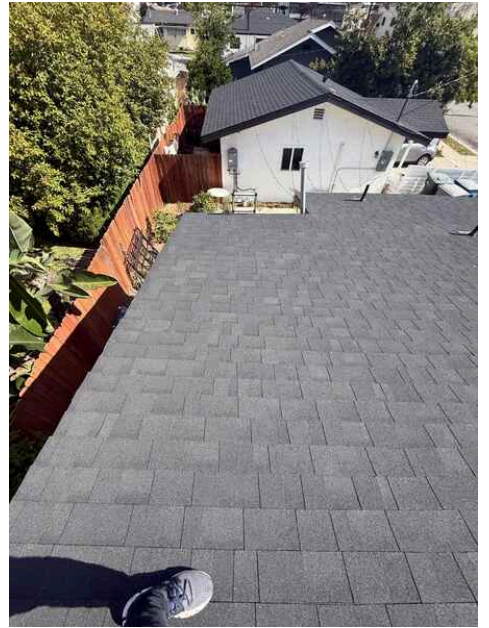
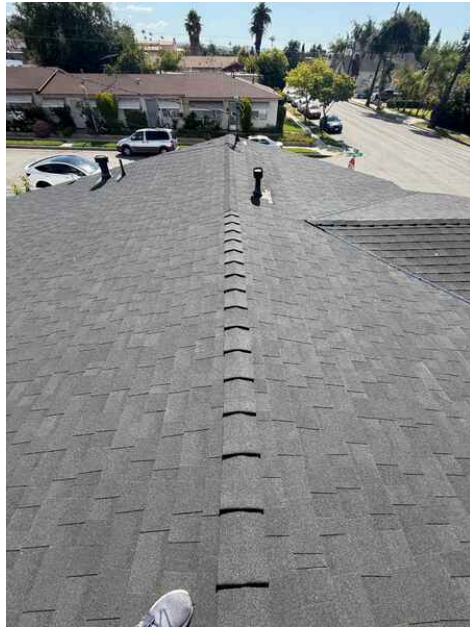
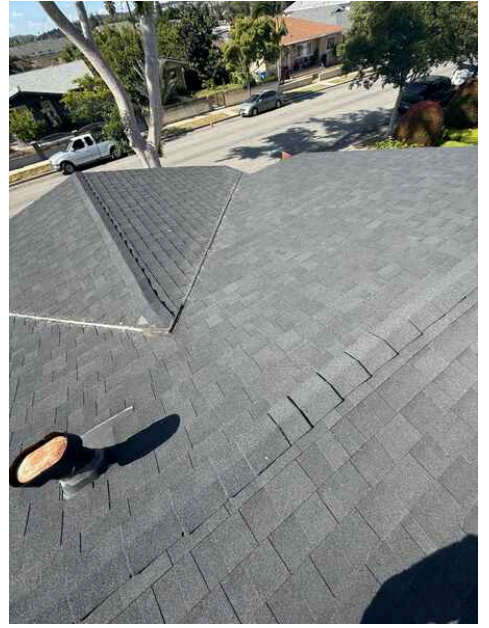
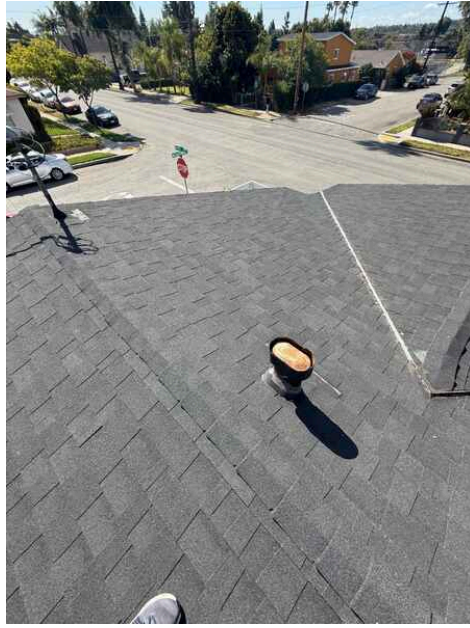
Roof

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder.

The inspection was not an exhaustive inspection of every installation detail of the roof system according to the manufacturer's specifications or construction codes. It is virtually impossible to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our inspection. We recommend that you ask the sellers to disclose information about the roof, and that you include comprehensive roof coverage in your home insurance policy.

Coverings: Roof Was Inspected

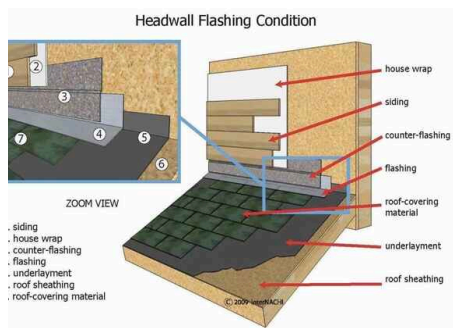
We attempted to inspect the roof from various locations and methods.





Flashings: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



Flashing Details

Flashings: Eaves and Gables

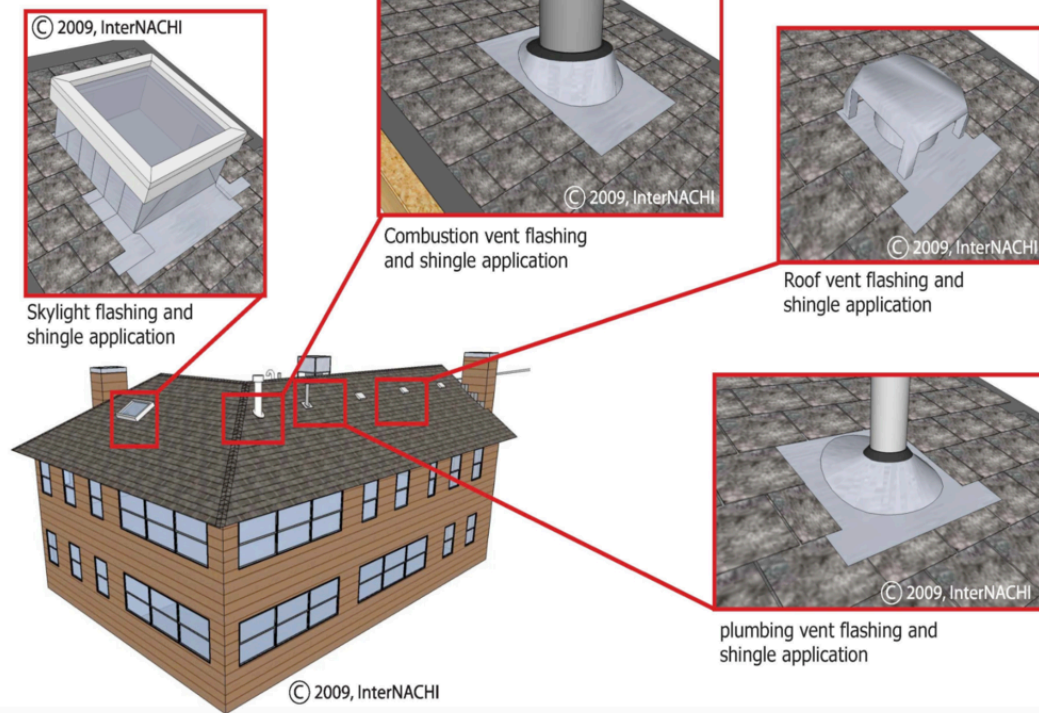
I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

Plumbing Vent Pipes: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

Roof penetrations and flashing



Plumbing Vent Pipes: Plumbing Vent Pipes Inspected

I looked at DWV (drain, waste and vent) pipes that pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.

Gutters & Downspouts: Homeowner's Responsibility

During and after rainfall, gutters and downspouts should be observed to confirm proper function. This includes checking for loose components, sagging sections, separated joints, and evidence of active leakage. Rainwater should be effectively collected and discharged away from the foundation to help reduce the risk of moisture intrusion and foundation-related issues. Where runoff is discharging too close to the structure, the installation of splash blocks or downspout extensions may be recommended to improve drainage away from the home.



Limitations

Coverings

UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Flashings

DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

Plumbing Vent Pipes

UNABLE TO REACH ALL THE PIPES

I was unable to closely reach and observe all of the vent pipes that pass through the roof-covering materials. This was an inspection restriction.

Gutters & Downspouts

COULDN'T REACH THE GUTTERS

I was unable to closely reach and closely inspect the installation of all of the gutter components and systems.

Observations

2.2.1 Coverings



Maintenance Item

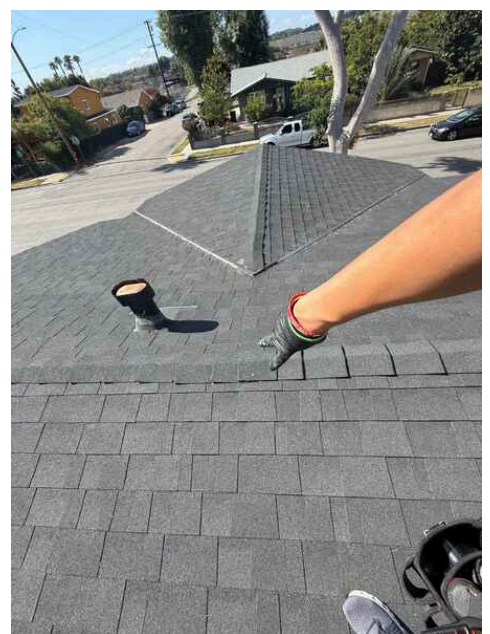
EXPOSED FASTENERS

Exposed fasteners were observed on the roof surface particularly on the roof ridges. These fasteners are susceptible to corrosion and water penetration over time, which may lead to leaks and premature roof deterioration.

Servicing is recommended.

Recommendation

Contact a qualified professional.



2.2.2 Coverings

PREVIOUS PATCHING

Roof patch repairs were noted at the time of inspection. These areas may indicate prior leaks or repairs.

Recommendation:

Ask the seller about past roofing issues and monitor the patched areas. Proper sealing and maintenance are advised to help prevent future moisture intrusion.

Recommendation

Recommend monitoring.



2.2.3 Coverings

SOFT SPOT DETECTED

During the inspection, several soft spot was identified on the roof membrane in the area shown in the attached photo. This could indicate potential issues such as:

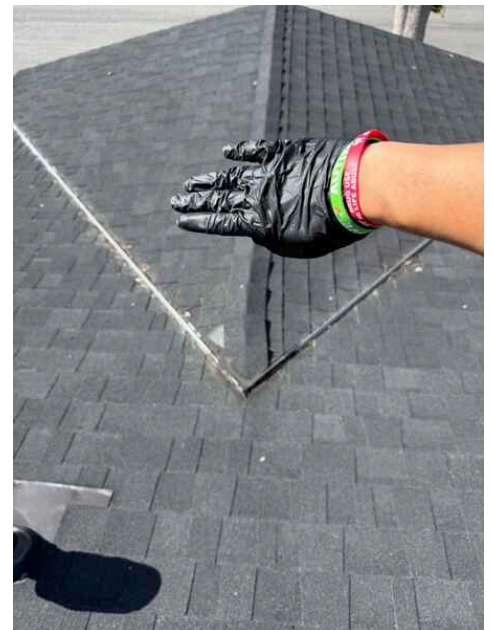
- Trapped moisture beneath the roofing membrane or insulation
- Deterioration of underlying insulation or roof decking
- Delamination of roofing materials
- Compromised roof decking, possibly due to water intrusion

Recommendation:

We recommend further evaluation by a licensed roofing contractor to assess the extent of the issue and perform any necessary repairs. Delayed repairs may lead to further deterioration, including roof leaks or structural damage.

Recommendation

Contact a qualified professional.



2.2.4 Coverings

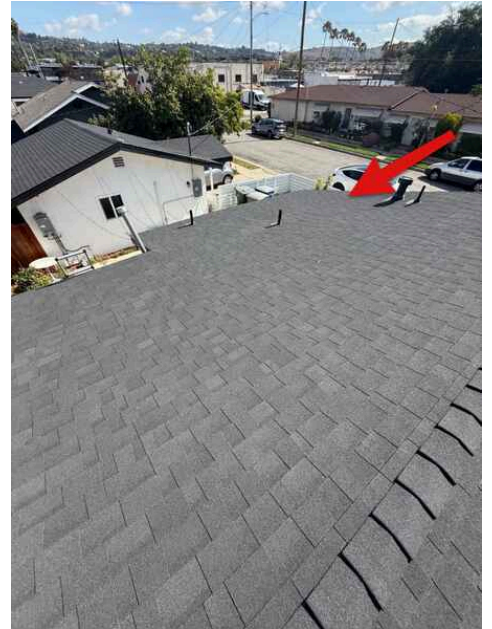
UNEVEN ROOF SLOPE OBSERVED

A section of the roof appeared to flatten or transition to a lower slope compared to the surrounding roof areas. This condition may hinder proper water drainage and could contribute to premature wear or moisture intrusion over time.

Recommend further evaluation by a qualified roofing contractor and repairs or corrections as needed.

Recommendation

Contact a qualified professional.



3: ROOF 2

Information

General: Inspection Method

Roof

Flashings: Material

Aluminum

Coverings: Homeowner's Responsibility

Your job as the homeowner is to monitor the roof covering because any roof can leak. To monitor a roof that is inaccessible or that cannot be walked on safely, use binoculars. Look for deteriorating or loosening of flashing, signs of damage to the roof covering and debris that can clog valleys and gutters.

Roofs are designed to be water-resistant. Roofs are not designed to be waterproof. Eventually, the roof system will leak. No one can predict when, where or how a roof will leak.

Every roof should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

Coverings: □ Routine Maintenance

Routine roof inspection and maintenance are essential for preventing moisture intrusion and maximizing the lifespan of your roofing materials. Proper upkeep helps identify potential issues early, reducing the risk of costly repairs. Some key maintenance tips include:

- Regular Inspections: Check for damaged, loose, or missing shingles, especially after storms.
- Keep Gutters Clean: Ensure gutters and downspouts are free of debris to prevent water backup.
- Trim Overhanging Branches: Reduce the risk of damage from falling limbs and excessive debris buildup.
- Check Flashing and Seals: Inspect around chimneys, vents, and skylights for deteriorated sealant or gaps.
- Monitor for Moss and Algae Growth: Remove organic buildup to prevent moisture retention and deterioration.
- Address Ponding Water: Ensure proper drainage on flat or low-slope roofs to prevent water accumulation.

Regular maintenance can significantly extend the roof's service life and help protect the structure from water damage. If issues are found, consulting a qualified roofing professional is recommended.

Coverings: Type of Roof-Covering Described

Asphalt

I observed the roof-covering material and attempted to identify its type.

