

PROJECT INFORMATION

PROJECT ADDRESS:
3101 W 60TH ST, LOS ANGELES, CA 90043

LEGAL DESCRIPTION:
(APN): 4005008031

PROJECT OWNER AND ADDRESS:
NUBIRDS PROPERTIES LLC.
3101 W 60TH ST, LOS ANGELES, CA 90043

PLANNING AND ZONING INFORMATION:

GENERAL PLAN LAND USE: LOW RESIDENTIAL
PARCEL NO: 4005008031
PIN NO: 105B185 312
USE CODE: RESIDENTIAL SINGLE FAMILY
TRACT NUMBER: TALLEWANDA TRACT
LOT: FR 30
BLOCK: NONE
MAP SHEET: 204A197

BUILDING CODE INFORMATION:

GOVERNING JURISDICTION: CITY OF LOS ANGELES
USE CODE: 0100-RESIDENTIAL SINGLE
LADBS DISTRICT OFFICE: LOS ANGELES
FIRE SPRINKLER: NO
LOT SQUARE FOOTAGE: 5,370.1 SF
EXISTING BUILDING SQUARE FOOTAGE: 1,005 SF (SqFt)
NUMBER OF UNIT: 1
NUMBER OF BED: 2
NUMBER OF BATH: 1
MAIN RESIDENCE STORIES: 1
NEW TWO STORIES ADUS HEIGHT: 21'-10" HEIGHT W / 4:12 ROOF
ZONE: RD2-1
YEAR BUILT: 1922
BUILDING CLASS: D55B
CONSTRUCTION TYPE: TYPE - V-B
MAIN RESIDENCE OCCUPANCY GROUP: R-3
GARAGE OCCUPANCY GROUP: U

BUILDING SUMMARY/ SCOPE OF WORK:

DEMOLITION OF 432.5 SF EXISTING DETACHED GARAGE UNDER SEPARATE DEMO PERMIT TO MAKE A NEW TWO STORIES ADUS, 600 SF EACH. 2 BED , 1 FULL BATH EACH ADU. (ADU-A AND ADU-B)

CODE:

- Design shall comply with the 2023 CBC, CEC, CPC, and CMC as amended by City Ordinance and the 2022 Title 24 Energy Regulations.
- 2022 California Green Building Code with Applicable Amendments.
- 2022 California Energy Code with Applicable Amendments.
- 2022 California Fire Code with Applicable Amendments.
- 2022 California Residential Code with Applicable Amendments.

NEW BUILDING SQUARE FOOTAGE CALCULATION:

EXISTING RFA CALCULATION:

RFA ANALYSIS : RD2-1
LOT SqFt: 5,370.1 SF
EXISTING RESIDENCE SqFt: 1,005 SF
EXISTING DETACHED GARAGE TO DEMO SqFt: 364.5 SF
TOTAL EXISTING RFA: 1,005 SF + 364.5 SF = 1,369.5 SF

PROPOSED / NEW RFA CALCULATION:

LOT SqFt: 5,370.1 SF
EXISTING RESIDENCE SqFt: 1,005 SF
EXISTING DETACHED GARAGE TO DEMO SqFt: 364.5 SF
NEW DETACHED ADU SqFt: 1,200 SF (600 SF EACH ADU A AND B).
TOTAL NEW RFA: ((E)MAIN RESIDENCE) 1,005 SF + (TWO NEW DETACHED ADUS) 1,200 SF (600 SF ADU-A) + (600 SF ADU-B) = 2,205 SF (TOTAL NEW RFA)

NOTE:
FLOOR AREA (RFA) EXCLUDES THE EXTERIOR WALLS.

SCHOOL FEE CALCULATION:

651 SF EACH FLOOR = 651 SF x 2 (NUMBER OF STORIES) = **1,302 SqFt (TOTAL NEW DETACHED ADU SCHOOL FEE CALC)**

PARKING SPACES INFO:

- REMOVED PARKING SPACES: 2 CARS/2 SPACES (DETACHED GARAGE)
- NEW PARKING SPACES: 4 CARS/4 SPACES

PROJECT DIRECTORY

DESIGNER :
NAME : RAMEEL NISSAN
TEL : 661.247.3599
818.922.4841
E-MAIL : design@archnissan.com

STRUCTURAL CALCULATION:

NAME : SHANT SHAHBAZ
E-MAIL : shant.sps@gmail.com
TEL : 818.747.7269

INDEX OF DRAWINGS

| SHEET | TITLE |
|-------|---|
| GN1 | GENERAL NOTES |
| GN2 | GENERAL NOTES |
| GD1 | GENERAL DETAILS |
| GD2 | GENERAL DETAILS |
| S1 | ROOF FRAMING / FOUNDATION SECOND FLOOR FRAMING PLAN |
| S2 | DETAILS |
| S3 | DETAILS |

INDEX OF DRAWINGS

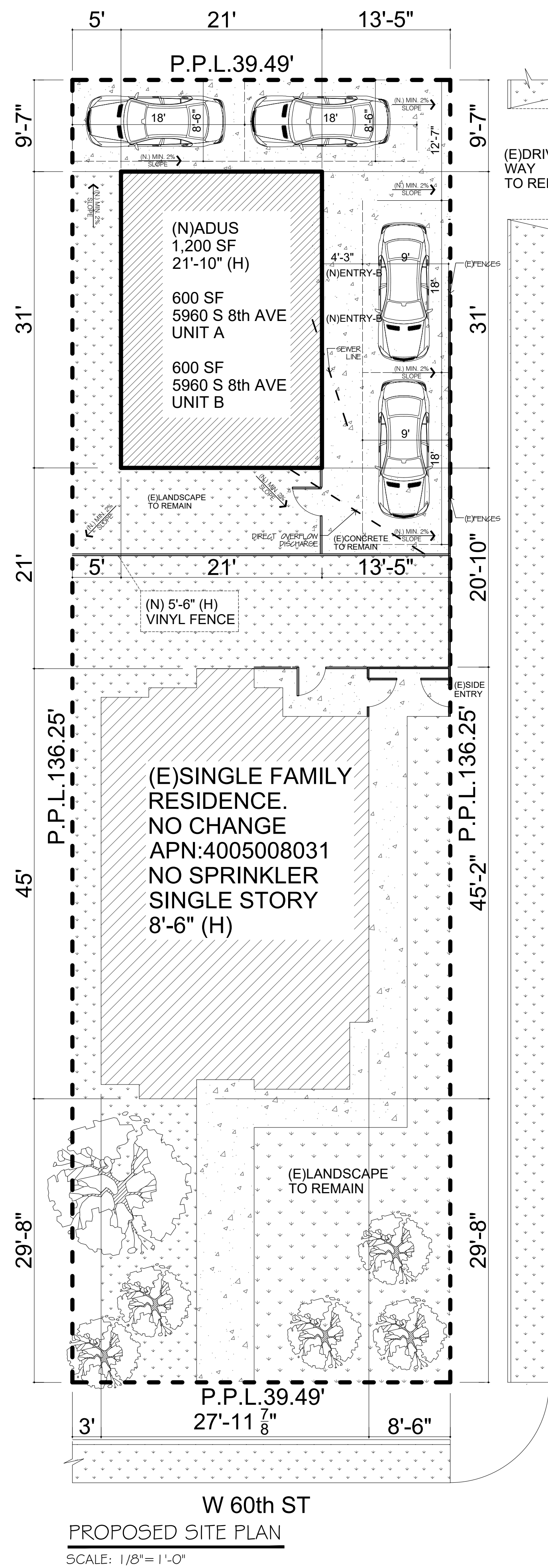
| SHEET | TITLE |
|-------|----------------------------------|
| C-1 | COVER SHEET |
| C-2 | EXISTING AND PROPOSED SITE PLAN |
| A-0 | GENERAL NOTES |
| A-1 | EXISTING FLOOR PLAN/DEMO |
| A-2 | EXISTING ELEVATIONS |
| A-3 | PROPOSED FLOOR PLANS ADU - A & B |
| A-4 | PROPOSED ELEVATIONS |
| A-5 | PROPOSED SECTIONS AND ROOF PLAN |
| A-6 | DOORS/WINDOWS SCHEDULES |
| G-1 | GREEN-1 |
| G-2 | GREEN-2 |
| G-3 | FLASHING |
| T-1 | TITLE-24 |
| T-2 | TITLE-24 |

ARCHITECTURAL DRAWINGS

STRUCTURAL DRAWINGS

TWO NEW ADUs CONSTRUCTION

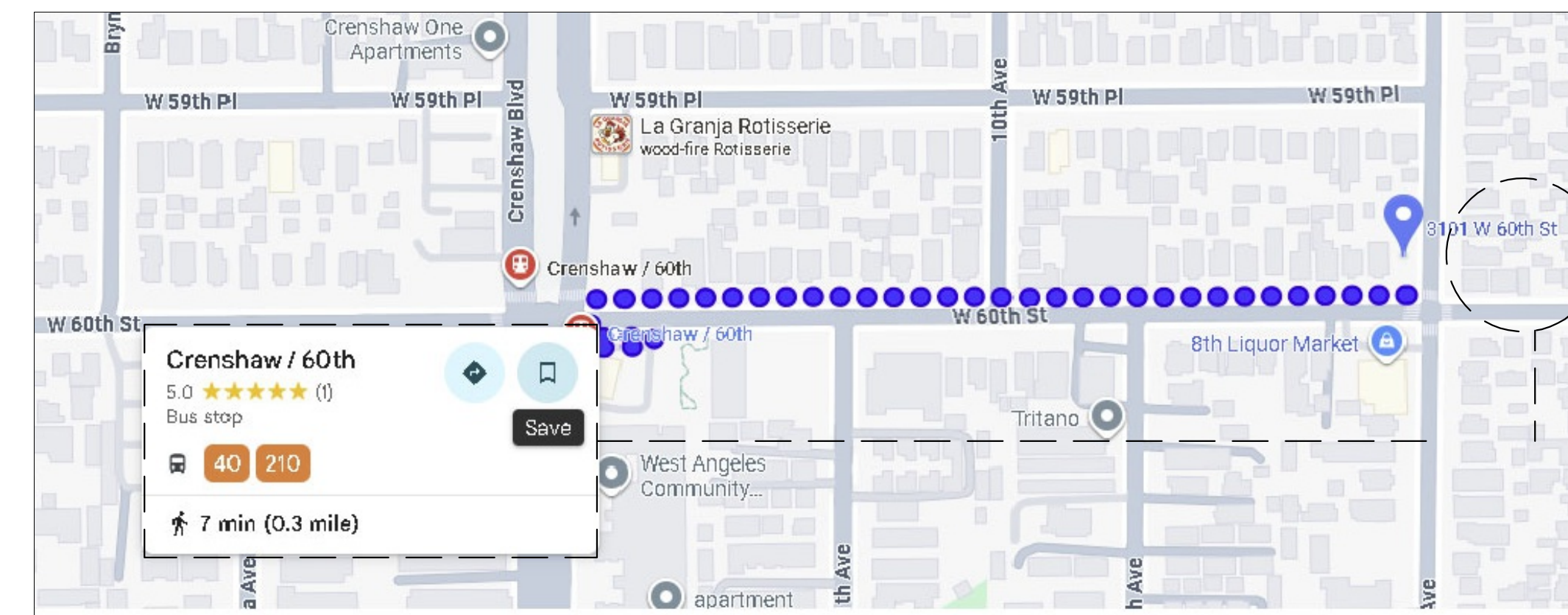
EXISTING MAIN SINGLE FAMILY RESIDENCE ADDRESS: 3101 W 60TH ST, LOS ANGELES, CA 90043
ADU's ADDRESSES: 5960 S 8TH AVE (UNITS A & B), LOS ANGELES, CA 90043



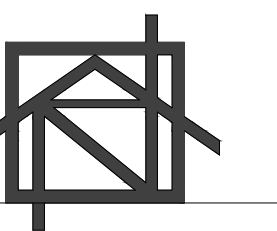
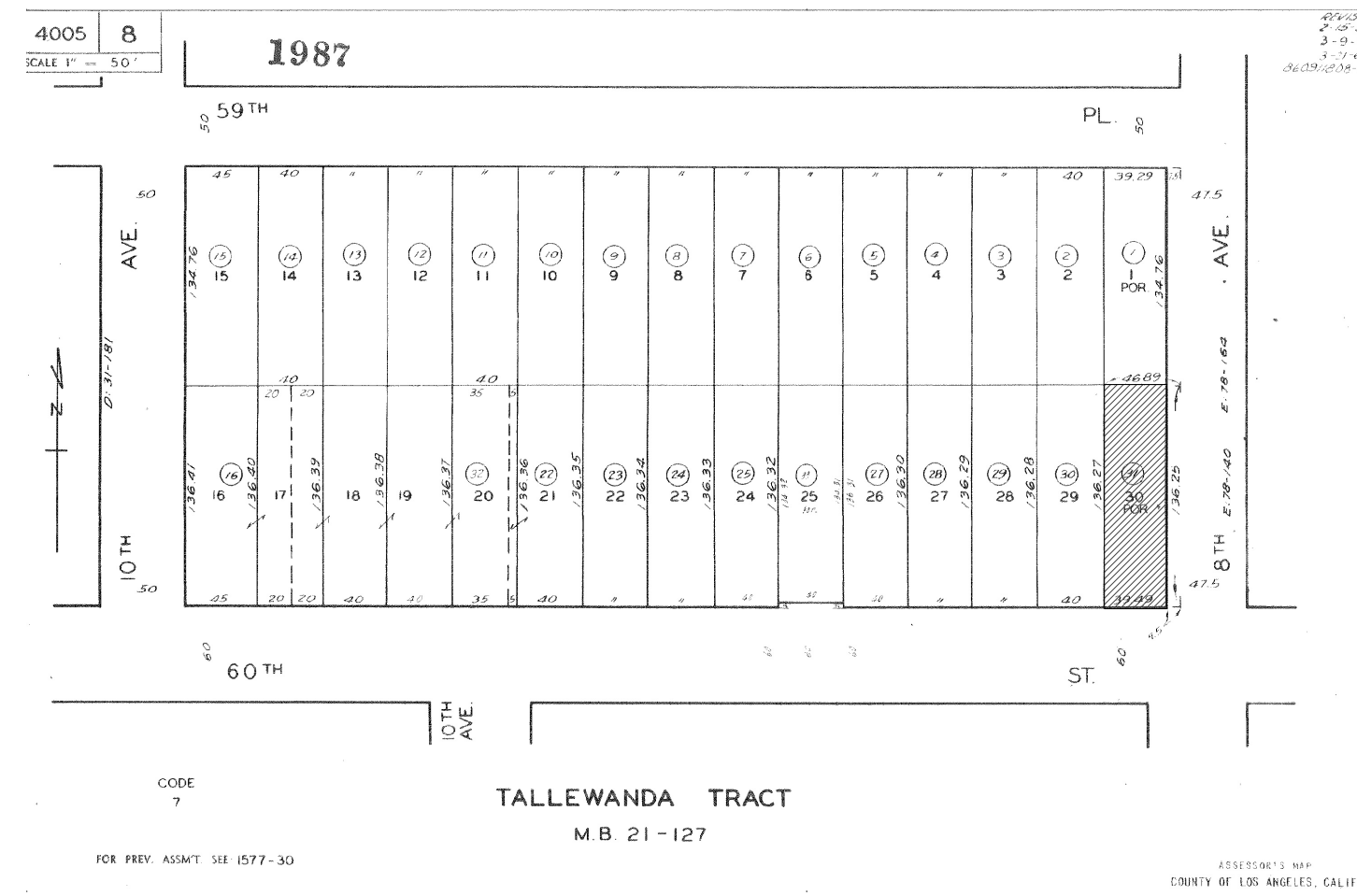
W 60th ST
PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



3101 W 60TH ST, LOS ANGELES, CA 90043
ADU's ADDRESSES: 5960 S 8TH AVE (UNITS A & B),
LOS ANGELES, CA 90043



0.3 MILES TO THE FIRST TRANSIT STATION.
SOURCE: GOOGLE MAP



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT. CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED COPYRIGHT, RAMEEL NISSAN.

OWNER

NUBIRDS PROPERTIES LLC.
PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA 90043

SHEET TITLE

COVER SHEET

REVISIONS

| NO. | DATE | BY |
|-----|------|----|
| | | |

SCALE

1/8" = 1'-0"

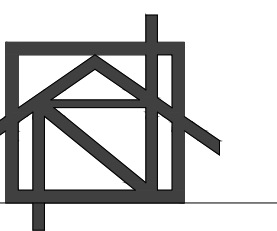
DESIGN & DRAWN

RAMEEL NISSAN

DATE

SHEET NO.

C-1



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

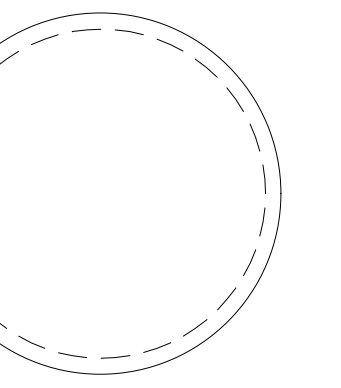
NUBIRDS PROPERTIES LLC.

PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043



SHEET TITLE

EXISTING PROPOSED SITE PLAN

REVISIONS

| NO. | DATE | BY |
|-----|------|----|
|-----|------|----|

SCALE

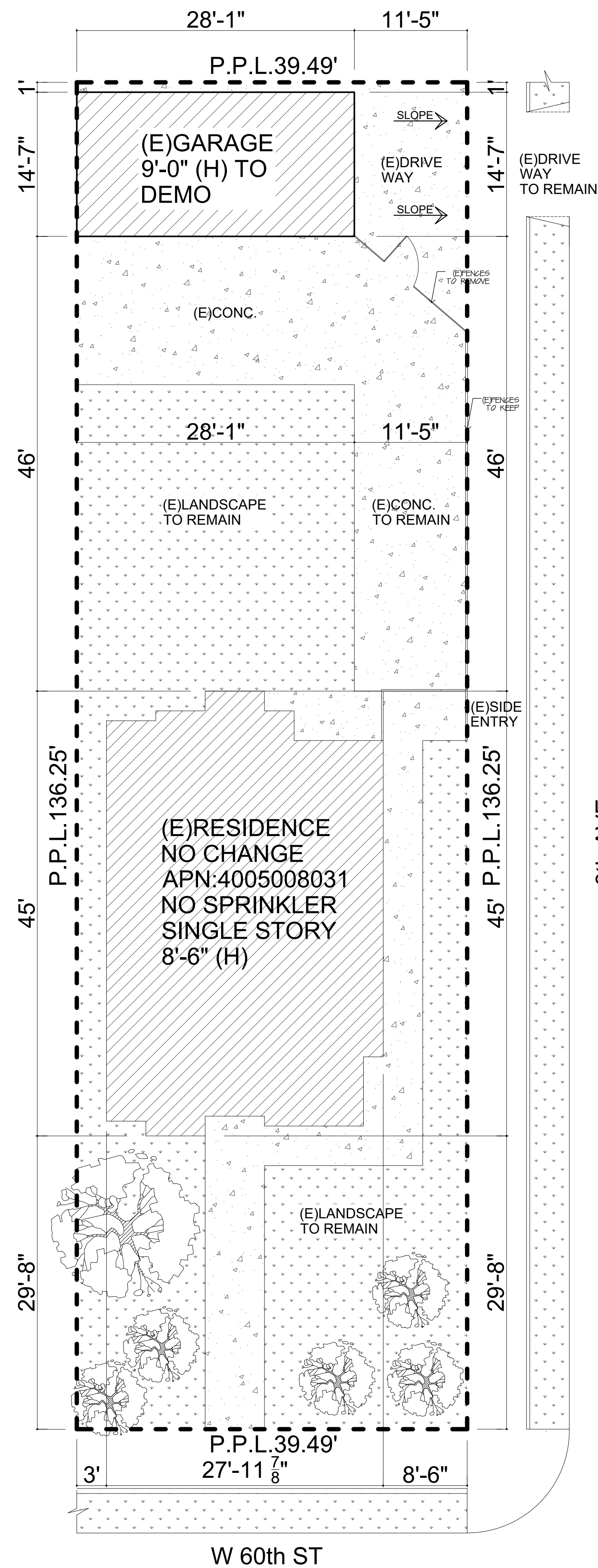
1/8" = 1'-0"

DESIGN & DRAWN

RAMEEL NISSAN

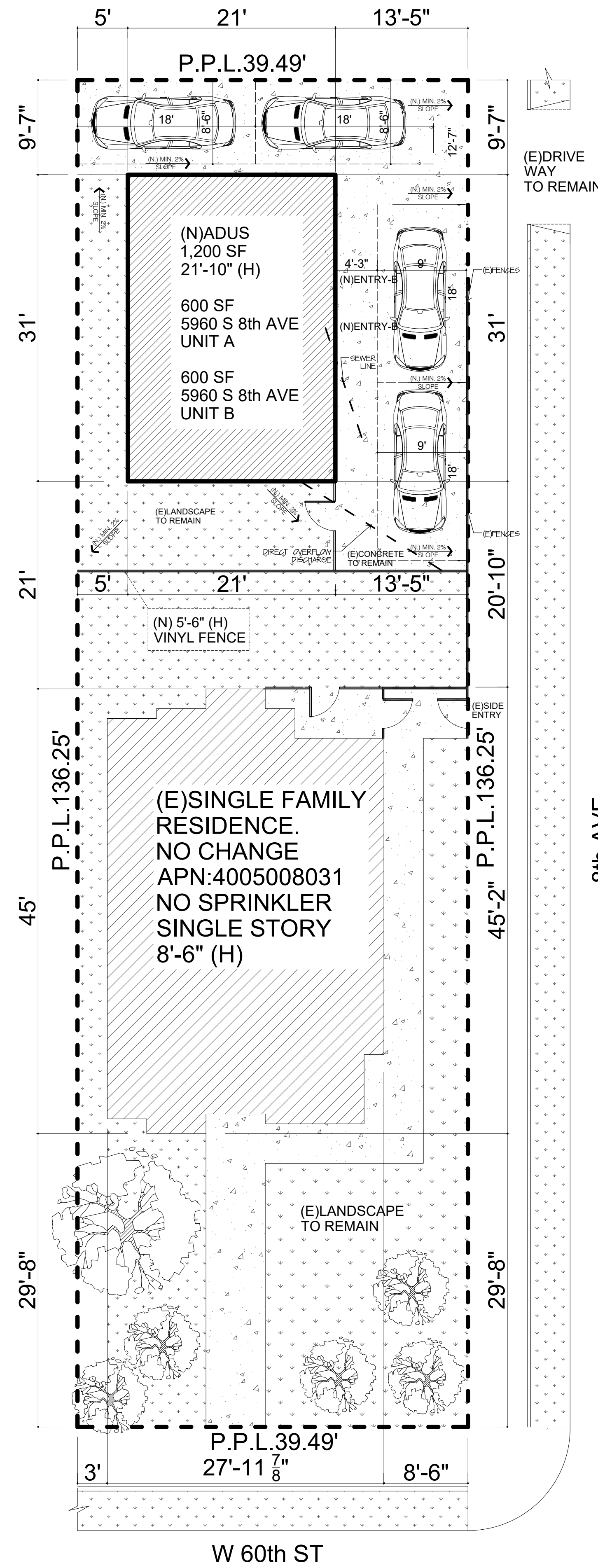
DATE

SHEET NO.



EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



GENERAL NOTES

SECURITY REQUIREMENTS

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL-BOXES, TRANSFORMERS, VALUITS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES -WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. * OBTAIN APPROVAL FROM REAL ESTATE BUSINESS UNIT OF DWP (213) 367-0562.
2. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR:
 - A. TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 3306.
 - B. FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA.
3. OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULA COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48", (210-52 NEC)
4. THE FIRST LIGHT IN THE NEW AND REMODELED BATHROOMS AND KITCHEN SHALL BE AN ENERGY EFFICIENT LIGHT MEETING A MINIMUM OF 40 LUMENS PER WATT (E.G. FLUORESCENT LAMP), (T-24, SEC. 130(B) & 150(K))
5. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
6. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE
7. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
8. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
9. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4)
10. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

11. LOS ANGELES CITY ELECTRICAL TEST LAB RESEARCH REPORT IS REQUIRED TO USE AN ELECTRO-MECHANICAL LIFT FOR PROVIDED PARKING SPACES.
12. "A MAINTENANCE OF VEHICLE LIFT SYSTEM (2-LEVELS OR MORE) AFFIDAVIT" SHALL BE APPROVED AND RECORDED PRIOR TO ISSUING A BUILDING PERMIT.
13. A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLE AND/OR SALVAGE FOR REUSE IN ACCORDANCE WITH CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.4. (R324)
14. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS AND COATING, AEROSOL PAINTS AND SYSTEMS AND COMPOSITE WOOD PRODUCTS SHALL MEET THE VOLATILE ORGANIC COMPOUND (VOC) EMISSION LIMITS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4 DIVISION 4.5. (R330)
15. WHEN A VAPOR RETARDER IS REQUIRED, A CAPILLARY BREAK SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.5. (R506.2.3.1)
16. ANNULAR SPACE AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN BOTTOM/SOLE PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS CODE, CHAPTER 4, DIVISION 4.4. (R602.3.4.1)

BATHROOMS

1. ALL SHOWER ENCLOSURES, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR AREA OF NOT LESS THAN 1024 SQUARE INCHES (0.66 M2) AND SHALL BE CAPABLE OF ENCOMPASSING A30 INCH DIAMETER (0.76 M) CIRCLE. THE MINIMUM AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT 70 INCHES (1.8 M) ABOVE THE SHOWER DRAIN OUTLET. (PLUMBING CODESECTION 410.4)
2. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
3. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
4. A MIN 12" SQ. ACCESS PANEL TO THE BATHTUB TRAP SLIP JOINT CONNECTION IS REQUIRED.(PLUMBING CODE SECTION 405.2)

LAUNDRY ROOM

1. CLOTHES DRYER(S) LOCATED IN AN AREA THAT IS HABITABLE OR CONTAINING FUEL BURNING APPLIANCES SHALL BE EXHAUSTED TO THE OUTSIDE OR TO AN AREA WHICH IS NOT HABITABLE AND DOES NOT CONTAIN OTHER FUEL BURNING APPLIANCES (BUT NOT BENEATH THE BUILDING OR IN THE ATTIC AREA). (M.C. 504.3.1)

2. A 4" CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO A 14 FEET LENGTH WITH TWO ELBOWS FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. (M.C. 504.3.2, M.C. 908)

MEANS OF EGRESS

1. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT.(LARC SECTION R311.2, LABC SECTION 6304.1)
2. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN.- 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA. (LARC SECTION R310, LABC SECTION 1029)
3. OCCUPIED ROOFS SHALL BE PROVIDED WITH EXITS AS REQUIRED FOR STORIES.

GRADING AND FOUNDATION

1. IF ADVERSE SOIL CONDITIONS ARE ENCOUNTERED, A SOILS INVESTIGATION REPORT MAY BE REQUIRED. (LARC SECTION R401.4)
2. FOUNDATION AND FLOOR SLABS SHALL CONFORM TO THE FOLLOWING OR THE RECOMMENDATION OF AN APPROVED SOILS REPORT :
 - A. DEPTH OF FOOTINGS BELOW THE NATURAL AND FINISHED GRADES SHALL NOT BE LESS THAN 24 INCHES FOR EXTERIOR AND 18 INCHES FOR INTERIOR FOOTINGS.
 - B. EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE SUPPORTED ON CONTINUOUS FOOTINGS.
 - C. FOOTINGS SHALL BE REINFORCED WITH A MINIMUM 4 - ½" INCH DIAMETER DEFORMED REINFORCING BARS. TWO BARS SHALL BE PLACED WITHIN 4 INCHES OF THE BOTTOM OF THE FOOTING AND TWO BARS WITHIN 4 INCHES OF THE TOP OF THE FOOTINGS.
 - D. THE SOIL BELOW AN INTERIOR CONCRETE SLAB SHALL BE SATURATED WITH MOISTURE TO A DEPTH OF 18 INCHES PRIOR TO PLACING THE CONCRETE.
 - E. CONCRETE FLOOR SLABS ON GRADE SHALL BE PLACED ON A 4" FILL OF COARSE AGGREGATE OR ON A MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST 3½" INCH THICK AND SHALL BE REINFORCED WITH #4 REBARS AT 16 INCH ON CENTER IN BOTH DIRECTIONS.
3. CONCRETE SLABS ON EXPANSIVE SOIL. COMPACTED FILL OR SLOPES OVER 1:10 SHALL BE PLACED ON A 4-INCH FILL OF COARSE AGGREGATE OR ON A 2" SAND BED COVERED MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST 3-1/2 INCHES THICK AND REINFORCED WITH #4 BARSSPACED AT INTERVALS NOT EXCEEDING 16 INCHES ON CENTER EACH WAY.(LABC SECTION 1808.6 , LARC SECTION R403.1.8, R506.1)
4. PROVIDE UNDER-FLOOR NET VENTILATION OPENING SIZE AND LOCATIONS EQUAL TO 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA AND AN ACCESS OPENING THROUGH THE FLOOR (18" X 24" MIN) OR AN OPENING THROUGH A PERIMETER WALL NOT LESS THAN (16" X 24" MIN). (LARC R408, LABC SECTION 2304.11.9, 1203.3)
5. OPENINGS SHALL BE AS CLOSE TO CORNERS AS PRACTICABLE AND SHALL PROVIDE CROSS VENTILATION ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES. OPENING SHALL HAVE 1/4 INCH CORROSIONRESISTANT METAL MESH COVERING. (LABC SECTION 1203.3, LARC R408.2)
6. PROVIDE CORROSION RESISTANT WEEP SCREED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA. (LARC SECTION R703.6.2.1, LABC SECTION 2512.1.2)
7. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET.(LARC R903.4, LABC 1503.4.1, 7013.9)

GENERAL NOTES (CONT.)

ZONING NOTES

1. A/C UNITS AND WATER HEATERS ARE NOT ALLOWED IN THE REQUIRED SIDE YARDS AND FRONT YARD UNLESS SPECIFICALLY ALLOWED BY EXCEPTION PER INFORMATION BULLETIN P/2C 2002-006.

SPECIAL HAZARDS

1. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. (LARC R308, LABC SECTION 2406.4)
 - A. FIXED OR OPERABLE PANELS IN SWINGING, SLIDING AND BIFOLD DOORS AND FIXED OR OPERABLE PANELS ADJACENT TO DOORS;
 - B. FIXED OR OPERABLE WINDOW PANELS WITH PANES LARGER THAN 9 SQUARE FEET AND ARE LESS THAN 18 INCHES ABOVE THE FLOOR. HAVE A TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR AND HAVE ONE OR MORE WALKING SURFACES WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.
 - C. GLAZING IN GUARDS AND RAILINGS, ADJACENT TO WET SURFACES, ADJACENT TO STAIRS AND RAMPS, AND ADJACENT TO BOTTOM STAIR LANDINGS.
2. EACH LIGHT OF SAFETY GLAZING MATERIAL INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A PERMANENT LABEL THAT SPECIFIES THE LABELER, AND STATES THAT SAFETY GLAZING MATERIAL HAS BEEN UTILIZED IN SUCH INSTALLATIONS.
3. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
4. PRE-FAB FIREPLACES ARE REQUIRED TO HAVE MANUFACTURER, MODEL, AND UNDERWRITER LABORATORIES CERTIFICATION (OR ICC).
5. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE WHICH USES FUEL BURNING MATERIAL." (L.A.M.C. 57.20.25)
6. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING."(PER ORDINANCE 171,874-FOR WORK OVER \$10,000)
7. WATER HEATER MUST BE STRAPPED TO WALL. SECTION 508.2, LAPC. SEE INFORMATION BULLETIN P/P/C 2011-003 "HOW TO BRACE YOUR WATER HEATER" FOR DETAILS.
8. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABCS)
9. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB)NO. 2977. (3162B)
10. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)
11. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
12. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. (R315)
13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)
14. 50 PERCENT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE SHALL BE RECYCLED AND/OR SALVAGED FOR REUSE IN ACCORDANCE

SECURITY REQUIREMENTS

GENERAL

1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE ARE IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 91.670
2. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. 91.6707

DOORS:

3. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1 -DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. 91.6709.4
4. ALL PN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN PROTECTION, THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 91.6709.5, 91.6709.7
5. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES. 91.6709.2)
6. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4".
7. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.
8. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. TILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. 91.6709.1 ITEM 2

GLAZING:

9. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGULARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. 91.6713

WINDOWS:

10. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B, F, M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. 91.6715.2
11. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 91.6715.1
12. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICESAND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6717.2
13. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. 91.6715.4

OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS:

14. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. 91.6716

FIRE PROTECTION

FIRELOCKING.

IN COMBUSTIBLE CONSTRUCTION, FIRELOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRELOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:

1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS.

1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET

2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.

3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.

4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL T RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.

BUILDING CODE REQUIREMENTS

THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALUITS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.

AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED).

PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).

KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).

PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.

UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)

WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)

SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000). (R314.6.2)

WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2)

EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

HABITABLE ROOMS, EXCEPT KITCHENS, SHALL HAVE A FLOOR AREA OF AT LEAST 70 SQUARE FEET (R304.2).

HABITABLE ROOMS, EXCEPT KITCHENS, SHALL NOT BE LESS THAN 7 FEET IN ANY HORIZONTAL DIMENSION (R304.3).

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3)

HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)

GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

1. FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES.

2. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

- 1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- 2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
- 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
- 4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

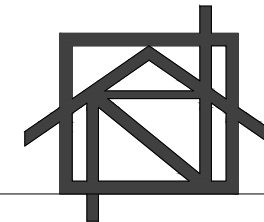
SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).

BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (R319.1)

PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWP A UT FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWP A UT.

PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITTI WITHIN 7-DAYS OF THE GRAFFITTI BEING APPLIED. (6306)



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

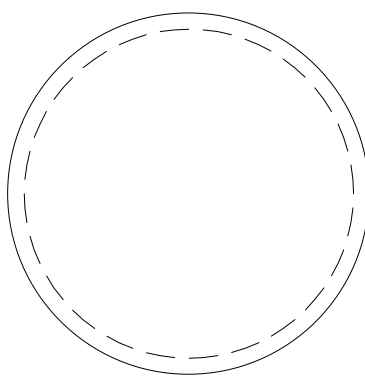
NUBIRDS PROPERTIES LLC.

PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043



SHEET TITLE

GENERAL NOTES

REVISIONS

| NO. | DATE | BY |
|-----|------|----|
|-----|------|----|

SCALE

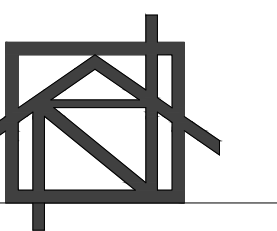
DESIGN & DRAWN

RAMEEL NISSAN

DATE

SHEET NO.

A-0



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

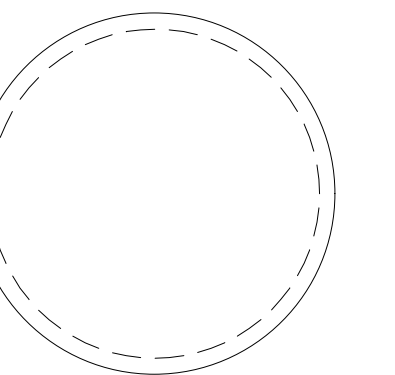
NUBIRDS PROPERTIES LLC.

PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043



SHEET TITLE

EXISTING / DEMO FLOOR PLAN

REVISIONS

NO. DATE BY

SCALE

3/8" = 1'-0"

DESIGN & DRAWN

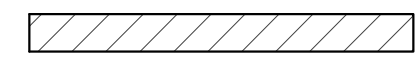
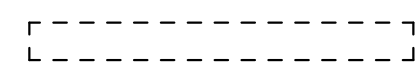

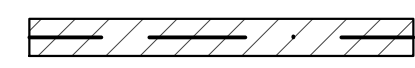
RAMEEL NISSAN

DATE

SHEET NO.

A-1

WALL LEGEND:

-  (E) EXISTING WALL TO REMAIN
-  (E) EXISTING WALL TO BE DEMOLITION
-  (N) NEW WALL
-  (N) 1 HR FIRE WALL SEE DETAILS

NOTE: UNLESS NOTED OTHERWISE (U.N.O)

DEMOLITION NOTES:

1. FOLLOW ALL CURRENT BUILDING ELECTRICAL, PLUMBING, AND MECHANICAL CODES.
2. CONTRACTOR TO PROVIDE ALL REQUIRED SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION.
3. CONTRACTOR TO PROVIDE ALL REQUIRED WATER PROTECTION FROM THE ELEMENTS PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. PROVIDE PROTECTION OF ADJACENT FINISH SURFACES AND ADJOINING SPACES DURING CONSTRUCTION. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION.
4. ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY CONFLICTS BETWEEN THE DEMOLITION PLAN AND THE NEW/REMODELED WORK OF THE DOCUMENTS HEREWITH CONTAINED. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY AND ALL DEMOLITION WHICH IS IN CONFLICT AND HAS NOT BEEN BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO DEMOLITION.
6. ALL REMOVED BUILDING MATERIALS AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER AND REMOVE WITH CARE.
7. ALL EXISTING FLOORING AND SUBFLOORING SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. FLOORS SHALL BE LEFT CLEAN AND DEBRIS FREE.
8. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A DUST-FREE BARRIER BETWEEN ALL WORK AREAS AS REQUIRED TO PROTECT FINISH WORK. THESE BARRIER'S SHALL BE LEFT UP DURING ALL PHASES OF CONSTRUCTION.
9. THE CONTRACTOR SHALL REDIRECT/RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND/OR SPRINKLER LINES WHICH MAY BE DISTURBED BY DEMOLITION, AND CAP ALL ABANDONED LINES.
10. EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
11. EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
12. PEDESTRIANS SHALL BE PROTECTED DURNING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITES AS REQUIRED BY COUNTY OF LOS ANGELES BUILDING CODE CHAPTER 33.

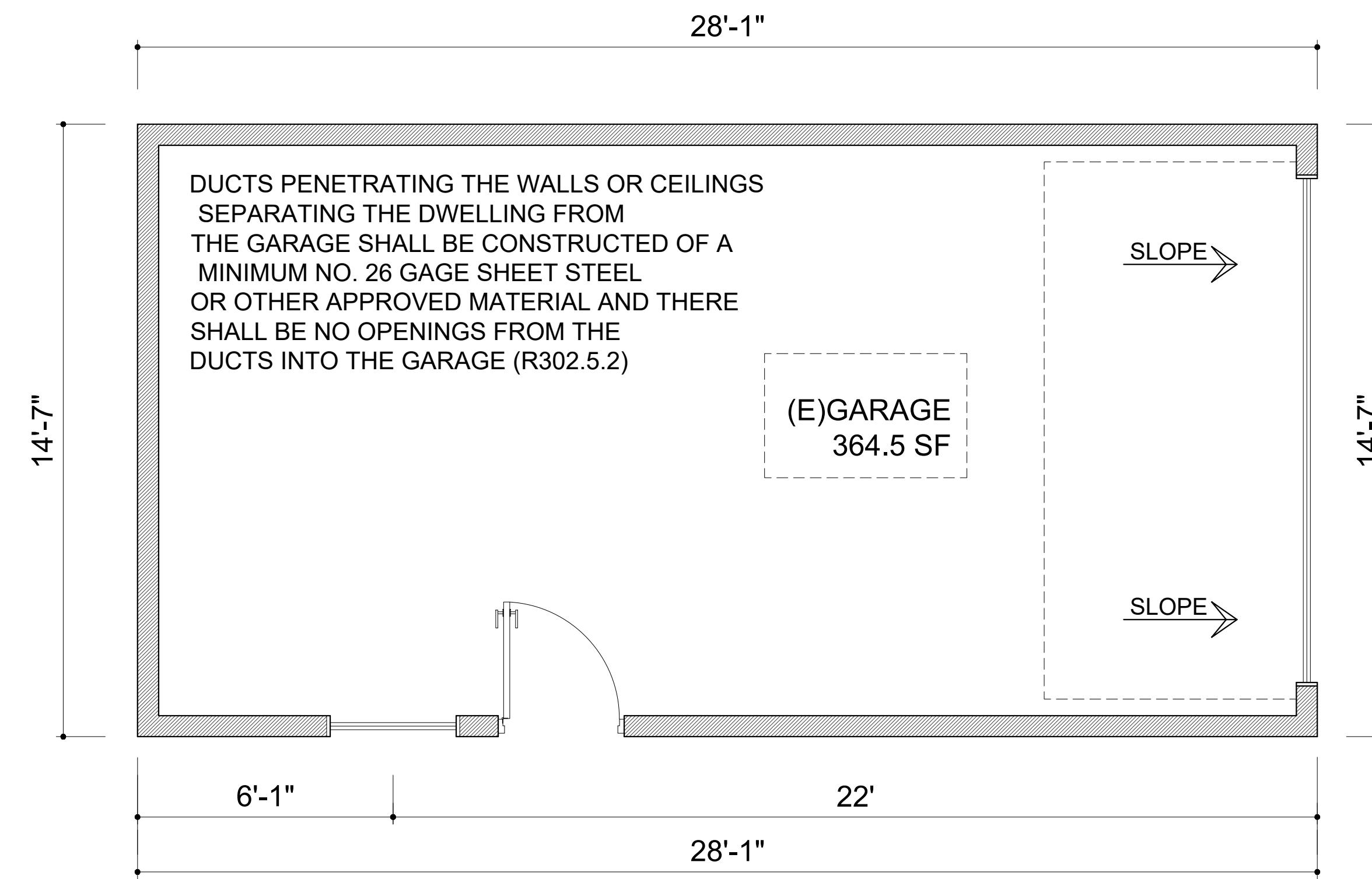
NOTES

- 1- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.)
- 2- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- 3- PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 4- PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR LO WATER CONSUMPTION.
- 5- WATER HEATER MUST BE STRAPPED TO WALL.

- 6- SPRINKLER SYSTEMS MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.
- 7- A FIRE ALARM SYSTEM IS REQUIRED. THE FIRE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION IF NEEDED.
- 8- CARBON MONOXIDE ALARM IS REQUIRED.

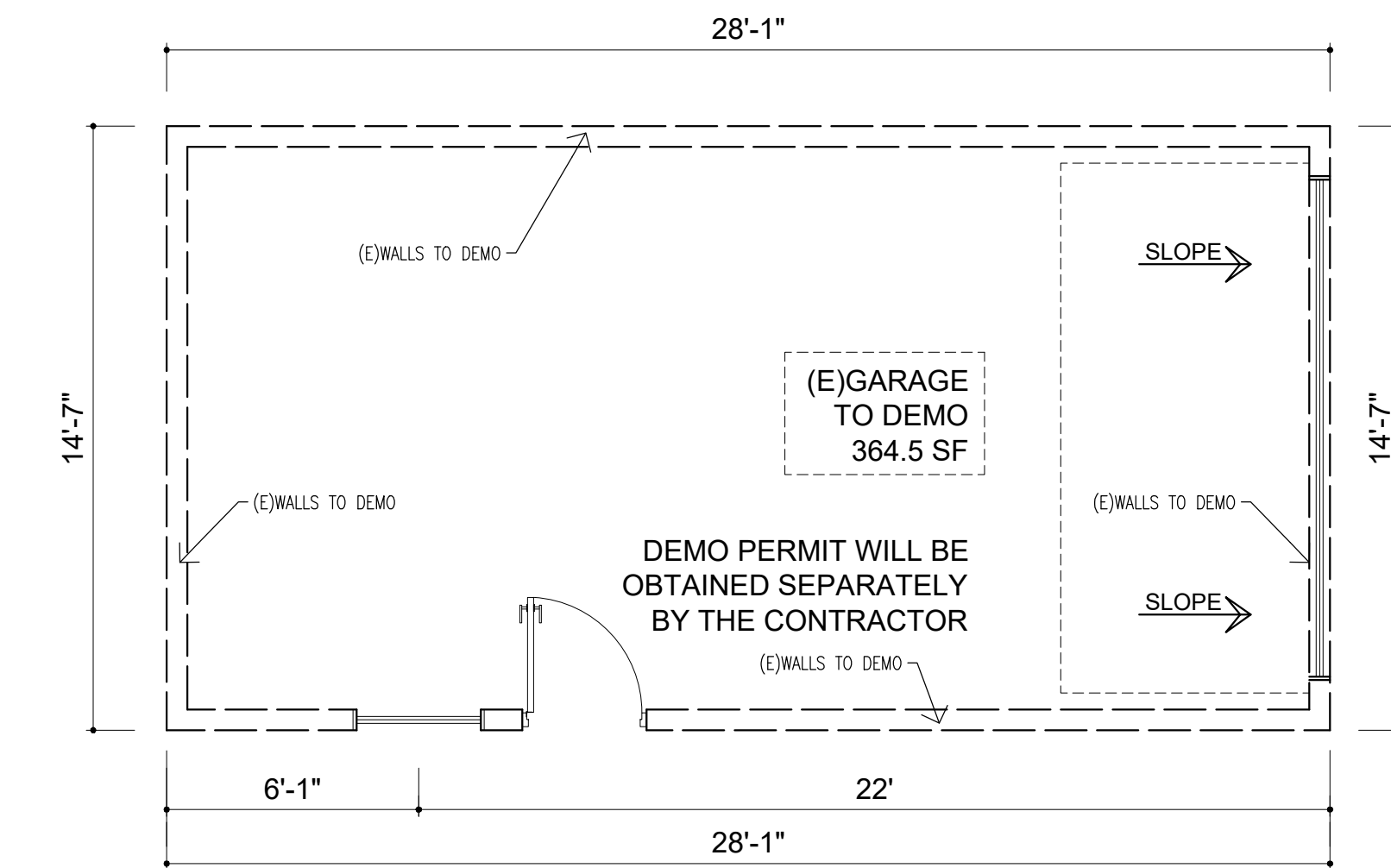
STRUCTURAL NOTES

- 1- SPECIFY THAT ALL CONSTRUCTION SHALL COMPLY WITH THE WFPP.
- 2- STRUCTURAL OBSERVATION IS REQUIRED PER SEC 1709 FOR SHEAR WALLS IN EXCESS OF 300 PLF, HOLD-DOWN ANCHORS, DIAPHRAGM.
- 3- SPECIFY THAT BOLT HOLES SHALL BE MAX $\frac{1}{16}$ ".
- 4- SPECIFY CONTINUOUS INSPECTION FOR:
 - A- CONCRETE GREATER THAN 2500 PSI.
 - B- INSTALLATION OF CONC. ANCHORS PER LARR.
 - C- FIELD WELDING/REBAR WELDING.
 - D- MASONRY.



