

COMMERCIAL PLANS ON FILE		06 20 87	S 297421
Address: 3298 MONIER CIR. - BLDG. 1	Subdivision	Book 072, Block 0410, Parcel 018	Area
Owner: R. B. STEWARD & ASSOC.	Plumbing Contractor: SAME	Warehouse	mc 9-2-87
General Building Contractor: BENTON CONSTRUCTION	Heating Contractor	Electrical Contractor: SAME	
Forms Foundation	Ground Plumbing	Rough Partial	
Grids Floor Joists	Under Floor Ducts	Rough Complete	
Gravel	Top out Plumbing	Conduit Under Floor	
Frame	Top out Ducts & Flues	Conduit Complete	
Scrub	Combustion Air	Service Charge	
Blow	Gas Line Test	Final Serv. Tag	
Final	Water Service	Electrical Tag No.	
	Building Sewer	SMN	
	Sewer Conn. Tag	SMN	
	Gas Tag No.	SMN	
	Plumbing Final	SMN	
	Heating Final	SMN	

REMARKS: All plumbing work is in accordance with the plans and specifications. All work is to be done in accordance with the applicable codes and standards. The contractor is responsible for obtaining all necessary permits and licenses. The inspector's report of condition of sidewalks, curbs & gutters is attached to this permit.

APPLICANT: FILL IN (A) THROUGH (I) SEE REVERSE OF LAST SHEET FOR INSTRUCTIONS

REMIT TO: P.O. BOX 1587, SACRAMENTO, CA 95807

COUNTY OF SACRAMENTO

APPLICATION FOR PERMIT COMBINATION BUILDING INSPECTION DIVISION FOR INSPECTIONS TELEPHONE (916) 366-2081

PERMIT NO. S-297421 mc MASTER PLAN # 797

(B) THIS PERMIT INCLUDES:  BUILDING  ELECTRICAL  PLUMBING  MECHANICAL  COMMERCIAL  RESIDENTIAL

USE ZONE: M-2 FRONT ST. SIDE ST. SIDE INT. REAR UP/VA SPA/NPA

PUBLIC IMPROVEMENTS REQUIRED: YES NO  
STREET IMPROVEMENTS: X  
ENCROACHMENT PERMIT: X  
SITE PLAN: X  
OTHER: X

SIGNATURE/DATE: [Signature] 9/1/87

BOOK NO. 072 BLOCK NO. 0410 PARCEL NO. 018

TRACT: DM 42-11 LOT NO. 18

STREET NAME: MONIER ST. C/L TO PL. REC. SETBACK. COUNTY OR CITY: CO

CHECKED: [Signature] DATE: 9-1-87

OTHER: MAX 25% OFFICE

NO. OF STORIES: 1 NO. OF UNITS: 5

PROPOSED USE: WAREHOUSE

EXISTING USE: WAREHOUSE

NO. OF EXISTING STRUCTURES: 0

TYPE CONST.: VN OCCUP: B-2

TYPE RECD: VN CODE: 10

CASHIER USE ONLY: CHECKED BY: [Signature] DATE: 9-2-87

REPEAT PRINT 1  
TRAN 049555 09/02/87 \$5,016.00  
RECEIPT 064411 C#1

DEPT 01 BLDG PER C \$767.25  
TRAN 049555 09/02/87  
RECEIPT 064412 C#1 \$767.25

CONSTRUCTION VALUATION: 197,833.20

RECHECK: PLAN CHECK: MB, [Signature]

BUILDING PLAN CHECK: 478.90

ELECTRICAL: 70.75

PLUMBING MECHANICAL PARK: 150.00

DRAINAGE SEWER MICROFILM: 9016-468.00

(I) INDICATE ELECTRICAL, PLUMBING AND/OR MECHANICAL WORK TO BE PERFORMED ON BACK OF THE FIRST SHEET.

1. INSPECTOR:

COUNTY OF SACRAMENTO  
**NOTICE OF CORRECTIONS**  
 DEPARTMENT OF PUBLIC WORKS  
 BUILDING INSPECTION DIVISION

FIELD OFFICE  
 4101 Branch Center Rd. PERMIT No. 297421

Address 3298 Monica Cir Date 1/17/88

Contractor BUNTAIN Bldg 1

The inspector from the County Division of Building Inspection called to check the WATER SERVICE  
 Please note the following corrections to be made:

1. SILVER SINK READY ON JOINT LINER SHAB WATER SERVICE. THIS APPLIES TO ALL BLDGS.  
2. NOT READY FOR INSP.

PLEASE CALL FOR REINSPECTION. TELEPHONE 366-2081  
 REINSPECTION CAN BE MADE AT NEXT REGULAR INSPECTION.  
 PERMISSION IS GRANTED TO COVER WORK.

Thank you, Chief Building Inspector  
 By Heller

BID#155 REV. 6/83 White — PERMITTEE Yellow — SUPERVISOR Pink — FILE

COUNTY OF SACRAMENTO  
**NOTICE OF CORRECTIONS**  
 DEPARTMENT OF PUBLIC WORKS  
 BUILDING INSPECTION DIVISION

FIELD OFFICE  
 4101 Branch Center Rd. PERMIT No. 297421-22-24

Address 3306 Monica Date 9-17-87

Contractor \_\_\_\_\_

The inspector from the County Division of Building Inspection called to check the GRASS PLUMBING  
 Please note the following corrections to be made:

1. 12" of gravel required over MANHOLE piping

PLEASE CALL FOR REINSPECTION. TELEPHONE 366-2081  
 REINSPECTION CAN BE MADE AT NEXT REGULAR INSPECTION.  
 PERMISSION IS GRANTED TO COVER WORK.

Thank you, Chief Building Inspector  
 By Wagner

BID#155 REV. 6/83 White — PERMITTEE Yellow — SUPERVISOR Pink — FILE

COUNTY OF SACRAMENTO  
**NOTICE OF CORRECTIONS**  
 DEPARTMENT OF PUBLIC WORKS  
 BUILDING INSPECTION DIVISION

FIELD OFFICE  
 4101 Branch Center Rd. PERMIT No. 297421

Address 3298 Monica Blvd #1 Date 3/18/88

Contractor BUNTAIN

The inspector from the County Division of Building Inspection called to check the TEMP. POWER  
 Please note the following corrections to be made:

(1) HAVE APPROVED PLANS AND JOB  
(2) PUT ADDRESS ON BUILDING  
(3) FILL OUT "CONSTRUCTION YOUR LETTER" FOR RE-CALL

PLEASE CALL FOR REINSPECTION. TELEPHONE 366-2081  
 REINSPECTION CAN BE MADE AT NEXT REGULAR INSPECTION.  
 PERMISSION IS GRANTED TO COVER WORK.

Thank you, Chief Building Inspector  
 By Milner

BID#155 REV. 6/83 White — PERMITTEE Yellow — SUPERVISOR Pink — FILE

COUNTY OF SACRAMENTO  
**NOTICE OF CORRECTIONS**  
 DEPARTMENT OF PUBLIC WORKS  
 BUILDING INSPECTION DIVISION

FIELD OFFICE  
 4101 Branch Center Rd. PERMIT No. 297424

Address 3306 Monica Date 4/15/88

Contractor BEAN PAUL

The inspector from the County Division of Building Inspection called to check the ELECTRICAL  
 Please note the following corrections to be made:

(1) BUILDINGS MUST BE LOCKABLE BEFORE POWER IS GIVEN  
(2) WHERE ARE DRAWING AND PERMITS?

PLEASE CALL FOR REINSPECTION. TELEPHONE 366-2081  
 REINSPECTION CAN BE MADE AT NEXT REGULAR INSPECTION.  
 PERMISSION IS GRANTED TO COVER WORK.

Thank you, Chief Building Inspector  
 By Paul

BID#155 REV. 6/83 White — PERMITTEE Yellow — SUPERVISOR Pink — FILE

COUNTY OF SACRAMENTO  
**NOTICE OF CORRECTIONS**  
 DEPARTMENT OF PUBLIC WORKS  
 BUILDING INSPECTION DIVISION

FIELD OFFICE  
 4101 Branch Center Rd. PERMIT No. 297421-297424

Address 3298-3306 Monica Cir Date 4/12/88

Contractor BUNTAIN

The inspector from the County Division of Building Inspection called to check the Final Plumb + Mech.  
 Please note the following corrections to be made:

(1) Raise all vacuum breakers for irrigation systems so they are a minimum of 6" above the highest level.

PLEASE CALL FOR REINSPECTION. TELEPHONE 366-2081  
 REINSPECTION CAN BE MADE AT NEXT REGULAR INSPECTION.  
 PERMISSION IS GRANTED TO COVER WORK.

Thank you, Chief Building Inspector  
 By Tony Salame

BID#155 REV. 11/87 White — PERMITTEE Yellow — SUPERVISOR Pink — FILE

COUNTY OF SACRAMENTO  
**NOTICE OF CORRECTIONS**  
 DEPARTMENT OF PUBLIC WORKS  
 BUILDING INSPECTION DIVISION

FIELD OFFICE  
 4101 Branch Center Rd. PERMIT No. 297421-297424

Address 3298-3306 Monica Cir Date 4/12/88

Contractor BUNTAIN

The inspector from the County Division of Building Inspection called to check the Final Plumb + Mech.  
 Please note the following corrections to be made:

(1) Provide access to all building areas and all existing work.  
(2) Expose and correct connection of pipes to PUC #2.  
(3) Bring all 2" pipe clean into above grade, install access boxes, also expose all clean outs in building (even if covered by insulation).  
(4) Provide cathodic protection on all galvanized irrigation pipes, or unless PUC or engineer advised to protect it.

PLEASE CALL FOR REINSPECTION. TELEPHONE 366-2081  
 REINSPECTION CAN BE MADE AT NEXT REGULAR INSPECTION.  
 PERMISSION IS GRANTED TO COVER WORK.

Thank you, Chief Building Inspector  
 By Tony Salame

BID#155 REV. 11/87 White — PERMITTEE Yellow — SUPERVISOR Pink — FILE

COUNTY OF SACRAMENTO  
**NOTICE OF CORRECTIONS**  
 DEPARTMENT OF PUBLIC WORKS  
 BUILDING INSPECTION DIVISION

FIELD OFFICE  
 4101 Branch Center Rd. PERMIT No. 297421-297425

Address 3298-3306 Monica Cir Date 4/12/88

Contractor BUNTAIN

The inspector from the County Division of Building Inspection called to check the Final Plumb + Mech.  
 Please note the following corrections to be made:

(1) Install strainers on all roof drains.  
(2) Lower all overflows so they are 2" above rim of roof drain.  
(3) Complete items 2, 3 & 4 for previous correction notice written 4/12/88

PLEASE CALL FOR REINSPECTION. TELEPHONE 366-2081  
 REINSPECTION CAN BE MADE AT NEXT REGULAR INSPECTION.  
 PERMISSION IS GRANTED TO COVER WORK.