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Coverings: Roof Was Inspected

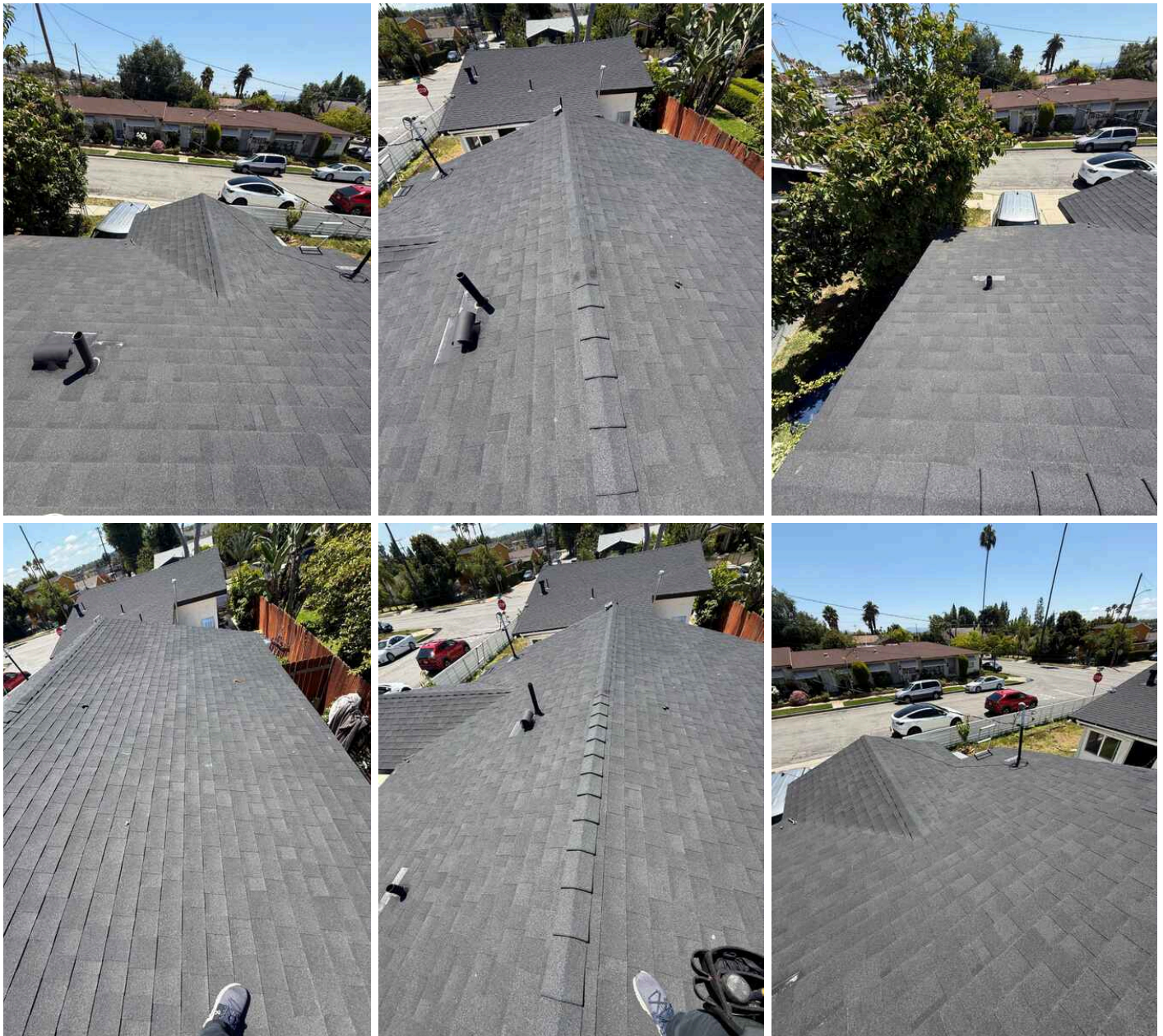
Roof

We attempted to inspect the roof from various locations and methods, including from the ground and a ladder.

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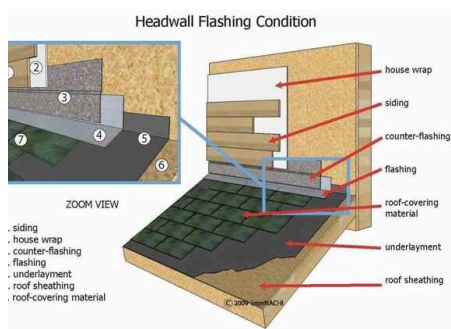
Coverings: Roof Was Inspected

We attempted to inspect the roof from various locations and methods.



Flashings: Wall Intersections

I looked for flashing where the roof covering meets a wall or siding material. There should be step and counter flashing installed in these locations. This is not an exhaustive inspection of all flashing areas.



Flashing Details

Flashings: Eaves and Gables

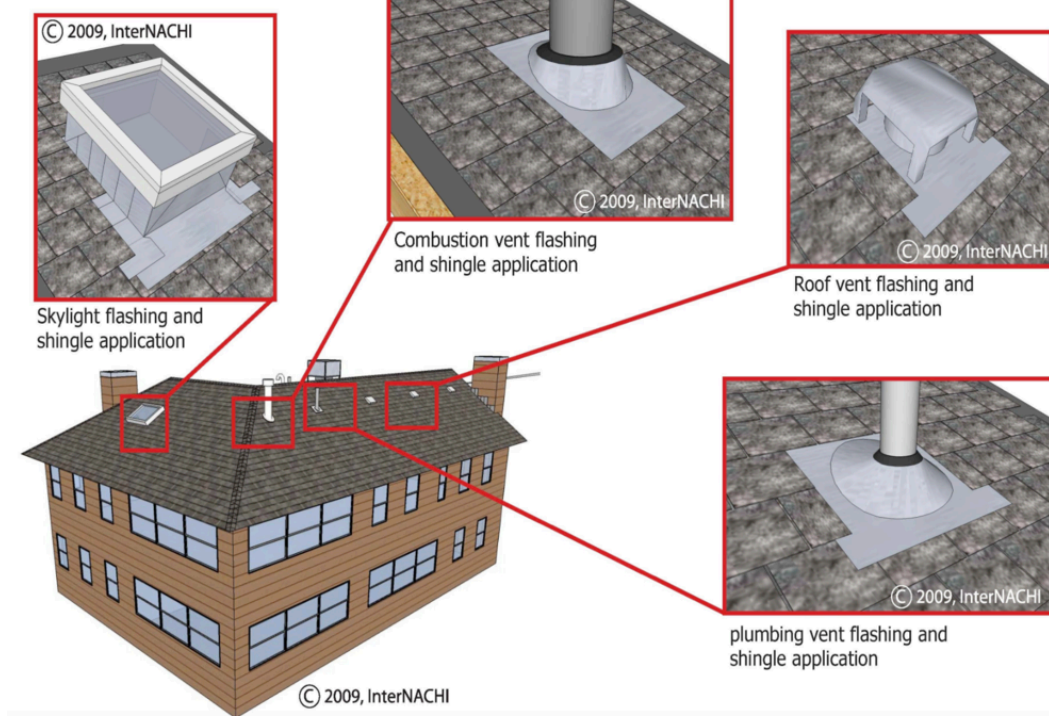
I looked for flashing installed at the eaves (near the gutter edge) and at the gables (the diagonal edge of the roof). There should be metal drip flashing material installed in these locations. The flashing helps the surface water on the roof to discharge into the gutter. Flashing also helps to prevent water intrusion under the roof-covering.

Plumbing Vent Pipes: Homeowner's Responsibility

Your job is to monitor the flashing around the plumbing vent pipes that pass through the roof surface. Sometimes they deteriorate and cause a roof leak.

Be sure that the plumbing vent pipes do not get covered, either by debris, a toy, or snow.

Roof penetrations and flashing



Plumbing Vent Pipes: Plumbing Vent Pipes Inspected

I looked at DWV (drain, waste and vent) pipes that pass through the roof covering. There should be watertight flashing (often black rubber material) installed around the vent pipes. These plumbing vent pipes should extend far enough above the roof surface.

Gutters & Downspouts: Homeowner's Responsibility

During and after rainfall, gutters and downspouts should be observed to confirm proper function. This includes checking for loose components, sagging sections, separated joints, and evidence of active leakage. Rainwater should be effectively collected and discharged away from the foundation to help reduce the risk of moisture intrusion and foundation-related issues. Where runoff is discharging too close to the structure, the installation of splash blocks or downspout extensions may be recommended to improve drainage away from the home.



Limitations

Coverings

UNABLE TO SEE EVERYTHING

This is a visual-only inspection of the roof-covering materials. It does not include an inspection of the entire system. There are components of the roof that are not visible or accessible at all, including the underlayment, decking, fastening, flashing, age, shingle quality, manufacturer installation recommendations, etc.

Flashings

DIFFICULT TO SEE EVERY FLASHING

I attempted to inspect the flashing related to the vent pipes, wall intersections, eaves and gables, and the roof-covering materials. In general, there should be flashing installed in certain areas where the roof covering meets something else, like a vent pipe or siding. Most flashing is not observable, because the flashing material itself is covered and hidden by the roof covering or other materials. So, it's impossible to see everything. A home inspection is a limited visual-only inspection.

Plumbing Vent Pipes

UNABLE TO REACH ALL THE PIPES

I was unable to closely reach and observe all of the vent pipes that pass through the roof-covering materials. This was an inspection restriction.

Observations

3.6.1 Gutters & Downspouts

MISSING GUTTERS & DOWNSPOUT



The home is missing gutters and downspouts.

Gutters and downspouts are critical for managing roof runoff and directing water away from the foundation, siding, and landscaping. Without them, water can pool near the foundation, potentially causing structural damage, soil erosion, and basement or crawl space moisture issues. Over time, this can lead to costly repairs.

Recommendation:

I recommend hiring a qualified professional to install a properly designed gutter and downspout system. Ensure the system includes appropriate downspout extensions or splash blocks to direct water at least 4-6 feet away from the foundation. This improvement will help protect the home from water damage and maintain its structural integrity.

Recommendation

Contact a qualified gutter contractor

4: EXTERIOR

Information

Exterior Doors: Exterior Doors Inspected

I inspected the exterior doors. If there was a doorbell, I tested it.

Foundation: Material Raised**Homeowner's Responsibility**

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

Exterior Was Inspected

The exterior of the house was inspected.





Eaves, Soffits & Fascia: Eaves, Soffits and Fascia Were Inspected

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.

Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described

Stucco

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the house's exterior for its condition and weathertightness.

Check the condition of all exterior wall-covering materials and look for developing patterns of damage or deterioration.

GFCIs & Electrical: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

Walkways & Driveways: Walkways & Driveways Were Inspected

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

Stairs, Steps, Stoops, Stairways & Ramps: Stairs, Steps, Stoops, Stairways & Ramps Were Inspected

I inspected the stairs, steps, stoops, stairways and ramps that were within the scope of my home inspection.

Railings, Guards & Handrails: Railings, Guards & Handrails Were Inspected

I inspected the railings, guards and handrails that were within the scope of the home inspection.

Windows: Windows Inspected

A representative number of windows from the ground surface was inspected.

Limitations

Eaves, Soffits & Fascia

INSPECTION WAS RESTRICTED

I did not inspect all of the eaves, soffit, and fascia. It's impossible to inspect those areas closely during a home inspection. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the eaves, soffit, and fascia.

Wall-Covering, Flashing & Trim

INSPECTION WAS RESTRICTED

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

GFCIs & Electrical

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Windows

INSPECTION RESTRICTED

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

Observations

4.1.1 Eaves, Soffits & Fascia

**DAMAGE OBSERVED AT EAVES**

Moisture staining and damage was observed at the eaves.

Evaluation and servicing is recommended.

Recommendation

Contact a qualified professional.



4.1.2 Eaves, Soffits & Fascia

**DAMAGE AT RAFTER TAIL**

Damage at rafter tail was observed.

Evaluation and servicing or replacement is recommended.

Recommendation

Contact a qualified professional.



4.2.1 Wall-Covering, Flashing & Trim

DAMAGED WALL-COVERING MATERIAL

 Maintenance Item

Cracking and deferred maintenance was observed at the exterior wall-covering material(s) was observed. Servicing recommended to prevent further deterioration.

Recommendation

Contact a qualified professional.



4.3.1 Vegetation, Grading, Drainage & Retaining Walls

NEGATIVE GRADING

 Repair Recommended

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues.

The ground around a house should slope away from all sides, ideally 6 inches for the first 10 feet from the house foundation perimeter. Downspouts, surface gutters and drains should also be directing water away from the foundation. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified professional.



4.4.1 GFCIs & Electrical

MISSING GFCI

REAR

The exterior outlet found does not appear to have proper GFCI protection, which is required for safety in moisture-prone areas.

Recommendation:

Have a qualified electrician install GFCI protection and test regularly to ensure proper operation.

Recommendation

Contact a qualified electrical contractor.

 Repair Recommended



4.6.1 Stairs, Steps, Stoops, Stairways & Ramps

Repair Recommended

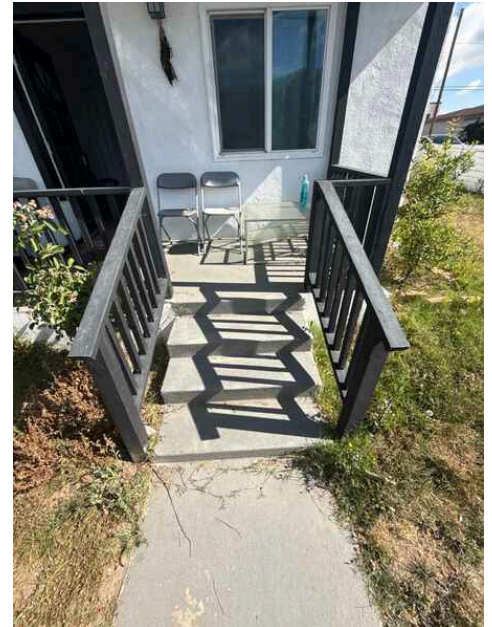
LOOSE HANDRAIL

Loose handrail was observed.

Further evaluation and correction is recommended.

Recommendation

Contact a qualified professional.



5: EXTERIOR 2

Information

Exterior Doors: Exterior Doors Inspected

I inspected the exterior doors. If there was a doorbell, I tested it.

Foundation: Material Slab on Grade

Homeowner's Responsibility

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the buildings exterior for its condition and weathertightness.

Check the condition of all exterior materials and look for developing patterns of damage or deterioration.

During a heavy rainstorm (without lightning), grab an umbrella and go outside. Walk around your house and look around at the roof and property. A rainstorm is the perfect time to see how the roof, downspouts and grading are performing. Observe the drainage patterns of your entire property, as well as the property of your neighbor. The ground around your house should slope away from all sides. Downspouts, surface gutters and drains should be directing water away from the foundation.

Exterior Was Inspected

The exterior of the house was inspected.



Eaves, Soffits & Fascia: Eaves, Soffits and Fascia Were Inspected

I inspected the eaves, soffits and fascia. I was not able to inspect every detail, since a home inspection is limited in its scope.