EXISTING FLOOR PLAN - TO DEMO

SCALE: 3/8" = 1'-0"



DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

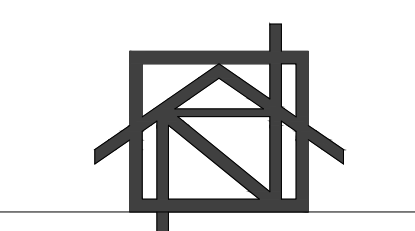


DEMOLITION NOTES:

1. FOLLOW ALL CURRENT BUILDING ELECTRICAL, PLUMBING, AND MECHANICAL CODES.
2. CONTRACTOR TO PROVIDE ALL REQUIRED SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION.
3. CONTRACTOR TO PROVIDE ALL REQUIRED WATER PROTECTION FROM THE ELEMENTS PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. PROVIDE PROTECTION OF ADJACENT FINISH SURFACES AND ADJOINING SPACES DURING CONSTRUCTION. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION.
4. ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY CONFLICTS BETWEEN THE DEMOLITION PLAN AND THE NEW/REMODELED WORK OF THE DOCUMENTS HEREWITH CONTAINED. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY AND ALL DEMOLITION WHICH IS IN CONFLICT AND HAS NOT BEEN BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO DEMOLITION.
6. ALL REMOVED BUILDING MATERIALS AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER AND REMOVE WITH CARE.
7. ALL EXISTING FLOORING AND SUBFLOORING SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. FLOORS SHALL BE LEFT CLEAN AND DEBRIS FREE.
8. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A DUST-FREE BARRIER BETWEEN ALL WORK AREAS AS REQUIRED TO PROTECT FINISH WORK. THESE BARRIER'S SHALL BE LEFT UP DURING ALL PHASES OF CONSTRUCTION.
9. THE CONTRACTOR SHALL REDIRECT/RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND/OR SPRINKLER LINES WHICH MAY BE DISTURBED BY DEMOLITION, AND CAP ALL ABANDONED LINES.
10. EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
11. EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
12. PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITES AS REQUIRED BY COUNTY OF LOS ANGELES BUILDING CODE CHAPTER 33.

NOTES

- 1- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.)
- 2- AN APPROVED SEISMIC GAS SHUT OFF VALVE OR EXCESS FLOW SHUT OFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN-STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- 3- PROVIDE ULTRA-FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 4- PROVIDE (70) (72) INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR LO WATER CONSUMPTION.
- 5- WATER HEATER MUST BE STRAPPED TO WALL.
- 6- SPRINKLER SYSTEMS MUST BE APPROVED BY THE MECHANICAL DIVISION PRIOR TO INSTALLATION.
- 7- A FIRE ALARM SYSTEM IS REQUIRED. THE FIRE ALARM SYSTEM MUST BE APPROVED BY THE FIRE DEPARTMENT AND ELECTRICAL PLAN CHECK PRIOR TO INSTALLATION IF NEEDED.
- 8- CARBON MONOXIDE ALARM IS REQUIRED.



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

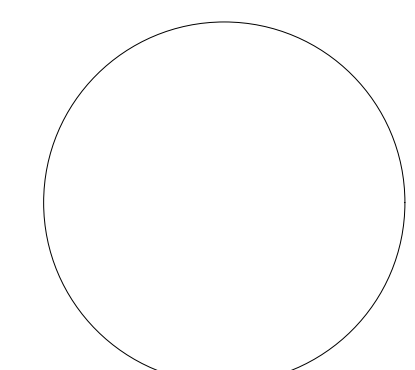
OWNER

NUBIRDS PROPERTIES LLC.
PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043



SHEET TITLE

EXISTING ELEVATIONS TO DEMO

REVISIONS

| NO. | DATE | BY |
|-----|------|----|
| | | |
| | | |

SCALE

3/8" = 1'-0"

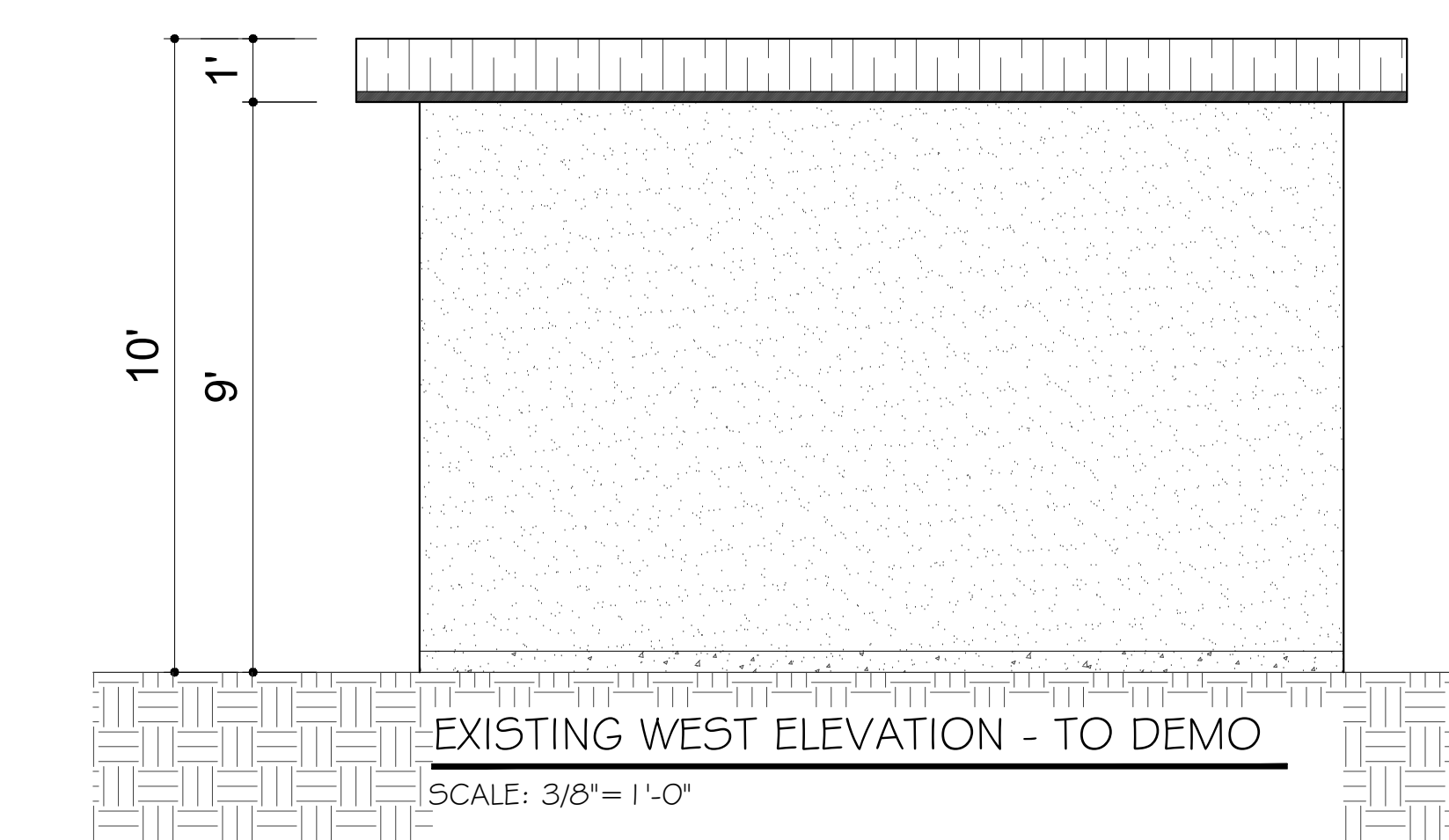
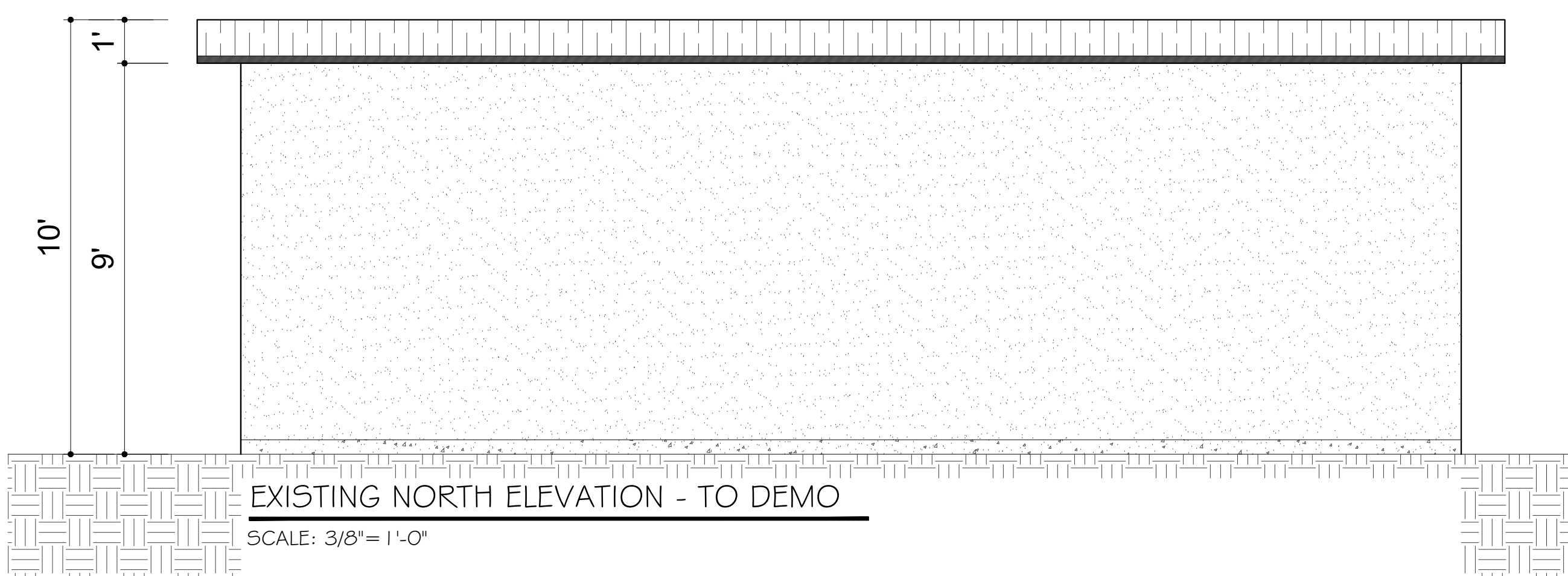
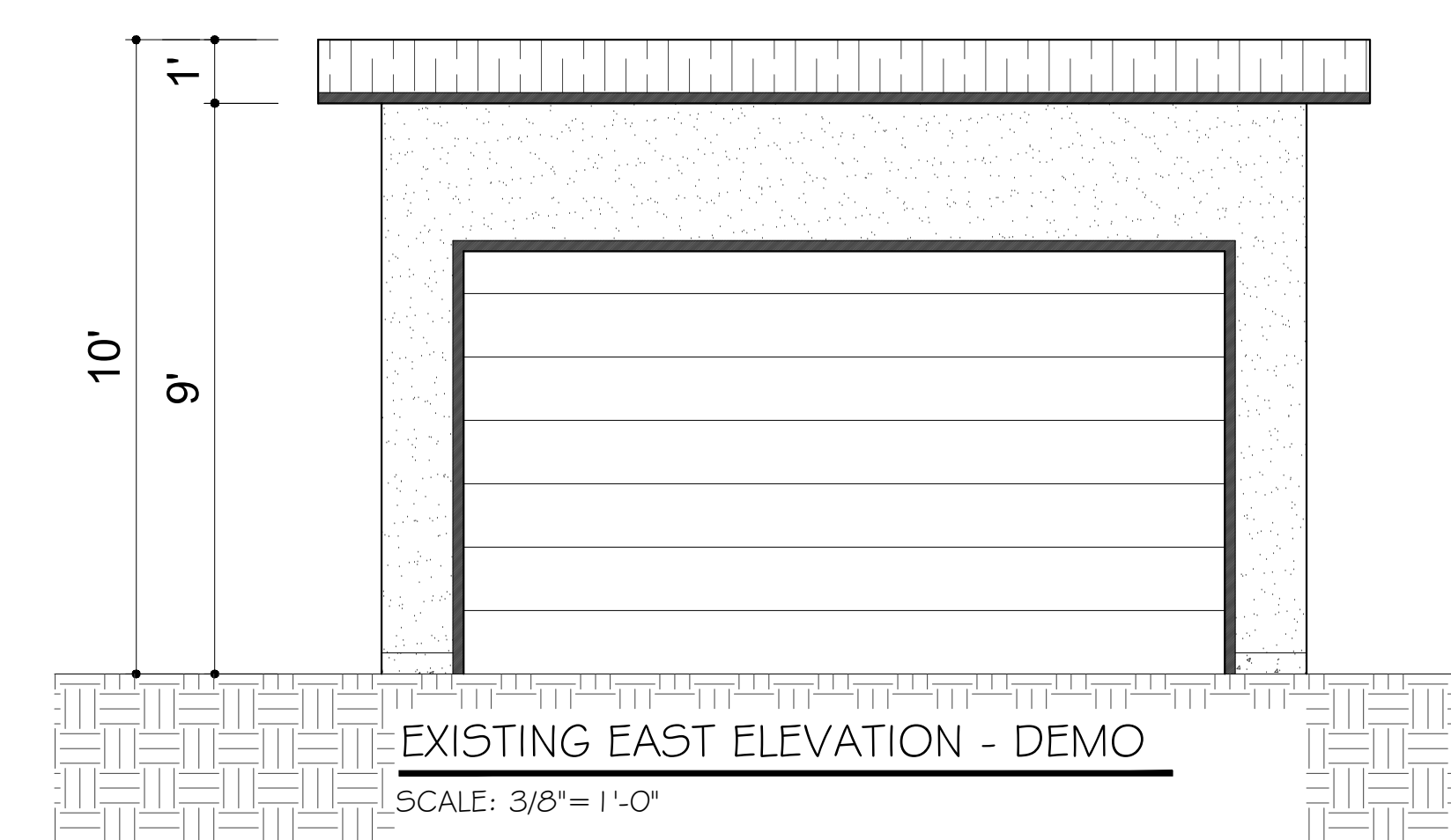
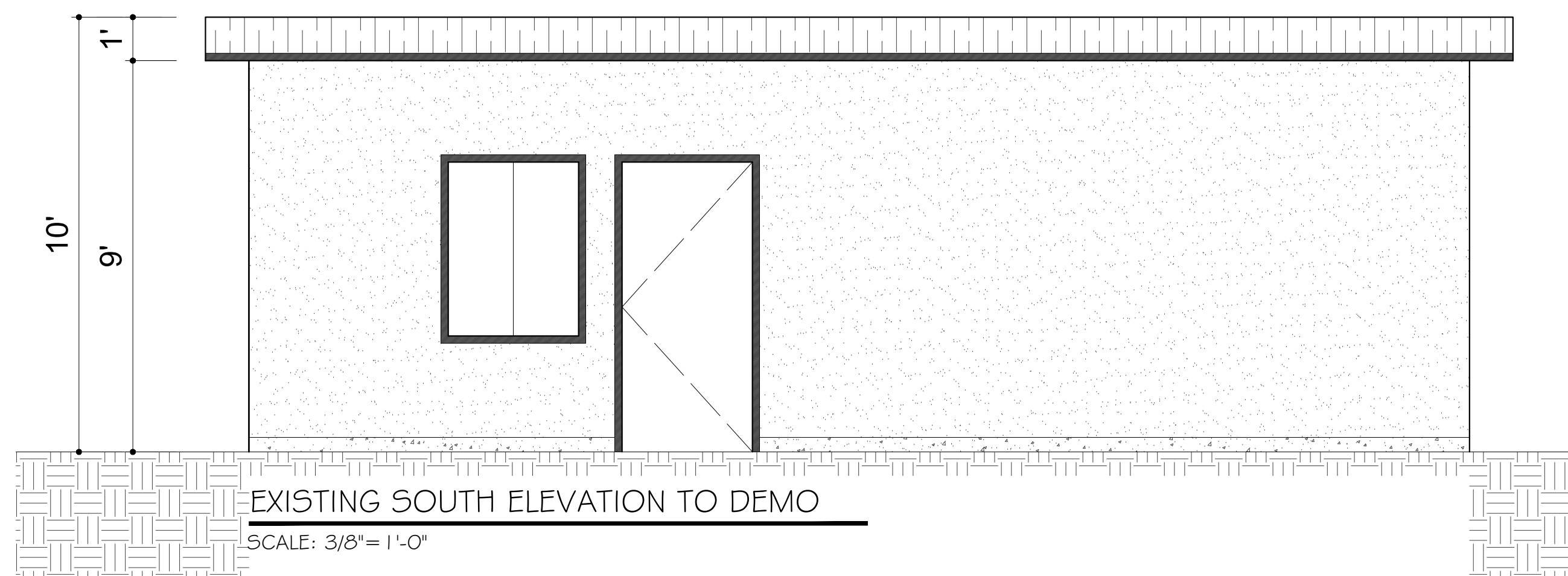
DESIGN & DRAWN

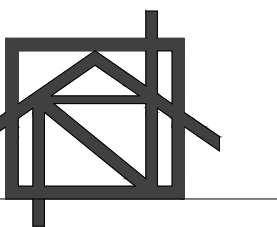
RAMEEL NISSAN

DATE

SHEET NO.

A-2





ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT. CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

NUBIRDS PROPERTIES LLC.
PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043

SHEET TITLE

PROPOSED ADUs FLOOR PLANS

REVISIONS

| NO. | DATE | BY |
|-----|------|----|
|-----|------|----|

SCALE

3/8" = 1'-0"

DESIGN & DRAWN

RAMEEL NISSAN

DATE

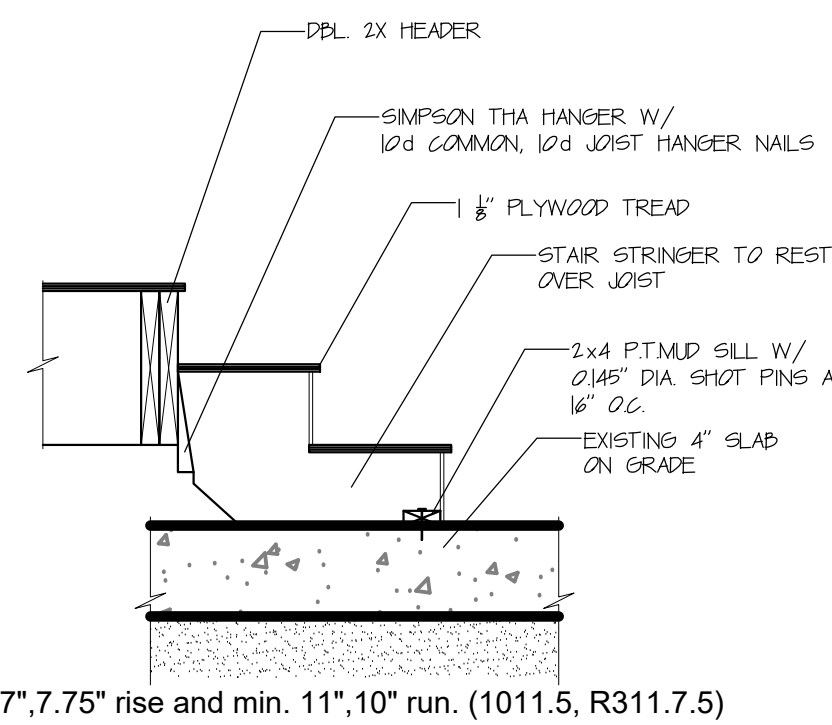
SHEET NO.

A-3

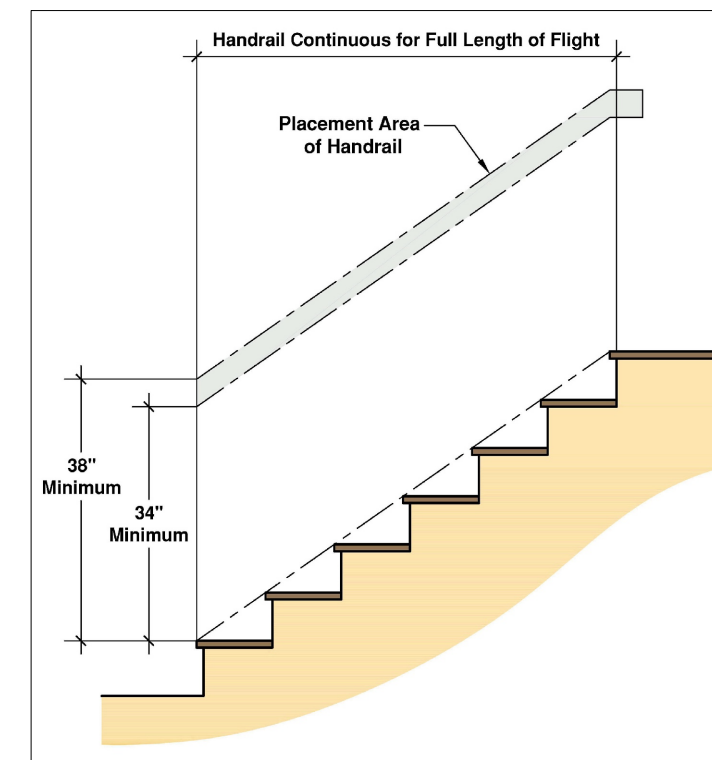
WALL LEGEND:

- (E) EXISTING WALL TO REMAIN
- (E) EXISTING WALL TO BE DEMOLITION
- (N) NEW WALL
- (N) 1 HR FIRE WALL SEE DETAILS

NOTE: UNLESS NOTED OTHERWISE (U.N.O)



STAIR CASE DETAIL - 2 (PER R311.7.5.)

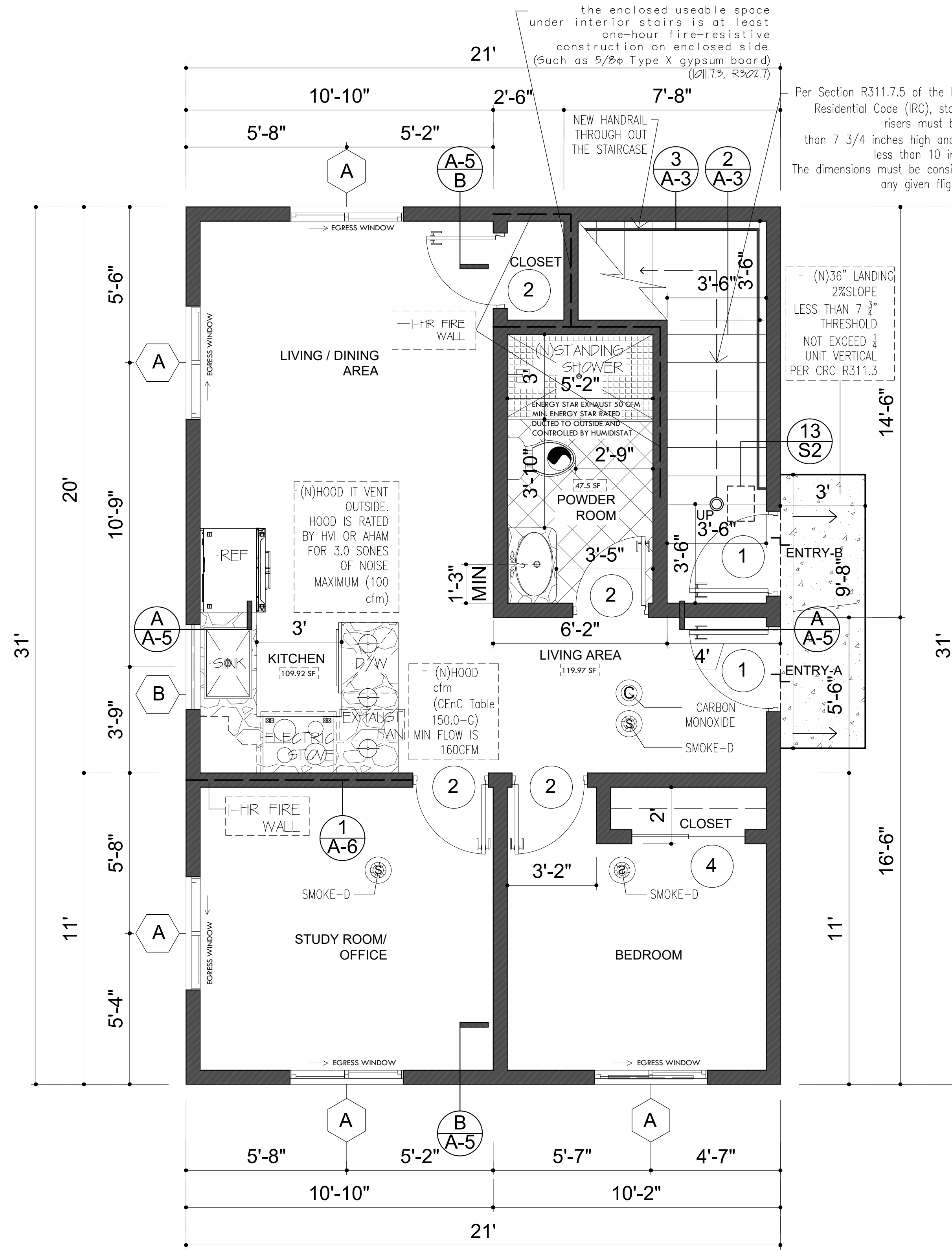


HANDRAIL DETAIL - 3 (PER R311.7.8.)