Thank you, Chief Building Inspector  
 By Tony Salame

BID#155 REV. 11/87 White — PERMITTEE Yellow — SUPERVISOR Pink — FILE





**COUNTY OF SACRAMENTO**  
 DEPARTMENT OF PUBLIC WORKS  
 COUNTY ADMINISTRATION - ROOM 102 - 827 SEVENTH STREET  
 SACRAMENTO, CALIFORNIA 95814 - PHONE (916) 440-6433  
 BUILDING INSPECTION DIVISION . . . . . DONALD L. SCHULTZ, CHIEF

DONALD L. SCHULTZ, Director  
 TERRY T. TICE, Deputy Director  
 W. C. WANDERER, Deputy Director

# ER BUSINESS CENTRE

## YOUNG INDUSTRIAL PARK

### MONIER CIRCLE LOT 18

### RANCHO CORDOVA, CA

**PLUMBING CERTIFICATE OF COMPETENCY**  
 IMPORTANT - READ CAREFULLY

Per SCC Section 4.58.135, as of April 1, 1987, anyone hired to install a plumbing system that requires a County permit, within a building, must possess a Certificate of Competency or a Registration Certificate as a trainee. The only exceptions would be an owner-builder, a qualifying C-36 plumbing contractor (one per shop), or installation of a fire sprinkler system, a qualifying C-53 contractor, and others as listed in Sec. 4.58.140 through 4.58.164.

Violators who are cited would be guilty of a misdemeanor, and upon conviction may be punished by a fine up to \$500.00 or six months in jail or both.

In most cases the penalty clause of the County Code will be waived as soon as the offender has made application to the County to become certified.

Applications and copies of the ordinance may be obtained at the permit counter located at 827 - 7th Street, Sacramento, California.

**BUILDING INSPECTION APPROVAL FOR PERMIT**

THE DIVISION DOES NOT ASSUME ANY RESPONSIBILITY FOR DESIGN.

PERMITTEE IS RESPONSIBLE FOR ERRORS IN THE PLANS FOUND DURING FIELD INSPECTION.

PERMITTEE IS REQUIRED TO CONTACT THE LOCAL FIRE AUTHORITY FOR THEIR REQUIREMENTS PRIOR TO CONSTRUCTION.

NAME: D. Newman  
 DATE: 9/25/87

**ENGLISH ASSOCIATES**

SPECIAL INSPECTION REQUIRED

**PLAN REVIEW APPROVAL**

DATE: 9/25/87  
 BY: [Signature]

**ARCHITECTS**  
 2830 G Street suite 200  
 Sacramento, California 95816  
 (916) 443-5129

BID #634 (4/87)

VICINITY MAP	PROJECT INFO	CONSULTANTS	SHEET INDEX		
	PARCEL NUMBER 72-410-18 SITE AREA 86,520 S.F. BUILDING COVERAGE 34.61 BUILDING AREA #1 9,338 #2 10,900 #3 4,862 #4 4,802 TOTAL 29,902 S.F. REQUIRED PARKING (25% OFFICE MAX.) 45 SPACES PARKING PROVIDED 64 SPACES OCCUPANCY B-2 TYPE OF CONSTRUCTION TYPE III ZONING M-2	SOILS ENGINEER WALLACE VAN ALSTINE & KIRK GEOTECHNICAL 372-1434 2742 INDUSTRIAL BLVD. WEST SACRAMENTO, CA 95691 CIVIL ENGINEER THE BORENTH COMPANY 424-8300 7311 GREENHAVEN DRIVE, STE. 155 SACRAMENTO, CA 95831 ARCHITECT ENGLISH ASSOCIATES ARCHITECTS 443-5129 2830 G STREET, STE. 200 SACRAMENTO, CA 95816 STRUCTURAL ENGINEER BUEHLER & BUEHLER 381-8181 7300 FOLSOM BLVD., STE. 203 SACRAMENTO, CA 95826 ELECTRICAL ENGINEER MARK III ENGINEERING 381-8080 5101 FLORIN-PERKINS ROAD SACRAMENTO, CA 95826 LANDSCAPE ARCHITECT H&A GROUP, INC. 447-7400 444 N. THIRD STREET, STE. 104 SACRAMENTO, CA 95814 OWNER R. E. STEWARD & ASSOCIATES 962-0500 7844 MADISON AVENUE, STE. 120 FAIR OAKS, CA 95628	CIVIL C-1 NOTES, LEGEND, DETAILS C-2 SITE PLAN, GRADING PLAN ARCHITECTURAL A-1 SITE PLAN A-2 FLOOR PLAN BLDG. #1, ROOF PLAN BLDG. #1 A-3 FLOOR PLAN BLDG. #2 A-4 FLOOR PLAN BLDG'S #3 & #4, ROOF PLAN BLDG'S #2, #3, & #4 A-5 EXTERIOR ELEVATIONS - BLDG'S #1 & #2 A-6 EXTERIOR ELEVATIONS - BLDG. #3 A-7 BUILDING SECTIONS, WALL SECTIONS A-8 DETAILS A-9 SPECIFICATIONS A-10 SPECIFICATIONS STRUCTURAL S-1 TYPICAL DETAILS & NOTES S-2 FOUNDATION PLAN BLDG. #1 S-3 ROOF FRAMING PLAN BLDG. #1 S-4 FOUNDATION PLAN BLDG. #2 S-5 ROOF FRAMING PLAN BLDG. #2 S-6 FOUNDATION PLAN & ROOF FRAMING PLAN BLDG. #3 S-7 FOUNDATION PLAN & ROOF FRAMING PLAN BLDG. #4 S-8 WALL SECTIONS S-9 PANEL ELEVATIONS BLDG. #1 S-10 PANEL ELEVATIONS BLDG. #2 S-11 PANEL ELEVATIONS BLDG'S. #3 & #4 S-12 TYPICAL PANEL REINFORCING ELEVATIONS & DETAILS S-13 DETAILS S-14 DETAILS ELECTRICAL E-1 SITE PLAN E-2 ONE LINE DIAGRAMS, LOAD CALC & FIXTURE SCHEDULE LANDSCAPING L-1 PLANTING PLAN L-2 IRRIGATION L-3 SPECIFICATIONS L-4 SPECIFICATIONS L-5 DETAILS		
	<b>ENERGY STMT</b> THE ENERGY CONSERVATION STANDARDS FOR NON-RESIDENTIAL BUILDINGS HAVE BEEN REVISED BY ME PURSUANT TO THE TITLE 24 COMMERCIAL ENERGY STANDARDS, AND I HEREBY CERTIFY THAT THESE PLANS AND OTHER REQUIRED DOCUMENTATION CONFORM SUBSTANTIALLY WITH THE REGULATIONS FOR THIS U.B.C. OCCUPANCY. <u>[Signature]</u> 9/25/87			BLDG 1 \$ 297421 BLDG 2 \$ 297422 BLDG 3 \$ 297423 BLDG 4 \$ 297424	297421 NEW
	<b>OFFICE</b>				