Wall-Covering, Flashing & Trim: Type of Wall-Covering Material Described

Stucco

The exterior of your home is slowly deteriorating and aging. The sun, wind, rain and temperatures are constantly affecting it. Your job is to monitor the house's exterior for its condition and weathertightness.

Check the condition of all exterior wall-covering materials and look for developing patterns of damage or deterioration.

GFCIs & Electrical: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

Walkways & Driveways: Walkways & Driveways Were Inspected

I inspected the walkways and driveways that were adjacent to the house. The walkways, driveways, and parking areas that were far away from the house foundation were not inspected.

Windows: Windows Inspected

A representative number of windows from the ground surface was inspected.

Limitations

Eaves, Soffits & Fascia

INSPECTION WAS RESTRICTED

I did not inspect all of the eaves, soffit, and fascia. It's impossible to inspect those areas closely during a home inspection. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the eaves, soffit, and fascia.

Wall-Covering, Flashing & Trim

INSPECTION WAS RESTRICTED

I did not inspect all of the exterior wall-covering material. A home inspection is not an exhaustive evaluation. My inspection of the exterior was limited. I did not reach and access closely every part of the exterior wall-covering.

GFCIs & Electrical

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Windows

INSPECTION RESTRICTED

I did not inspect all windows. I did inspect a representative number of them. It's impossible to inspect every window component closely during a home inspection. A home inspection is not an exhaustive evaluation. I did not reach and access closely every window, particularly those above the first floor level.

Observations

5.1.1 Eaves, Soffits & Fascia

DAMAGE OBSERVED AT FASCIA



Damages and deterioration were observed at sections of the fascia, likely due to prolonged moisture exposure.

Recommendation:

Have a qualified contractor repair or replace affected areas to help prevent further decay and moisture intrusion.

Recommendation

Contact a qualified professional.



5.3.1 Vegetation, Grading, Drainage & Retaining Walls



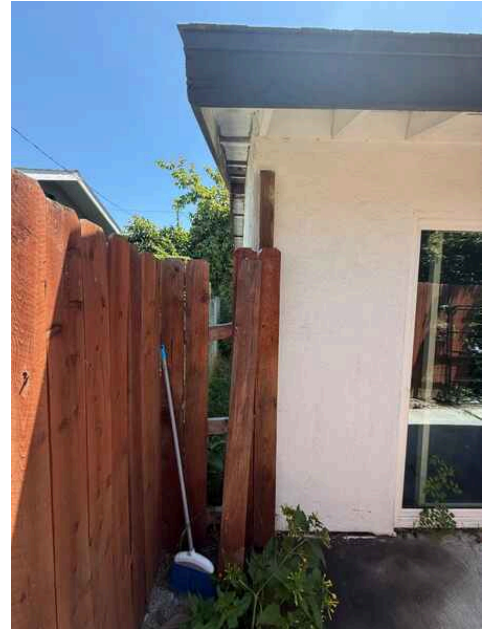
FENCE DEFECT

Fencing observed to be damaged.

Servicing is recommended.

Recommendation

Contact a qualified fencing contractor



5.4.1 GFCIs & Electrical

EXTERIOR LIGHTING NOT OPERABLE FROM SWITCHES

 Repair Recommended

The exterior lighting did not respond to the interior wall switches at the time of inspection.

Servicing is recommended.

Recommendation

Contact a qualified professional.



6: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

Information

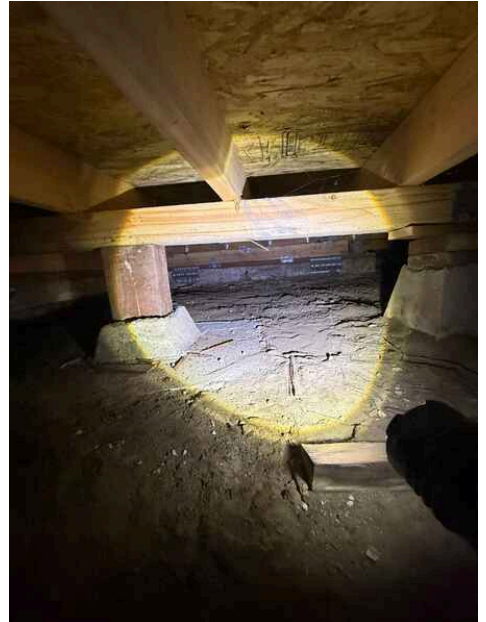
Under-Floor Crawlspace: Type of Under-Floor Crawlspace Foundation Described Raised	Under-Floor Crawlspace: Under-Floor Crawl Access Location Exterior	Insulation in Crawlspace: Type of Insulation Observed None
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Under-Floor Crawlspace: Under-Floor Crawlspace Inspected

The under-floor crawlspace was inspected in accordance with the Home Inspection Standards of Practice. Crawlspaces can provide valuable insight into the overall structural condition of the home, as framing members, portions of the HVAC distribution system, plumbing supply and drain-waste-vent piping, and electrical branch-circuit wiring are often visible in this area.

I inspected the accessible systems and components within the crawlspace to the best of my ability while maintaining safe inspection practices. The inspection was limited to readily accessible and safely reachable areas at the time of inspection.

It is recommended that the buyer inquire with the seller regarding any history of structural repairs, foundation movement, moisture intrusion, plumbing leaks, pest treatment, or prior damage in the crawlspace area prior to the close of escrow.





Under-Floor Crawlspace: Structural Components Inspected

Structural components were inspected according to the [Home Inspection Standards of Practice](#), including readily observed floor joists.

Under-Floor Crawlspace: Crawlspace Seismic Retrofitting Observed

Main unit

Observed seismic retrofitting components within the crawlspace, including metal framing connectors, anchor hardware, and supplemental bracing attachments at portions of the floor framing and foundation areas. These improvements appear intended to enhance the structural connection between the wood framing and foundation during seismic activity.

Recommend asking the seller for any available documentation, permits, or engineering information regarding the retrofit work prior to close of escrow.

Ventilation in Crawlspace: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I report as in need of correction the general absence of ventilation in unfinished spaces.

Observations

6.1.1 Under-Floor Crawlspace

 Repair Recommended

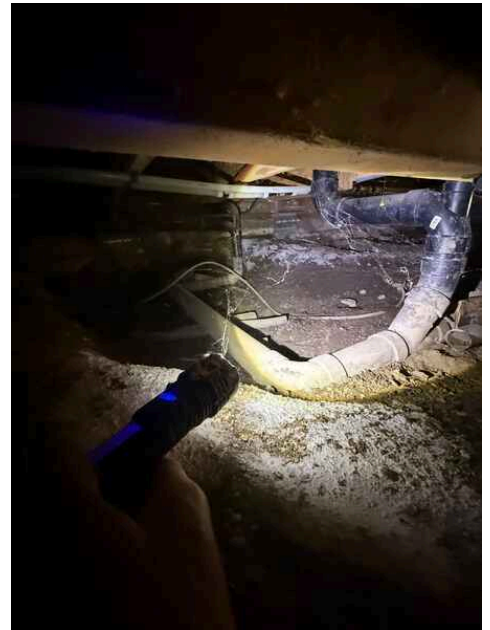
MOISTURE BELOW PLUMBING PIPING

Moisture was observed at the soil below the plumbing piping within the crawlspace at the time of inspection. Although no active leaks were observed during the inspection, the affected area should be dry under normal conditions.

Recommend further evaluation and servicing by a qualified plumber or contractor to determine the source and make repairs as needed.

Recommendation

Contact a qualified professional.



6.1.2 Under-Floor Crawlspace

 Repair Recommended

CRACK OBSERVED

FRONT, SIDE

Crack was observed at the foundation.

Servicing is recommended.

Recommendation

Contact a qualified professional.



7: PLUMBING

Information

Main Water Shut-Off Valve: Location of Main Shut-Off Valve Outside of House	Main Water Shut-Off Valve: Main Shut Off Plumbing Material Copper, Unknown - Painted, Possible galvanized	Main Water Shut-Off Valve: PRESSURE RELIEF VALVE None
Water Supply : Water Pressure Reading YES	Hot Water Source: Water Heater Location Outside, Closet	Drain, Waste, & Vent Systems: Sewer Inspection Not Rendered
Gas : Type of Fuel Natural Gas		

Main Water Shut-Off Valve: Homeowner's Responsibility

It's your job to know where the main water and fuel shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks.



Water Supply : Water Supply Is Public

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

Water Supply : Water Pressure Reading

The reading of the water pressure was tested.. For residential homes, the ideal water pressure should be between 40 and 80psi (pounds per square inch). Pressures above 80 psi can cause excessive wear and tear on plumbing fixtures and appliances, while pressures below 40 psi may not provide sufficient water flow. Most homeowners aim for a water pressure reading of around 60-70 psi for optimal performance.

If present, you can adjust the pressure at the PRV (pressure regulator valve) at the main water shut off.



65-70

Hot Water Source: Type of Hot Water Source

Gas-Fired Hot Water Tank

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.

Hot Water Source: Hot Water Source, TPR Valve , Seismic Brace Venting Connections

I inspected the hot water source, TPR valve, venting connections, and seismic brace.

Hot Water Source: Hot Water Tank Approximate Age & Info

Water Heater #1 (Tank Type)

- * Brand: Rheem
- * Model: XG40T06EN38U0
- * Type: Natural Gas Water Heater
- * Capacity: 40 Gallons
- * BTU Input: 38,000 BTU/hr
- * Manufactured Date: September 25, 2019
- * Approximate Age: 6 years
- * Notes: Category I natural draft gas water heater. Certified for installation up to 10,100 ft elevation



Hot Water Source: Water Heater Maintenance Plan

To help prolong the lifespan and ensure the efficient operation of the water heater, the following routine maintenance is recommended:

1. Inspect Annually:

- Visually check the water heater tank and surrounding area for signs of leaks, corrosion, or moisture intrusion.
- Examine the supply connections, shut-off valve, and temperature and pressure relief (TPR) valve for leaks or damage.

2. Test TPR Valve (Annually):

- Carefully lift the TPR valve lever and allow it to snap back. You should hear a burst of water into the discharge pipe. If the valve does not release or reseal properly, it should be replaced by a licensed plumber.

3. Flush the Tank (Annually):

- Drain a few gallons from the tank to remove sediment buildup that can reduce efficiency and damage the tank. A full flush is recommended if sediment accumulation is significant.

- Note: If you have hard water, more frequent flushing may be necessary (every 6 months).

4. Check Anode Rod (Every 2-3 Years):

- The sacrificial anode rod helps prevent internal tank corrosion. It should be inspected and replaced if significantly corroded (less than 1/2 inch thick or coated in calcium).

5. Inspect Venting (Gas Models):

- Ensure that flue connections are secure and properly sloped.
- Check for signs of backdrafting or corrosion on the draft hood and vent pipe.

6. Maintain Clearance:

- Keep the area around the water heater clear of debris and combustible materials to ensure proper ventilation and service access.

7. Set Temperature:

- Keep the thermostat set at 120°F to reduce scald risk and save energy.

8. Check for Earthquake Straps (California-specific):

- Ensure the water heater is securely strapped to the wall with approved seismic restraints at the upper and lower thirds of the unit.

9. Schedule Professional Service:

- Have a licensed plumber perform a full inspection every few years, especially as the unit ages or if performance issues arise.

Drain, Waste, & Vent Systems: Inspected Drain, Waste, Vent Pipes

I inspected the accessible portions of the drain, waste, and vent piping. Not all piping and related components were visible or accessible at the time of inspection due to building finishes and other obstructions. As a result, this inspection was limited to visible areas only.

It is recommended that the buyer inquire with the homeowner or listing agent regarding any history of water leaks, sewer backups, blockages, or repairs to the plumbing system prior to the close of escrow.

Drain, Waste, & Vent Systems: Plumbing Pipes Observed

Copper, PEX, ABS, PVC

During the inspection I observed these plumbing pipes in the home. Note not all pipes are visible.

Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes

I inspected the accessible portions of the water supply and distribution piping. Not all piping and related components were visible or accessible at the time of inspection due to building finishes and other obstructions. Therefore, the inspection was limited to readily accessible areas only.

It is recommended that the buyer inquire with the homeowner or listing agent regarding any history of water supply issues, low water pressure, leaks, pipe repairs, or past plumbing failures prior to the close of escrow

Gas : Gas Meter

Gas meter was observed with an automatic seismic shut off.

Monitoring is recommended, servicing by utility company should be performed if necessary.



Sprinkler System : Sprinkler System

Observed a sprinkler system. System is set on auto. Please verify with seller for overall and past performance.

A standard home inspection does inspect sprinklers system as it is an exhaustive inspection and many components are hidden.



Limitations

Drain, Waste, & Vent Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Water Supply & Distribution Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

Observations

7.2.1 Water Supply

MISSING WATER PRESSURE REGULATOR



Missing water pressure regulator was observed at the main line that helps keep your pressure within range.

Recommend servicing and installing a water pressure regulator to help regulate the water pressure.

Recommendation

Contact a qualified professional.



7.3.1 Hot Water Source

WATER HEATER - MISSING SEDIMENT TRAP

Repair Recommended

A sediment trap (drip leg) was not observed at the gas line serving the water heater. Sediment traps help prevent debris from entering the gas control valve and are required by current standards and manufacturer requirements.

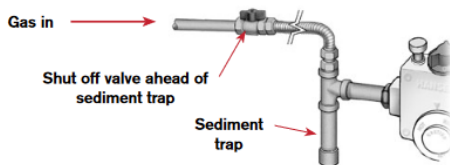
Recommendation:

Have a licensed plumber install a proper sediment trap at the gas line for safety and compliance.

Recommendation

Contact a qualified plumbing contractor.

Sediment traps should be placed as close as possible to appliance inlets.



7.3.2 Hot Water Source

MISSING SHUT-OFF VALVE

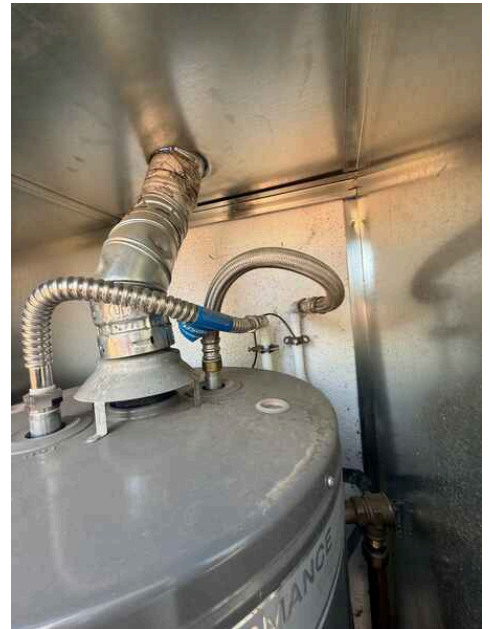
Repair Recommended

A shut-off valve was not present on the water supply line to the water heater. A shut-off valve is required to allow for safe servicing, maintenance, or replacement of the unit.