DEMOLITION NOTES:

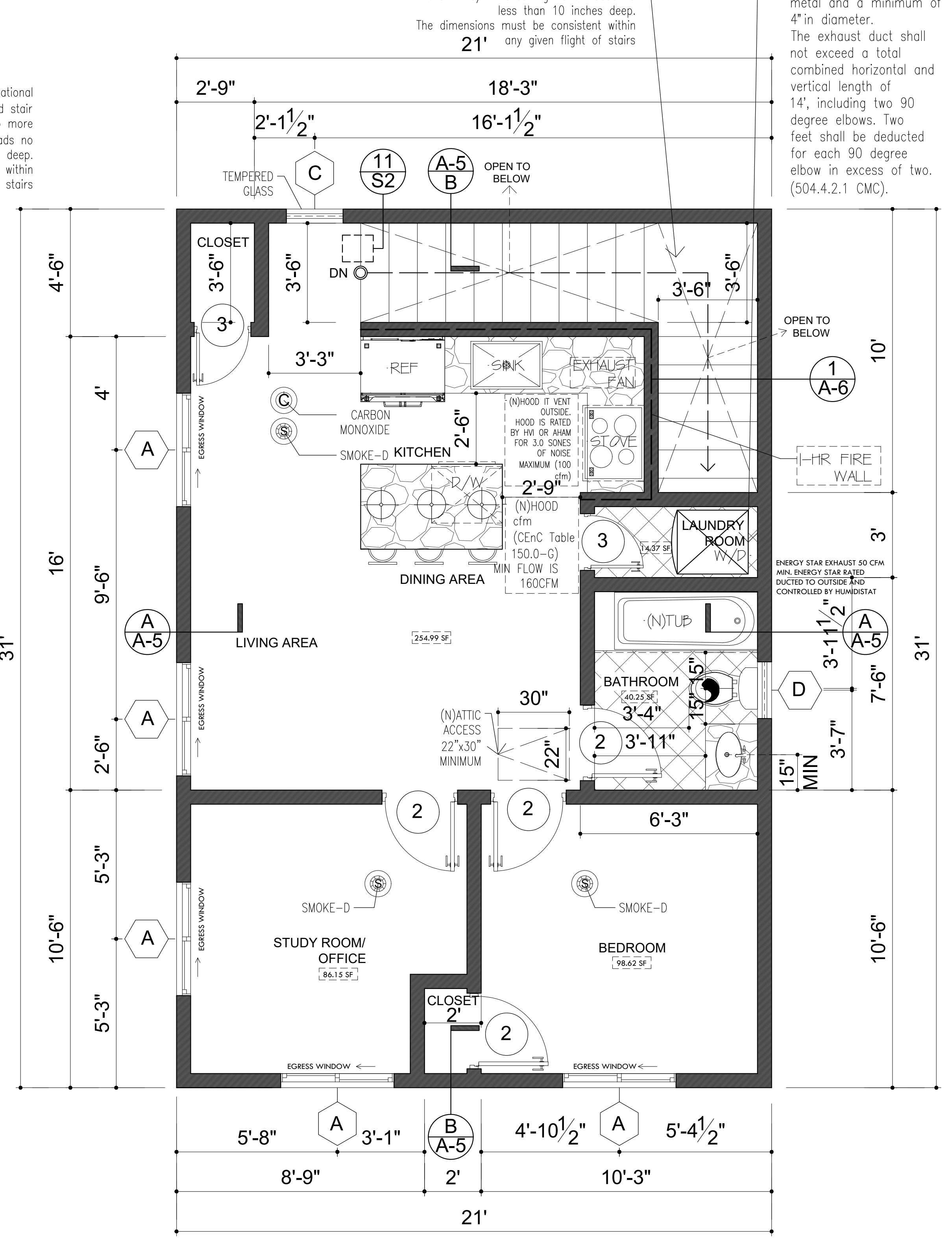
- FOLLOW ALL CURRENT BUILDING ELECTRICAL, PLUMBING, AND MECHANICAL CODES.
- CONTRACTOR TO PROVIDE ALL REQUIRED SHORING AND BRACING PRIOR TO AND DURING ANY DEMOLITION.
- CONTRACTOR TO PROVIDE ALL REQUIRED WATER PROTECTION FROM THE ELEMENTS PRIOR TO AND DURING DEMOLITION AND CONSTRUCTION. PROVIDE PROTECTION OF ADJACENT FINISH SURFACES AND ADJOINING SPACES DURING CONSTRUCTION. ALL AREAS NOT IMPACTED BY CONSTRUCTION SHALL BE LEFT IN SAME CONDITION FOUND PRIOR TO START OF CONSTRUCTION.
- ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY CONFLICTS BETWEEN THE DEMOLITION PLAN AND THE NEW/REMODELED WORK OF THE DOCUMENTS HERewith CONTAINED. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY AND ALL DEMOLITION WHICH IS IN CONFLICT AND HAS NOT BEEN BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO DEMOLITION.
- ALL REMOVED BUILDING MATERIALS AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER AND REMOVE WITH CARE.
- ALL EXISTING FLOORING AND SUBFLOORING SHALL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION. FLOORS SHALL BE LEFT CLEAN AND DEBRIS FREE.
- THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A DUST-FREE BARRIER BETWEEN ALL WORK AREAS AS REQUIRED TO PROTECT FINISH WORK. THESE BARRIER'S SHALL BE LEFT UP DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL REDIRECT/RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND/OR SPRINKLER LINES WHICH MAY BE DISTURBED BY DEMOLITION, AND CAP ALL ABANDONED LINES.
- EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
- EXISTING SIDEWALK & ADJACENT PROPERTY WALLS, WALKS AND FENCES SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION, UNLESS OTHERWISE NOTED.
- PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING AND DEMOLITION ACTIVITIES AS REQUIRED BY COUNTY OF LOS ANGELES BUILDING CODE CHAPTER 33.

| LEGEND | |
|--------|---|
| | (N) RECESSED LIGHT (LED) |
| | SINGLE POLE SWITCH |
| | AFCI DUPLEX WALL RECEPTACLE |
| | GROUND FAULT CIRCUIT INTERRUPTER(20 AMP.) |
| | SMOKE DETECTOR |
| | CARBON MONOXIDE |



PROPOSED FIRST FLOOR PLAN - ADU - A

SCALE: 3/8"=1'-0"

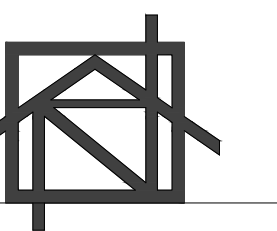


PROPOSED SECOND FLOOR PLAN - ADU - B

SCALE: 3/8"=1'-0"

Per Section R311.7.5 of the International Residential Code (IRC), standard stair risers must be no more than 7 3/4 inches high and treads no less than 10 inches deep. The dimensions must be consistent within 21' any given flight of stairs

A domestic clothes dryer duct shall be of metal and a minimum of 4" in diameter. The exhaust duct shall not exceed a total combined horizontal and vertical length of 14', including two 90 degree elbows. Two feet shall be deducted for each 90 degree elbow in excess of two. (504.4.2.1 CMC).



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

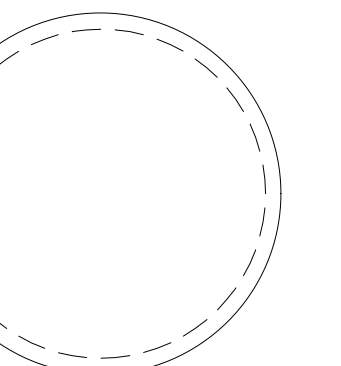
NUBIRDS PROPERTIES LLC.

PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043



SHEET TITLE

PROPOSED ELEVATIONS

REVISIONS

| NO. | DATE | BY |
|-----|------|----|
|-----|------|----|

SCALE

3/8" = 1'-0"

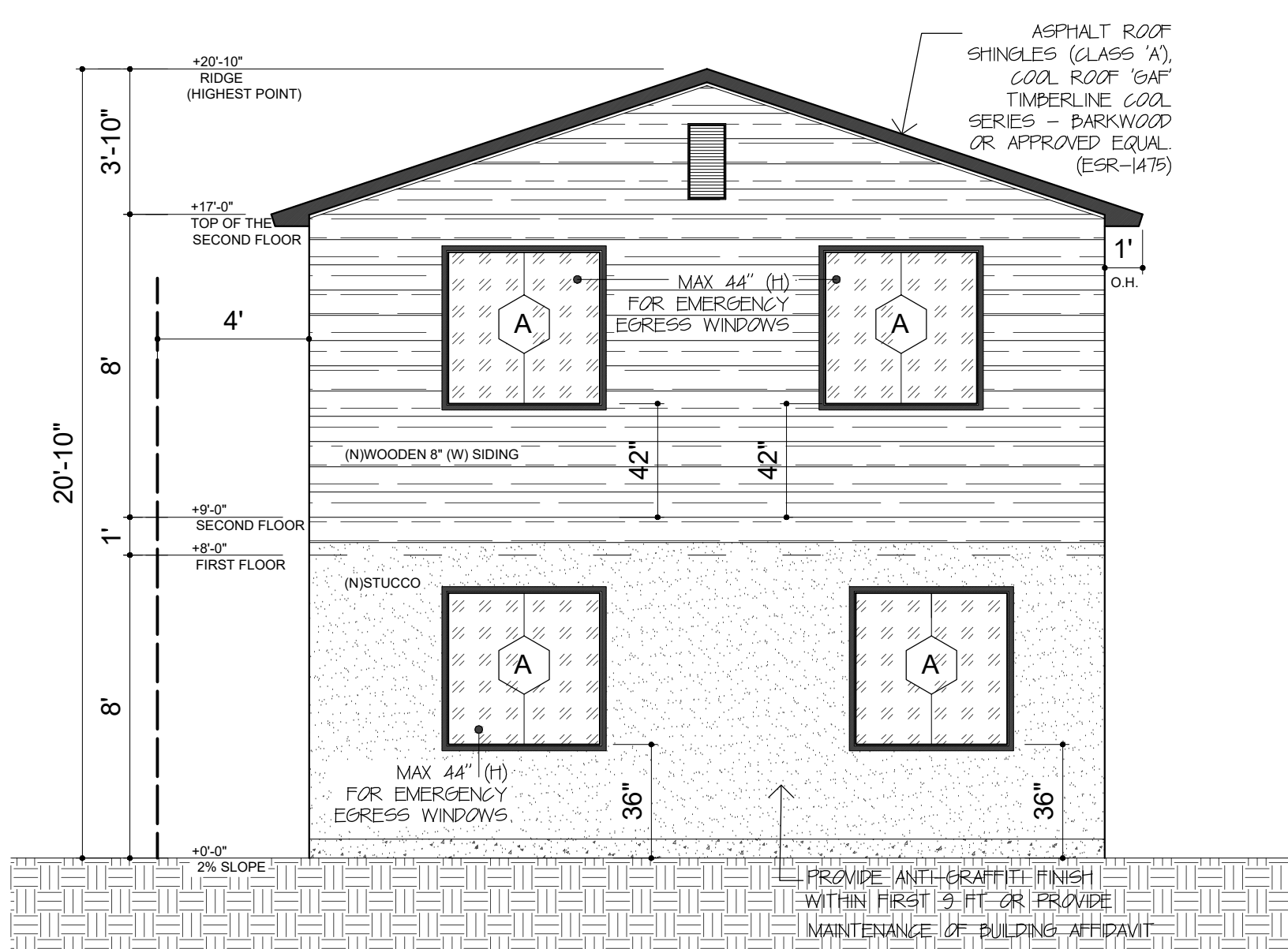
DESIGN & DRAWN

RAMEEL NISSAN

DATE

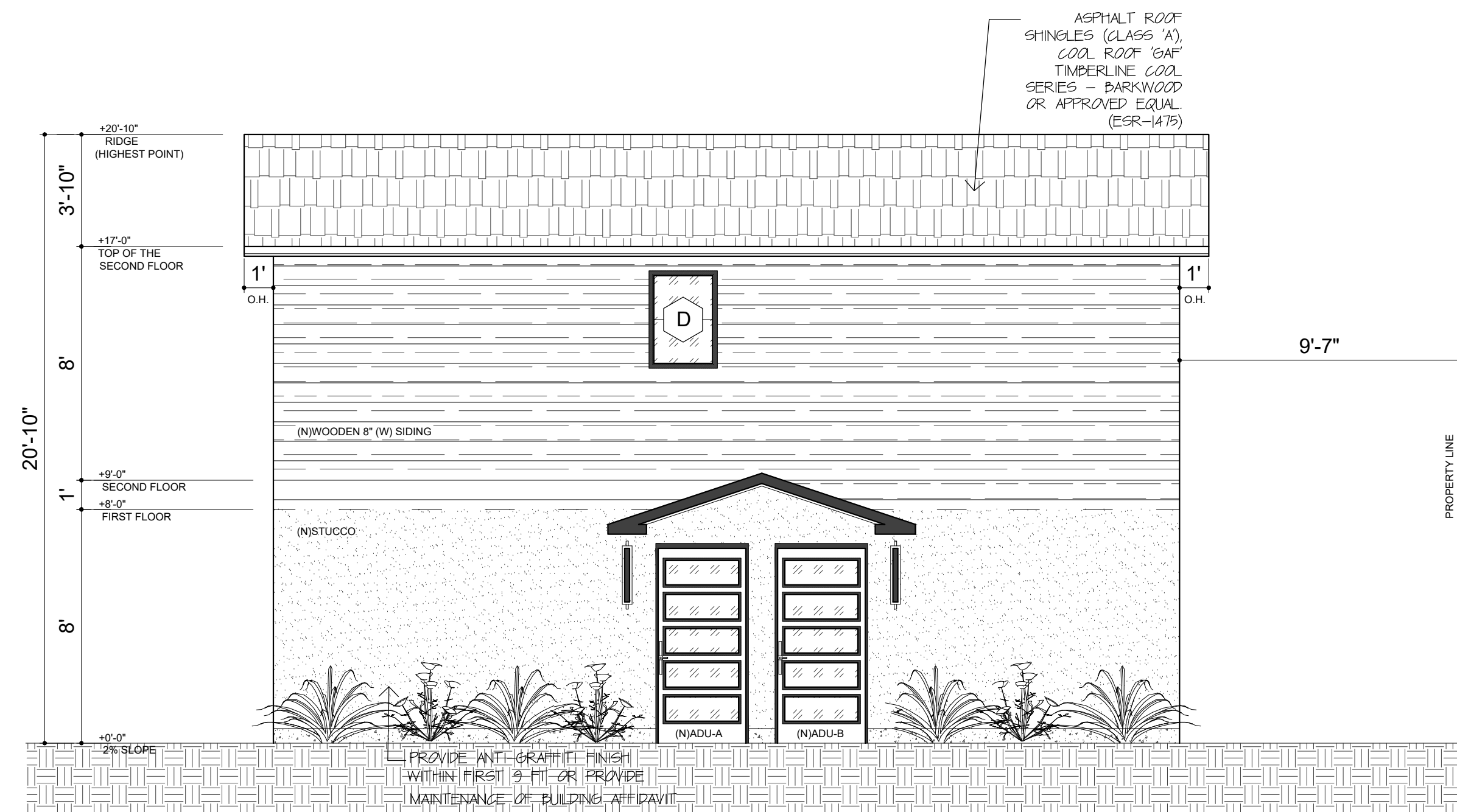
SHEET NO.

A-4



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL CODE COMPLIANCE NOTES:

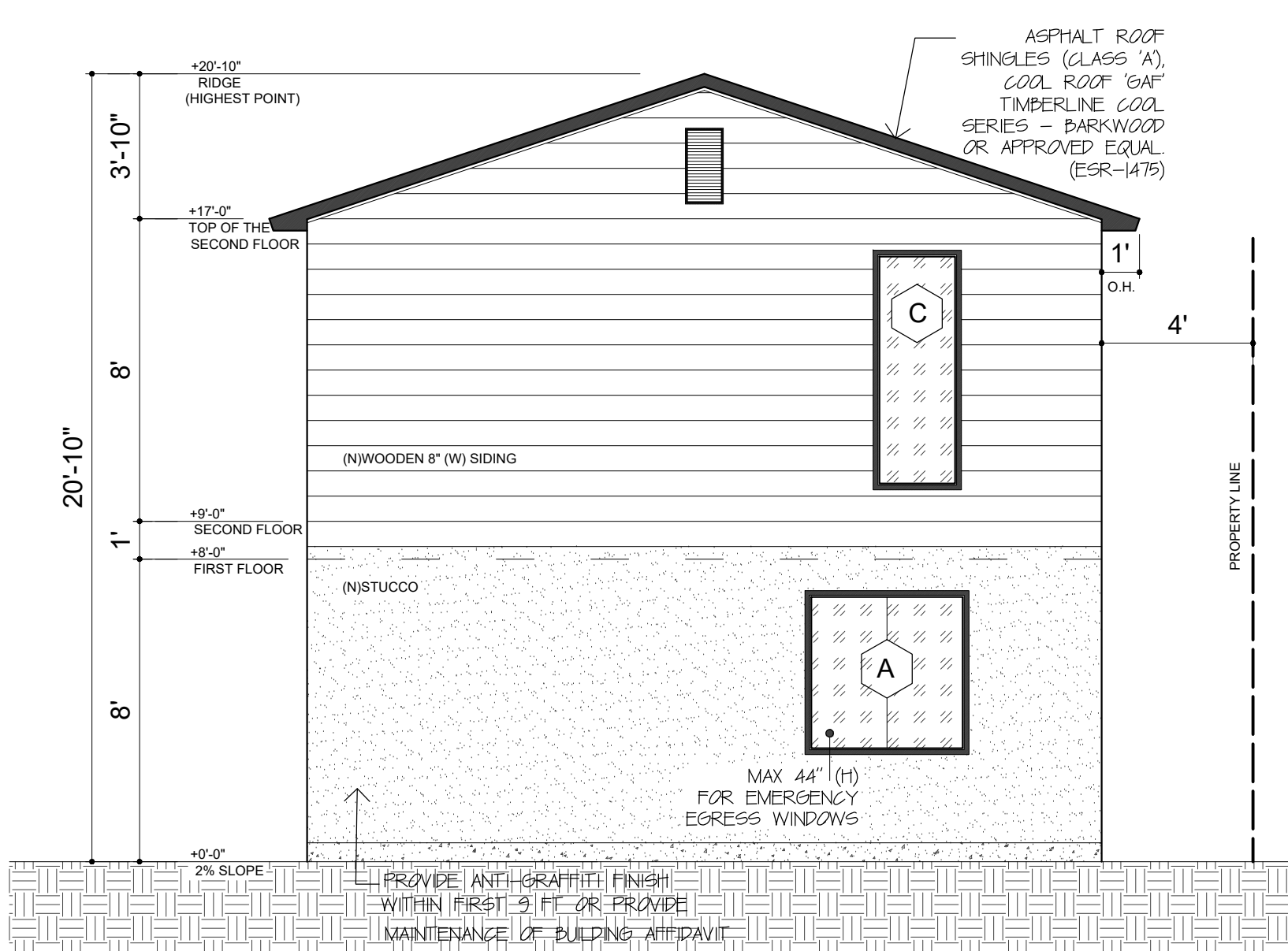
1. ACCESSORY DWELLING UNIT (ADU) IS DESIGNED PURSUANT TO LAMC SECTION 12.22 A.33.
2. ADU IS SUBJECT TO MINISTERIAL APPROVAL AND SHALL COMPLY WITH STATE LAW (GOVT. CODE §65852.2).
3. ADU TO COMPLY WITH CBC, CRC, CALGREEN, AND TITLE 24.
4. MAX HEIGHT: 16 FT (18 FT IF WITHIN 1/2 MILE OF TRANSIT).
5. EXTERIOR MATERIALS, COLORS, AND ROOF DESIGN TO MATCH PRIMARY DWELLING WHERE REQUIRED.
6. ADU DESIGN COMPLIES WITH MAX FLOOR AREA LIMITS.
7. HEIGHT, SETBACKS, AND OPENING SIZES CONFORM TO ZONING AND STATE LAW.
8. WINDOWS < 5 FT FROM PROPERTY LINE SHALL BE OBSCURE GLASS.
9. EGRESS WINDOWS PER CBC/CRC R310.
10. ROOF DRAINAGE TO BE CONNECTED TO APPROVED SYSTEM.
11. COMPLIES WITH CALGREEN MANDATORY MEASURES.
12. TITLE 24 ENERGY DOCUMENTS INCLUDED.
13. ALL LIGHT FIXTURES TO BE HIGH-EFFICACY.
14. OUTDOOR LIGHTING TO BE DARK SKY COMPLIANT.
15. NO ADDITIONAL PARKING REQUIRED IF WITHIN 1/2 MILE OF TRANSIT.
16. NO REPLACEMENT PARKING REQUIRED FOR REMOVED SPACES.
17. COVENANT TO BE RECORDED PRIOR TO PERMIT ISSUANCE.
18. ADU SHALL NOT BE SOLD SEPARATELY FROM PRIMARY UNIT.
19. MINIMUM RENTAL TERM: 30 DAYS.

DOOR NOTES:

1. MAIN ENTRY DOOR: MIN. 3'-0" WIDE x 6'-8" HIGH, SWING DIRECTION TO EGRESS (CRC R311.3).
2. BATHROOM DOORS: MIN. 2'-0" WIDE, MAY SWING INWARD IF CLEARANCE ALLOWS.
3. GARAGE TO ADU ENTRY DOOR (IF APPLICABLE): 20-MINUTE RATED, SELF-CLOSING & SELF-LATCHING (CRC R302.5.1).
4. EGRESS DOOR: MUST BE OPERABLE FROM INSIDE WITHOUT KEY OR SPECIAL HARDWARE (CRC R311.2).
5. THRESHOLD MAX HEIGHT: 1-1/2" FOR EXTERIOR DOORS (CRC R311.3.1).