ENGLISH ASSOCIATES

2830 G Street, Suite 200  
Sacramento, California 95816  
(916) 443-5129

ARCHITECTS

Drawn By

Checked

Consultants

PLAN CHECK

Date No. Description

Project

**MONIER BUSINESS CENTRE**

Young Industrial Park  
Monier Circle - Lot 18  
Rancho Cordova, California

Sheet Description

○ FLOOR PLAN - BUILDING 1

○ ROOF PLAN - BUILDING 1

Project No. 86410

Sheet No. A-2

Date 6/18/87

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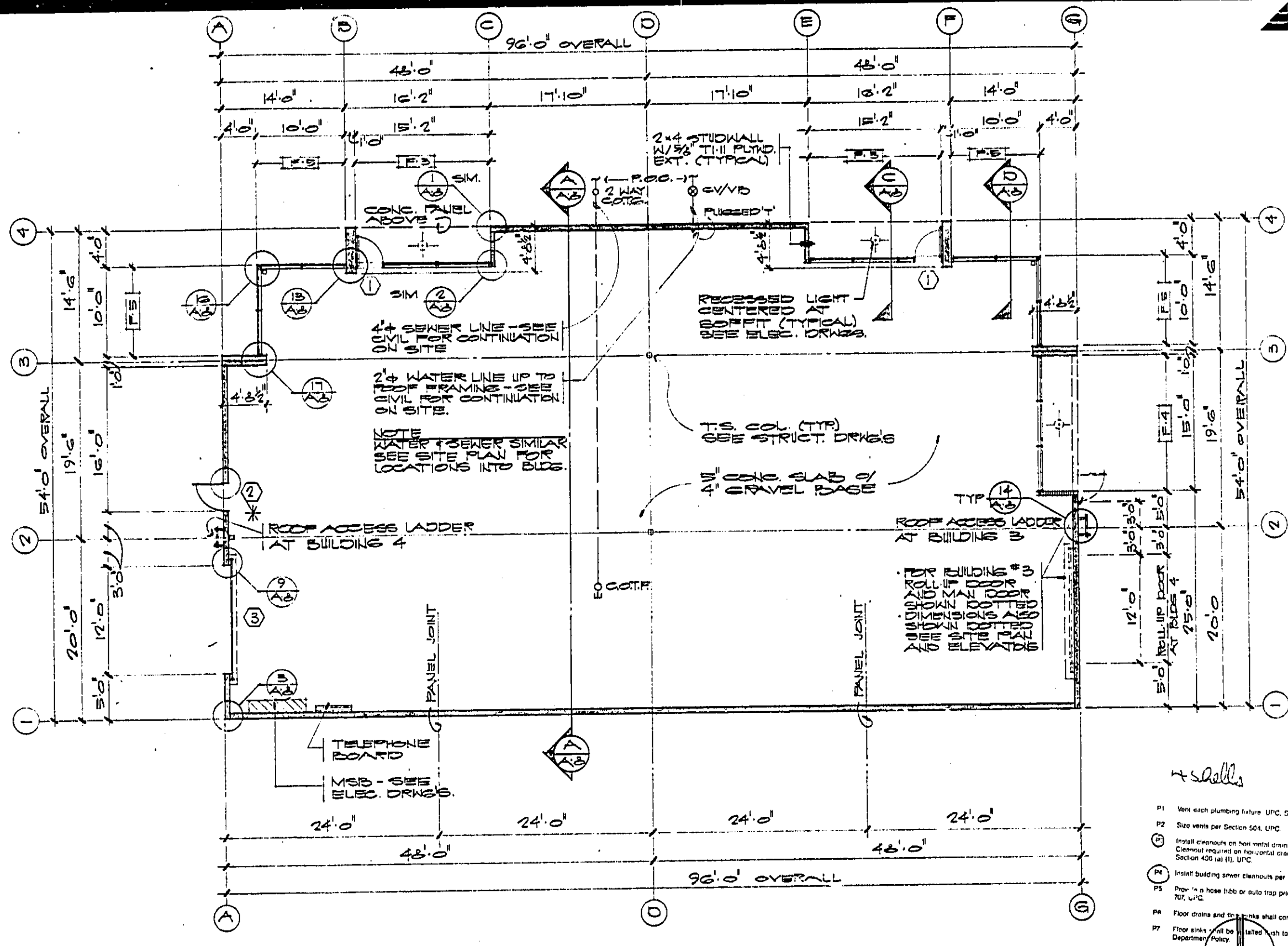
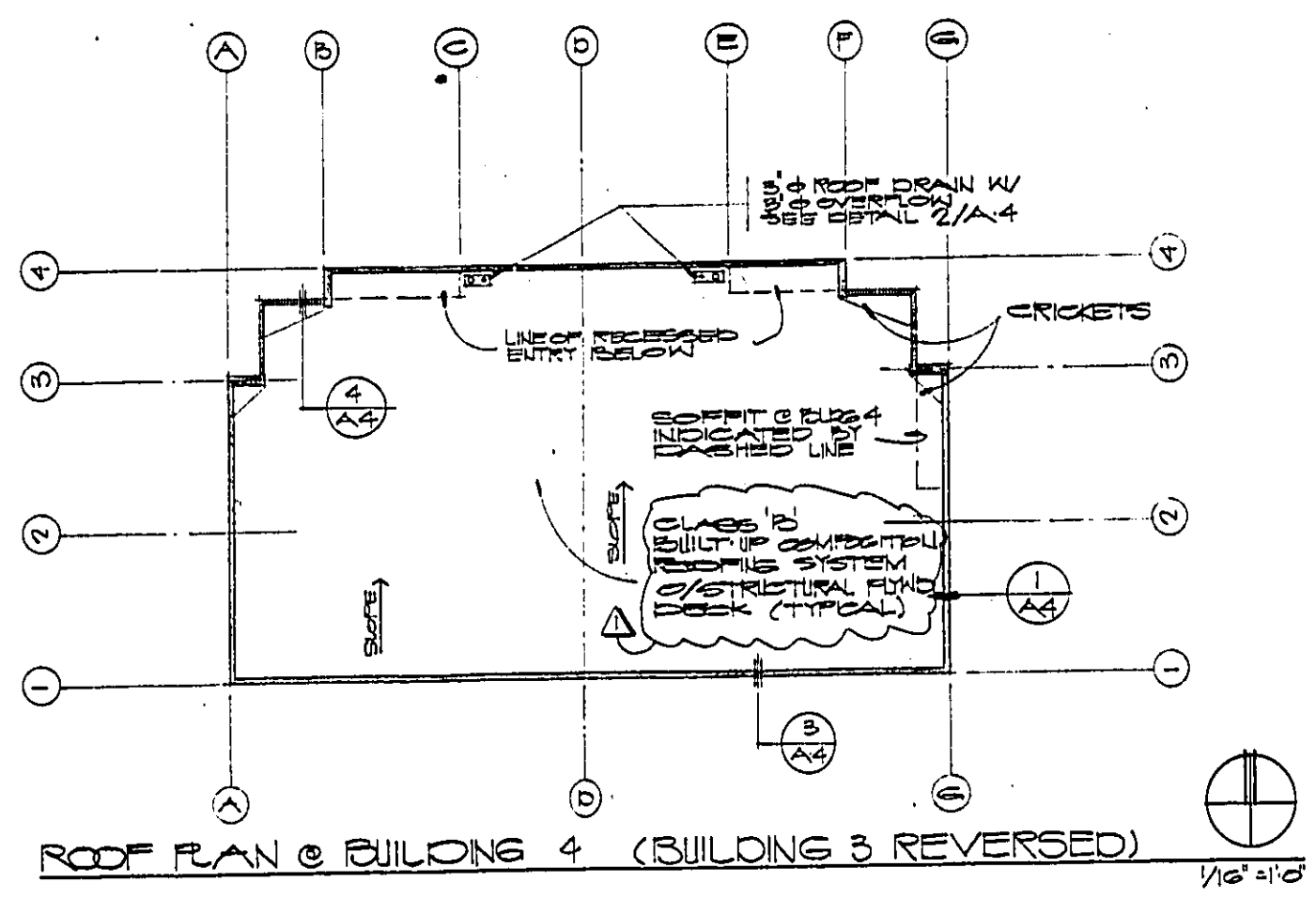
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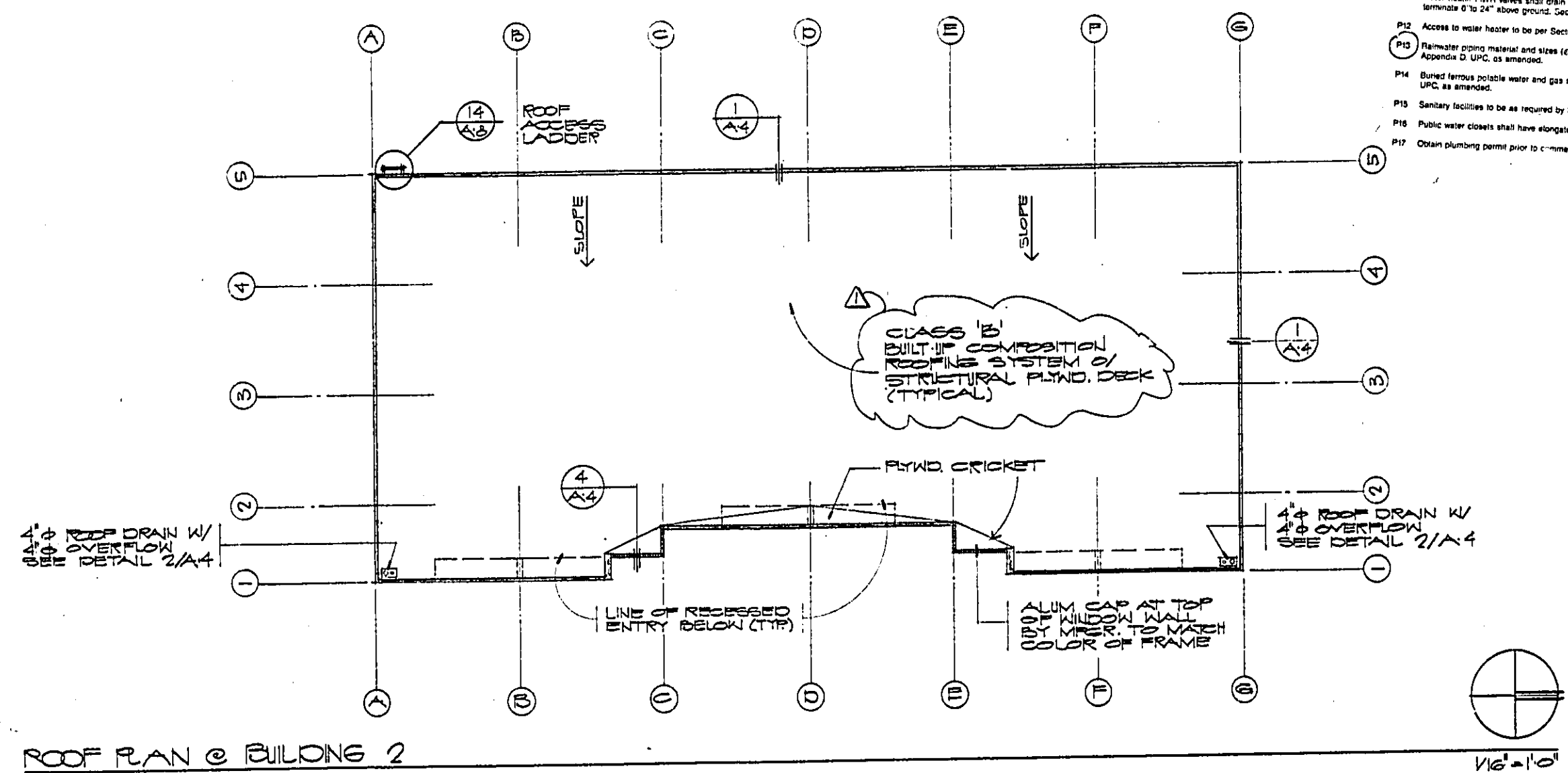
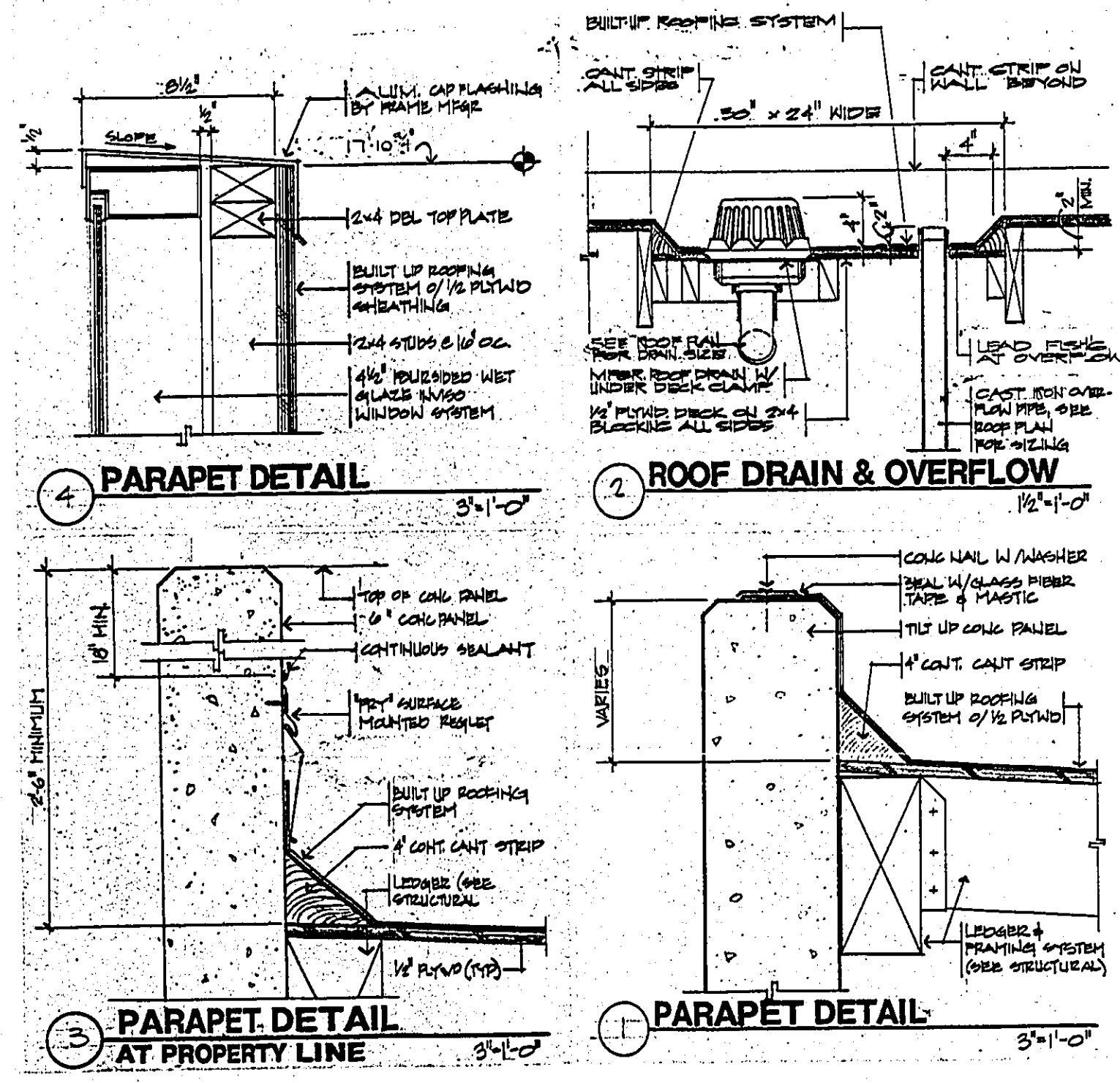
Drawn By	
Checked	
Consultants	



FLOOR PLAN @ BUILDING 4 (BUILDING 3 REVERSED)

4 shells

- P1. Vent each plumbing fixture. U.P.C. See Section 501.
- P2. Size vents per Section 504, U.P.C.
- P3. Install exhaust on hot water heaters. Central required on horizontal exhaust. See Section 420 (a) (1), U.P.C.
- P4. Install building eave cleanouts per Section 102, U.P.C.
- P5. Floor drains and traps shall comply with Section 229 (1), U.P.C.
- P6. Floor drains and traps shall be in accordance with Section 14.8, Section 14.8.1, and Section 14.8.2, U.P.C.
- P7. Floor drains shall be in accordance with the Department Policy.
- P8. Food handling areas shall be in accordance with Section 14.8, Section 14.8.1, and Section 14.8.2, U.P.C.
- P9. Dishwashing shall be in accordance with Section 14.8, Section 14.8.1, and Section 14.8.2, U.P.C.
- P10. Water heater shall be in accordance with Section 229 (1), U.P.C.
- P11. Water heater shall be in accordance with Section 229 (1), U.P.C.
- P12. Access to water heater to be per Section 229 (1), U.P.C.
- P13. Rainwater piping material and slope to be per Section 2007 (a) (1), U.P.C.
- P14. Buried service water and gas shall be in accordance with Section 14.8, Section 14.8.1, and Section 14.8.2, U.P.C.
- P15. Sanitary facilities to be as required by Code.
- P16. Public water closets shall have elongated seats with automatic flush valves. See Section 904, U.P.C.
- P17. Obtain plumbing permit prior to construction. See Section 904, U.P.C.