Recommendation: A qualified plumbing contractor should install a proper shut-off valve on the water heater's supply line in compliance with current safety and plumbing standards.

Recommendation

Contact a qualified professional.



7.4.1 Drain, Waste, & Vent Systems

SEWER CLEANOUT NOT OBSERVED – UNABLE TO PERFORM SEWER SCOPE



A readily accessible exterior sewer cleanout was not observed at the time of inspection. Due to the absence of an accessible cleanout, a sewer scope inspection could not be performed.

Recommend consulting with a qualified plumbing contractor to determine the location of an existing cleanout or to install an accessible sewer cleanout to allow for proper servicing and future sewer line inspections.

Recommendation

Contact a qualified professional.

8: PLUMBING 2

Information

Main Water Shut-Off Valve: Location of Main Shut-Off Valve Outside of House	Main Water Shut-Off Valve: PRESSURE RELIEF VALVE None	Water Supply : Water Pressure Reading N/A
Hot Water Source: Water Heater Location Outside	Drain, Waste, & Vent Systems: Sewer Inspection Not Performed	Gas : Type of Fuel Natural Gas

Main Water Shut-Off Valve: Homeowner's Responsibility

It's your job to know where the main water and fuel shutoff valves are located. And be sure to keep an eye out for any water and plumbing leaks.

Water Supply : Water Supply Is Public

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

Hot Water Source: Type of Hot Water Source

Tankless System - Gas

I inspected for the main source of the distributed hot water to the plumbing fixtures (sinks, tubs, showers). I recommend asking the homeowner for details about the hot water equipment and past performance.

Hot Water Source: Hot Water Source, TPR Valve , Seismic Brace Venting Connections

I inspected the hot water source, TPR valve, venting connections, and seismic brace.

Hot Water Source: Hot Water Tank Approximate Age & Info

Tankless Water Heater

- * Brand: Rheem
- * Model: ECO200XLN3-1
- * Type: Outdoor Natural Gas Tankless Water Heater
- * Max Input: 199,900 BTU/hr
- * Recovery Rating: 203 Gallons/hr
- * Approximate Manufacture Year: 2021 (based on serial number)
- * Approximate Age: 4-5 years
- * Notes: Outdoor installation only. Automatic instantaneous water heater.



Hot Water Source: Tankless Water Heater Maintenance Tips

Tankless water heaters require routine maintenance to operate efficiently and extend their service life. The system should be flushed at least once a year (every 6-12 months), especially in areas with hard water, to remove mineral buildup such as calcium that can clog the heat exchanger. This process involves turning off the power and gas, connecting a pump to the service valves, circulating a descaling solution for approximately 45 minutes, and then thoroughly rinsing the system with clean water. Units equipped with isolation valves make this maintenance easier.

The cold-water inlet filter should also be cleaned periodically. This filter helps prevent debris and sediment from entering the unit. After shutting off the water supply, the filter can be removed, rinsed, and reinstalled.

The venting system should be inspected for blockages, loose connections, or corrosion. Properly secured and unobstructed venting is essential for safe exhaust discharge. The control panel should also be checked for any diagnostic error codes, and the manufacturer's manual should be referenced for guidance if codes are present.

Every one to two years, a qualified technician should clean the internal fan and combustion chamber to prevent dust buildup that could affect combustion efficiency. Water pressure should be maintained between 50 and 80 psi. Excessively high pressure may require a pressure regulator, while low pressure could indicate scale buildup or a supply issue.

Homeowners should monitor overall performance. Signs that service may be needed include longer heating times, fluctuating water temperatures, unusual noises, or recurring error codes.

✓ Installing a water softener in hard water areas can significantly prolong the life of the unit. It is also recommended to keep records of all maintenance for warranty purposes and to ensure the system is connected only to potable water sources.

Drain, Waste, & Vent Systems: Inspected Drain, Waste, Vent Pipes

I inspected the accessible portions of the drain, waste, and vent piping. Not all piping and related components were visible or accessible at the time of inspection due to building finishes and other obstructions. As a result, this inspection was limited to visible areas only.

It is recommended that the buyer inquire with the homeowner or listing agent regarding any history of water leaks, sewer backups, blockages, or repairs to the plumbing system prior to the close of escrow.

Drain, Waste, & Vent Systems: Plumbing Pipes Observed

PEX, ABS, PVC

During the inspection I observed these plumbing pipes in the home. Note not all pipes are visible.

Water Supply & Distribution Systems: Inspected Water Supply & Distribution Pipes

I inspected the accessible portions of the water supply and distribution piping. Not all piping and related components were visible or accessible at the time of inspection due to building finishes and other obstructions. Therefore, the inspection was limited to readily accessible areas only.

It is recommended that the buyer inquire with the homeowner or listing agent regarding any history of water supply issues, low water pressure, leaks, pipe repairs, or past plumbing failures prior to the close of escrow

Limitations

Drain, Waste, & Vent Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls.

Water Supply & Distribution Systems

NOT ALL PIPES WERE INSPECTED

The inspection was restricted because not all of the water supply pipes were exposed, readily accessible, and observed. For example, most of the water distribution pipes, valves and connections were hidden within the walls.

Observations

8.3.1 Hot Water Source

MISSING TPR DRAIN PIPE

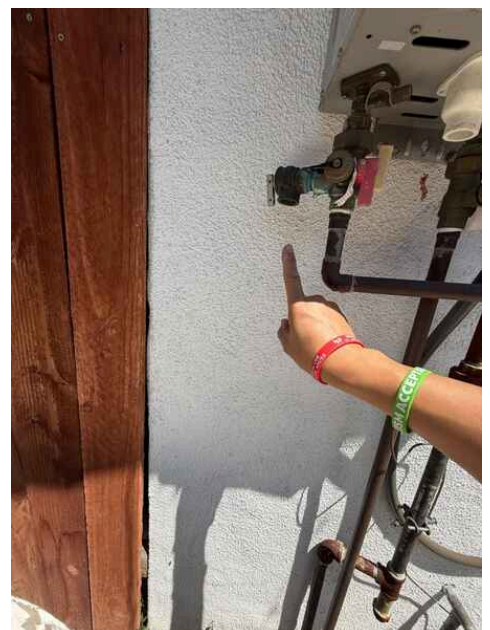
Repair Recommended

The water heater's Temperature and Pressure Relief (TPR) valve is missing a proper discharge drain pipe. The TPR valve is a critical safety component designed to release excess pressure and prevent potential tank failure. Without a drain pipe, hot water and steam could discharge directly from the valve, creating a scalding hazard and potential water damage.

Recommend further evaluation and proper installation of a TPR drain pipe by a qualified professional to ensure compliance with safety standards and local plumbing standards.

Recommendation

Contact a qualified professional.



9: ELECTRICAL

Information

Electric Meter & Base: Inspected the Electric Meter & Base

I inspected the electrical electric meter and base.

Service-Entrance Conductors: Inspected Service-Entrance Conductors

I inspected the electrical service-entrance conductors.

Main Service Disconnect: Inspected Main Service Disconnect

I inspected the electrical main service disconnect.

Electrical Wiring: Type of Wiring, If Visible

NM-B (Romex)

Panelboards & Breakers: MAX AMP

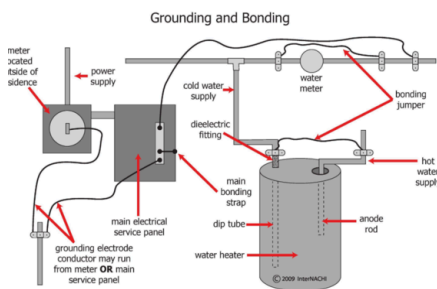
125

Panelboards & Breakers: Panel Manufacturer

Square D

Service Grounding & Bonding: Inspected the Service Grounding & Bonding

I inspected the electrical service grounding and bonding.



Main Service Disconnect: Homeowner's Responsibility

It's your job to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

Main Service Disconnect: Main Disconnect Rating, If Labeled

100

I observed indications of the main service disconnect's amperage rating. It was labeled.

Panelboards & Breakers: Inspected Main Panelboard & Breakers

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).



GFCIs: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

Limitations

Electrical Wiring

UNABLE TO INSPECT ALL OF THE WIRING

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

GFCIs

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Observations

9.5.1 Panelboards & Breakers



Maintenance Item

MISSING SCREW AT THE PANEL COVER

Missing panel screw(s) were observed at the electrical panel. An unsecured cover may expose live components, increasing shock risk.

Recommendation: Have a qualified electrician secure the panel properly.

Recommendation

Contact a qualified professional.



9.5.2 Panelboards & Breakers



Repair Recommended

DOUBLE TAPPED AT BREAKER MAIN SERVICE PANEL

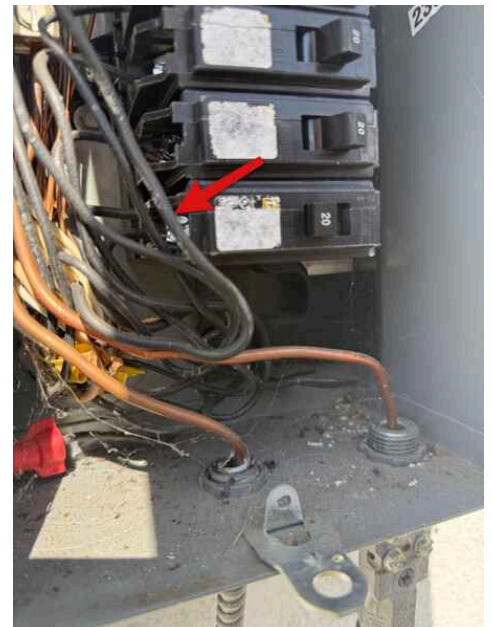
Two conductors are secured under a single breaker on the main service panel. This is referred to as a double tap, which is generally not allowed unless the terminal is specifically rated for multiple conductors. This condition may lead to a poor connection, arcing, or overheating.

Recommendation:

Recommend evaluation and correction by a licensed electrician.

Recommendation

Contact a qualified professional.



9.5.3 Panelboards & Breakers



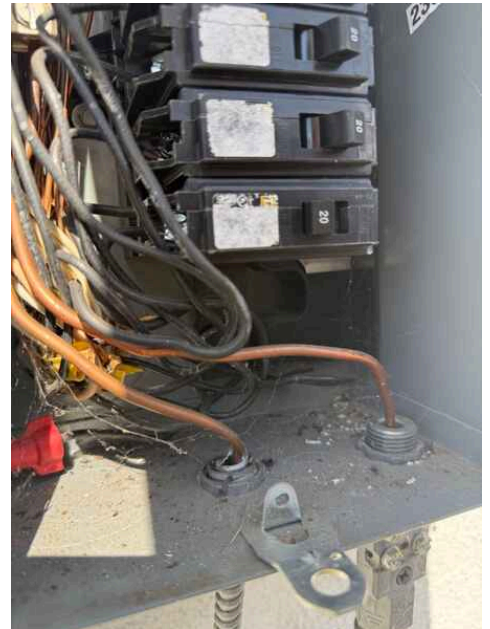
Repair Recommended

BREAKER ON OFF POSITION

A breaker was found in the off position.
Evaluation and servicing is recommended.

Recommendation

Contact a qualified professional.



9.7.1 AFCIs

MISSING AFCI & GFCI BREAKERS



The electrical panel is missing Arc-Fault Circuit Interrupter (AFCI) breakers and Ground-Fault Circuit Interrupter (GFCI) breakers where they are typically required by modern electrical safety standards.

Recommendation:

For improved electrical safety, it is recommended to have a qualified electrician evaluate the panel and consider an upgrade to install AFCI and GFCI protection where required. These breakers enhance fire and shock protection by detecting electrical faults and preventing hazardous conditions. Upgrading to current safety standards is advised, especially in areas such as bedrooms (AFCI), kitchens, bathrooms, garages, outdoor areas, and basements (GFCI), per modern electrical standards.

Recommendation

Contact a qualified professional.



10: ELECTRICAL 2

Information

Electric Meter & Base: Inspected the Electric Meter & Base

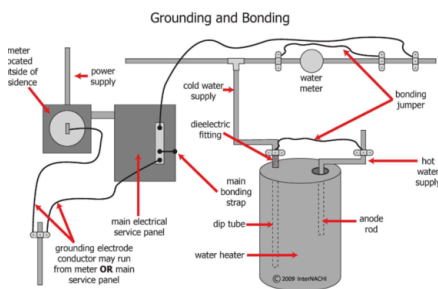
I inspected the electrical electric meter and base.

Electrical Wiring: Type of Wiring, If Visible

NM-B (Romex)

Service Grounding & Bonding: Inspected the Service Grounding & Bonding

I inspected the electrical service grounding and bonding.



Main Service Disconnect: Homeowner's Responsibility

It's your job to know where the main electrical panel is located, including the main service disconnect that turns everything off.

Be sure to test your GFCIs, AFCIs, and smoke detectors regularly. You can replace light bulbs, but more than that, you ought to hire an electrician. Electrical work is hazardous and mistakes can be fatal. Hire a professional whenever there's an electrical problem in your house.

Main Service Disconnect: Main Disconnect Rating, If Labeled

100

I observed indications of the main service disconnect's amperage rating. It was labeled.

Service-Entrance Conductors: Inspected Service-Entrance Conductors

I inspected the electrical service-entrance conductors.

Main Service Disconnect: Inspected Main Service Disconnect

I inspected the electrical main service disconnect.

Panelboards & Breakers: MAX AMP

125

Panelboards & Breakers: Panel Manufacturer

Square D

Panelboards & Breakers: Inspected Main Panelboard & Breakers

I inspected the electrical panelboards and over-current protection devices (circuit breakers and fuses).



Panelboards & Breakers: Inspected Subpanel & Breakers

I inspected the electrical subpanel and over-current protection devices (circuit breakers and fuses).

GFCIs: Inspected GFCIs

I inspected ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible.

Limitations

Electrical Wiring

UNABLE TO INSPECT ALL OF THE WIRING

I was unable to inspect all of the electrical wiring. Obviously, most of the wiring is hidden from view within walls. Beyond the scope of a visual home inspection.

GFCIs

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the GFCI system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Observations

10.7.1 AFCIs

MISSING AFCI & GFCI BREAKERS



The electrical panel is missing Arc-Fault Circuit Interrupter (AFCI) breakers and Ground-Fault Circuit Interrupter (GFCI) breakers where they are typically required by modern electrical safety standards.

Recommendation:

For improved electrical safety, it is recommended to have a qualified electrician evaluate the panel and consider an upgrade to install AFCI and GFCI protection where required. These breakers enhance fire and shock protection by detecting electrical faults and preventing hazardous conditions. Upgrading to current safety standards is advised, especially in areas such as bedrooms (AFCI), kitchens, bathrooms, garages, outdoor areas, and basements (GFCI), per modern electrical standards.

Recommendation

Contact a qualified professional.