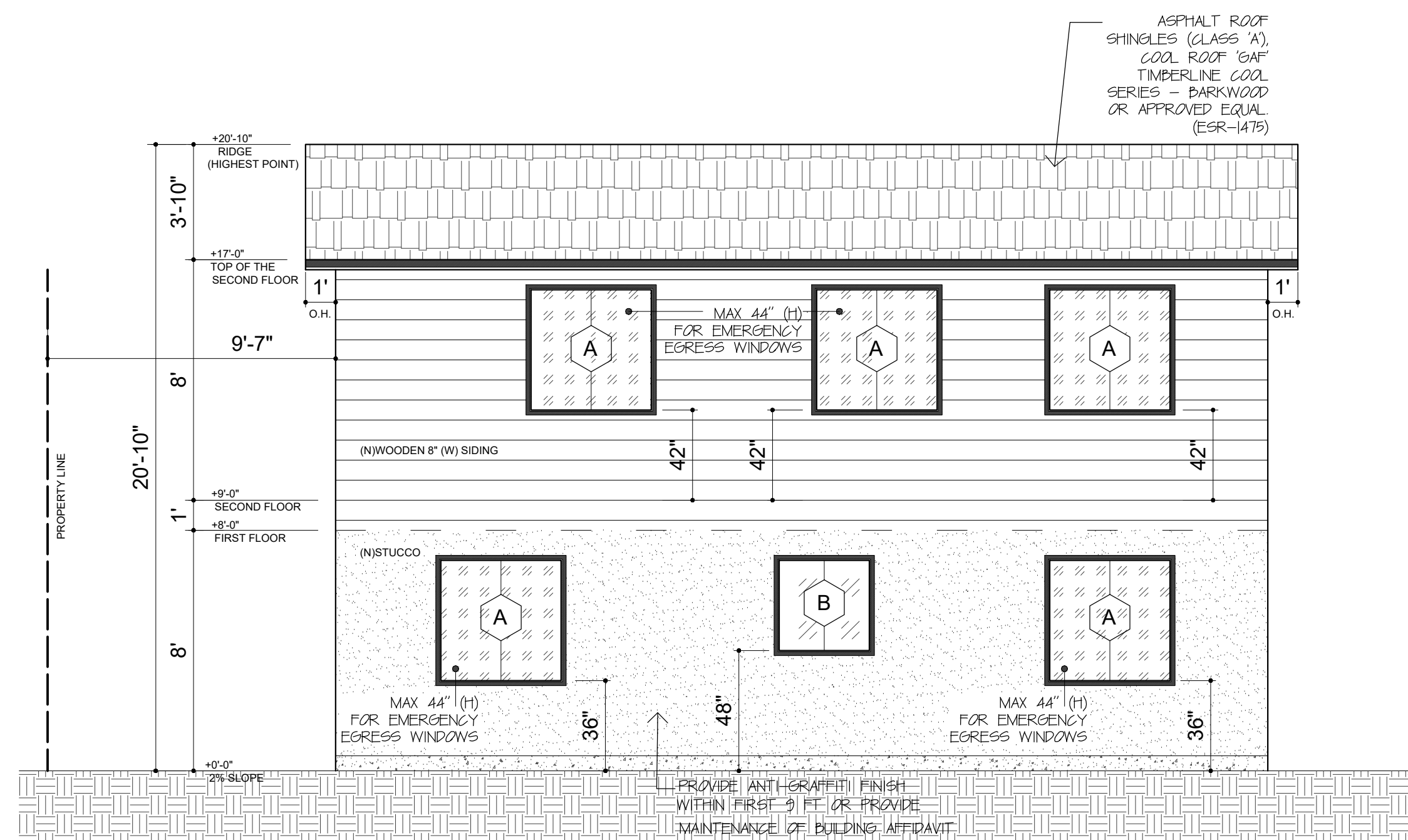
WINDOW NOTES:

6. EGRESS WINDOWS (SLEEPING ROOMS): MIN. 5.7 SQ.FT. CLEAR OPENABLE AREA (5.0 SQ.FT. @ GRADE FLOOR).
 - MIN. HEIGHT: 24" | MIN. WIDTH: 20" | MAX SILL HEIGHT: 44" AFF (CRC R310.2).
 - TEMPERED GLAZING REQUIRED:
 - WITHIN 24" OF DOOR EDGE AND <60" AFF.
 - IN WINDOWS >9 SQ.FT., WITH SILL <18" AFF & TOP >36" AFF.
 - NEAR TUBS/SHOWERS OR WITHIN 60" HORIZONTAL.
 8. NATURAL LIGHT & VENTILATION: MIN. GLAZING AREA = 8% OF FLOOR AREA, VENTILATION = 4% (CRC R303.1).
 9. EXTERIOR DOORS: MUST HAVE DEADBOLT LOCK WITH 1" THROW.
 10. WINDOWS: MUST HAVE LATCHING HARDWARE TO PREVENT REMOVAL FROM EXTERIOR.
- PLAN SHEET GENERAL NOTE
ALL DOORS AND WINDOWS TO COMPLY WITH CRC R308, R310, R311, R303, AND LAMC §1.6107.
EGRESS WINDOWS IN ALL SLEEPING ROOMS. SAFETY GLAZING AND HARDWARE INSTALLED AS REQUIRED.



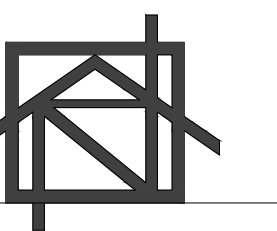
PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT. CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

NUBIRDS PROPERTIES LLC. PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043

SHEET TITLE

PROPOSED SECTIONS / ROOF PLAN

REVISIONS

NO. DATE BY

SCALE

3/8" = 1'-0"

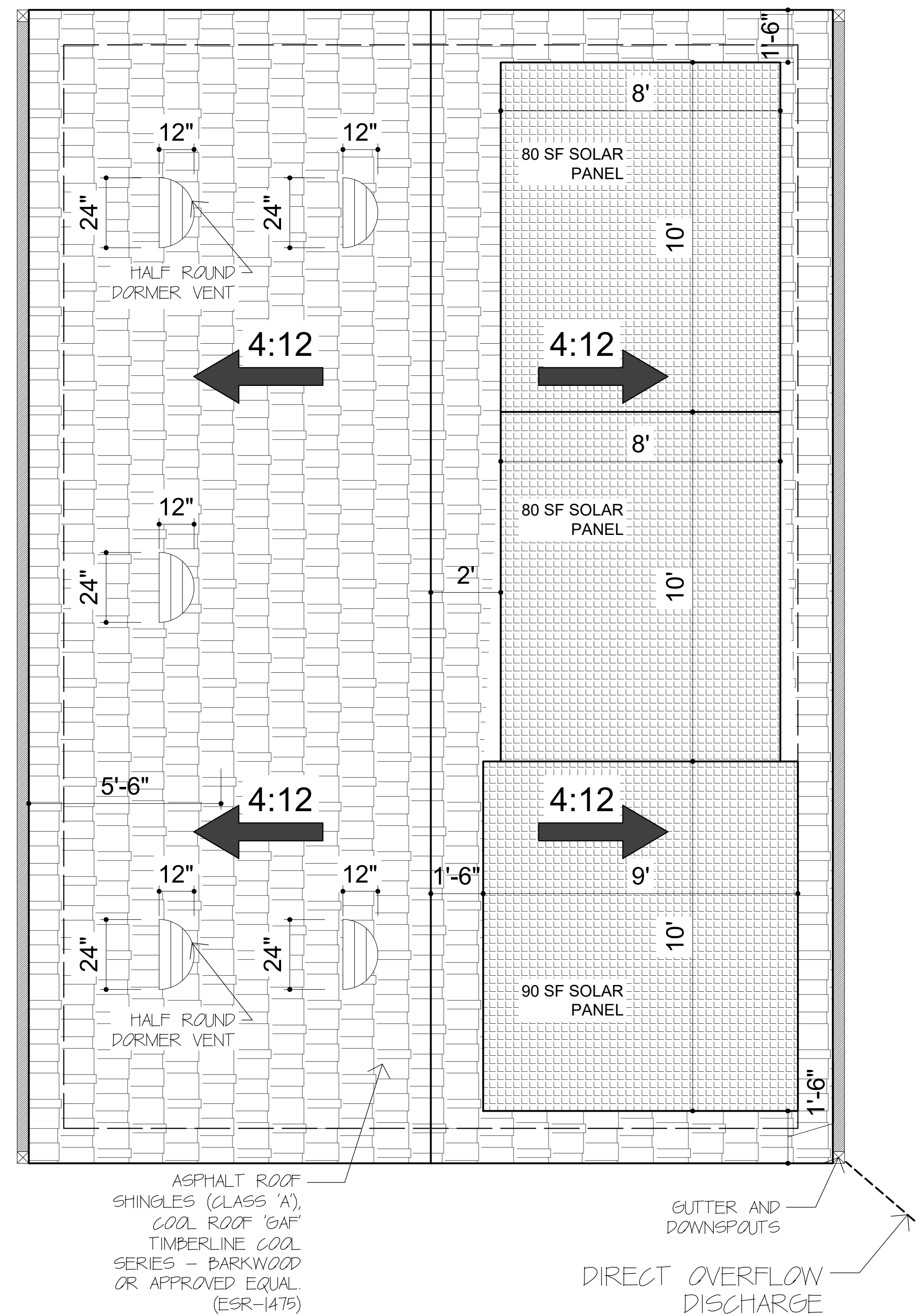
DESIGN & DRAWN

RAMEEL NISSAN

DATE

SHEET NO.

A-5



PROPOSED ROOF PLAN
SCALE: 3/8" = 1'-0"

ROOF NOTES:

- 1- ALL TILE ROOFS SHALL BE INSTALLED PER THE MANUFACTURER'S HIGH WIND SPECIFICATIONS.
- 2- ALL TILE ROOFS SHALL BE INSTALLED OVER SOLID ROOF SHEATHING.
- 3- HIP, RIDGE AND RAKE TILES SHALL BE SET IN MORTAR OR APPROVED ROOFER'S MASTIC.
- 4- ALL FIELD TILES SHALL BE NAILED.
- 5- EAVE TILES SHALL BE ANCHORED WITH HURRICANE CLIPS.
- 6- RAKE TILES SHALL BE ANCHORED WITH A MINIMUM OF TWO NAILS.
- 7- TILE ROOFS SHALL BE INSTALLED OVER 1/2" THICK MINIMUM ROOF SHEATHING OR 1 1/2" ROOF WIRH 1" X 2" BATTENS.

ATTIC VENTILATION CALCULATION:

ROOF ATTIC SPACE AREA: 600 SQFT
 $600 / 150 = 4$ SF VENT REQUIRED x 144 = 576 SQ.IN
 HALF ROUND DORMER VENT: 124 SQ.IN OF NET FREE AIR FLOW
 No. OF DORMER VENTS PROVIDED: $5 \times 124 = 620$ SQ.IN=O.K.

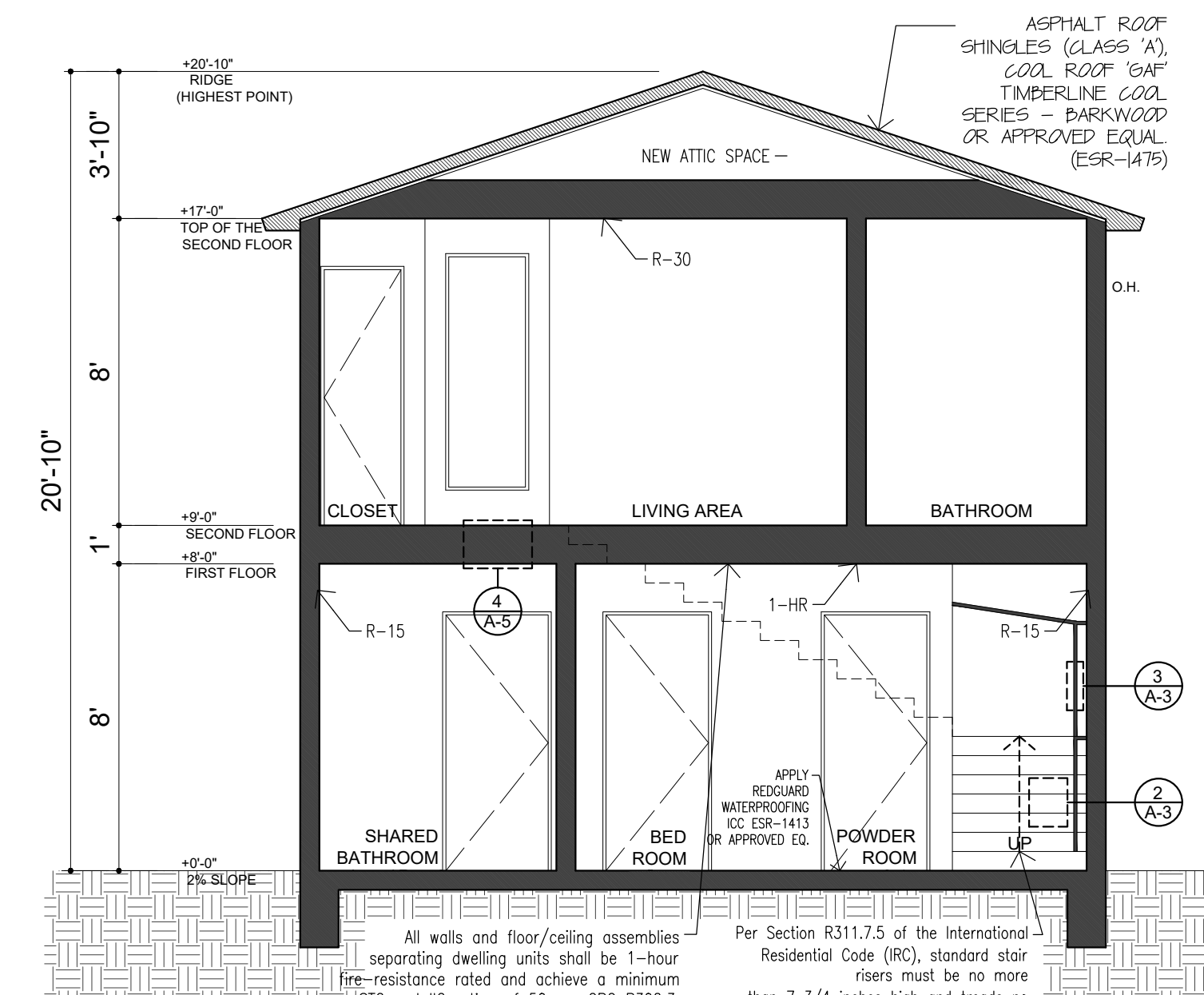
SOLAR NOTES:

The PV system must be installed prior to final inspection

ROOF MATERIAL NOTES:

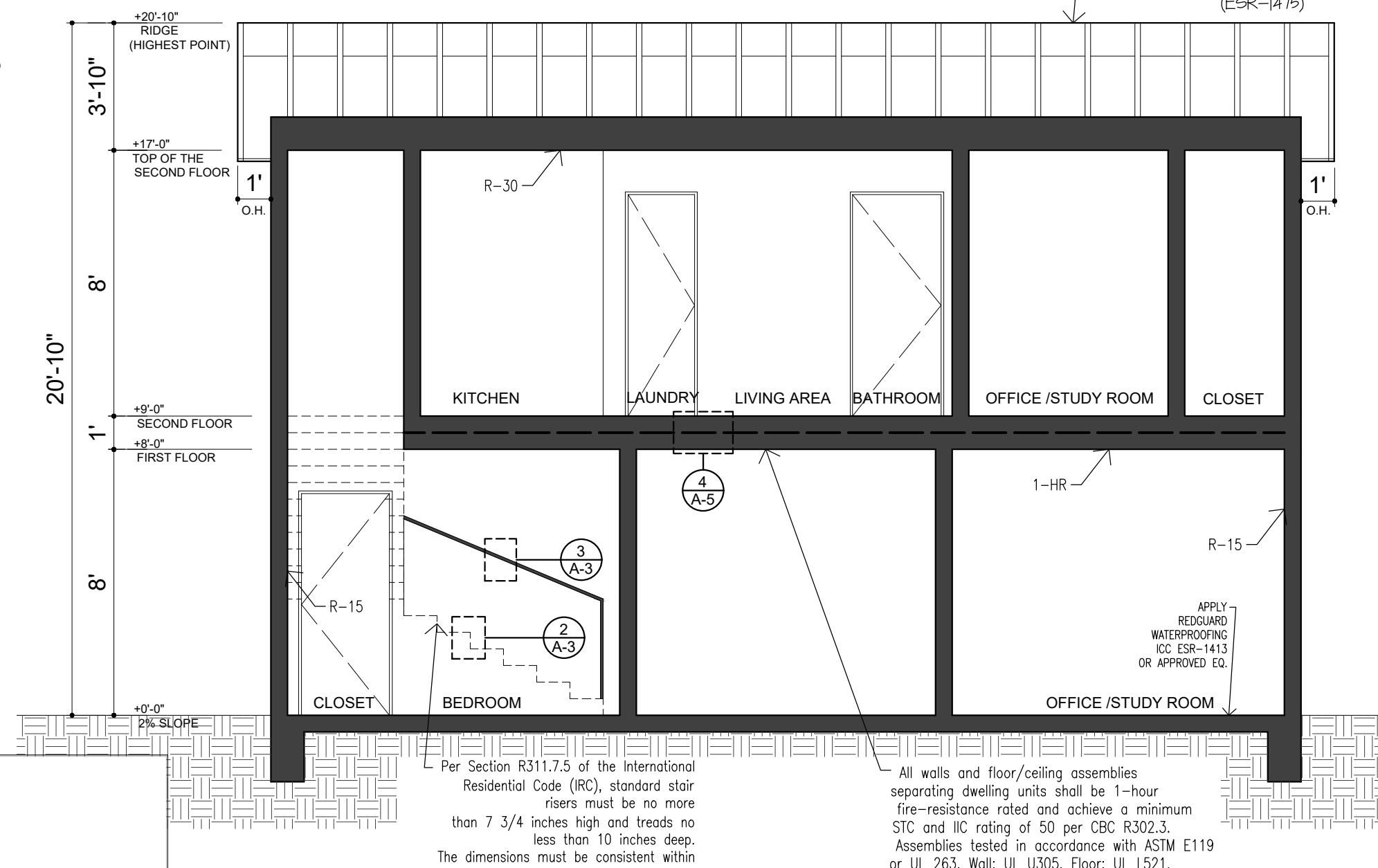
COOL ROOF - ASPHALT SHINGLE SPECIFICATION (CLASS "A")
Proposed Roofing Material:
 Architectural asphalt shingles with Class "A" fire rating, Cool Roof certified.
Approved Product:
 GAF Timberline® Cool Series - Barkwood, or equal.
 ESR Reference: ESR 1475 (ICC E5)
 CRRC Product ID: Provide CRRC ID # for the specific shingle color used (e.g., Barkwood)
Cool Roof Rating:
 Initial Solar Reflectance: ≥ 0.25
 3-Year Aged Reflectance: ≥ 0.15
 SRI (Solar Reflectance Index): As per CRRC listing
Product Certification: Certified and labeled by Cool Roof Rating Council (CRRC) per CBC 1505 & CALGreen 2019/2022
Manufacturer Compliance: GAF - Timberline® Cool Series (Meets California Title 24, Part G)
Installation Notes:
 Install per manufacturer's instructions.
 Submit CRRC certification with product submittals.
 Label shingle packages with CRRC ID# and ESR 1475 approval for plan check and inspection compliance.

CLASS "A" ESR-1475 / CRRC ID # 0676-004 | a



PROPOSED SECTION - A

SCALE: 1/4" = 1'-0"



PROPOSED SECTION - B

SCALE: 1/4" = 1'-0"

1-HR RATED FLOOR / CEILING ASSEMBLY NOTES:

1-Hour Fire-Resistance Rating (per ASTM E119 or UL 263)
 Minimum STC (Sound Transmission Class) of 50 (airborne sound)
 Minimum IIC (Impact Insulation Class) of 50 (impact sound for floors)

Wall Assembly: UL Design U305 (Wood Stud Wall)

Floor-Ceiling Assembly: UL Design L521 (Wood Joist)

UL Design Number: U305

Tested per: ASTM E119 / UL 263

Use: 1-hour fire-rated wall between dwelling units
STC: ≥ 50

UL Design Number: L521

Tested per: ASTM E119 / UL 263

Use: Horizontal separation between units (e.g., stacked ADU)
STC: ≥ 50

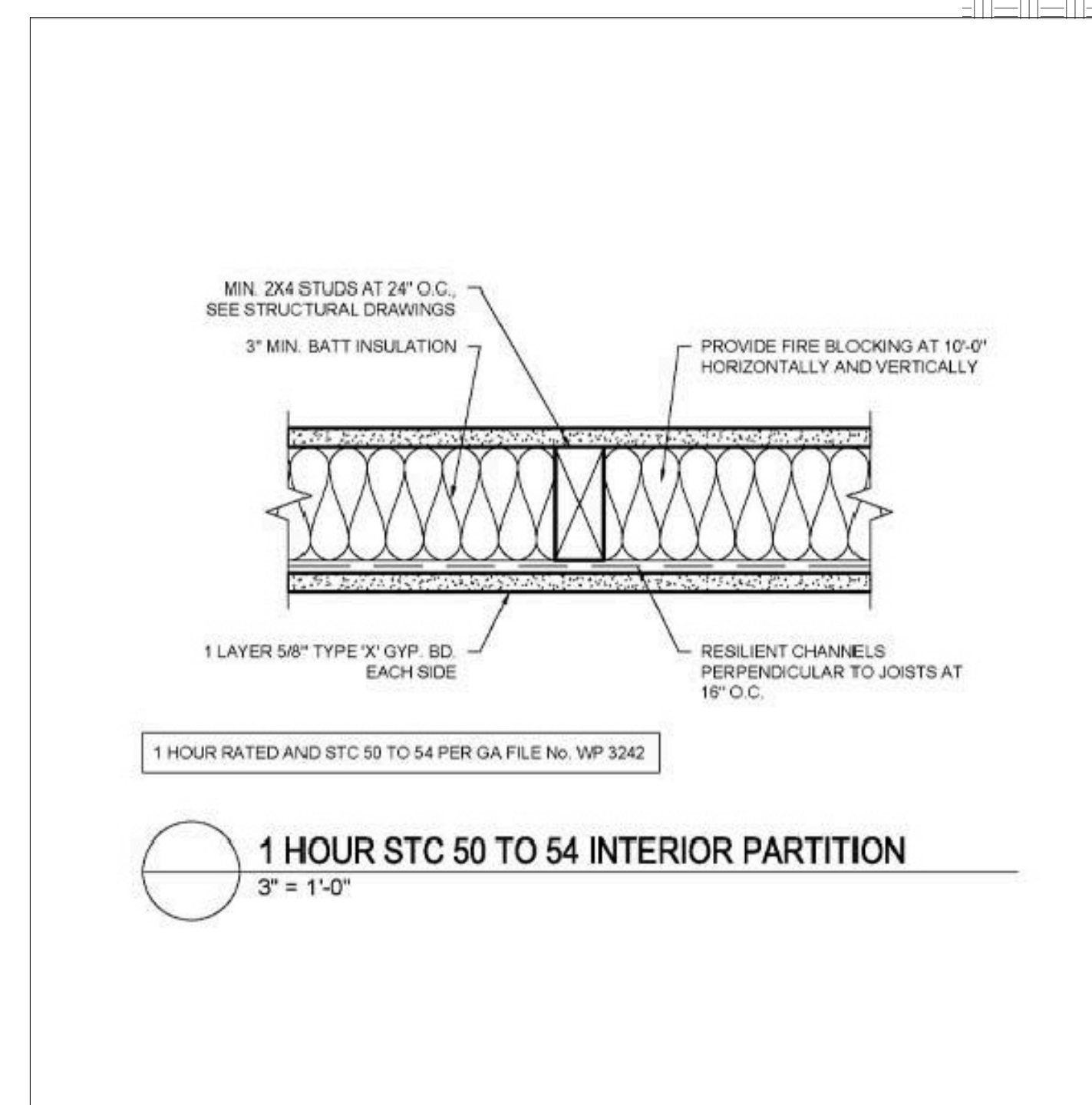
Construction:
 2x4 wood studs @ 16" o.c.
 1/2" Type X gypsum board each side
 R-13 fiberglass batt insulation in cavity

Construction:
 2x10 joists @ 16" o.c.
 5/8" Type X gypsum board ceiling
 3/4" T&G plywood subfloor
 Resilient channel on ceiling side
 R-19 insulation in cavity

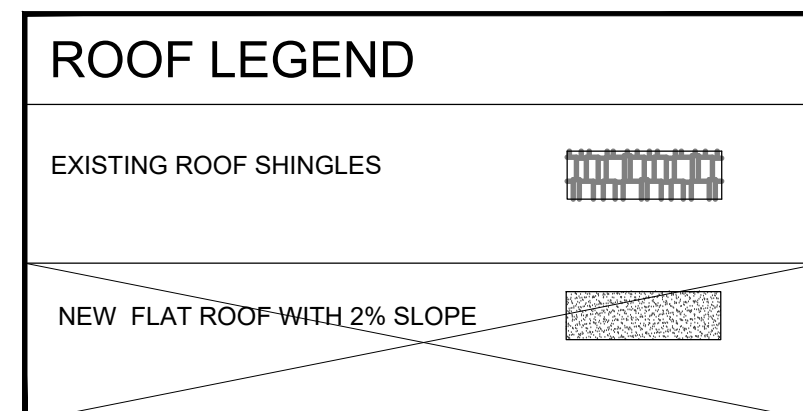
Total thickness:
approx. 4-7/8"

Compliance:
 Meets 1-hour rating
 Meets STC 50 (per Gypsum Association & UL)

Optional:
 Floor underlayment (acoustic mat) to improve IIC
 Compliance:
 1-hour rated (fire)
 STC ≥ 50 / IIC ≥ 50 (with acoustic mat)



1 HOUR STC 50 TO 54 INTERIOR PARTITION
3" = 1'-0"



ICC-ES Evaluation Report

ESR-1475

Reissued October 2023

This report also contains:
- CBC Supplement

Subject to renewal October 2025

ICC-ES Evaluation Reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any listing or other matter in this report, or as to any product covered by the report.