ROOF PLAN @ BUILDING 2

3-125 PLAN CHECK  
Date No. Description

Project  
**MONIER BUSINESS CENTRE**  
Young Industrial Park  
Monier Circle, Lot 18  
Rancho Cordova, California

Sheet Description  
0 FLOOR PLAN - BUILDING 3 & 4  
0 ROOF PLAN - BUILDING 3 & 4  
0 ROOF PLAN - BUILDING 2

Project No. 26410  
Date 6-18-87  
Sheet No. **A-4**











ARCHITECTS

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Drawn By

Checked

Consultants

DATE

DESCRIPTION

PROJECT

MONIER BUSINESS CENTRE

Young Industrial Park  
Monier Circle Lot 18  
Rancho Cordova, California

SPECIFICATIONS

Project No. 84410

Date 6-18-87

Sheet No. A-10

Sheet Description

0 SPECIFICATIONS

Project No. 84410

Date 6-18-87

Sheet No. A-10

Sheet Description

0 SPECIFICATIONS

Project No. 84410

Date 6-18-87

Sheet No. A-10

Sheet Description

0 SPECIFICATIONS

Project No. 84410

Date 6-18-87

Sheet No. A-10

2.3.1 Mill hardware Equivalent to RHP #16 or #17 X 1/8".

2.3.2 Floor stops Equivalent to RHP #16-61 or F-3041 X 1/8".

2.4 Hardware Provide these hardware at all doors where hardware is required.

2.5 Hardware Provide these hardware at all doors where hardware is required.

2.6 Hardware Provide these hardware at all doors where hardware is required.

2.7 Hardware Provide these hardware at all doors where hardware is required.

2.8 Hardware Provide these hardware at all doors where hardware is required.

2.9 Hardware Provide these hardware at all doors where hardware is required.

2.10 Hardware Provide these hardware at all doors where hardware is required.

2.11 Hardware Provide these hardware at all doors where hardware is required.

2.12 Hardware Provide these hardware at all doors where hardware is required.

2.13 Hardware Provide these hardware at all doors where hardware is required.

2.14 Hardware Provide these hardware at all doors where hardware is required.

2.15 Hardware Provide these hardware at all doors where hardware is required.

2.16 Hardware Provide these hardware at all doors where hardware is required.

2.17 Hardware Provide these hardware at all doors where hardware is required.

2.18 Hardware Provide these hardware at all doors where hardware is required.

2.19 Hardware Provide these hardware at all doors where hardware is required.

2.20 Hardware Provide these hardware at all doors where hardware is required.

2.21 Hardware Provide these hardware at all doors where hardware is required.

2.22 Hardware Provide these hardware at all doors where hardware is required.

2.23 Hardware Provide these hardware at all doors where hardware is required.

2.24 Hardware Provide these hardware at all doors where hardware is required.

2.25 Hardware Provide these hardware at all doors where hardware is required.

2.26 Hardware Provide these hardware at all doors where hardware is required.

2.27 Hardware Provide these hardware at all doors where hardware is required.

2.28 Hardware Provide these hardware at all doors where hardware is required.

2.29 Hardware Provide these hardware at all doors where hardware is required.

2.30 Hardware Provide these hardware at all doors where hardware is required.

3.1.3 That roofing will be smooth and even. All exposed flat roof areas shall be finished with gravel or water proofing.

3.1.4 That any or all repairs or replacements which may be necessary on account of any of above-mentioned causes will be made immediately without cost to owner.

3.2 Roofing

3.3 Roofing

3.4 Roofing

3.5 Roofing

3.6 Roofing

3.7 Roofing

3.8 Roofing

3.9 Roofing

3.10 Roofing

3.11 Roofing

3.12 Roofing

3.13 Roofing

3.14 Roofing

3.15 Roofing

3.16 Roofing

3.17 Roofing

3.18 Roofing

3.19 Roofing

3.20 Roofing

3.21 Roofing

3.22 Roofing

3.23 Roofing

3.24 Roofing

3.25 Roofing

3.26 Roofing

3.27 Roofing

3.28 Roofing

4.1.1 In the event of discrepancy, immediately notify the Architect in writing.

4.1.2 Do not proceed with fabrication or installation in areas of discrepancy until all such discrepancies have been fully resolved.

4.2 Fabrication

4.3 Fabrication

4.4 Fabrication

4.5 Fabrication

4.6 Fabrication

4.7 Fabrication

4.8 Fabrication

4.9 Fabrication

4.10 Fabrication

4.11 Fabrication

4.12 Fabrication

4.13 Fabrication

4.14 Fabrication

4.15 Fabrication

4.16 Fabrication

4.17 Fabrication

4.18 Fabrication

4.19 Fabrication

4.20 Fabrication

4.21 Fabrication

4.22 Fabrication

4.23 Fabrication

4.24 Fabrication

4.25 Fabrication

4.26 Fabrication

4.27 Fabrication

4.28 Fabrication

5.1.1 The details of joints, closely with requirements for AIA Joint Commission with qualified users.

5.1.2 Use ASTM A313, 5-1000 Series stainless steel.

5.1.3 Follow applicable sections of AIA specifications.

5.2 Types of welds

5.3 Welding

5.4 Welding

5.5 Welding

5.6 Welding

5.7 Welding

5.8 Welding

5.9 Welding

5.10 Welding

5.11 Welding

5.12 Welding

5.13 Welding

5.14 Welding

5.15 Welding

5.16 Welding

5.17 Welding

5.18 Welding

5.19 Welding

5.20 Welding

5.21 Welding

5.22 Welding

5.23 Welding

5.24 Welding

5.25 Welding

5.26 Welding

5.27 Welding

5.28 Welding



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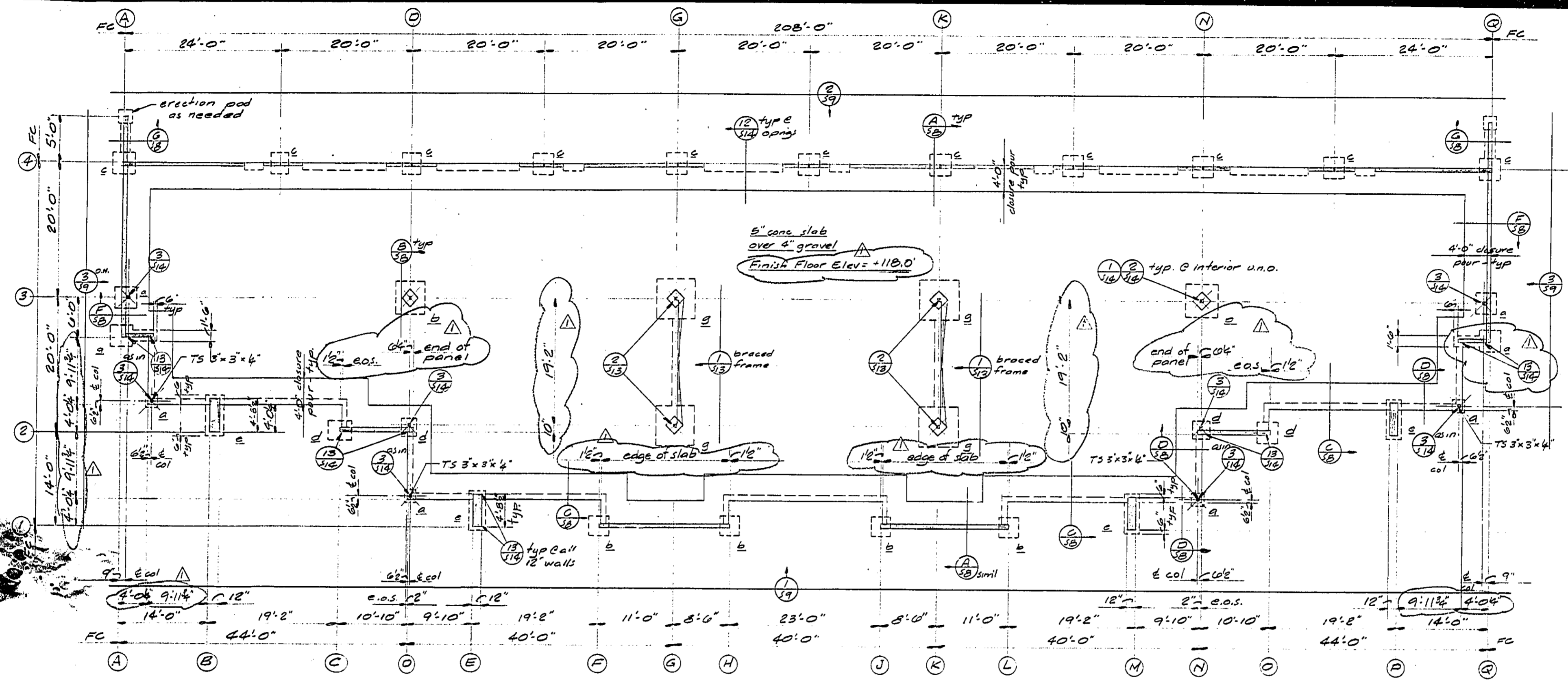


8/2/87	Plan Check
Date	No. Description

Project  
**MONIER BUSINESS CENTRE**  
 Young Industrial Park  
 Monier Circle Lot 18  
 Rancho Cordova, California