11: COOLING

Information

Cooling System Information:

Cooling System

NO, NOT PRESENT

12: COOLING 2

Information

Cooling System Information: Cooling System

YES, OPERABLE AT TIME OF INSPECTION

Cooling System Information: Service Disconnect Inspected

I observed a service disconnect within sight of the cooling system.

Thermostat and Normal Operating Controls: Thermostat Location

Remote

Cooling System Information: Homeowner's Responsibility

Most air-conditioning systems in houses are relatively simple in design and operation. The adequacy of the cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the air conditioning system inspected and serviced every year. And if you're system has an air filter, be sure to keep that filter cleaned.

Cooling System Information: Cooling System Approximate Age & Info

Mini Split HVAC System

- * Brand: TOSOT
- * Model: TW12HQ3C2AO(WIFI)
- * Type: Split-Type Air Conditioner / Heat Pump
- * Cooling Capacity: 12,000 BTU/hr
- * Heating Capacity: 13,000 BTU/hr
- * Refrigerant: R-410A
- * Voltage: 115V, Single Phase
- * Manufacture Date: July 2021
- * Approximate Age: 4 years
- * Notes: Outdoor condenser unit for mini-split HVAC system.



Cooling System Information: Cooling System Maintenance Plan

✓ Monthly / Seasonal (During Cooling Season)

- Replace or clean air filters every 1–2 months during heavy use. Clogged filters reduce efficiency and strain the system.
- Clear debris around outdoor condensers. Maintain at least 2 feet of clearance around the unit.
- Inspect thermostat operation and replace batteries if needed (for digital models).
- Check condensate drain line for clogs. Ensure it drains freely to avoid water damage or overflow.

□ Spring (Pre-Cooling Season)

- Schedule professional HVAC service:
- Clean indoor evaporator coil and outdoor condenser coil
- Inspect refrigerant levels and pressures
- Lubricate moving parts (as applicable)
- Inspect and tighten electrical connections
- Test capacitors, relays, and controls
- Level the outdoor condenser if it has shifted or settled unevenly
- Check ductwork for visible damage, disconnections, or signs of leaks
- Inspect insulation on refrigerant lines

□ Annually

- Have system inspected by a licensed HVAC technician
- Verify system capacity and airflow
- Evaluate system performance vs. expected temperature drop
- Clean blower components and check belt (if applicable)
- Clean or replace UV lights (if installed)
- Check for biological growth inside air handler or ducts and treat as needed

⚠ Other Best Practices

- Avoid blocking vents with furniture or drapes
- Use a programmable thermostat to reduce strain during off-hours
- Maintain indoor humidity below 60% to reduce load and prevent microbial growth
- Keep pets away from outdoor units to avoid coil corrosion (urine is acidic)

Condensate: Condensate Discharge Confirmed

I observed a discharge pipe apparently connected to the condensate pump installed at the cooling system.

13: HEATING

Information

Heating System Information:
Energy Source
 Gas

Heating System Information:
Heating System
 YES

Heating System Information:
Heating Method
 Forced Air, Wall Furnace

Thermostat and Normal Operating Controls: Thermostat Location
 Living room

Heating System Information: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system has an air filter, be sure to keep that filter cleaned.

Heating System Information: Heating System Approximate Age , Information,

Possibly manufactured date labeled :2007



Observations

13.1.1 Heating System Information

WALL FURNACE - LOOSE HEATER COVER PANEL

Repair Recommended

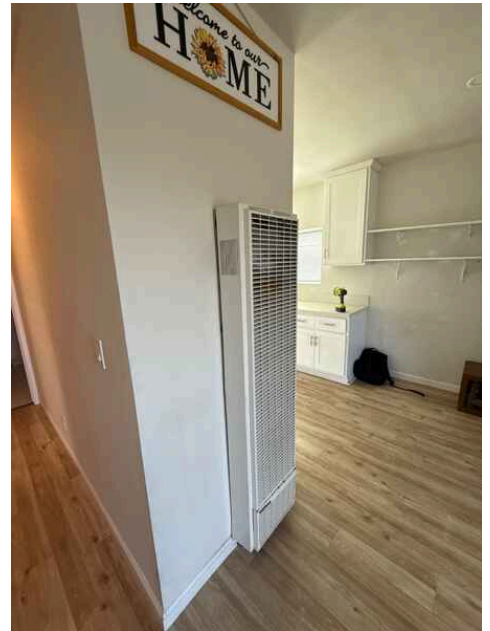
The front cover/grille panel for the wall heater was observed loose and not properly secured to the heater frame at the time of inspection.

Recommendation:

Recommend securing or repairing the cover panel to help prevent movement, damage, or accidental contact with internal components.

Recommendation

Contact a qualified professional.



14: HEATING 2

Information

Heating System Information: Energy Source

Electric

Heating System Information: Heating System

YES

Heating System Information: Heating Method

Heat Pump System

Thermostat and Normal Operating Controls: Thermostat Location

Remote

Heating System Information: Homeowner's Responsibility

Most HVAC (heating, ventilating and air-conditioning) systems in houses are relatively simple in design and operation. They consist of four components: controls, fuel supply, heating or cooling unit, and distribution system. The adequacy of heating and cooling is often quite subjective and depends upon occupant perceptions that are affected by the distribution of air, the location of return-air vents, air velocity, the sound of the system in operation, and similar characteristics.

It's your job to get the HVAC system inspected and serviced every year. And if you're system has an air filter, be sure to keep that filter cleaned.

Heating System Information: Heating System Approximate Age , Information,

Mini Split HVAC System

- * Brand: TOSOT
- * Model: TW12HQ3C2AO(WIFI)
- * Type: Split-Type Air Conditioner / Heat Pump
- * Cooling Capacity: 12,000 BTU/hr
- * Heating Capacity: 13,000 BTU/hr
- * Refrigerant: R-410A
- * Voltage: 115V, Single Phase
- * Manufacture Date: July 2021
- * Approximate Age: 4 years
- * Notes: Outdoor condenser unit for mini-split HVAC system.

15: KITCHEN

Information

Kitchen Sink: Ran Water at Kitchen Sink

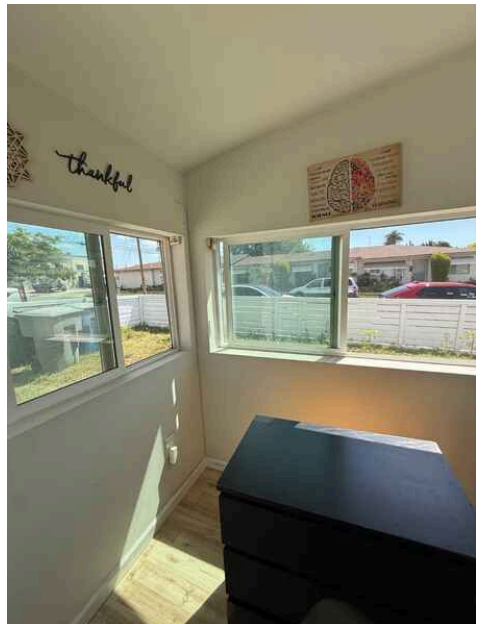
I ran water at the kitchen sink.

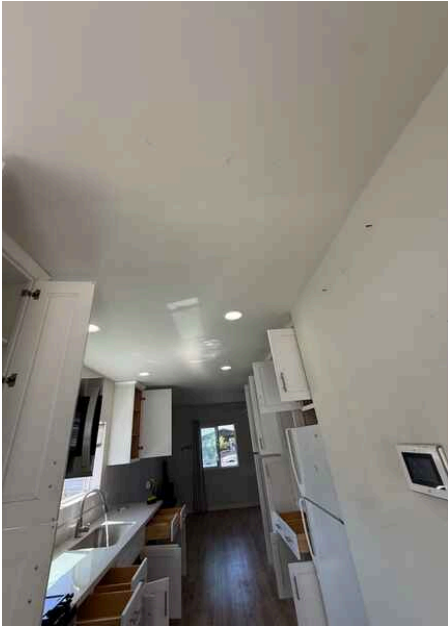
Windows : Window

I inspected the windows.

Kitchen : Kitchen

Kitchen was inspected.





GFCI: GFCI Tested

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.

Countertops & Cabinets: Inspected Cabinets & Countertops

I inspected a representative number of cabinets and countertop surfaces.

Wear and tear was observed.

Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#). Normal wear and tear was observed which is typical for a home of this age.

Appliances : Appliance Inspected

Refrigerator, Stove, Oven, Microwave

Appliance were inspected. This is a limited inspection that includes checking for normal basic operation only.

Appliances : Appliances Inspected

I inspected all readily available appliances using normal operating controls for the following appliances such microwave, garbage disposal, refrigerator, oven, stove, dishwasher and venting systems if present and accessible. The inspection consists of testing them for power and normal operation functions.

Please also ask sellers for overall and past performances.prior to the close of escrow.

Observations

15.2.1 Kitchen Sink

FLEX DRAIN CONNECTION

A flex drain connection was observed.

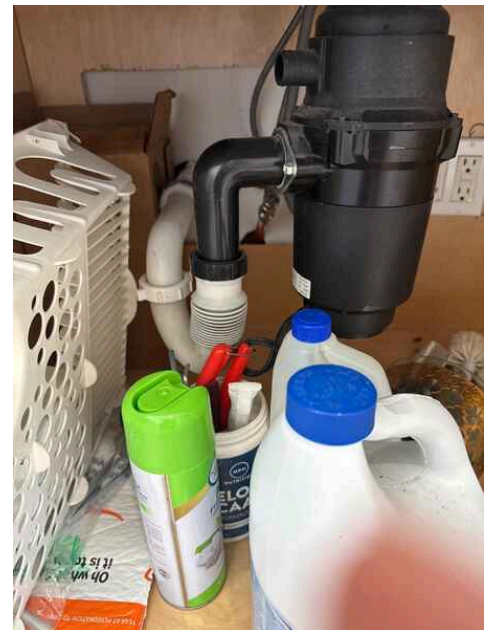
Replacement is recommended to prevent clogging.

Recommendation

Contact a qualified professional.



Maintenance Item



15.5.1 Floors, Walls, Ceilings

STAINS OBSERVED

Stains were observed at various parts of the kitchen including walls, cabinets and ceilings.

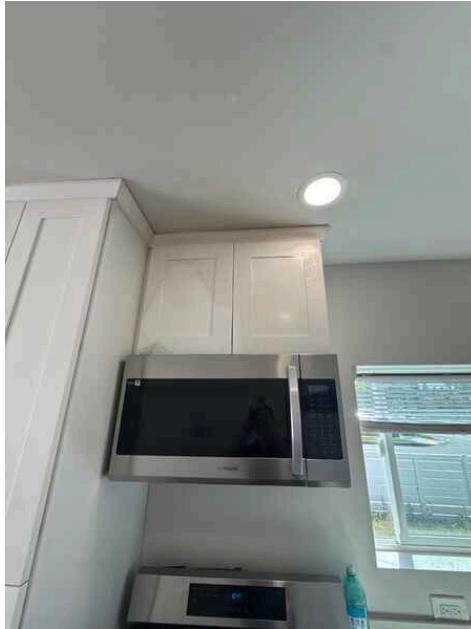
Servicing is recommended.

Recommendation

Contact a qualified professional.



Maintenance Item



15.6.1 Appliances

MISSING ANTI-TIP BRACKET ON OVEN

 Maintenance Item

The oven/range is not secured with an anti-tip bracket, which is a safety device designed to prevent the unit from tipping forward and causing injury.

Recommendation:
Have a qualified professional install an anti-tip bracket per manufacturer guidelines.

Recommendation
Contact a qualified professional.



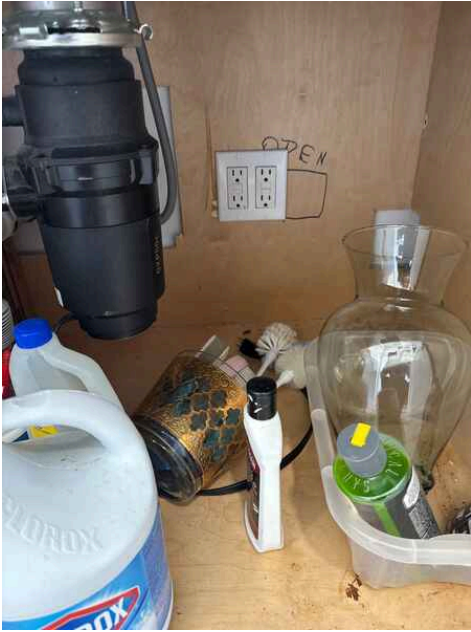
15.6.2 Appliances

GARBAGE DISPOSAL INOPERABLE

 Repair Recommended

I attempted to test the garbage disposal however it did not operate. Power was found unplugged. Further evaluation and correction is recommended.

Recommendation
Contact a qualified professional.



16: KITCHEN 2

Information

Kitchen : Kitchen

Kitchen was inspected.

Kitchen Sink: Ran Water at Kitchen Sink

I ran water at the kitchen sink.

Windows : Window

I inspected the windows.

GFCI: GFCI Tested

I observed ground fault circuit interrupter (GFCI) protection in the kitchen.

Countertops & Cabinets: Inspected Cabinets & Countertops

I inspected a representative number of cabinets and countertop surfaces.

Wear and tear was observed.

Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. I looked for material defects according to the [Home Inspection Standards of Practice](#). Normal wear and tear was observed which is typical for a home of this age.

Appliances : Appliance Inspected

Refrigerator, Garbage Disposal, Stove, Oven

Appliance were inspected. This is a limited inspection that includes checking for normal basic operation only.

Appliances : Appliances Inspected

I inspected all readily available appliances using normal operating controls for the following appliances such microwave, garbage disposal, refrigerator, oven, stove, dishwasher and venting systems if present and accessible. The inspection consists of testing them for power and normal operation functions.

Please also ask sellers for overall and past performances.prior to the close of escrow.

Observations

16.5.1 Floors, Walls, Ceilings

UNLEVELED, SOFT SPOT AT FLOORING

KITCHEN

Soft spot was detected at the flooring material.

Further evaluation and servicing is recommended.



Maintenance Item

Recommendation

Contact a qualified professional.