Copyright © 2023 ICC Evaluation Service, LLC. All rights reserved.

| | | |
|---|------------------------------|--|
| DIVISION: 07 00 00— THERMAL AND MOISTURE PROTECTION | REPORT HOLDER: GAF | EVALUATION SUBJECT: GAF SHINGLE ROOF COVERING SYSTEMS |
| Section: 07 31 13— Asphalt Shingles | | |

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 International Building Code® (IBC)
- 2021, 2018, 2015, 2012, 2009 and 2006 International Residential Code® (IRC)

Properties evaluated:

- Weather resistance
- Fire classification
- Wind resistance

2.0 USES

The GAF asphalt shingles described in this report comply with IBC Section 1507.2 and IRC Section R905.2 and are Class A roof coverings when installed as described in this report.

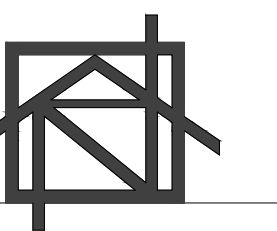
3.0 DESCRIPTION

3.1 Shingles:

3.1.1 General: The GAF asphalt shingles comply with ASTM D3462 and have been qualified for wind resistance as noted in Section 4.1.2 and Table 1. The shingles are available as three-tab, five-tab and laminated asphalt shingle roof coverings. See Table 1 and Figure 1 for recognized product names and classifications, shingle types, manufacturing locations, overall dimensions, maximum exposure to the weather and fastening details. The shingles are self-sealing by means of adhesive strips located on either the weather side or the underside. See Figure 1 for dimensions, nailing locations and adhesive strip location for field shingles.

3.1.2 Three-tab Shingles and Five-tab Shingles: Three-tab and five-tab shingles are composed of a single layer of fiberglass mat, impregnated and coated with asphalt on both sides, and surfaced with mineral roofing granules on the weather side and a mineral release agent on the underside.

3.1.3 Laminated Shingles: Laminated shingles are composed of multiple thicknesses of coated and surfaced fiberglass mat, cut and bonded together in different patterns. The weather side is surfaced with mineral roofing granules, and the underside is surfaced with a mineral release agent.



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

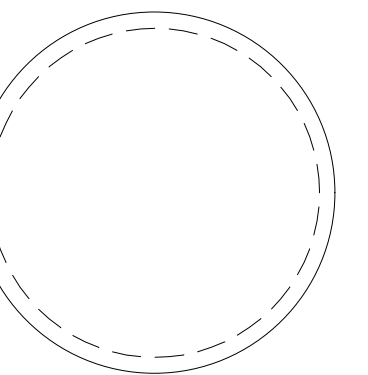
NUBIRDS PROPERTIES LLC.

PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043



SHEET TITLE

DOORS AND WINDOWS SCHEDULES

REVISIONS

NO. DATE BY

SCALE

N/A

DESIGN & DRAWN

RAMEEL NISSAN

DATE

SHEET NO.

A-6

WINDOW NOTES:

- 1- WINDOWS ARE DUAL GLAZED, TRUE DIVIDED LIGHTS, FIBREX EXTERIOR, WOOD INTERIOR (U.N.O.) AND HAVE SCREENS.
- 2- THE CONTRACTOR AND SUB-CONTRACTORS SHALL DETERMINE EXACT TOUGH OPENING SIZES PRIOR TO FRAMING.



WINDOW SCHEDULE

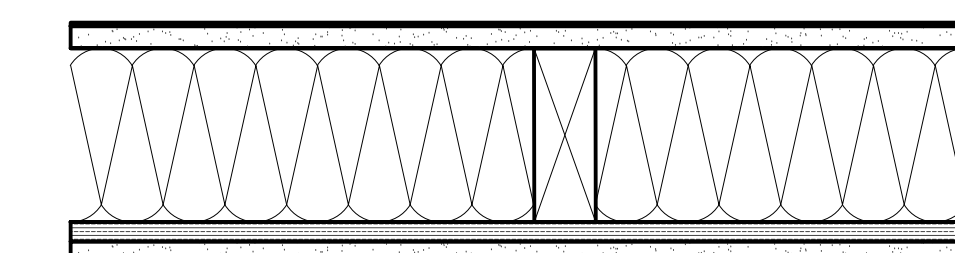
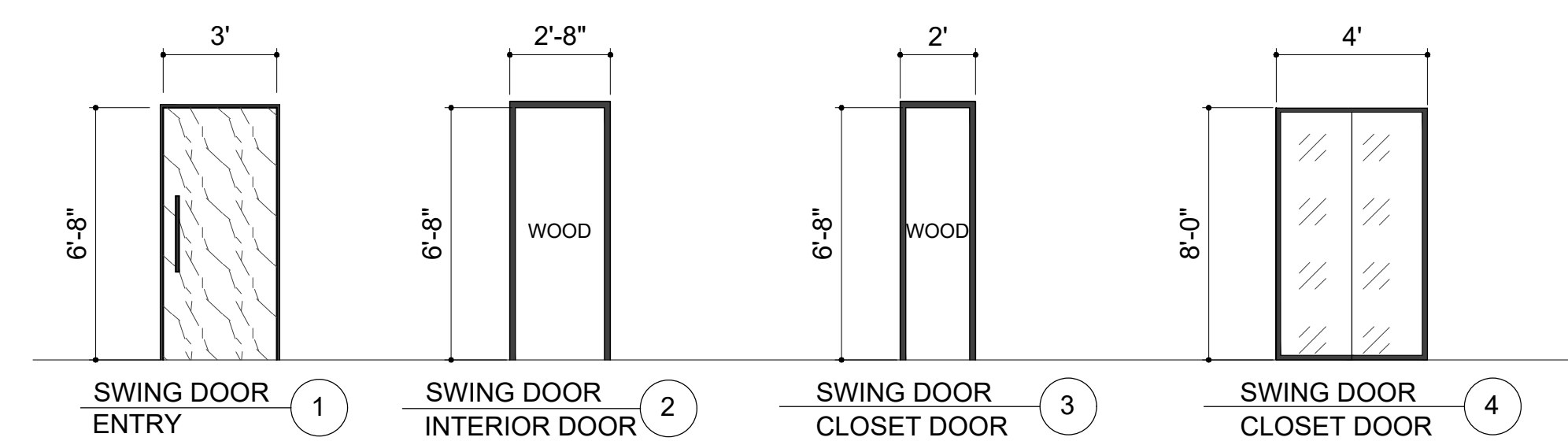
| MARK | SIZE WIDTH x HEIGHT | HEADER HEIGHT | THICK | TYPE | WINDOW | | FRAME | | U-FACTOR | SHGC | DOUBLE GLAZED | SINGLE GLAZED | SLIDING | FIXED | HUNG | LOW "E" GLASS | TEMPERED GLASS | WINDOW GRID | REMARKS |
|------|------------------------|------------------|-------|------|----------|--------|----------|----------------|----------|------|---------------|---------------|---------|-------|------|---------------|----------------|-------------|---------|
| | | | | | MATERIAL | FINISH | MATERIAL | FINISH | | | | | | | | | | | |
| A | 4'-0" x 4'-0" | 7'-0" | | | GLASS | CLEAR | ALUMINUM | CLEAR ANODIZED | 0.3 | 0.23 | ● | | ● | | | | ● | | NEW |
| B | 3'-0" x 3'-0" | 7'-0" | | | GLASS | CLEAR | ALUMINUM | CLEAR ANODIZED | 0.3 | 0.23 | ● | | ● | | ● | | ● | | NEW |
| C | 2'-0" x 6'-0" | 7'-0" | | | GLASS | CLEAR | ALUMINUM | CLEAR ANODIZED | 0.3 | 0.23 | ● | | | ● | ● | | ● | | NEW |
| D | 2'-0" x 3'-0" | 7'-0" | | | GLASS | CLEAR | ALUMINUM | CLEAR ANODIZED | 0.3 | 0.23 | ● | | ● | | ● | | ● | | NEW |

- 1- THE CONTRACTOR AND SUB-CONTRACTORS SHALL DETERMINE EXACT ROUGH OPENING SIZES TO FRAMING.
- 2- CRL-ARCH DOORS ARE PROVIDED FOR INFORMATION ONLY. IN CONSULTATION WITH OWNERS. THE CONTRACTOR AND SUB-CONTRACTORS SHALL DETERMINE DOORS MANUFACTURER.

DOORS SCHEDULE

DOOR SCHEDULE

| DOOR NUMBER | SIZE WIDTH x HEIGHT | HEADER HEIGHT | THICK | TYPE | DOOR | | FRAME | | U-FACTOR | SHGC | HOLLOW CORE | SOLID FRAME | KEY LOOK | PRIVACY LOOK | DEADBOLT | SELF-CLOSING | 20 MIN FIRE R | POCKET DOOR | OVERHEAD | SLIDER | FRENCH | REMARKS |
|-------------|------------------------|------------------|-------|------|----------|--------|----------|---------------------------|----------|------|-------------|-------------|----------|--------------|----------|--------------|---------------|-------------|----------|--------|--------|---------|
| | | | | | MATERIAL | FINISH | MATERIAL | FINISH | | | | | | | | | | | | | | |
| 1 | 3'-0" x 6'-8" | 7'-0" | 1.75" | | STEEL | STEEL | STEEL | BRUSHED STAINLESS STEEL | 0.3 | | | ● | ● | ● | ● | | ● | | | | | NEW |
| 2 | 2'-8" x 6'-8" | 6'-8" | 1/2" | | H.C.W. | ENAMEL | WOOD | PAINT | | | ● | | | ● | ● | | ● | | | | | NEW |
| 3 | 2'-0" x 6'-8" | 6'-8" | 1/2" | | H.C.W. | ENAMEL | WOOD | PAINT | | | ● | | | ● | ● | | | | | ● | | NEW |
| 4 | 4'-0" x 6'-8" | 6'-8" | 1/2" | | GLASS | CLEAR | STEEL | CLEAR SATIN ANODIZED ALUM | | | | ● | | ● | | | | | | ● | | NEW |



1/2" (15.9 mm) Fire-Shield Gypsum Board applied vertically or horizontally to one side of 2x4 (88.1 mm x 88.0 mm) wood studs 24 in. (610 mm) o.c. with 1-7/8 in. (47.6 mm) long, 6d coated nails 7 in. (178 mm) o.c. 1/2" (11.9 mm) wood structural panel applied vertically to opposite side with 1-7/8 in. (47.6 mm) long, 6d coated nails 6 in. (152 mm) o.c. at vertical joints and 12 in. (305 mm) o.c. at intermediate studs with vertical joints staggered and horizontal joints backed by wood blocking. 3/8 in. (15.9 mm) Fire-Shield Gypsum Board applied vertically or horizontally and fastened to studs through wood structural panels with 2-3/8 in. (60.3 mm) long, 8d coated nails 7 in. (178 mm) o.c. 3-1/2 in. (88.9 mm) foil-faced glass fiber insulation friction fit between studs.

I - HR FIRE WALL DETAIL

Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water; mechanical permit work; or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 – Part 5: Definitions)

- Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- Trash and construction-related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

MANDATORY REQUIREMENTS CHECKLIST
NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS
(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

| ITEM # | CODE SECTION | REQUIREMENTS | REFERENCE SHEET (Sheet # or N/A) | COMMENTS (e.g. note #, detail # or reason for N/A) |
|--|--------------|--|----------------------------------|--|
| PLANNING AND DESIGN | | | | |
| 1 | 4.106.2 | Storm water drainage and retention during construction | G-1 | GRN-1 |
| 2 | 4.106.3 | Grading and paving | C-1 | SITE PLAN |
| 3 | 4.106.4 | Electric vehicle (EV) charging | | |
| 4 | 4.106.5 | Cool roof for reduction of heat island effect | (A-5) | |
| 5 | 4.106.7 | Reduction of heat island effect for non-roof areas | G-2 | GRN 14 NOTE 5 GRN 16 |
| ENERGY EFFICIENCY | | | | |
| 6 | 4.211.4 | Solar ready buildings | | |
| WATER EFFICIENCY & CONSERVATION | | | | |
| 7 | 4.303.1 | Water conserving plumbing fixtures and fittings | G-2 | GRN 14 NOTE 5 GRN 16 |
| 8 | 4.303.1.3.2 | Multiple showerheads serving one shower | G-2 | GRN 14 NOTE 6 GRN 16 |
| 9 | 4.303.3 | Water submeters | | |
| 10 | 4.303.4 | Water use reduction | N/A | |
| 11 | 4.304.1 | Outdoor water use in landscape areas | N/A | |
| 12 | 4.304.2 | Irrigation controllers | | |
| 13 | 4.304.3 | Metering outdoor water use | N/A | EXISTING |
| 14 | 4.304.4 | Exterior faucets | N/A | EXISTING |
| 15 | 4.304.5 | Swimming pool covers | N/A | NO POOL |
| 16 | 4.305.1 | Graywater ready | N/A | |
| 17 | 4.305.2 | Recycled water supply to fixtures | | |
| 18 | 4.305.3.1 | Cooling towers (buildings ≤ 25 stories) | N/A | NO COOLING TOWER |
| 19 | 4.305.3.2 | Cooling towers (buildings > 25 stories) | N/A | NO COOLING TOWER |
| 20 | 4.305.4 | Groundwater discharge | | |
| MATERIAL CONSERVATION & RESOURCE EFFICIENCY | | | | |
| 21 | 4.406.1 | Rodent proofing | G-2 | GRN 14 NOTE 10 |
| 22 | 4.407.3 | Flashing details | G-3 | |

| ITEM # | CODE SECTION | REQUIREMENTS | REFERENCE SHEET (Sheet # or N/A) | COMMENTS (e.g. note #, detail # or reason for N/A) |
|------------------------------|--------------|--|----------------------------------|--|
| 23 | 4.407.4 | Material protection | N/A | |
| 24 | 4.408.1 | Construction waste reduction | G-2 | GRN 14 NOTE 11 |
| 25 | 4.410.1 | Operation and maintenance manual | G-2 | GRN 14 NOTE 12 |
| ENVIRONMENTAL QUALITY | | | | |
| 26 | 4.503.1 | Fireplaces and woodstoves | N/A | NO FIREPLACE |
| 27 | 4.504.1 | Covering of duct openings and protection of mechanical equipment during construction | G-2 | GRN 14 NOTE 14 |
| 28 | 4.504.2 | Finish material pollutant control | | |
| 29 | 4.504.2.1 | Adhesives, sealants, caulks | G-2 | GRN 14 NOTE 15 |
| 30 | 4.504.2.2 | Paints and coatings | | |
| 31 | 4.504.2.3 | Aerosol paints and coatings | | |
| 32 | 4.504.2.4 | Verification | G-2 | GRN 14 NOTE 16 |
| 33 | 4.504.3 | Carpet systems | G-2 | GRN 14 NOTE 17 |
| 34 | 4.504.3.1 | Carpet cushion | G-2 | GRN 14 NOTE 17 |
| 35 | 4.504.4 | Resilient flooring systems | G-2 | GRN 14 NOTE 18 |
| 36 | 4.504.5 | Composite wood products | G-2 | GRN 14 NOTE 19 |
| 37 | 4.504.6 | Filters | G-2 | GRN 14 NOTE 20 |
| 38 | 4.505.2.1 | Capillary break | N/A | |
| 39 | 4.505.3 | Moisture content of building materials | G-2 | GRN 14 NOTE 23 |
| 40 | 4.506.1 | Bathroom exhaust fans | A-3 | PROPOSED FL-PL |
| 41 | 4.507.2 | Heating and air-conditioning system design | G-2 | GRN 14 NOTE 26 |

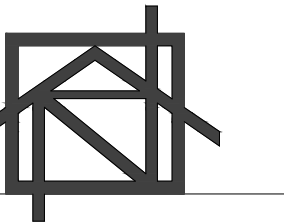
MANDATORY REQUIREMENTS CHECKLIST
ADDITIONS AND ALTERATIONS TO RESIDENTIAL BUILDINGS
(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

| ITEM # | CODE SECTION | REQUIREMENT | REFERENCE SHEET (Sheet # or N/A) | COMMENTS (e.g. note #, detail # or reason for N/A) |
|--|--------------|--|----------------------------------|--|
| PLANNING AND DESIGN | | | | |
| 1 | 4.106.2 | Storm water drainage and retention during construction | G-1 | GRN-1 |
| 2 | 4.106.3 | Grading and paving | C-1 | SITE PLAN |
| 3 | 4.106.5 | Cool roof (Additions ≥ 500 sq. ft. or ≥ 50%) | N/A | |
| ENERGY EFFICIENCY | | | | |
| 4 | 4.211.4 | Solar ready (Additions ≥ 2,000 sq. ft.) | N/A | |
| WATER EFFICIENCY & CONSERVATION | | | | |
| 5 | 4.303.1 | Water conserving plumbing fixtures and fittings | G-2 | GRN 14 NOTE 5 GRN 16 |
| 6 | 4.303.1.3.2 | Multiple showerheads serving one shower | G-2 | GRN 14 NOTE 6 GRN 16 |
| 7 | 4.303.4 | Water use reduction | N/A | |
| 8 | 4.304.1 | Outdoor water use in landscape areas | N/A | |
| 9 | 4.304.2 | Irrigation controllers | | |
| 10 | 4.304.3 | Metering outdoor water use | N/A | EXISTING |
| 11 | 4.304.4 | Exterior faucets | N/A | EXISTING |
| 12 | 4.304.5 | Swimming pool covers | N/A | NO POOL |
| 13 | 4.305.1 | Graywater ready | N/A | |
| 14 | 4.305.2 | Recycled water supply to fixtures | N/A | |
| 15 | 4.305.3.1 | Cooling towers (buildings ≤ 25 stories) | N/A | NO COOLING TOWER |
| 16 | 4.305.3.2 | Cooling towers (buildings > 25 stories) | N/A | NO COOLING TOWER |
| MATERIAL CONSERVATION & RESOURCE EFFICIENCY | | | | |
| 17 | 4.406.1 | Rodent proofing | G-2 | GRN 14 NOTE 10 |
| 18 | 4.407.3 | Flashing details | G-3 | |
| 19 | 4.407.4 | Material protection | N/A | |
| 20 | 4.408.1 | Construction waste reduction | G-2 | GRN 14 NOTE 11 |
| 21 | 4.410.1 | Operation and maintenance manual | G-2 | GRN 14 NOTE 12 |
| ENVIRONMENTAL QUALITY | | | | |
| 22 | 4.503.1 | Fireplaces and woodstoves | N/A | NO FIRE PLACE |

| ITEM # | CODE SECTION | REQUIREMENT | REFERENCE SHEET (Sheet # or N/A) | COMMENTS (e.g. note #, detail # or reason for N/A) |
|--------|--------------|--|----------------------------------|--|
| 23 | 4.504.1 | Covering of duct openings and protection of mechanical equipment during construction | G-2 | GRN 14 NOTE 14 |
| 24 | 4.504.2 | Finish material pollutant control | | |
| 25 | 4.504.2.1 | Adhesives, sealants, caulks | G-2 | GRN 14 NOTE 15 |
| 26 | 4.504.2.2 | Paints and coatings | | |
| 27 | 4.504.2.3 | Aerosol paints and coatings | | |
| 28 | 4.504.2.4 | Verification | G-2 | GRN 14 NOTE 16 |
| 29 | 4.504.3 | Carpet systems | G-2 | GRN 14 NOTE 17 |
| 30 | 4.504.3.1 | Carpet cushion | G-2 | GRN 14 NOTE 17 |
| 31 | 4.504.4 | Resilient flooring systems | G-2 | GRN 14 NOTE 18 |
| 32 | 4.504.5 | Composite wood products | G-2 | GRN 14 NOTE 19 |
| 33 | 4.504.6 | Filters | G-2 | GRN 14 NOTE 20 |
| 34 | 4.505.2.1 | Capillary break | N/A | |
| 35 | 4.505.3 | Moisture content of building materials | G-2 | GRN 14 NOTE 23 |
| 36 | 4.506.1 | Bathroom exhaust fans | A-3 | PROPOSED FL-PL |
| 37 | 4.507.2 | Heating and air-conditioning system design | G-2 | GRN 14 NOTE 26 |

| VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS 2.3 | | FORMALDEHYDE LIMITS ¹ | |
|---|---|---|---|
| COATING CATEGORY 2.3 | CURRENT VOC LIMIT (Grams of VOC per Liter of Coating) | PRODUCT | CURRENT VOC LIMIT (Micrograms of Formaldehyde per Liter of Coating) |
| Flat coatings | 50 | Hardwood plywood veneer core | 0.05 |
| Nonflat coatings | 50 | Hardwood plywood composite core | 0.05 |
| Nonflat-high gloss coatings | 50 | Particleboard | 0.09 |
| Specialty coatings | 50 | Medium density fiberboard | 0.11 |
| Aluminum roof coatings | 100 | Thin medium density fiberboard ² | 0.13 |
| Basement specialty coatings | 400 | | |
| Bituminous roof coatings | 50 | | |
| Bituminous roof primers | 350 | | |
| Bond breakers | 350 | | |
| Concrete curing compounds | 100 | | |
| Concrete curing compounds, Roadways & Bridges | 350 | | |
| Concrete/masonry sealers | 100 | | |
| Driveway sealers | 50 | | |
| Dry fog coatings | 50 | | |
| Faux finishing coatings | 100 | | |
| Clear Top Coat | 350 | | |
| Decorative Coatings | 350 | | |
| Glazes | 350 | | |
| Japan | 350 | | |
| Trowel Applied Coatings | 50 | | |
| Fire resistive coatings | 150 | | |
| Floor coatings | 50 | | |
| Form-release compounds | 100 | | |
| Graphic arts coatings (sign paints) | 200 | | |
| High temperature coatings | 420 | | |
| Industrial maintenance coatings | 100 | | |
| Low solids coatings ¹ | 120 | | |
| Magnesium cement coatings | 450 | | |
| Mastic texture coatings | 100 | | |
| Metallic pigmented coatings | 150 | | |
| Multicolor coatings | 250 | | |
| Pretreatment wash primers | 420 | | |
| Primers, sealers, and undercoaters | 100 | | |
| Reactive penetrating sealers | 350 | | |
| Recycled coatings | 250 | | |
| Roof coatings | 50 | | |
| Roof coatings, aluminum | 100 | | |
| Rust preventative coatings | 100 | | |
| Shellacs | 730 | | |
| Clear | 500 | | |
| Opaque | 500 | | |
| Specialty primers, sealers and undercoaters | 100 | | |
| Stains | 100 | | |
| Stains, Interior | 250 | | |
| Stone consolidants | 450 | | |
| Swimming pool coatings | 340 | | |
| Traffic marking coatings | 100 | | |
| Tub and tile refinishing coatings | 420 | | |
| Waterproofing membranes | 100 | | |
| Wood coatings | 275 | | |
| Wood preservatives | 350 | | |
| Zinc-rich primers | 100 | | |

¹ Grams of VOC per liter of coating, including water and mixing exempt compounds.
² The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
³ Some values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 5, 2016. More information is available from the Air Resources Board.