Sheet Description  
 0 FOUNDATION PLAN - BLDG 1

Project No.	Sheet No.
80410	<b>S-2</b>
Date	
6-18-87	



**Foundation Plan—Bldg 1—1/8"=1'-0"**

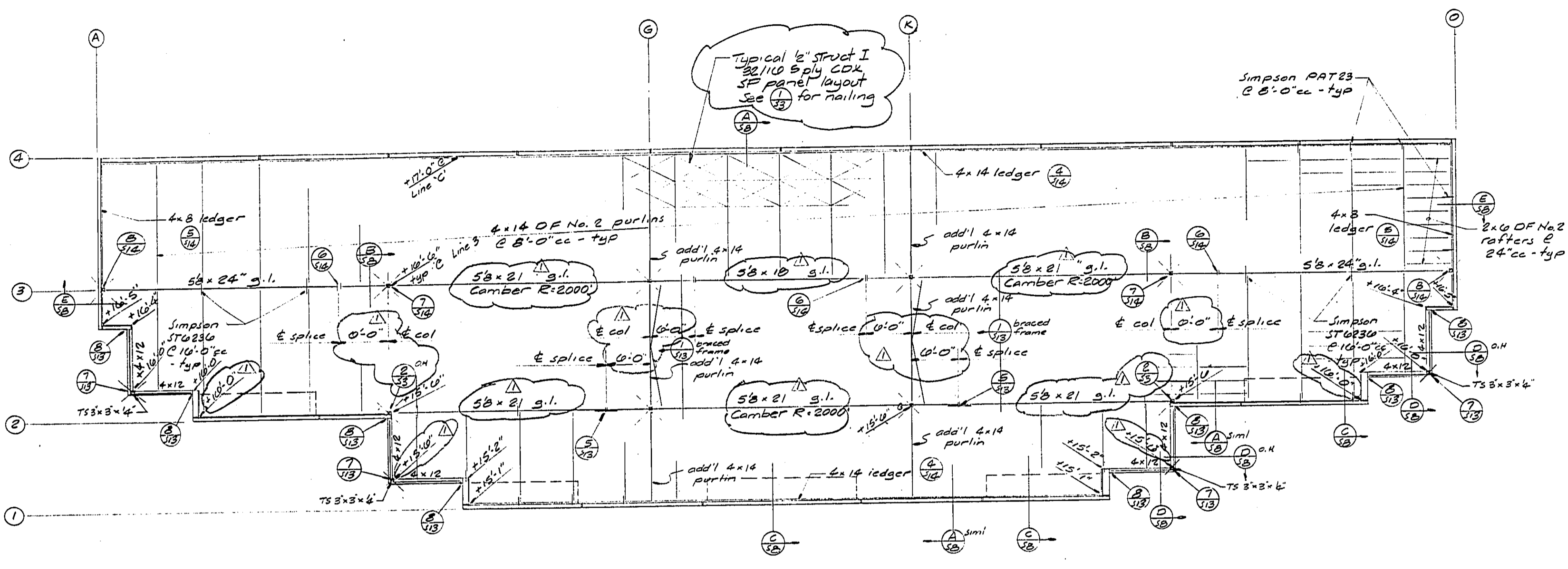
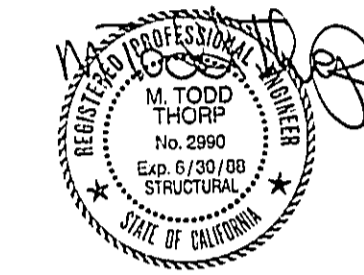
- Notes:
1. Foundation construction shall conform to the requirements of Soils Report No. 87-176 dated 10 June 1987 by Wallace Van Alstine & Kuhl.
  2. Bottom of footings to be 2'-3 1/2" minimum below finish floor. See (19) for footing schedule.
  3. X indicates TS 4x4x1/4" column. Typ u.n.o.
  4. See sheets S-9 thru S-12 for tilt-up conc panel notes & elevations.

Mk	Size	Reinforcing
a	2'-0" x 2'-0"	3-#4 ea way
b	3'-0" x 3'-0"	4-#4 ea way
c	3'-0" x 3'-0"	4-#4 ea way
d	4'-0" x 4'-0"	5-#4 ea way
e	2'-0" x 5'-0"	3-#4 longitudinal #4 @ 12" cc transverse
f	2'-0" x 5'-0"	3-#4 longitudinal #4 @ 12" cc transverse
g	6'-0" x 6'-0"	#5 @ 12" cc ea way

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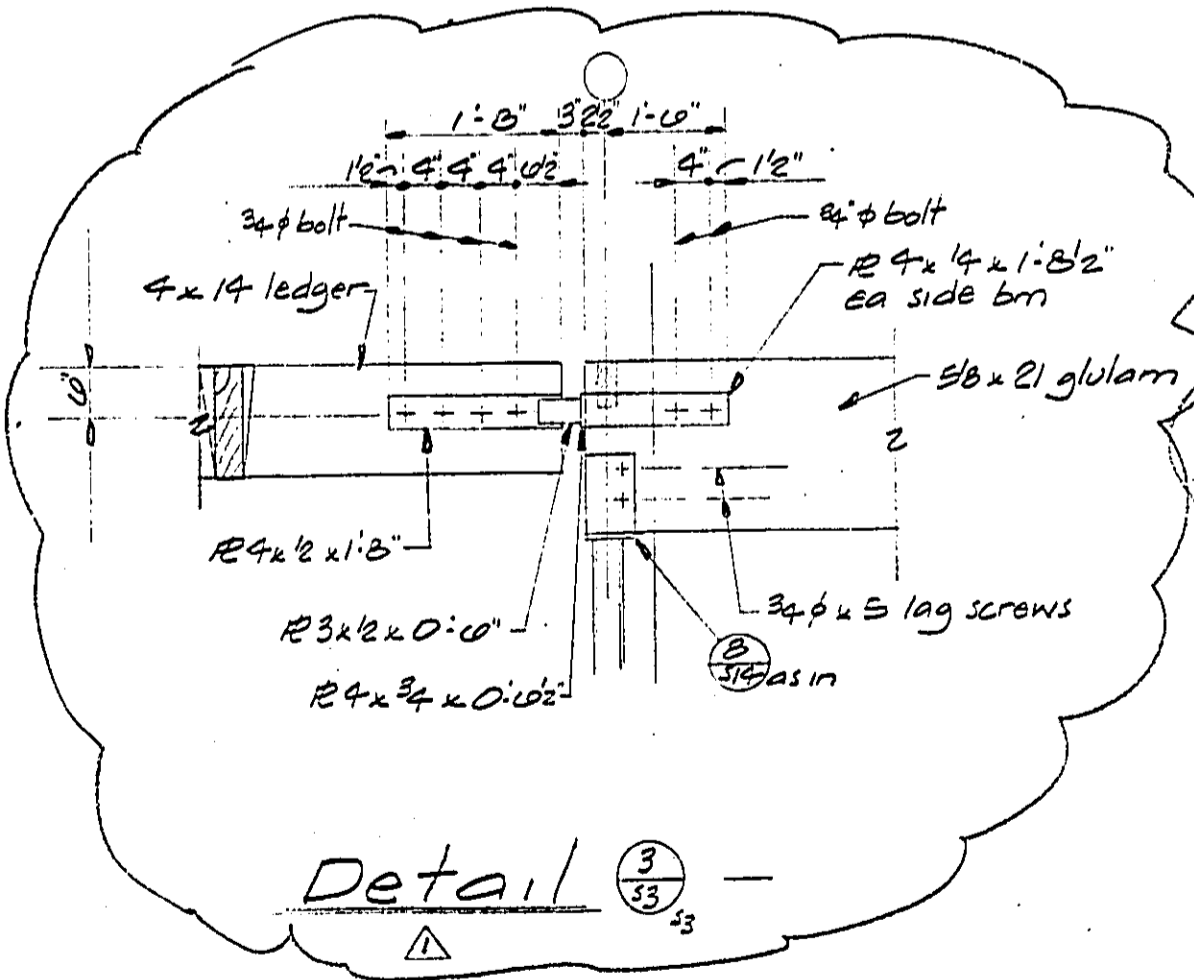
Drawn By \_\_\_\_\_  
 Checked \_\_\_\_\_

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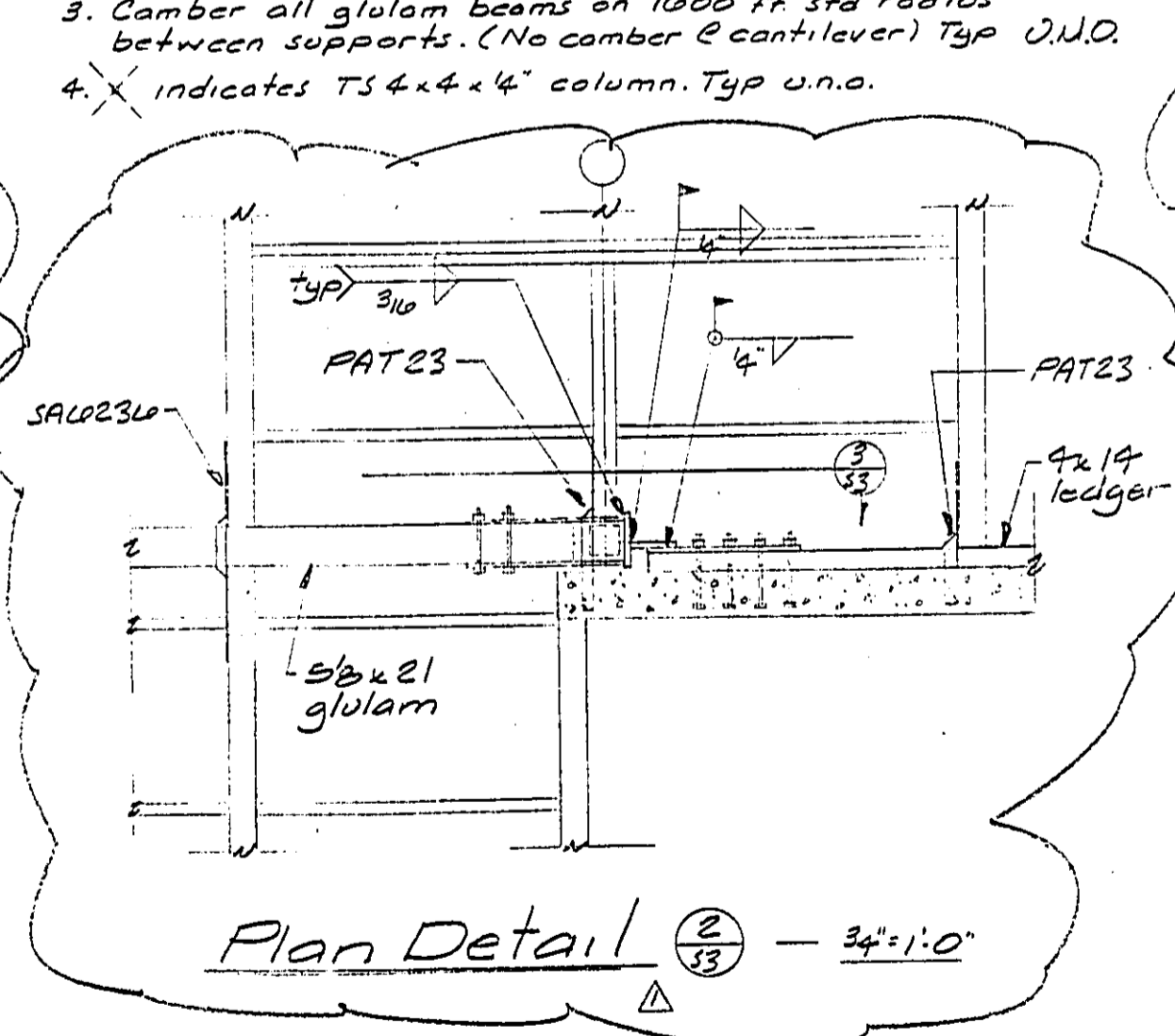