17: DOORS, WINDOWS & INTERIOR

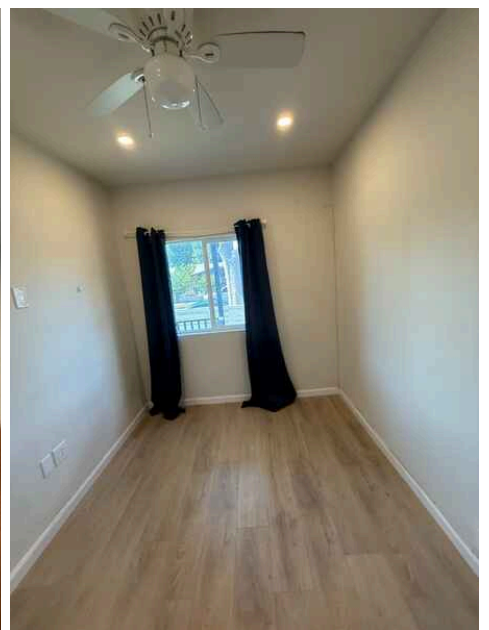
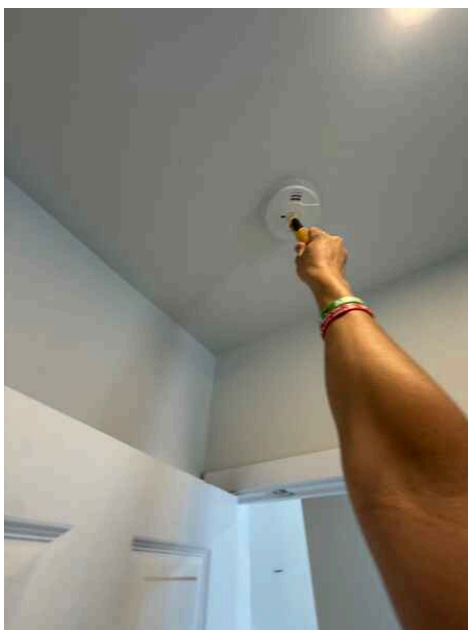
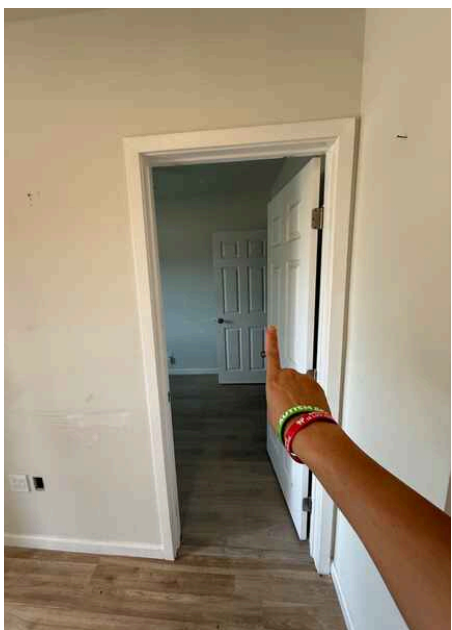
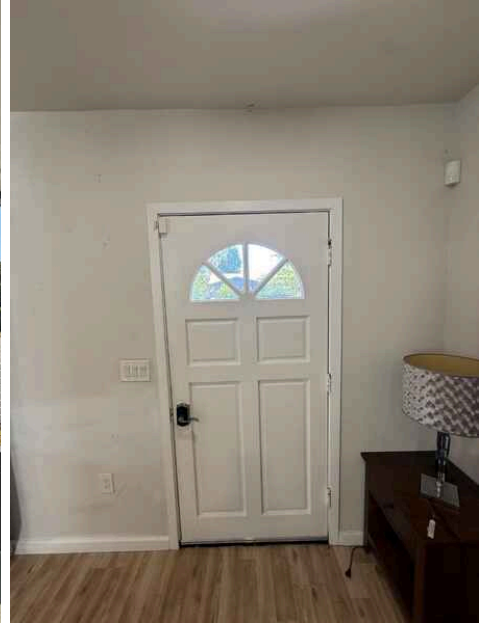
Information

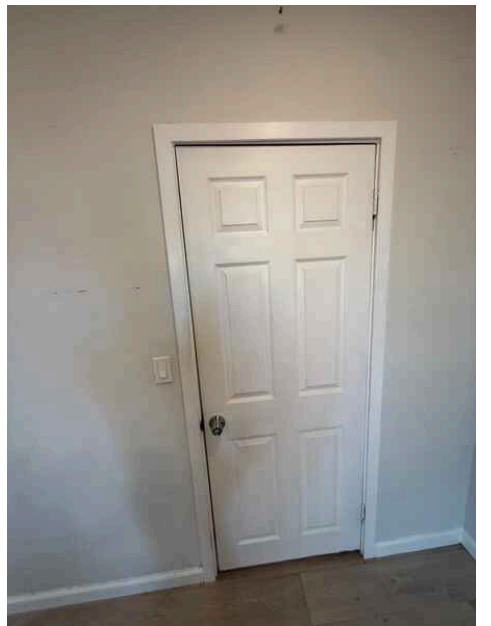
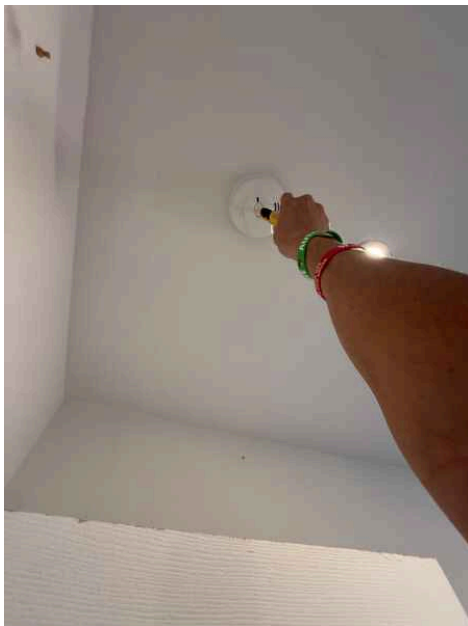
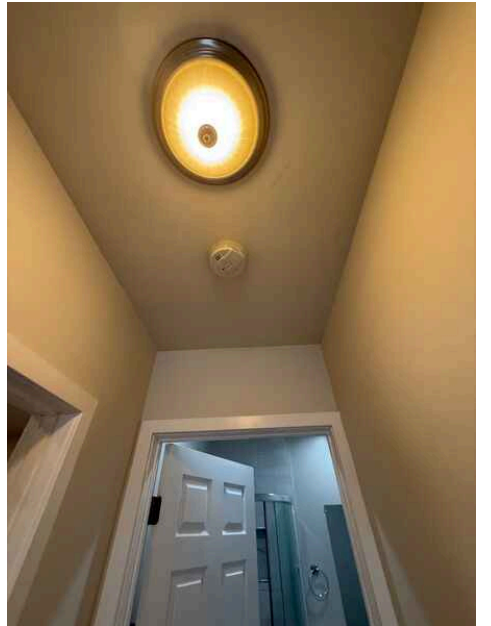
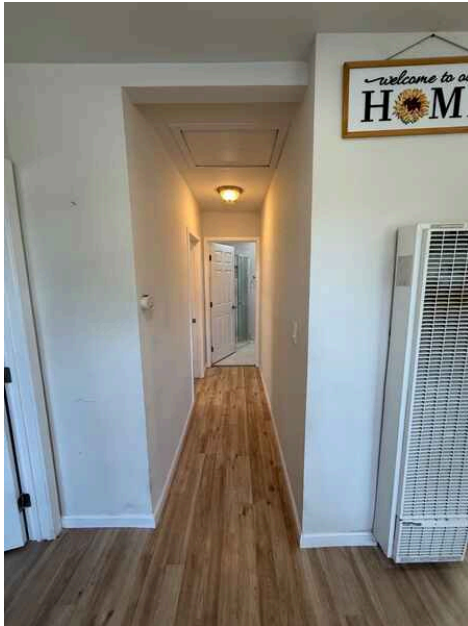
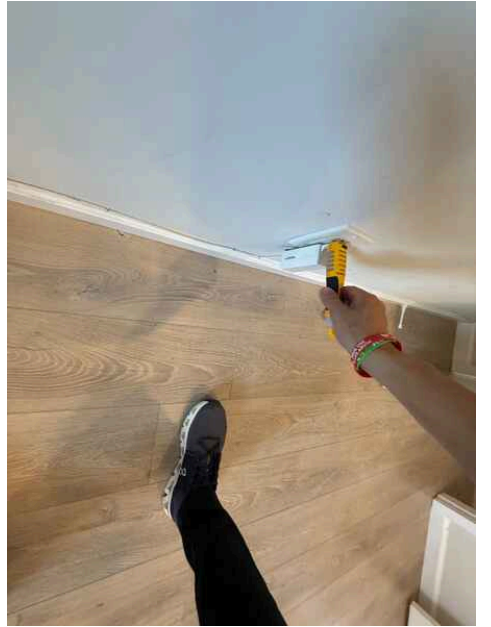
Floors, Walls, Ceilings: Flooring Material

Vinyl

Interior Space : Interior of Home

Interior of the home was inspected.







Doors: Doors Inspected

I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.

Windows: Windows Inspected

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

Switches, Fixtures & Receptacles: Inspected a Switches, Fixtures & Receptacles

I inspected a representative number of switches, lighting fixtures and receptacles.

Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. Normal wear and tear and cosmetic damages are excluded in the report.

I looked for material defects according to the [Home Inspection Standards of Practice](#).

Presence of Smoke and CO Detectors: Inspected for Presence of Smoke and CO Detectors

I inspected for the presence of smoke and carbon-monoxide detectors.

There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.

Limitations

Switches, Fixtures & Receptacles

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Presence of Smoke and CO Detectors

UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

Observations

17.3.1 Windows

MISSING WINDOW SCREEN

A missing window screen was observed in the bedroom.

Installation of window screens is recommended.

Recommendation

Contact a qualified window repair/installation contractor.



17.4.1 Switches, Fixtures & Receptacles

NO POWER AT OUTLET(S)

Outlet did not test for power.

Recommend Electrician to evaluate and repair.

Recommendation

Contact a qualified professional.

Repair Recommended



17.4.2 Switches, Fixtures & Receptacles

CEILING FAN DID NOT OPERATE

The ceiling fan did not operate when tested at the time of inspection.

Recommendation:

Recommend further evaluation and repair by a qualified professional.

Recommendation

Contact a qualified professional.

Repair Recommended



17.4.3 Switches, Fixtures & Receptacles

 Repair Recommended

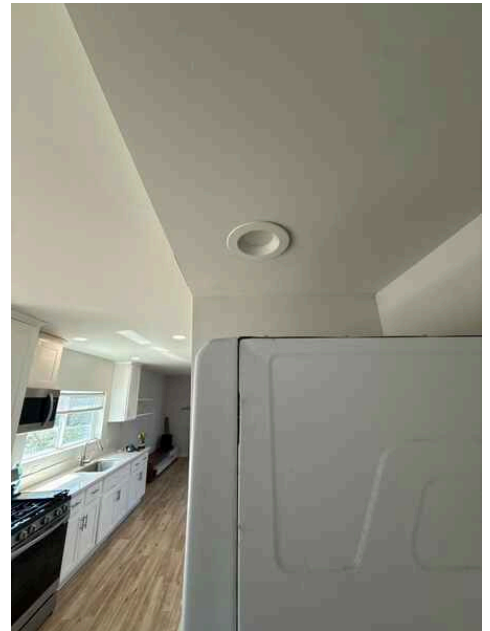
RECESS LIGHTS INOPERABLE

LAUNDRY

One or more recess light was not operational at the time of inspection. Further evaluation and correction is recommended.

Recommendation

Contact a qualified professional.



17.5.1 Floors, Walls, Ceilings

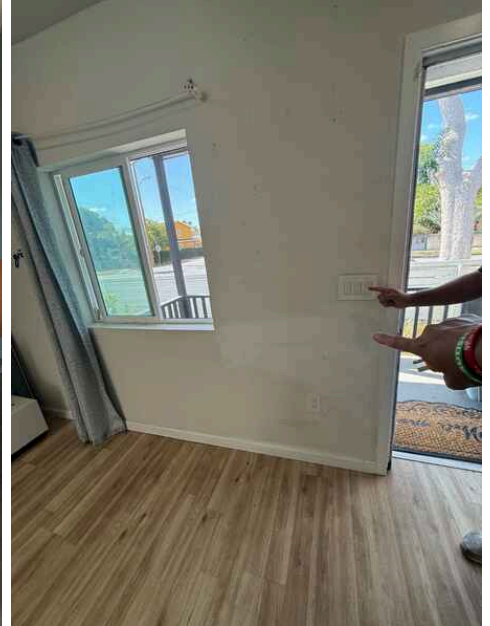
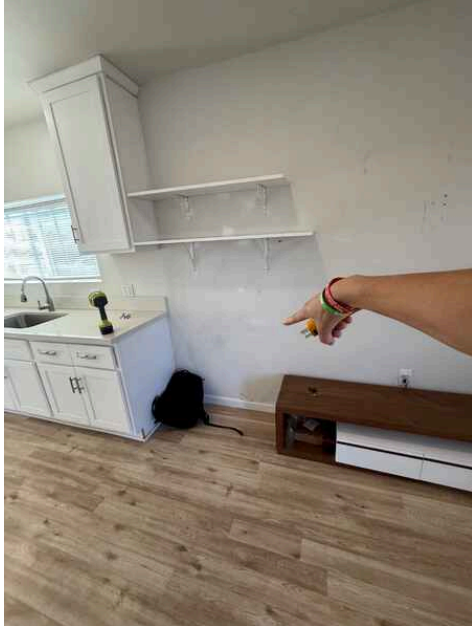
 Maintenance Item

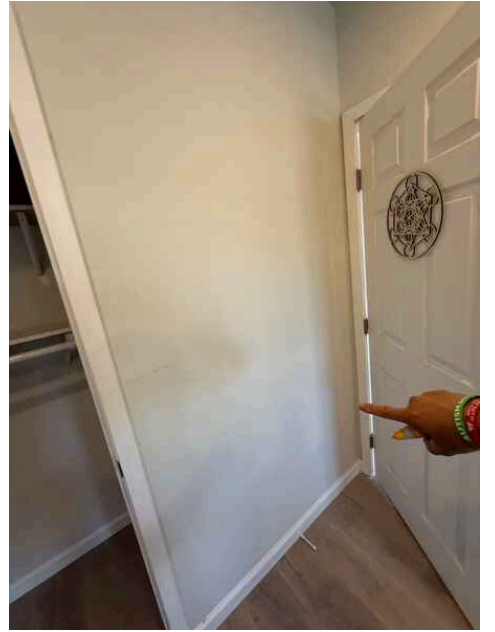
DAMAGE AT DRYWALL

Damage at drywall was observed. Servicing is recommended.

Recommendation

Contact a qualified professional.