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

NUBIRDS PROPERTIES LLC. PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043

SHEET TITLE

GREEN - 1

REVISIONS

NO. DATE BY

SCALE

N/A

DESIGN & DRAWN

RAMEEL NISSAN

DATE

SHEET NO.

G-1

GREEN BUILDING CODE PLAN CHECK NOTES
RESIDENTIAL BUILDINGS

- For each new dwelling and townhouse, provide a listed recessy that can accommodate a dedicated 200/240 volt branch circuit. The recessy shall not be less than trade size 1 (nominal 1 inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The recessy termination location shall be permanently and visibly marked as "EV CAPABLE". (4.106.4.1)
- For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated ampereage of the Electric Vehicle Supply Equipment (EVSE). Design shall be based upon a 40-ampere minimum branch circuit. The recessy shall not be less than trade size 1 (nominal 1 inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the Los Angeles Electrical Code. (4.106.4.2)
- Residential Buildings 1-3 stories in height with roof slope < 2:12 shall have a 3-year aged SRI value of at least 78 or both a 3-year aged solar reflectance of at least 0.65 and a thermal emittance of at least 0.85. Roofs with slopes ≥ 2:12 shall have an aged SRI value of at least 20 or both a 3-year solar reflectance of at least 0.25 and a thermal emittance of at least 0.75. (4.106.5)
- Residential Buildings 4+ stories in height with roof slope < 2:12 shall have a 3-year aged SRI value of at least 78 or both a 3-year aged solar reflectance of at least 0.65 and a thermal emittance of at least 0.75. Roofs with slopes ≥ 2:12 shall have an aged SRI value of at least 20 or both a 3-year solar reflectance of at least 0.25 and a thermal emittance of at least 0.75. (4.106.5)
- The required hardscape used to reduce heat island effects shall have a solar reflectance value of at least 0.30 as determined per ASTM E1918 or ASTM C1549. (4.106.7)
- The flow rates for all plumbing fixtures shall comply with the maximum flow rates in Section 4.303.1. (4.303.1)
- When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one showerhead to be in operation at a time. (4.303.1.3.2)
- Installed automatic irrigation system controllers shall be weather- or soil-based controllers. (MWEL0, § 492.7)
- For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881)
- Annular spaces around pipes, electric cables, conduits, or other openings in the building's envelope at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or metal plates. Piping prone to corrosion shall be protected in accordance with Section 313.0 of the Los Angeles Plumbing Code. (4.406.1)
- Materials delivered to the construction site shall be protected from rain or other sources of moisture. (4.407.4)
- Only a City of Los Angeles permitted hauler will be used for hauling of construction waste. (4.408.1)
- For all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in the building at the time of final inspection. (4.410.1)
- All new gas fireplaces must be direct-vent, sealed combustion type. Wood burning fireplaces are prohibited per AQMD Rule 445. (4.503.1, AQMD Rule 445)
- All duct and other related air distribution component openings shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and ventilating equipment. (4.504.1)
- Paints and coatings, adhesives, caulks and sealants shall comply with the Volatile Organic Compound (VOC) limits listed in Tables 4.504.1-4.504.3.
- The VOC Content Verification Checklist, Form GRN 2, shall be completed and verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the field inspector for verification. (4.504.2.4)
- All new carpet and carpet cushions installed in the building interior shall meet the testing and product requirements of one of the following (4.504.3):
 - Carpet and Rug Institute's Green Label Plus Program
 - California Department of Public Health's Specification 01350
 - NSF/ANSI 140 at the Gold level
 - Scientific Certifications Systems Indoor Advantage™ Gold
- 80% of the total area receiving resilient flooring shall comply with one or more of the following (4.504.4):
 - VOC emission limits defined in the CHPS High Performance Products Database
 - Certified under UL GREENGUARD Gold
 - Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program
 - Meet the California Department of Public Health's Specification 01350
- New hardwood plywood, particle board, and medium density fiberboard composite wood products used in the building shall meet the formaldehyde limits listed in Table 4.504.5. (4.504.5)
- The Formaldehyde Emissions Verification Checklist, Form GRN 3, shall be completed prior to final inspection approval. (4.504.5)
- Mechanically ventilated buildings shall provide regularly occupied areas of the building with a MERV 13 filter for outside and return air. Filters shall be installed prior to occupancy and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. (4.504.6)
- A 4-inch thick base of ½ inch or larger clean aggregate shall be provided for proposed slab on grade construction. A vapor barrier shall be provided in direct contact with concrete for proposed slab on grade construction. (4.505.2.1)
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed until it is inspected and found to be satisfactory. (4.505.3)
- Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building. Fans must be controlled by a humidistat which shall be readily accessible. Provide the manufacturer's cut sheet for verification. (4.506.1)
- A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(b) through 110.10(c) shall be provided to the occupant.* (Energy Code § 110.10(d))
- The heating and air-conditioning systems shall be sized and designed using ANSI/ACCA Manual J-2004, ANSI/ACCA 29-D-2009 or ASHRAE handbooks and have their equipment selected in accordance with ANSI/ACCA 36-S-Manual S-2004. (4.507.2)

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

PLUMBING FIXTURE FLOW RATES

Residential Occupancies
2023 Los Angeles Green Building Code
(Incorporate this form into the plans)

FORM
GRN 16SECTION 4.303.1
WATER REDUCTION FIXTURE FLOW RATES

| FIXTURE TYPE | MAXIMUM ALLOWABLE FLOW RATE |
|----------------------------------|---------------------------------|
| Showerheads | 1.8 gpm @ 80 psi |
| Lavatory faucets, residential | 1.2 gpm @ 60 psi ^{1,3} |
| Lavatory faucets, nonresidential | 0.4 gpm @ 60 psi ^{1,3} |
| Kitchen faucets | 1.5 gpm @ 60 psi ^{2,4} |
| Metering Faucets | 0.2 gallons/cycle |
| Gravity tank type water closets | 1.28 gallons/flush ⁵ |
| Flushometer tank water closets | 1.28 gallons/flush ⁵ |
| Flushometer valve water closets | 1.28 gallons/flush ⁵ |
| Urinals | 0.125 gallons/flush |
| Clothes Washers | ENERGY-STAR certified |
| Dishwashers | ENERGY-STAR certified |

- Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.
- Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2gpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.
- Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.
- Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout.
 - Includes single and dual flush water closets with an effective flush of 1.28 gallons or less.
 - Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.233.2.
 - Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME A112.19.14.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

2023 Los Angeles Green Building Code GRN 18R
WATER CONSERVATION NOTES - ORDINANCE #184248
RESIDENTIAL BUILDINGS

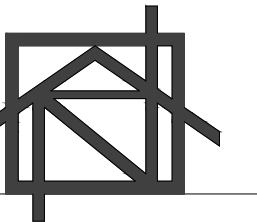
FORM

PLUMBING SYSTEM

- Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual dwelling unit. (4.303.3)
- Water use reduction shall be met by complying with one of the following:
 - Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as established in Table 4.303.4.1, shall be provided; or
 - New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or
 - Plumbing fixtures shall use recycled water. Exception: Fixture replacements (4.303.4)
- New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)
- Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. (4.304.3)
- In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose bibs. (4.304.4)
- Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. (4.304.5)
- Except as provided in this section, for sites with over 500 square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system. (4.305.1)
- Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)
- In new buildings of 25 stories or less, the cooling towers shall comply with one of the following:
 - Shall have a minimum of 6 cycles of concentration (blowdown); or
 - A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.1)
- In new buildings over 25 stories, the cooling towers shall comply with all of the following:
 - Shall have a minimum of 6 cycles of concentration (blowdown); and
 - 100% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.2)
- Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be discharged to the sewer. (4.305.4)
- Provide a hot water system complying with one of the following (Los Angeles Plumbing Code Section 610.4.1):
 - The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives.
 - Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall contain a maximum of 0.6 gallons.
 - Residential units having individual water heaters shall have a compact hot water system that meets all of the following:
 - The hot water supply piping from the water heater to the fixtures shall take the most direct path.
 - The total developed length of pipe from the water heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California Energy Code Residential Appendix.
 - The hot water supply piping shall be installed and insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix.
- A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWEL0) is required for new landscape areas of 500 sq. ft. or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity. (4.304.1)

IRRIGATION SYSTEM

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

ADU
PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

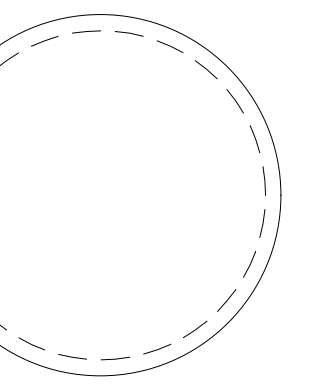
NUBIRDS
PROPERTIES
LLC.

PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043



SHEET TITLE

GREEN - 2

REVISIONS

NO. DATE BY

SCALE

N/A

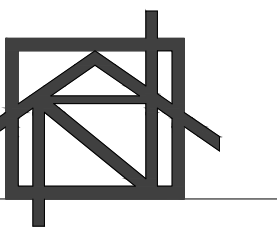
DESIGN & DRAWN

RAMEEL NISSAN

DATE

SHEET NO.

G-2



ADU PROJECT

DESIGN & DRAWN:
RAMEEL NISSAN

NOTICE

THE DESIGNS SHOWN AND DESCRIBED HEREIN, INCLUDING ALL TECHNICAL DRAWINGS, GRAPHICS AND MODELS THEREOF, ARE PROPRIETARY AND SHALL NOT BE COPIED, DUPLICATED, REUSED OR COMMERCIALY EXPLOITED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF RAMEEL NISSAN. ALL THESE DOCUMENTS HAVE BEEN PREPARED TO DESCRIBE NEW WORK ONLY AND DO NOT REPRESENT AS-BUILT OR ACCURATE EXISTING CONDITIONS. THE DESIGNER DOES NOT WARRANT IN ANYWAY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN THIS DOCUMENT AND EXISTING CONDITIONS. THESE PLANS ARE THE SOLE PROPERTY OF THE ARCHITECT AND ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION AS INSTRUMENTS OF SERVICE BY THE CLIENT, CONSULTANTS, CONTRACTORS, GOVERNING AGENCIES, VENDORS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THIS NOTICE. DO NOT SCALE OFF THESE DRAWINGS. ALL RIGHTS RESERVED. COPYRIGHT, RAMEEL NISSAN.

OWNER

NUBIRDS PROPERTIES LLC. PROJECT

ADU PROJECT

ADDRESS

5960 S 8TH AVE
UNITS (A & B)
LOS ANGELES, CA
90043

SHEET TITLE

FLASHING

REVISIONS

NO. DATE BY

SCALE

N/A

DESIGN & DRAWN

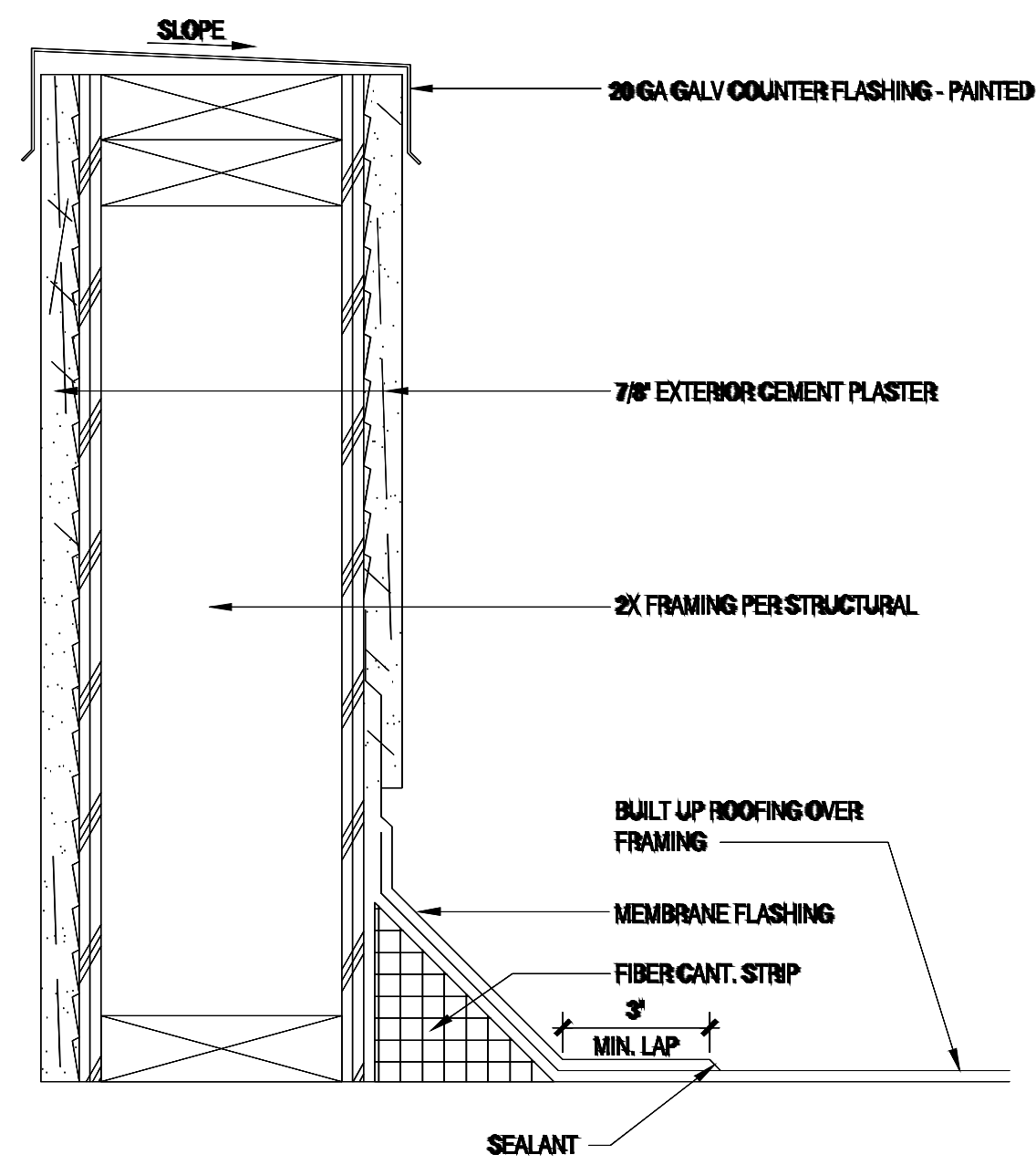
RAMEEL NISSAN

DATE

SHEET NO.

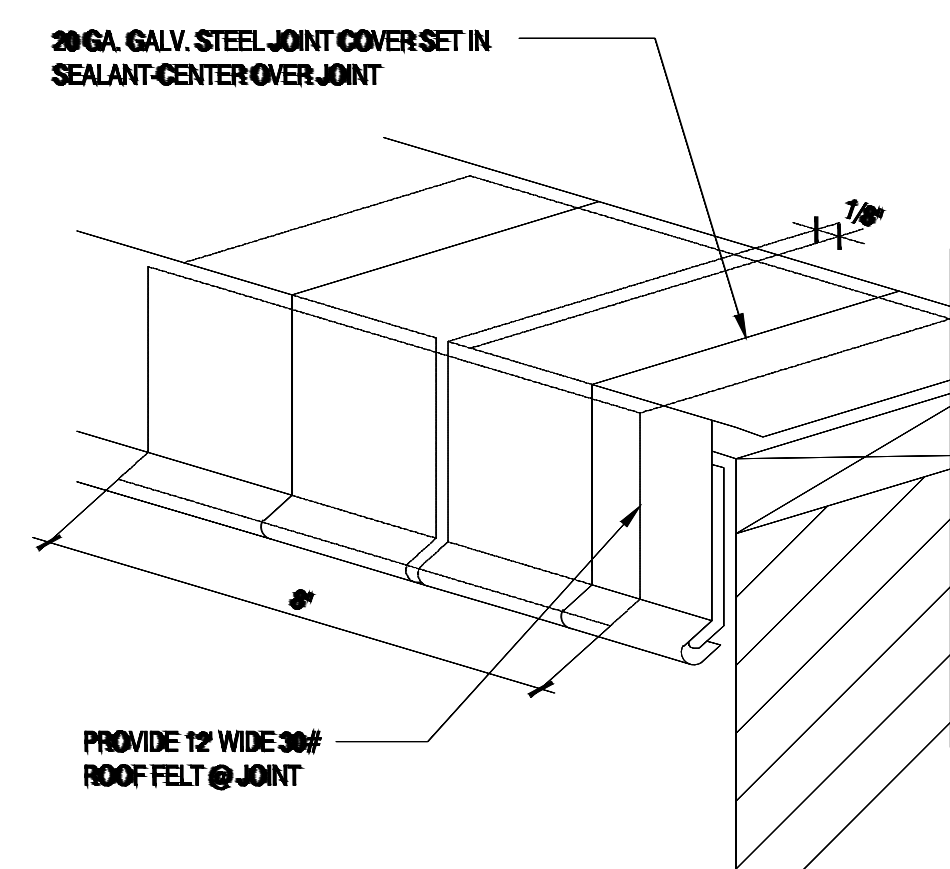
G-3

PARAPET @ WOOD STUD FLASHING



3

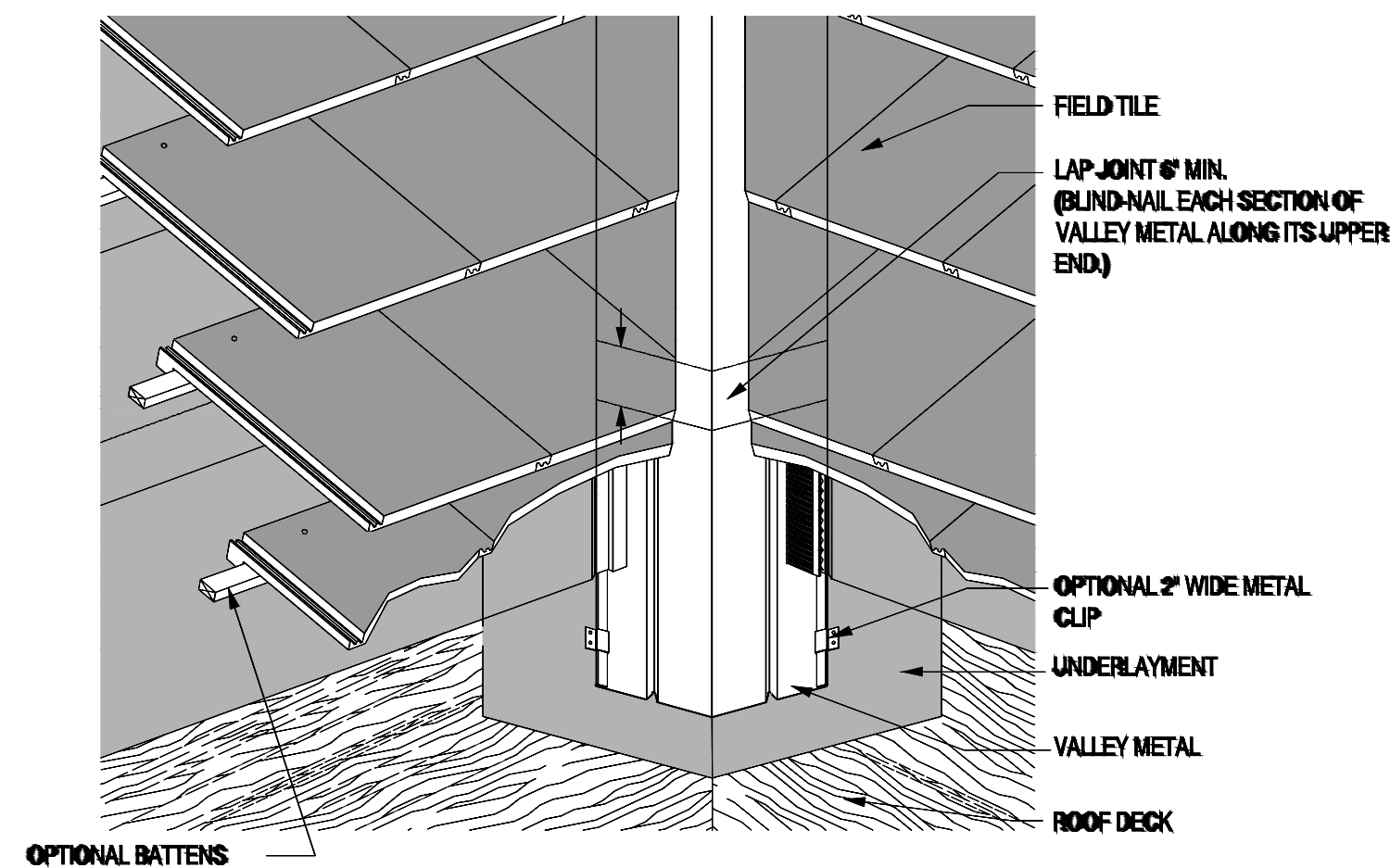
COPING CAP SEAL DETAIL



4

OPEN VALLEY - TILE INSTALLED WITH GAP AT VALLEY METAL

NOTE: VALLEY METALS ARE AVAILABLE IN MANY PROFILES. THIS DRAWING SHOWS A GENERIC METAL FOR ILLUSTRATION PURPOSES.