**Roof Framing Plan — Bldg 1 — 1/8" = 1'-0"**

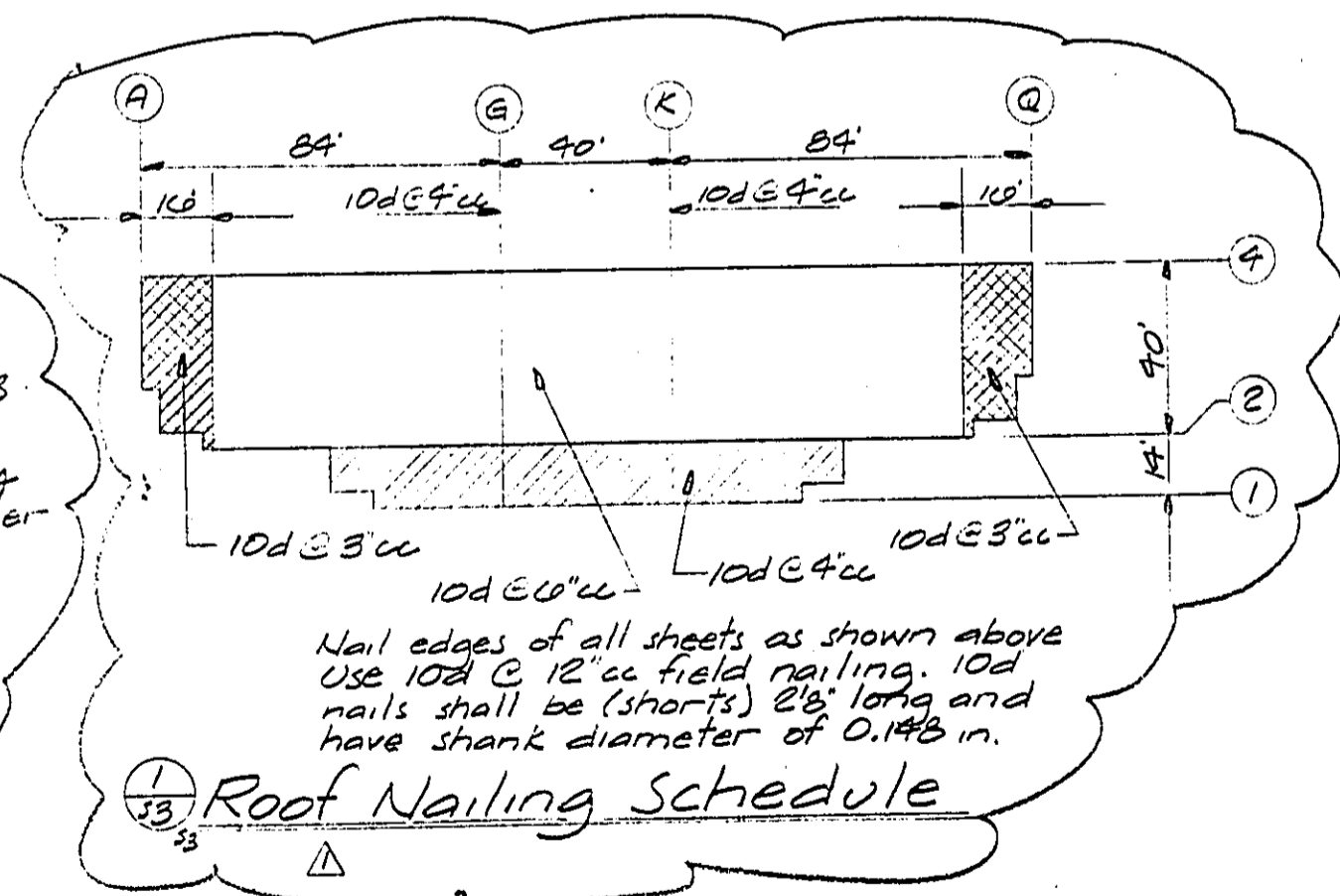
- Notes:
1.  $+17'-0"$  indicates top of framing elevation above finish floor. Verify w/ Archt.
  2. All simple span glulam beams to be comb. 24F-V4. All cantilevered glulam beams to be comb. 24F-V8.
  3. Camber all glulam beams on 1000 ft std radius between supports. (No camber @ cantilever) Typ U.N.O.
  4. X indicates TS 4x4x4" column. Typ u.n.o.



**Detail 3/33**



**Plan Detail 2/33 — 3/4" = 1'-0"**



**Roof Nailing Schedule**

**Plan Check**  
 Date No. Description

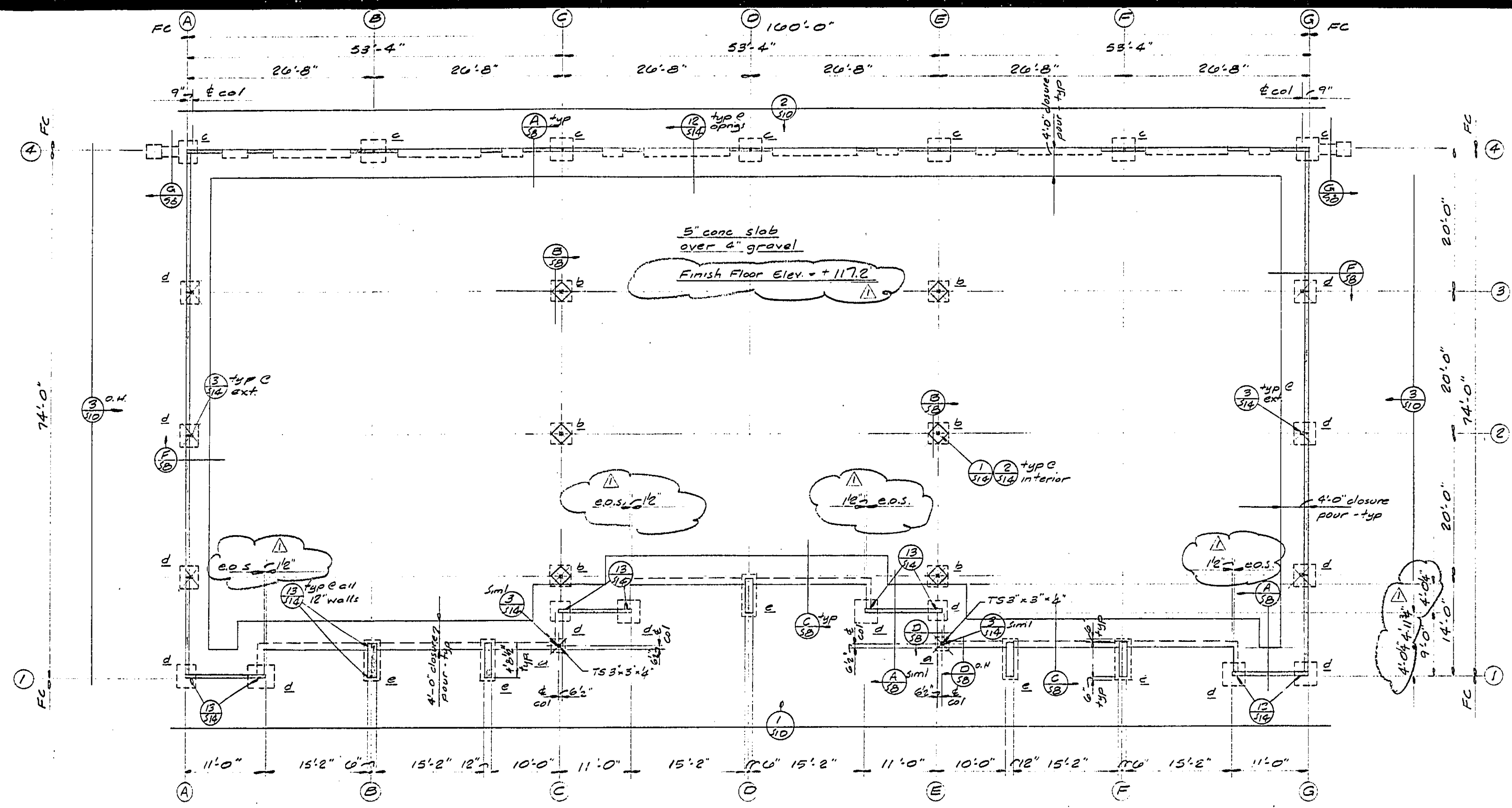
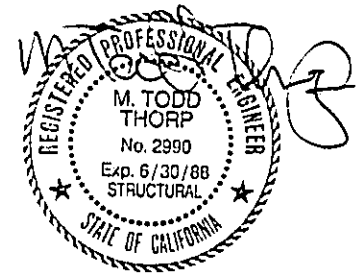
Project  
**MONIER BUSINESS CENTRE**  
 Young Industrial Park  
 Monier Circle Lot 18  
 Rancho Cordova, Calif. 95670

Sheet Description  
 0 ROOF FRAMING - BLDG 1

Project No. 8040  
 Date 5-18-87  
 Sheet No. **S-3**

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Checked	
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Foundation Plan—Bldg 2—1/8"=1'-0"

- Notes: 1. See sheet 52 for typical foundation plan notes.  
2. See (1/12) for footing schedule.

Plan Check	
Date	No. Description

Project  
**MONIER BUSINESS CENTRE**  
Young Industrial Park  
Monier Circle Lot 18  
Rancho Cordova, California

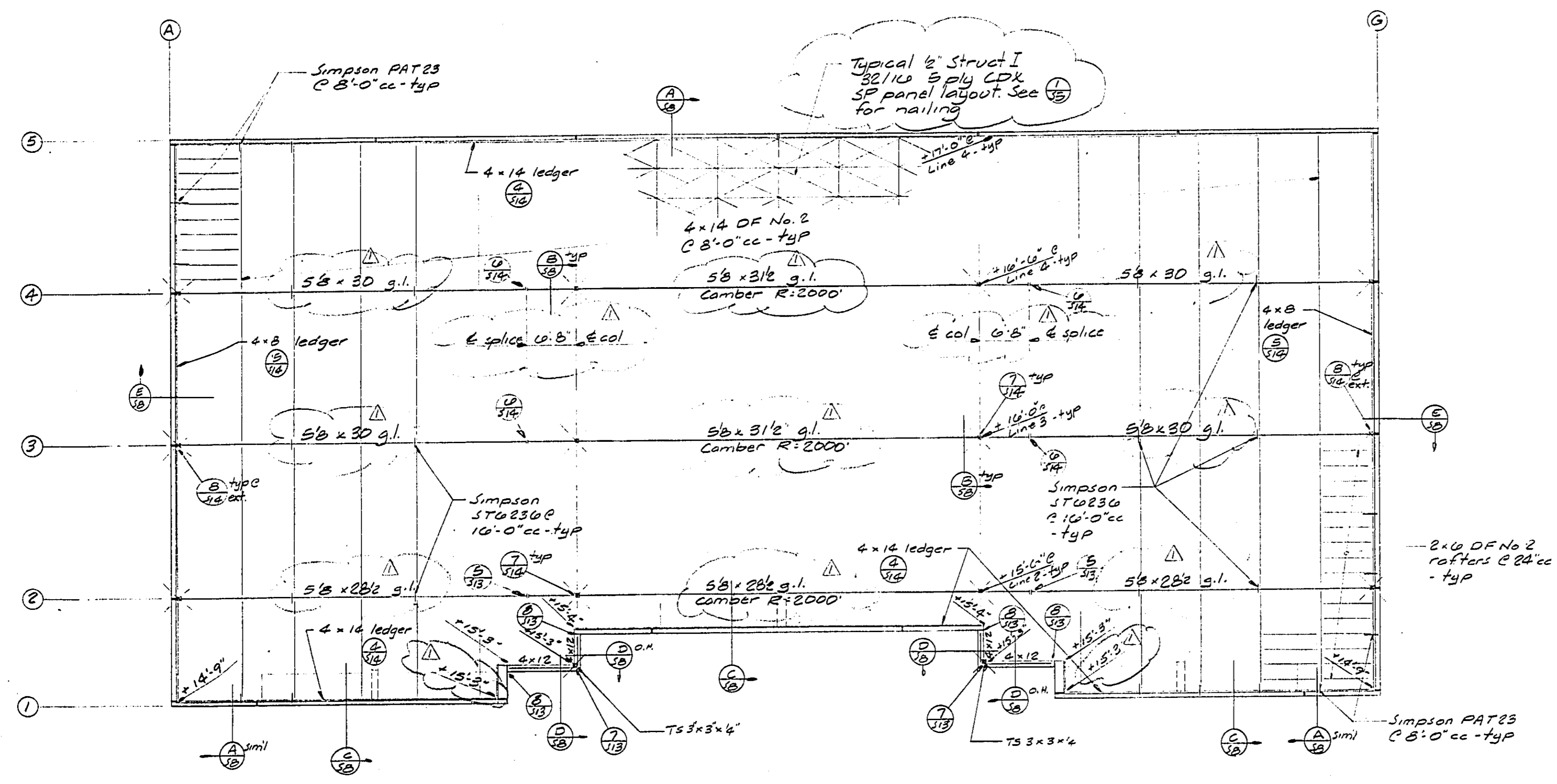
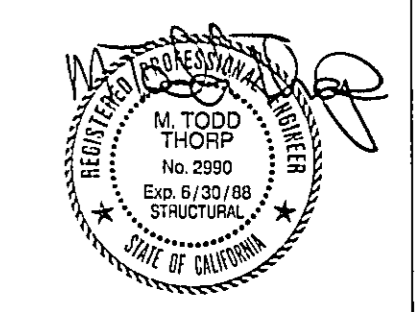
Sheet Description  
○ FOUNDATION PLAN - BLDG 2