18: DOORS, WINDOWS & INTERIOR 2

Information

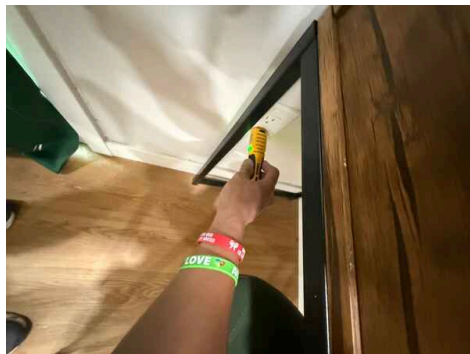
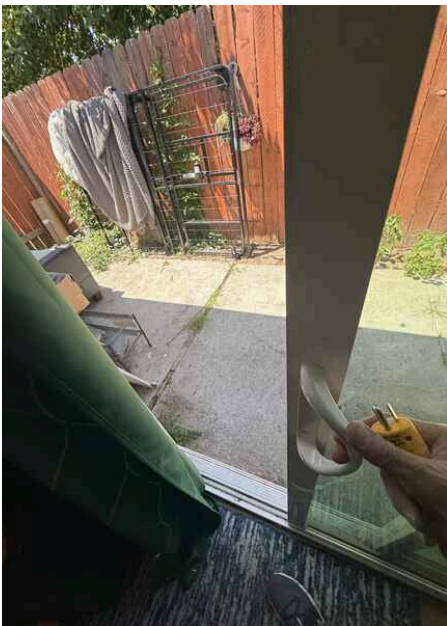
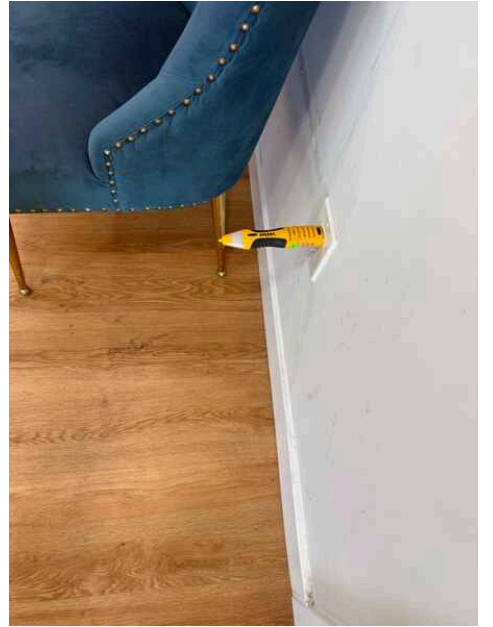
Floors, Walls, Ceilings: Flooring Material

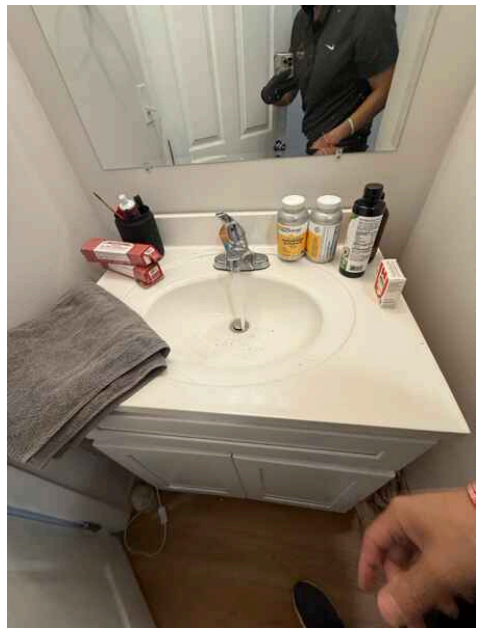
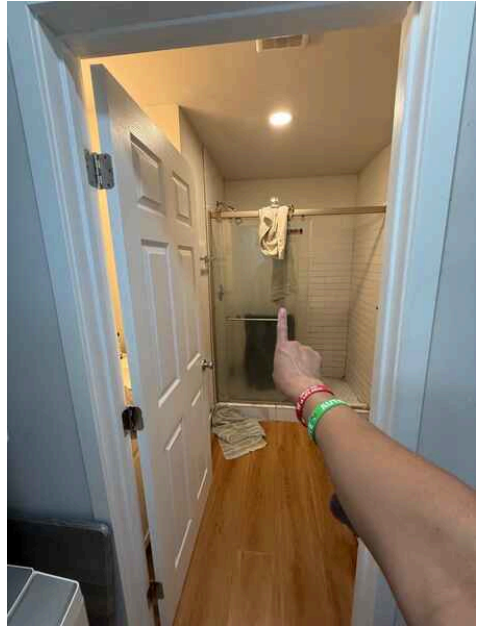
Vinyl

Interior Space : Interior of Home

Interior of the home was inspected.









Doors: Doors Inspected

I inspected a representative number of doors according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate door locks and door stops, which is beyond the scope of a home inspection.

Windows: Windows Inspected

I inspected a representative number of windows according to the [Home Inspection Standards of Practice](#) by opening and closing them. I did not operate window locks and operation features, which is beyond the scope of a home inspection.

Switches, Fixtures & Receptacles: Inspection Tip

Some electrical outlets in the home are installed upside down. In newer construction, this is commonly done to indicate that the outlet is controlled by a wall switch, not a defect. If an outlet does not have power, try operating nearby wall switches to confirm operation.

Switches, Fixtures & Receptacles: Inspected a Switches, Fixtures & Receptacles

I inspected a representative number of switches, lighting fixtures and receptacles.

Floors, Walls, Ceilings: Floors, Walls, Ceilings Inspected

I inspected the readily visible surfaces of floors, walls and ceilings. Normal wear and tear and cosmetic damages are excluded in the report.

I looked for material defects according to the [Home Inspection Standards of Practice](#).

Presence of Smoke and CO Detectors: Smoke & Carbon Monoxide Detectors – Maintenance Tips

☐ Smoke & Carbon Monoxide Detectors Maintenance Tips

- Test detectors monthly using the built-in test button.
- Replace batteries at least once a year, or when the unit chirps.
- Clean units gently with a vacuum or soft brush every 6 months to remove dust.
- Replace smoke detectors every 10 years and carbon monoxide detectors every 7–10 years, depending on the manufacturer.
- Ensure detectors are installed in hallways outside sleeping areas, inside each bedroom, and on each level of the home (including the basement).

Recommendation: Regular maintenance ensures early warning in emergencies. Replace outdated units to maintain household safety.

Presence of Smoke and CO Detectors: Inspected for Presence of Smoke and CO Detectors

I inspected for the presence of smoke and carbon-monoxide detectors.

There should be a smoke detector in every sleeping room, outside of every sleeping room, and one every level of a house.

Limitations

Switches, Fixtures & Receptacles

UNABLE TO INSPECT EVERYTHING

I was unable to inspect every electrical component or proper installation of the system according to modern code. A licensed electrician or township building code inspector could perform that type of test, which is beyond the scope of my visual-only home inspection. I inspected the electrical system as much as I could according to the Home Inspection Standards of Practice.

Presence of Smoke and CO Detectors

UNABLE TO TEST EVERY DETECTOR

I was unable to test every detector. We recommend testing all of the detectors. Ask the seller about the performance of the detectors and of any issues regarding them. We recommend replacing all of the detectors (smoke and carbon monoxide) with new ones just for peace of mind and for safety concerns.

Observations

18.5.1 Floors, Walls, Ceilings

 Repair Recommended

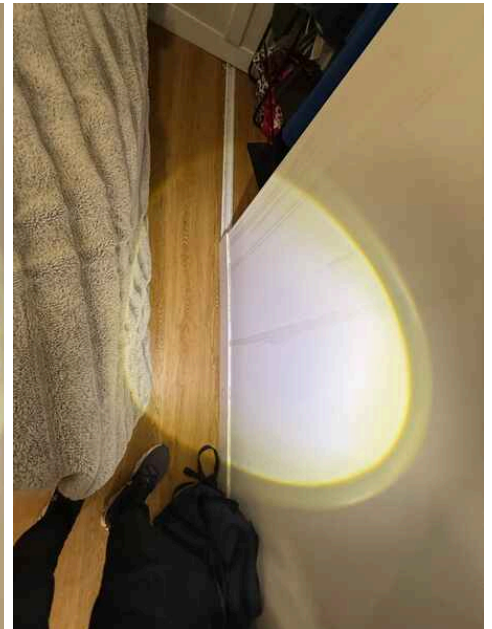
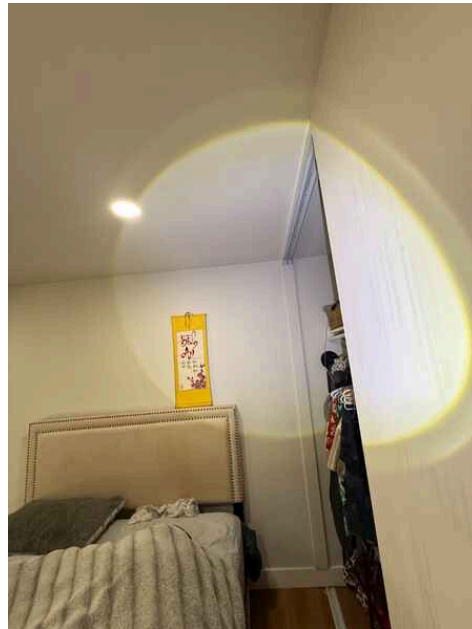
MOISTURE STAINING AT WALLS & CEILING

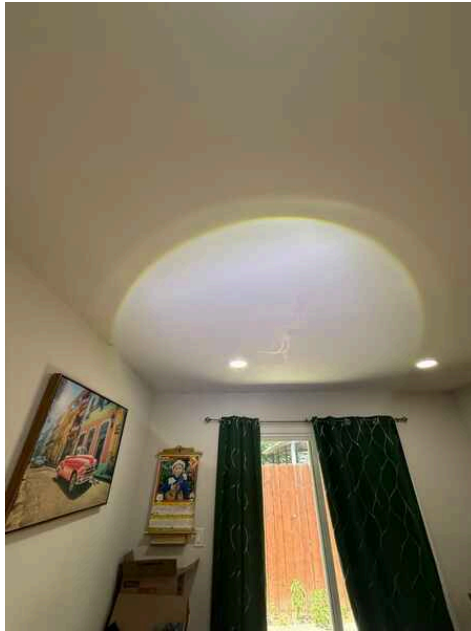
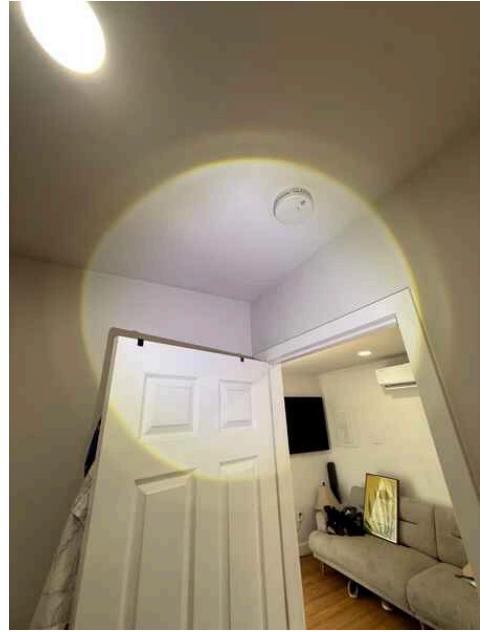
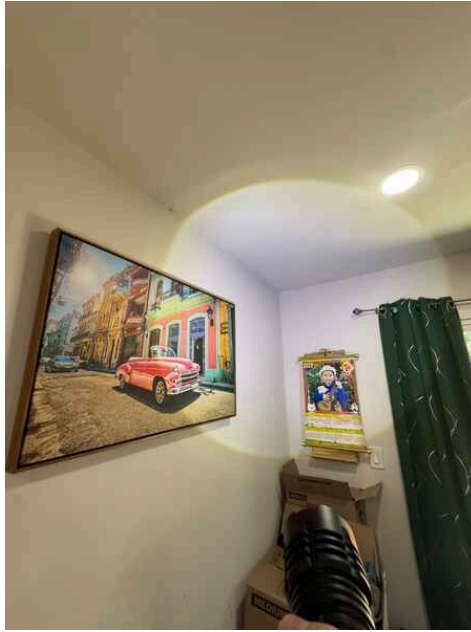
BEDROOM 1

Moisture stains were observed at the walls and ceiling which suggest ongoing or past moisture issues. Further evaluation and servicing is recommended before the close of escrow.

Recommendation

Contact a qualified professional.





19: LAUNDRY

Information

Laundry Room, Electric, and Tub: Laundry Room

Laundry room was inspected.



Limitations

Clothes Washer

DID NOT INSPECT FULLY

I did not inspect the clothes washer and dryer fully. The inspection is limited to turning the appliances on and using basic operating controls.

These appliances are beyond the scope of a home inspection. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

Clothes Dryer

DID NOT INSPECT FULLY

I did not inspect the clothes washer and dryer fully. The inspection is limited to turning the appliances on and using basic operating controls.

These appliances are beyond the scope of a home inspection. The clothes dryer exhaust pipe must be inspected and cleaned every year to help prevent house fires.

Please ask seller for overall and past performances.

Observations

19.1.1 Laundry Room, Electric, and Tub

MISSING GFCI PROTECTION

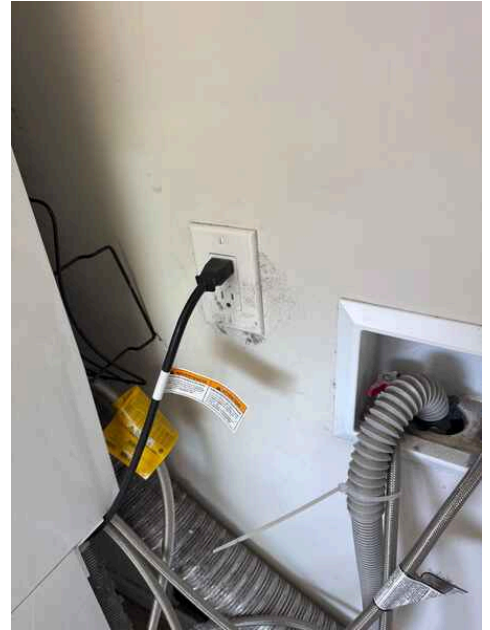
Missing GFCI was observed in the laundry room.

Installation of GFCI receptacle is recommended.

Recommendation

Contact a qualified electrical contractor.

Repair Recommended



20: BATHROOM(S)

Information

Bathrooms: Bathrooms

Bathrooms was inspected.

Bathroom Toilets: Toilets Inspected

I flushed all of the toilets.

Door: Doors

Doors were inspected.

Window: Window

Windows were inspected.

Sinks, Tubs & Showers: Ran Water at Sinks, Tubs & Showers

I ran water at all bathroom sinks, bathtubs, and showers. I inspected for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.

Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.

GFCI & Electric in Bathroom: GFCI-Protection Tested

I inspected the GFCI-protection at the receptacle near the bathroom sink by pushing the test button at the GFCI device or using a GFCI testing instrument.

All receptacles in the bathroom must be GFCI protected.

Cabinetry, Ceiling, Walls & Floor: Cabinetry, Ceiling, Walls & Floor

Cabinetry, Ceiling, and Walls & Floor was inspected. Normal wear and tear was observed.

Observations

20.3.1 Sinks, Tubs & Showers

SLOW DRAIN

1,2

Both bathroom sink drained slowly at the time of inspection, indicating a possible blockage or buildup within the drain line.

Recommend having the drain cleaned or serviced to restore proper flow.

Recommendation

Contact a qualified professional.