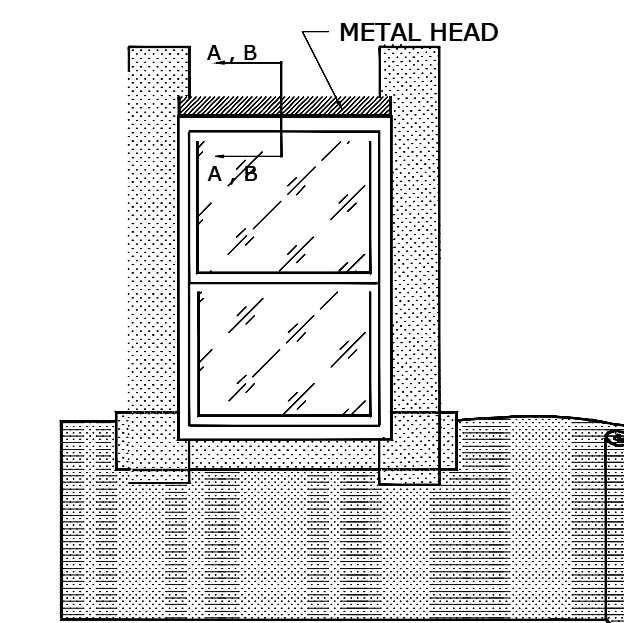
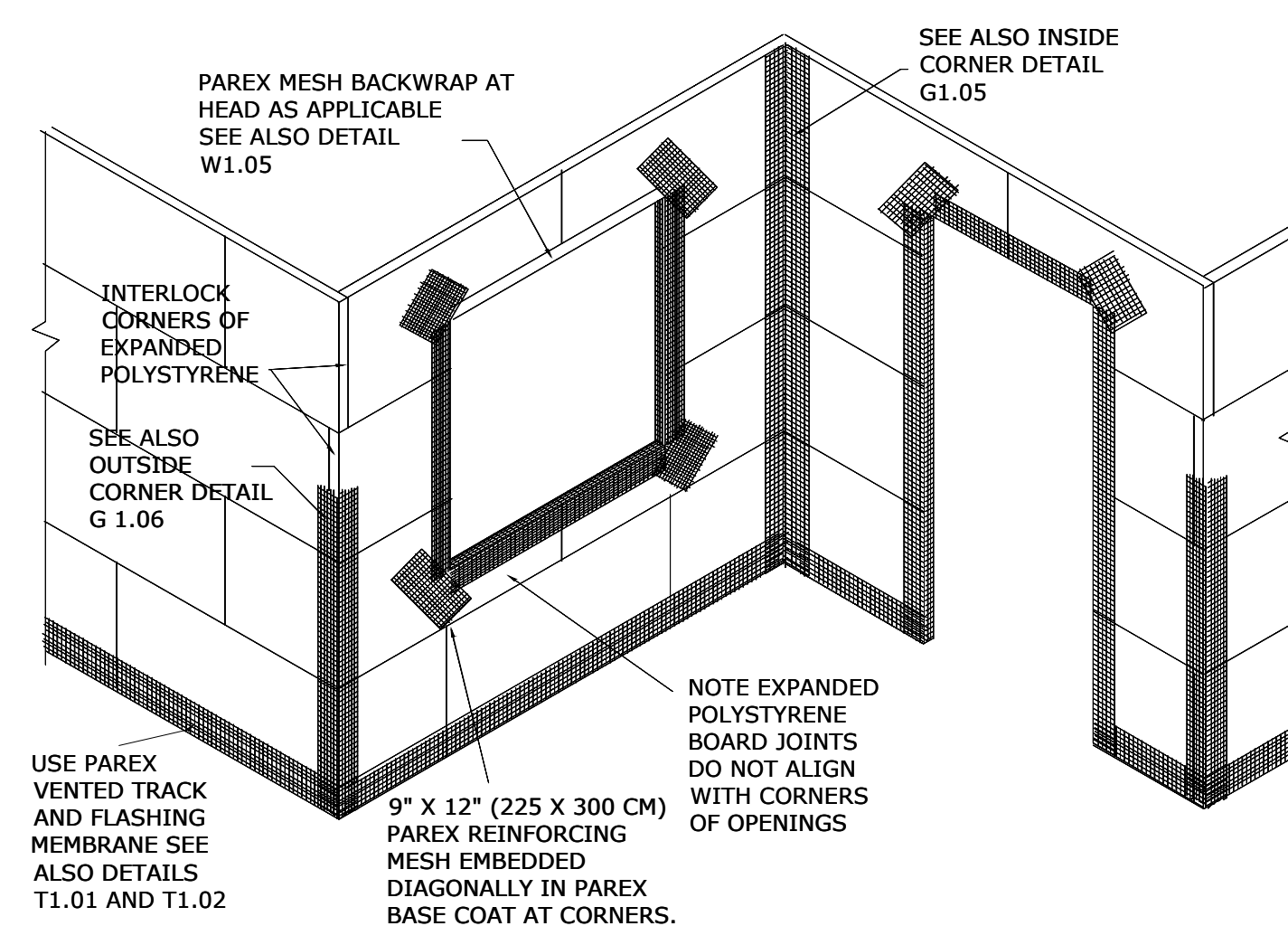
Note: Tile valleys may be cut closed or open. Valley metals shall conform to IRC section 1507.3.9, IRC R905.3.8 and UBC section 1508.4. When flat profiled tile is installed as "closed valley" a ribbed valley metal or a single crown valley metal with a battan extension shall be used.

Notes:

- One layer of No. 30 asphalt-saturated felt complying with ASTM D-226 Type II (ASTM D4889 Type IV) or approved equal as a minimum underlayment on all tile roof applications. Other underlayments as approved by local building officials will be allowed.
- Cut tile pieces should be secured by one or a combination of the following: (a) code approved adhesive; (b) wire ties; (c) battan extender; (d) cut tile clip or (e) other code approved fastening device.
- Metal valley flashing is required to be a minimum of No. 26 gauge G-90 galvanized steel, 16 oz. copper or an equivalent large size non-corrosive metal. Valley flashing metal will comply with IRC section 1507.3.9, IRC section R905.3.8 and UBC section 1508.4.
- Other valley metal profiles are available. See IBC-129.
- For tile fastening schedule(s) see Fastening Table 1A and 1B.
- Battens for tiles with protruding anchor legs are optional for slopes between 3:12 and 7:12. Direct deck attachment of tile is permissible, verify with local building code.
- Dimensions shown are minimums and are intended to be approximate to allow for reasonable tolerances due to field conditions.
- Valley metal design must be able to control and discharge expected water flows.

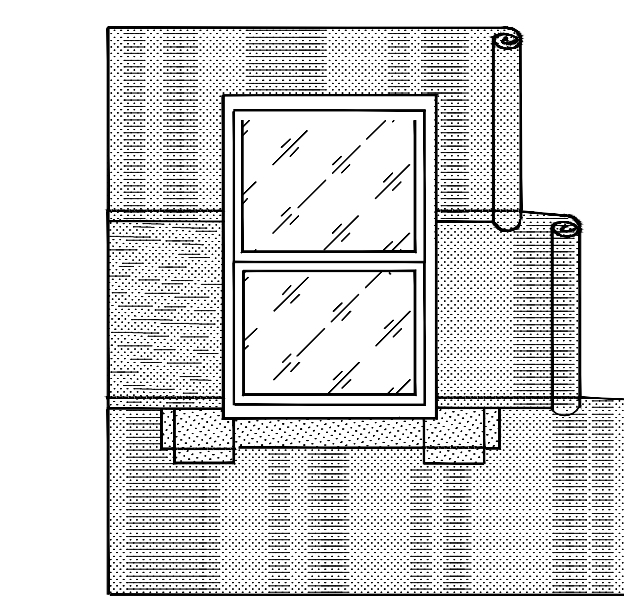
2

PRELIMINARY MESH APPLICATION



INSTALL ROLLS OF STUCCOWRAP HORIZONTALLY IN A SHINGLE FASHION. EACH SUCCEEDING COURSE SHOULD OVERLAP THE PREVIOUS COURSE BY 2" (50 MM) MIN.

NOTE: THE STRIPS OF STUCCOWRAP PREVIOUSLY INSTALLED AT THE SILL OVERLAPS THE HORIZONTALLY INSTALLED ROLLED STUCCOWRAP BELOW THE SILL FOR POSITIVE DRAINAGE.



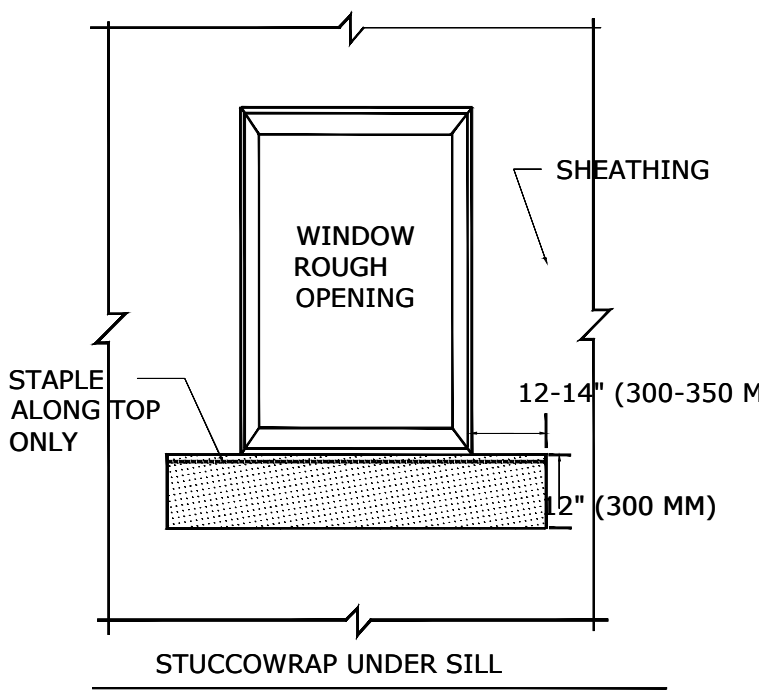
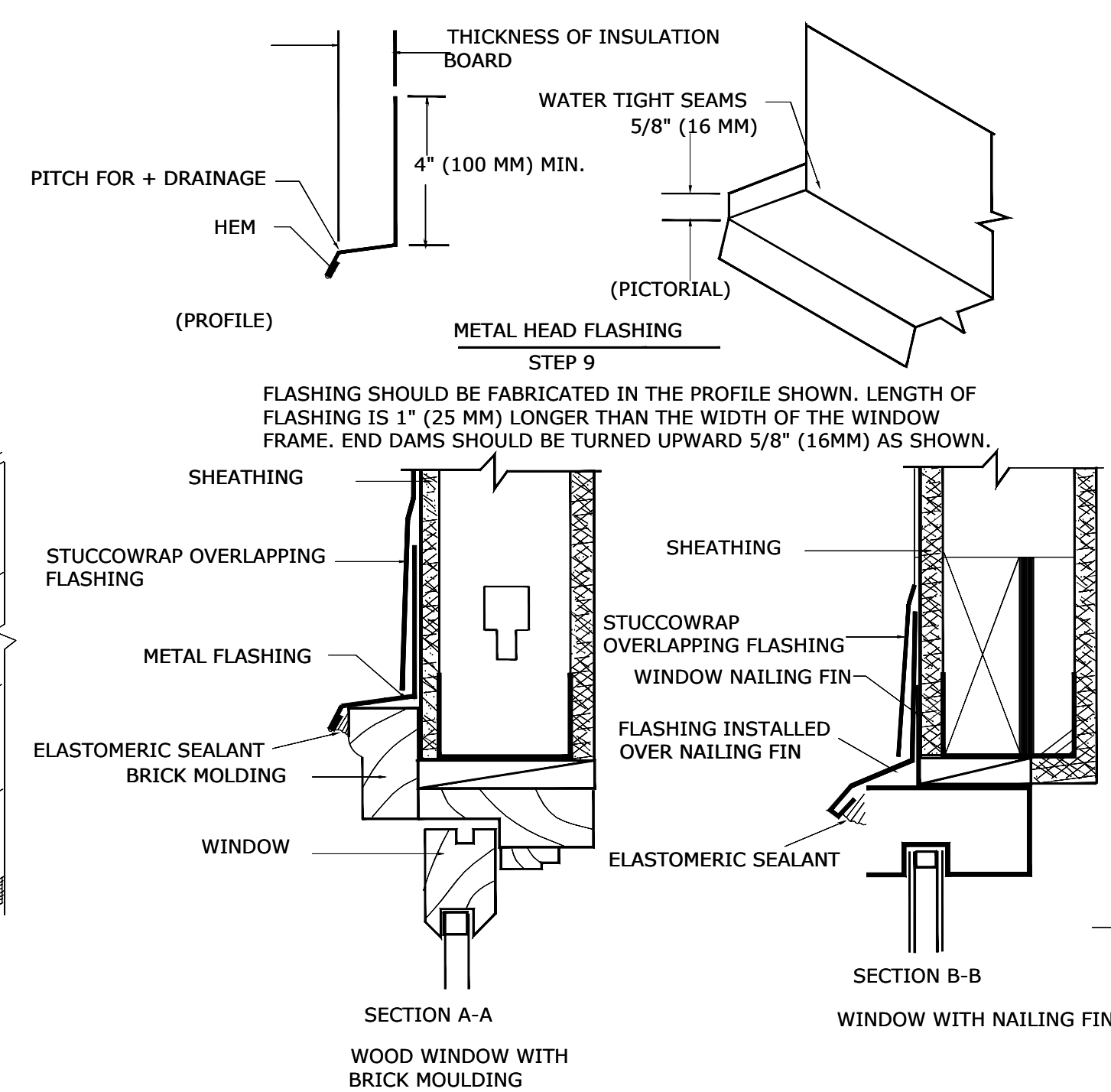
CONTINUE TO LAP EACH SUCCEEDING COURSE AS ILLUSTRATED FOR POSITIVE DRAINAGE.

WHERE VERTICAL SPLICES OCCUR, LAP THE STUCCOWRAP A MINIMUM OF 6" (150 MM). VERTICAL SPLICES IN THE BUILDING PAPER SHOULD NOT OCCUR WITHIN 2 FEET (600 MM) OF THE WINDOW JAMBS.

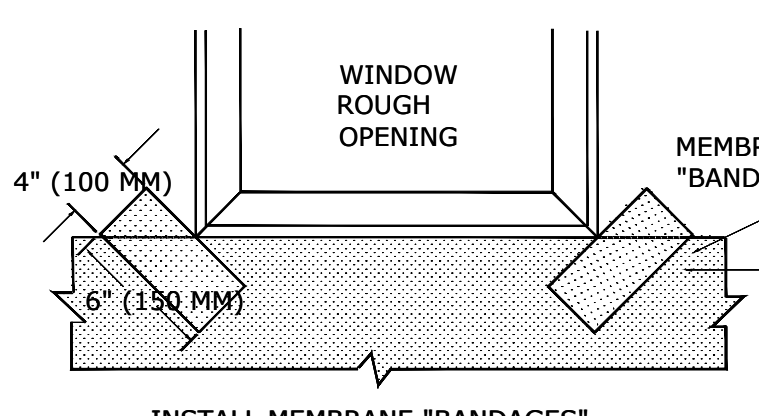
NOTE THAT THE SUCCEEDING COURSES LAP OVER THE REMAINDER OF THE STUCCOWRAP STRIPS AND THE METAL FLASHING AT THE HEAD.

INSTALLING FLASHING PROCEDURE

WINDOW FLASHING PROCEDURE

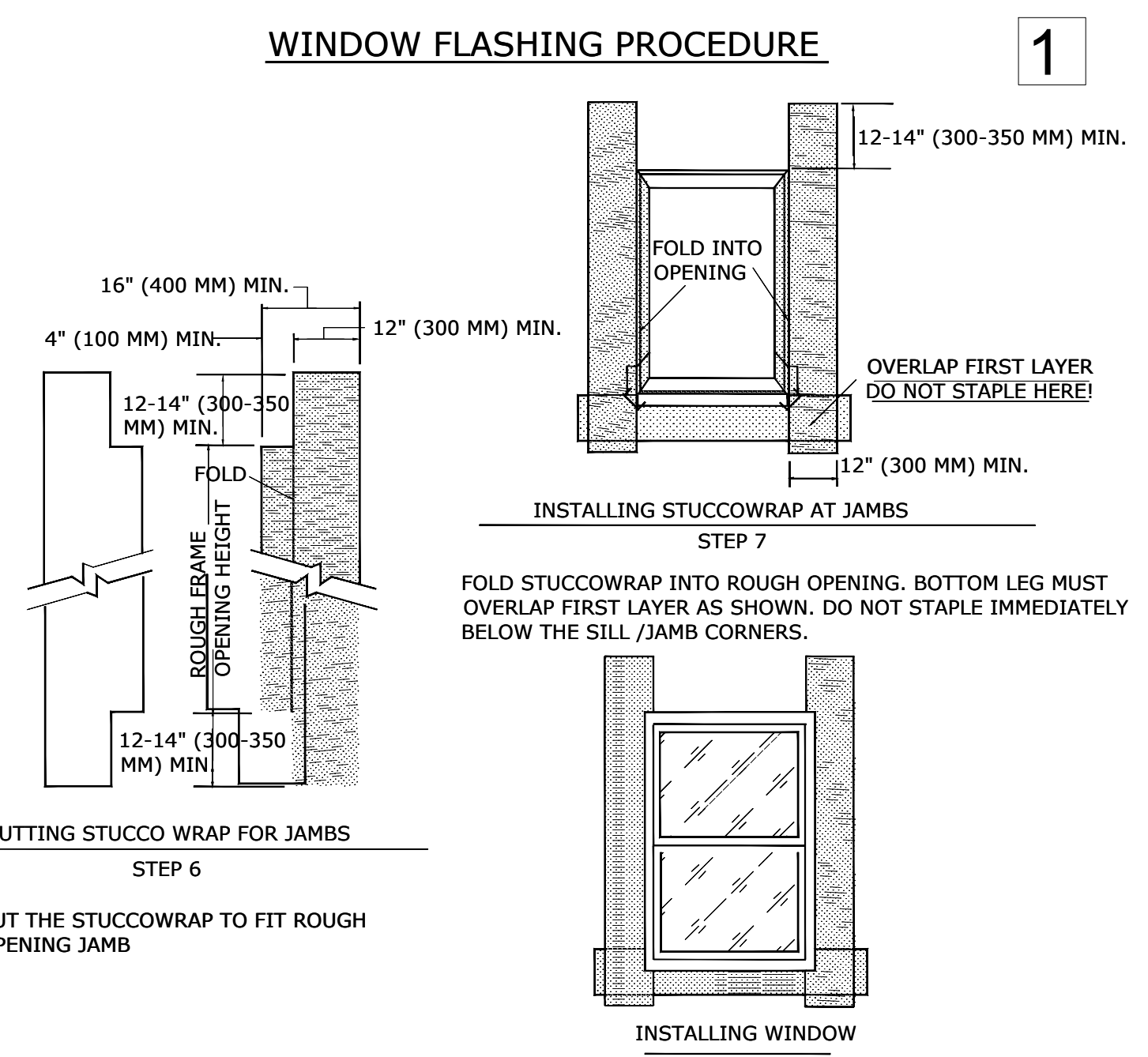


CUT STUCCOWRAP APPROXIMATE SIZE SHOWN AND STAPLE INTO PLACE AT BOTTOM OF THE ROUGH OPENING. IMPORTANT! STUCCOWRAP SHOULD ONLY BE STAPLED ALONG THE TOP EDGE.

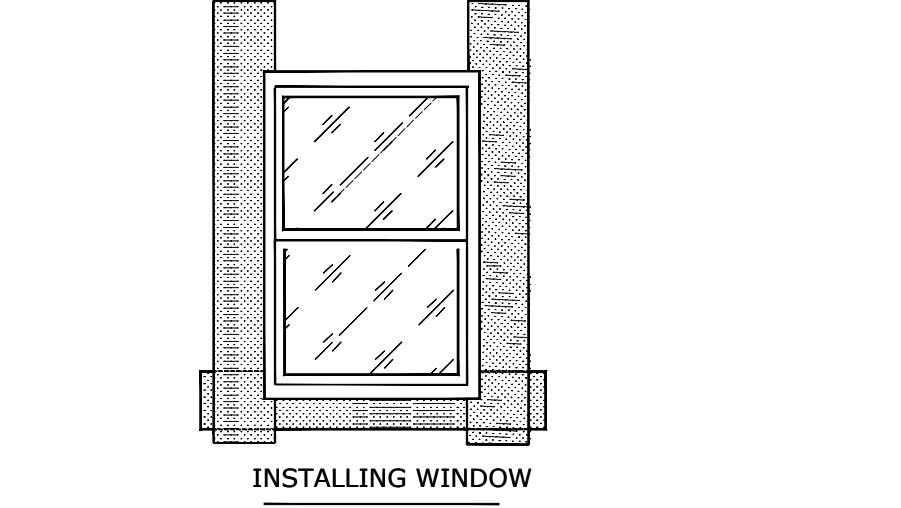


PEEL PROTECTIVE BACKER FROM MEMBRANE AND INSTALL DIAGONALLY AT SILL CORNERS AS SHOWN. SHEATHING OR STUCCOWRAP SHOULD NOT BE VISIBLE AT THE CORNERS OF THE ROUGH OPENING.

WINDOW FLASHING PROCEDURE

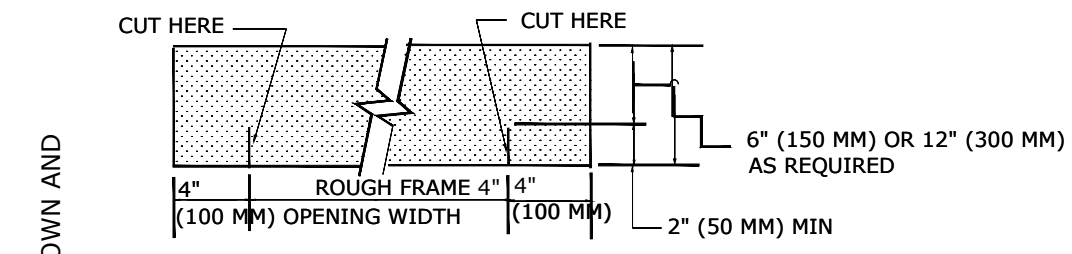


FOLD STUCCOWRAP INTO ROUGH OPENING. BOTTOM LEG MUST OVERLAP FIRST LAYER AS SHOWN. DO NOT STAPLE IMMEDIATELY BELOW THE SILL /JAMB CORNERS.



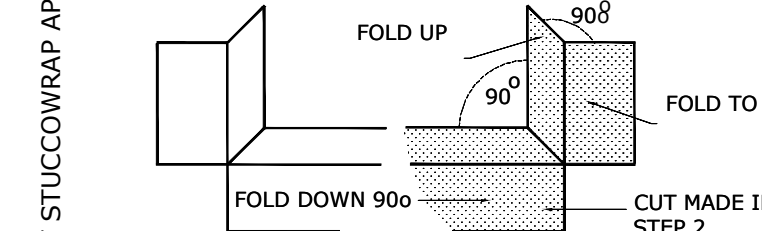
AFTER THE STRIPS OF STUCCOWRAP HAVE BEEN INSTALLED AT THE SILL AND JAMBS AS SHOWN, THE WINDOW CAN BE INSTALLED

1

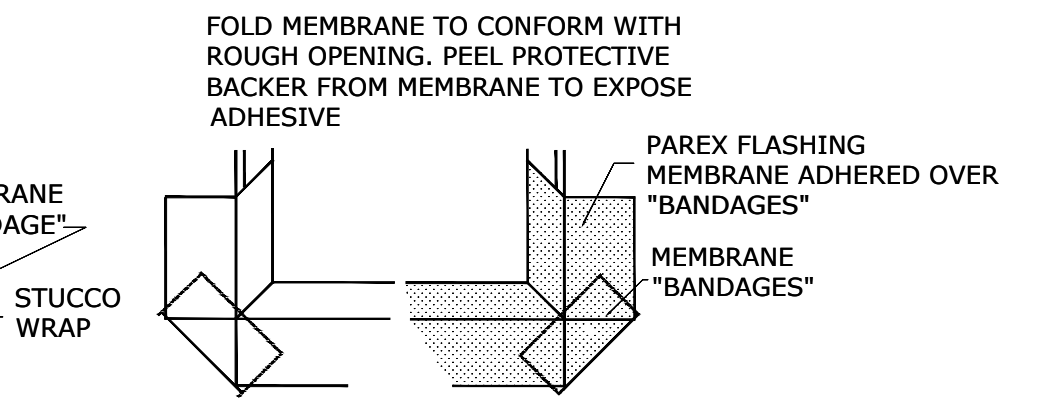


CUT A PIECE OF PAREX FLASHING MEMBRANE 8" (200 MM) LONGER THAN THE ROUGH OPENING WIDTH. MAKE 2 SMALL CUTS THROUGH THE MEMBRANE AS SHOWN.

NOTE: SELECT PAREX FLASHING MEMBRANE WIDTH 6" (150 MM) OR 12" (300 MM) AT LEAST 2" (50 MM) WIDER THAN THICKNESS OF SUBSTRATE WALL.



FOLD MEMBRANE TO CONFORM WITH ROUGH OPENING. PEEL PROTECTIVE BACKER FROM MEMBRANE TO EXPOSE ADHESIVE



INSTALL THE "SELF STICKING" PAREX FLASHING MEMBRANE AT THE ROUGH OPENING. MEMBRANE SHOULD LAP OVER THE PREVIOUSLY INSTALLED BANDAGES AND STUCCOWRAP.

CUT STUCCOWRAP APPROXIMATE SIZE SHOWN AND