Project No.	Sheet No.
60410	<b>S-4</b>
Date	
6.13.87	

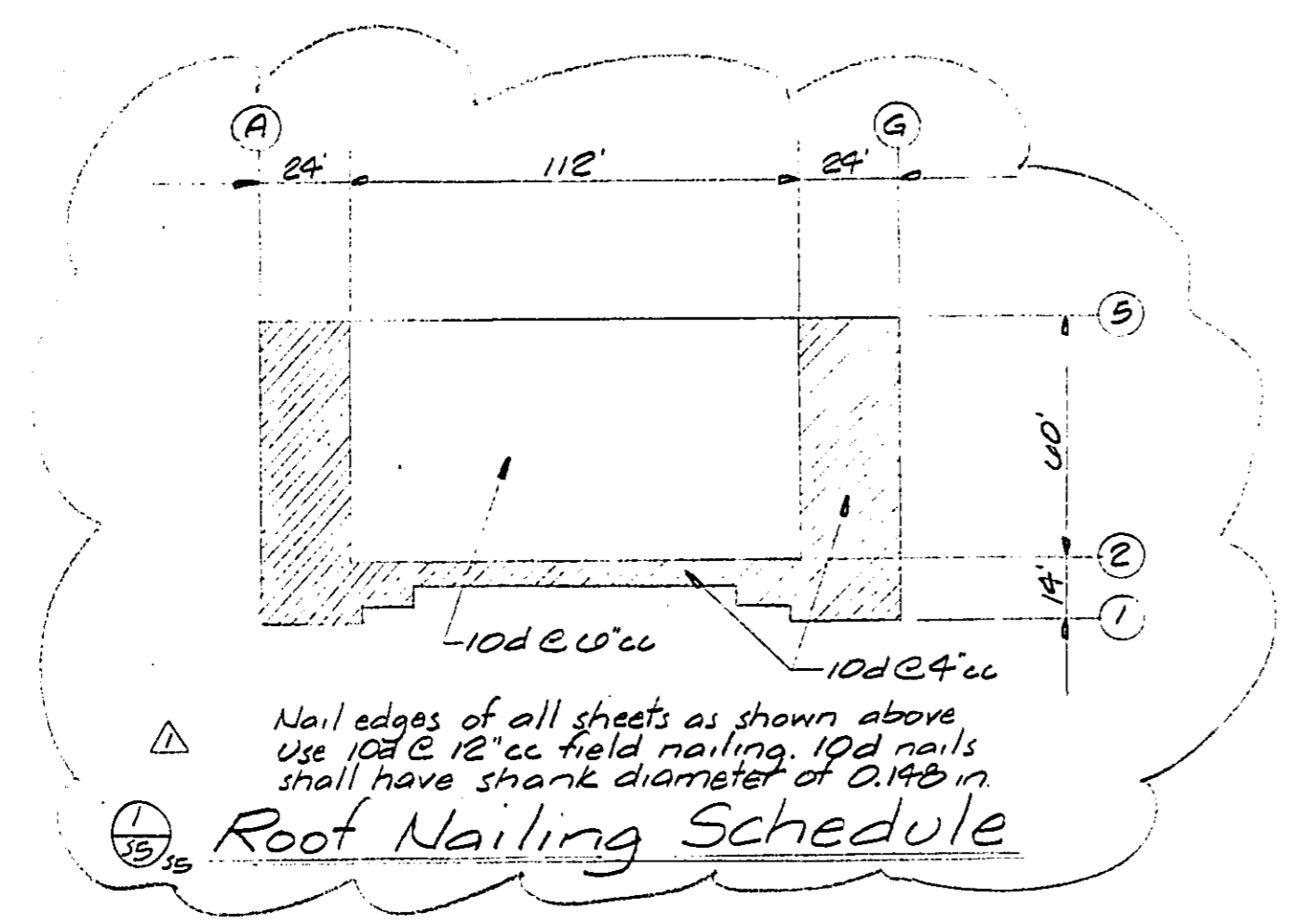
Edward P. English C-10399  
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 2830 G Street suite 200  
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**Roof Framing Plan — Bldg 2 — 1/8" = 1'-0"**  
 Notes: See Sheet S-3 for typical Roof Framing notes.



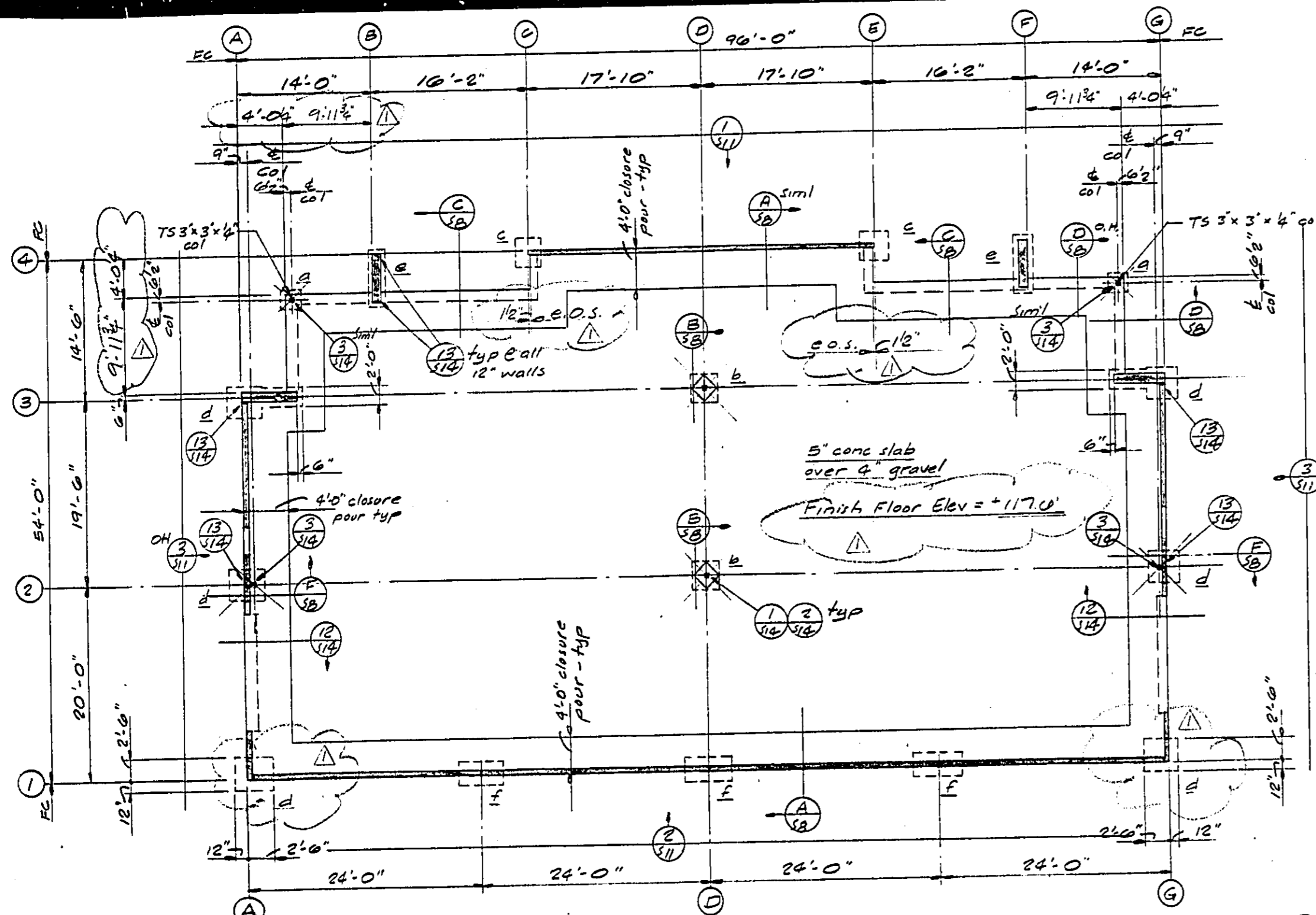
5/18/87 Plan Check  
 Date No. Description

Project  
**MONIER BUSINESS CENTRE**  
 Young Industrial Park  
 Monier Circle Lot 18  
 Rancho Cordova, California