20.3.2 Sinks, Tubs & Showers

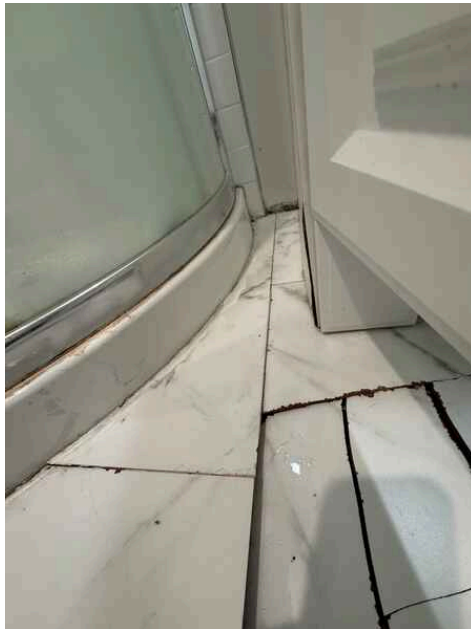
ACTIVE LEAK AT SHOWER

Active leak of observed at the shower.
 Moisture possibly penetrating through door.
 Evaluation and servicing is recommended.

Recommendation

Contact a qualified professional.

 Repair Recommended



20.6.1 Heat Source in Bathroom

BATHROOM LACKS PERMANENT HEAT SOURCE

 Repair Recommended

1

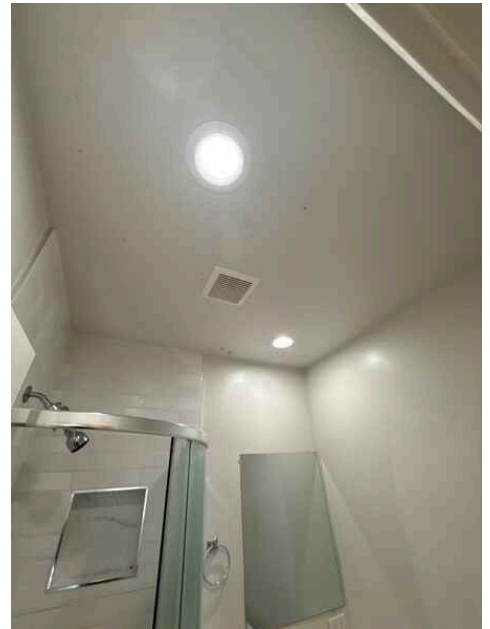
A permanent heat source was not observed in the bathroom at the time of inspection.

Recommendation:

Recommend installation of an approved heat source to improve comfort and meet typical residential heating standards.

Recommendation

Contact a qualified heating and cooling contractor



20.7.1 Cabinetry, Ceiling, Walls & Floor

CABINET DAMAGE

Damage at counter of cabinet.

Servicing is recommended.

Recommendation

Contact a qualified professional.



20.7.2 Cabinetry, Ceiling, Walls & Floor

CAULK & SEAL

1

Lack of caulk and seal was observed.

Caulk and seal is recommended underneath the sink plumbing connections, shower tiles, ceiling, and baseboards to prevent moisture intrusion.

Recommendation

Contact a qualified professional.





20.7.3 Cabinetry, Ceiling, Walls & Floor

FLOOR DAMAGE

Damage and cracks at the bathroom floor.

Correction is recommended to prevent further deterioration.

Recommendation

Contact a qualified professional.





20.7.4 Cabinetry, Ceiling, Walls & Floor

CEILING STAINS

1

I observe water stains or damage on the ceiling likely to poor ventilation.

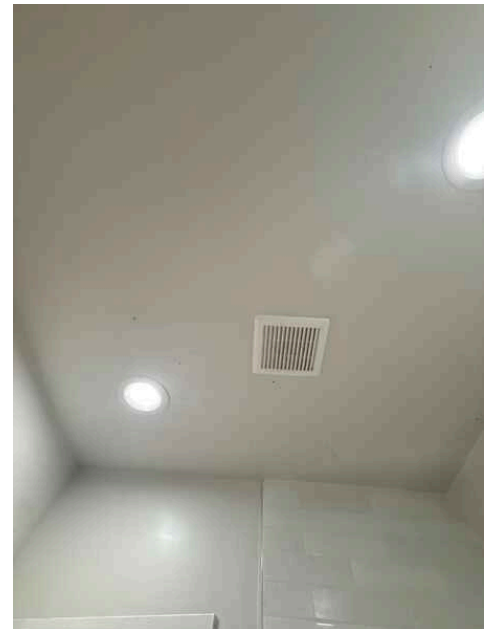
Further evaluation and correction is recommended. Source should also be determined.

Recommendation

Contact a qualified professional.



Maintenance Item



20.8.1 Door

DOOR DOESN'T LATCH

2

I observed that a door does not latch and close properly as intended.

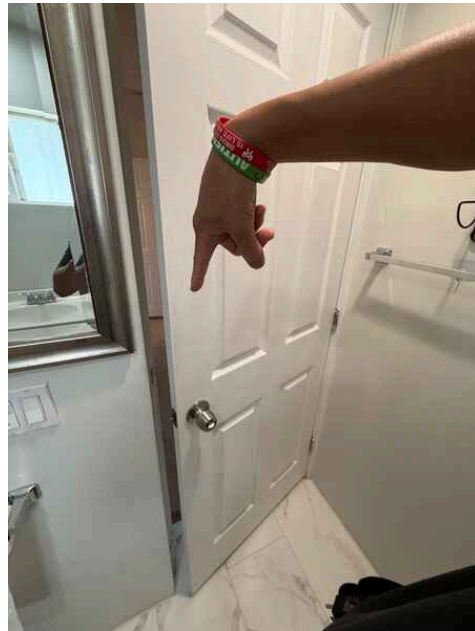
Servicing is recommended.

Recommendation

Contact a qualified professional.



Maintenance Item



21: BATHROOM(S) 2

Information

Bathrooms: Bathrooms

Bathrooms was inspected.

Bathroom Toilets: Toilets Inspected

I flushed all of the toilets.

Door: Doors

Doors were inspected.

Window: Window

Windows were inspected.

Sinks, Tubs & Showers: Ran Water at Sinks, Tubs & Showers

I ran water at all bathroom sinks, bathtubs, and showers. I inspected for deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously.

Bathroom Exhaust Fan / Window: Inspected Bath Exhaust Fans

I inspected the exhaust fans of the bathroom(s). All mechanical exhaust fans should terminate outside. Confirming that the fan exhausts outside is beyond the scope of a home inspection.

GFCI & Electric in Bathroom: GFCI-Protection Tested

I inspected the GFCI-protection at the receptacle near the bathroom sink by pushing the test button at the GFCI device or using a GFCI testing instrument.

All receptacles in the bathroom must be GFCI protected.

Cabinetry, Ceiling, Walls & Floor: Cabinetry, Ceiling, Walls & Floor

Cabinetry, Ceiling, and Walls & Floor was inspected. Normal wear and tear was observed.

Observations

21.6.1 Heat Source in Bathroom

BATHROOM LACKS PERMANENT HEAT SOURCE



A permanent heat source was not observed in the bathroom at the time of inspection.

Recommendation:

Recommend installation of an approved heat source to improve comfort and meet typical residential heating standards.

Recommendation

Contact a qualified heating and cooling contractor

21.7.1 Cabinetry, Ceiling, Walls & Floor

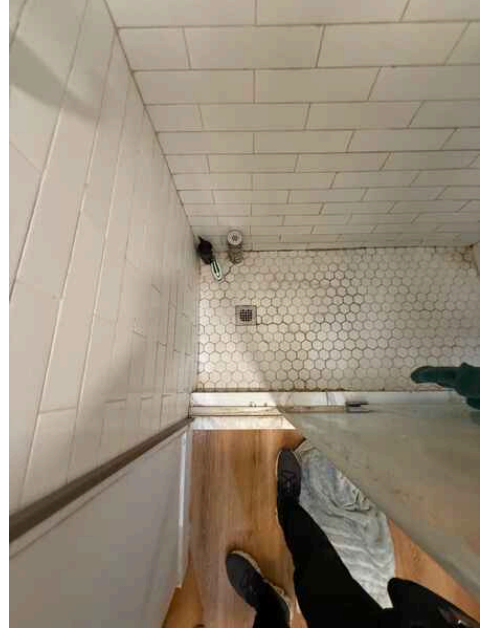
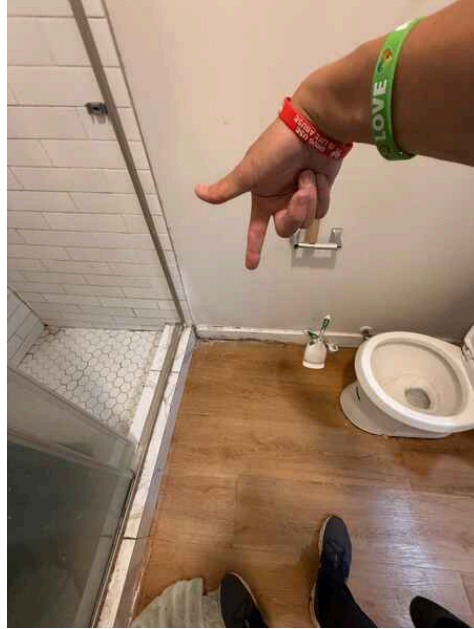
MOISTURE DAMAGE, STAINING IN BATHROOM - ACTIVE



Moisture damages and staining were observed around the baseboard, trims, and shower areas. The sliding glass door also appears unreliable. Odor was also present in the bathroom and interior of the home. Evaluation and servicing is recommended to prevent further deuteriation.

Recommendation

Contact a qualified professional.



22: ATTIC, INSULATION & VENTILATION

Information

Structural Components & Observations in Attic: Access Panel	Insulation in Attic: Type of Insulation Observed
Yes	Blown

Structural Components & Observations in Attic: Structural Components Were Inspected

Structural components were inspected from the attic space according to the [Home Inspection Standards of Practice](#).

Insulation in Attic: Insulation Was Inspected

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.

Insulation in Attic: Approximate Average Depth of Insulation

insulation thickness varied greatly, 3-6 inches, 6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

Ventilation in Attic: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.

I report as in need of correction the general absence of ventilation in unfinished spaces.

Limitations

Structural Components & Observations in Attic

COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. The access and walkable areas is restricted and my inspection is limited.

Observations

22.1.1 Structural Components & Observations in Attic

DISCOLORATION & STAINS



Observed discoloration and stains on the wood membranes.

Please ask seller for overall and past performances.

No active leak was observed. Monitoring and Further evaluation and correction is recommended.

Recommendation

Contact a qualified professional.



22.1.2 Structural Components & Observations in Attic

BATHROOM EXHAUST VENT DISCHARGING INTO ATTIC

BOTH BATHROOMS

The bathroom exhaust vent is discharging moisture-laden air directly into the attic instead of being properly vented to the home's exterior. This condition can lead to elevated humidity, condensation, and potential mold or wood damage in the attic.

Recommend having the exhaust fans vent properly routed to the exterior by a qualified contractor.

Recommendation

Contact a qualified professional.





22.1.3 Structural Components & Observations in Attic

Repair Recommended

NON-STANDARD ATTIC FRAMING SUPPORTS OBSERVED

Multiple supplemental support posts and framing modifications were observed within the attic space. Some supports appeared more uniform and securely positioned, while others appeared improvised and lacked typical connection hardware or engineered attachment methods.

Recommend further evaluation by a qualified licensed contractor or structural engineer. Repairs or modifications should be made as needed to ensure the supplemental supports and framing are properly installed and structurally adequate.

Additionally please ask seller for any additional information regarding these repairs and permits before close of escrow.

Recommendation

Contact a qualified professional.





22.2.1 Insulation in Attic

ATTIC ACCESS LACKS INSULATION



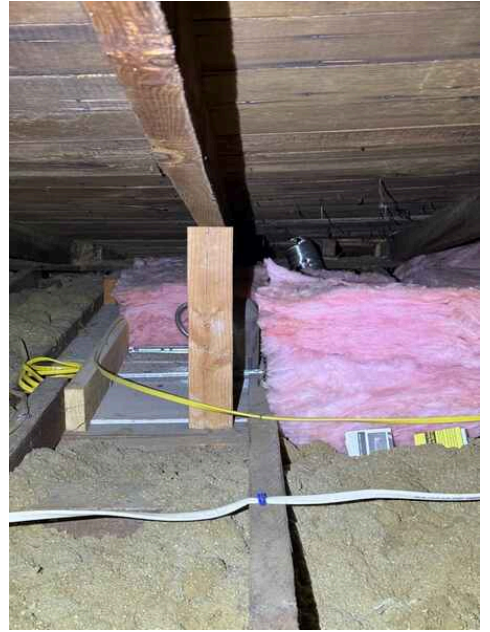
I observed indications that the home was not insulated and sealed properly. This condition will create a heat/energy loss area.

Adding additional insulation and air sealing at the attic access is recommended.

Recommendation

Contact a qualified professional.





23: ATTIC, INSULATION & VENTILATION 2

Information

Structural Components & Observations in Attic: Access Panel

Yes, Limited

Insulation in Attic: Type of Insulation Observed

Fiberglass

Structural Components & Observations in Attic: Structural Components Were Inspected

Structural components were inspected from the attic space according to the [Home Inspection Standards of Practice](#).

Insulation in Attic: Insulation Was Inspected

During the home inspection, I inspected for insulation in unfinished spaces, including attics, crawlspaces and foundation areas. I inspected for ventilation of unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected mechanical exhaust systems in the kitchen, bathrooms and laundry area.

I attempted to describe the type of insulation observed and the approximate average depth of insulation observed at the unfinished attic floor area or roof structure.

I reported as in need of correction the general absence of insulation or ventilation in unfinished spaces.

Insulation in Attic: Approximate Average Depth of Insulation

6-9 inches

Determining how much insulation should be installed in a house depends upon where a home is located. The amount of insulation that should be installed at a particular area of a house is dependent upon which climate zone the house is located and the local building codes.

Ventilation in Attic: Ventilation Inspected

During the home inspection, I inspected for ventilation in unfinished spaces, including attics, crawlspaces and foundation areas. And I inspected for mechanical exhaust systems.

I report as in need of correction the general absence of ventilation in unfinished spaces.

Limitations

Structural Components & Observations in Attic

COULD NOT SEE EVERYTHING IN ATTIC

I could not see and inspect everything in the attic space. The access and walkable areas is restricted and my inspection is limited.

Observations

23.1.1 Structural Components & Observations in Attic

BATHROOM EXHAUST VENT DISCHARGING INTO ATTIC



The bathroom exhaust vent is discharging moisture-laden air directly into the attic instead of being properly vented to the home's exterior. This condition can lead to elevated humidity, condensation, and potential mold or wood damage in the attic.

Recommend having the exhaust fans vent properly routed to the exterior by a qualified contractor.

Recommendation

Contact a qualified professional.