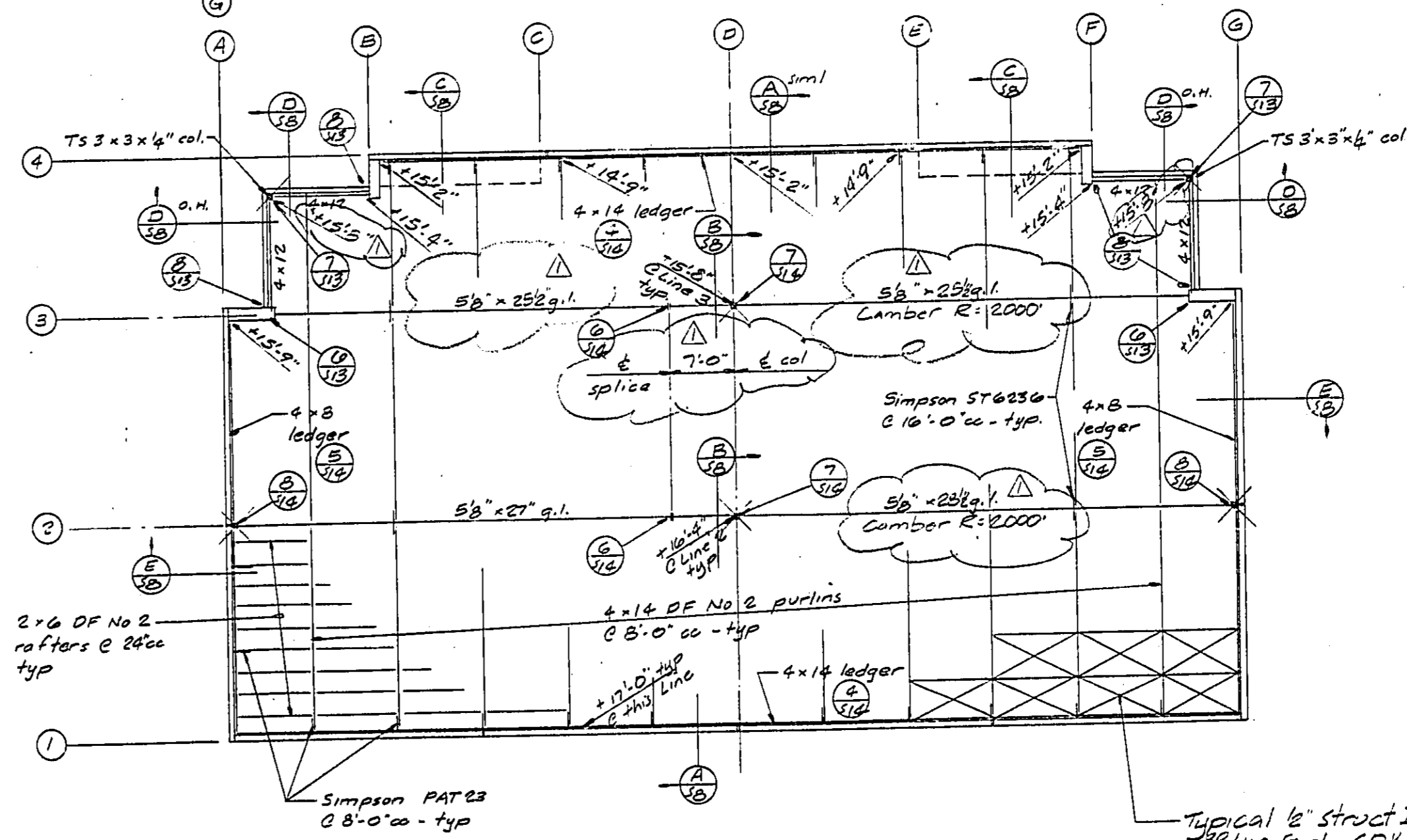
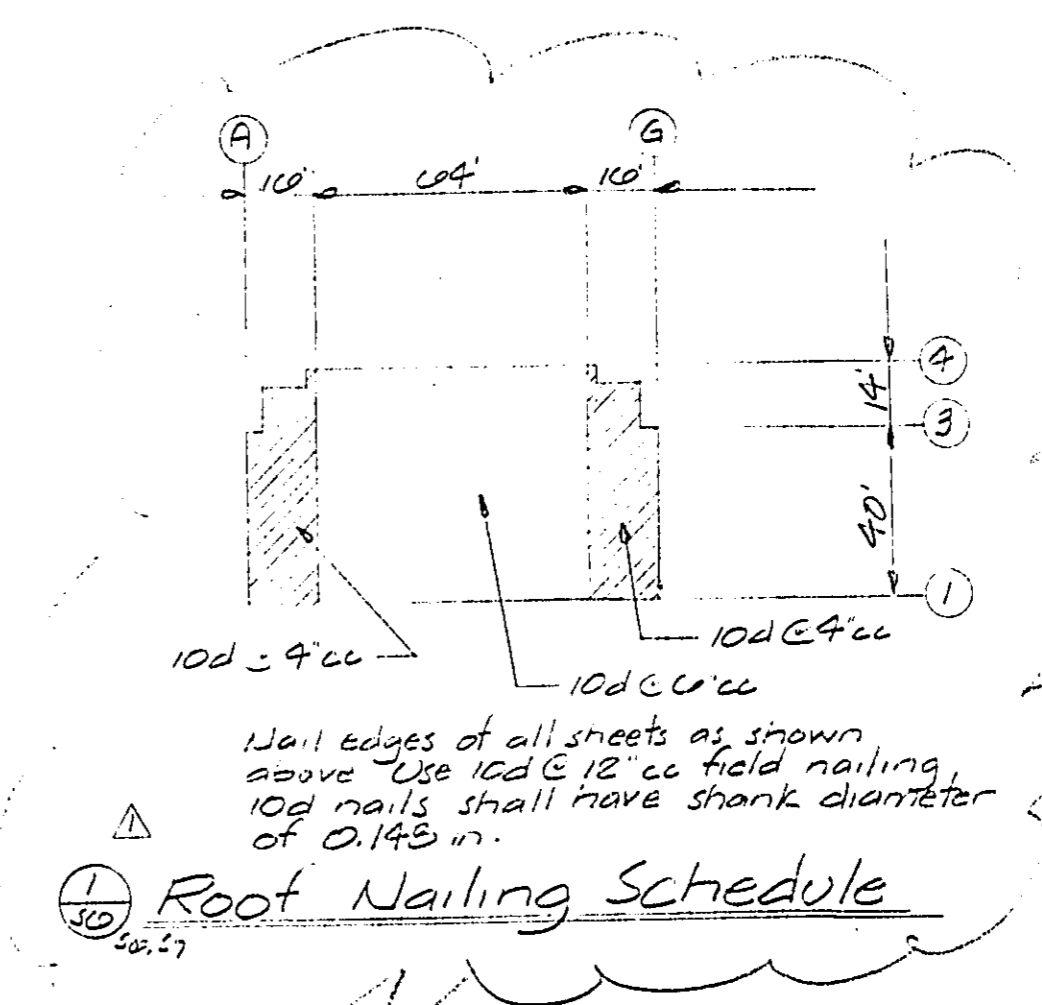
Sheet Description  
 0 ROOF FRAMING BLDG 2

Project No. 80410  
 Date 6.13.87  
 Sheet No. **S-5**

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**Foundation Plan - Bldg 3 - 8' x 1'-0"**  
 Notes: 1. See sheet S-2 for typical foundation plan notes.  
 2. See (1/32) for footing schedule.



**Roof Framing Plan - Bldg 3 - 8' x 1'-0"**  
 Notes: 1. See sheet S-3 for typical roof framing notes.

Typical E' struct I  
 5/8" x 1/2" E ply CDX 5P  
 panel layout. See (1/30)

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 Checked \_\_\_\_\_  
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 No. 2590  
 Exp. 6/30/88  
 STRUCTURAL  
 STATE OF CALIFORNIA

Date	No.	Description
5/12/87		Plan Check

Project  
**MONIER BUSINESS CENTRE**  
 Young Industrial Park  
 Monier Circle Lot 18  
 Rancho Cordova, California

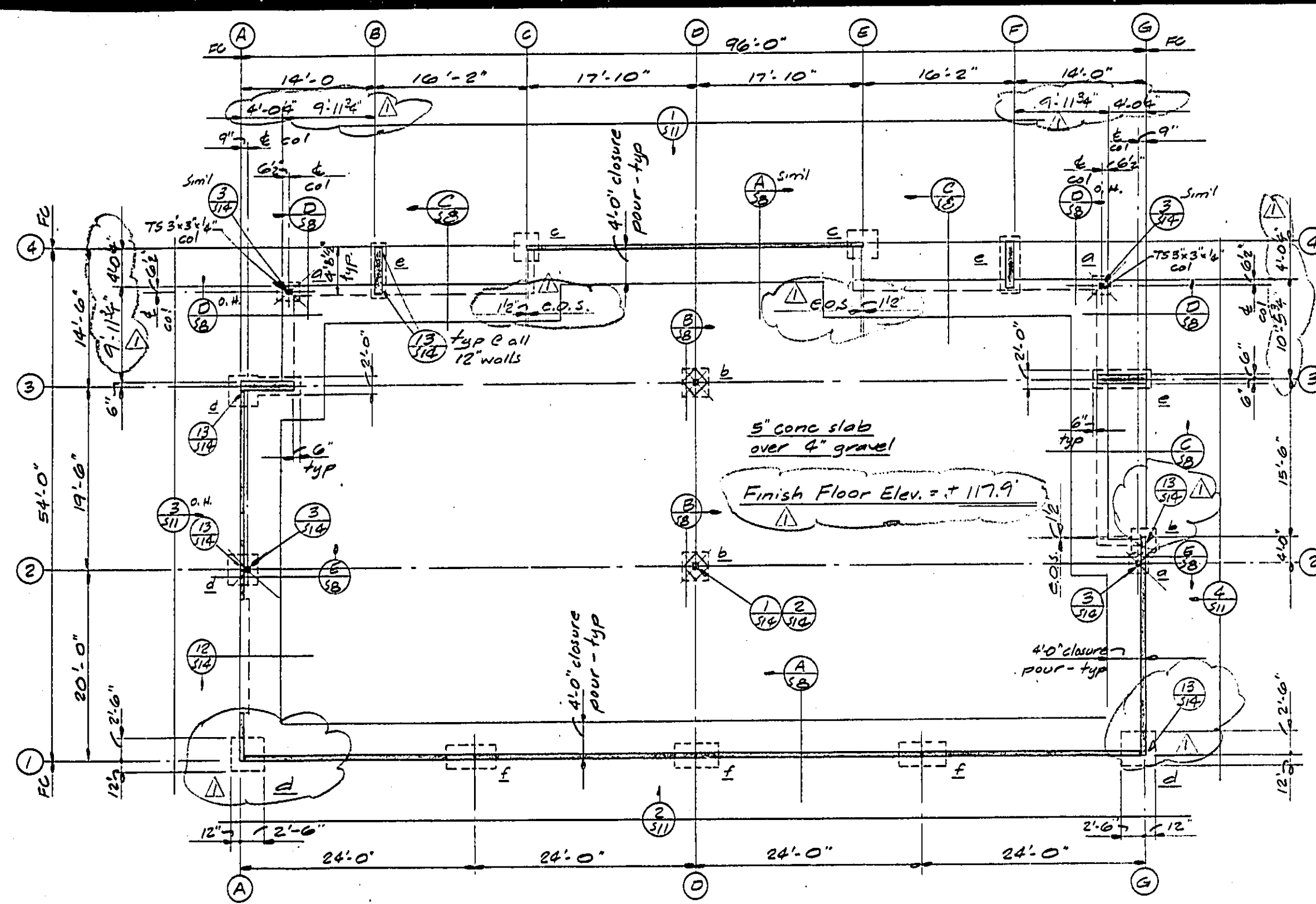
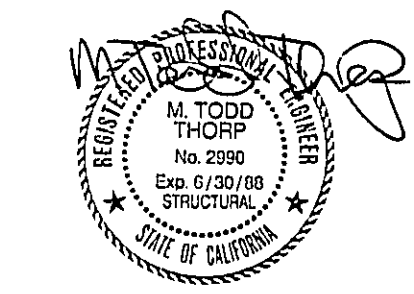
Sheet Description  
 O FOUNDATION PLAN BLDG 3  
 O ROOF FRAMING BLDG 3

Project No. 52410  
 Date 5.12.87  
 Sheet No. **S-6**

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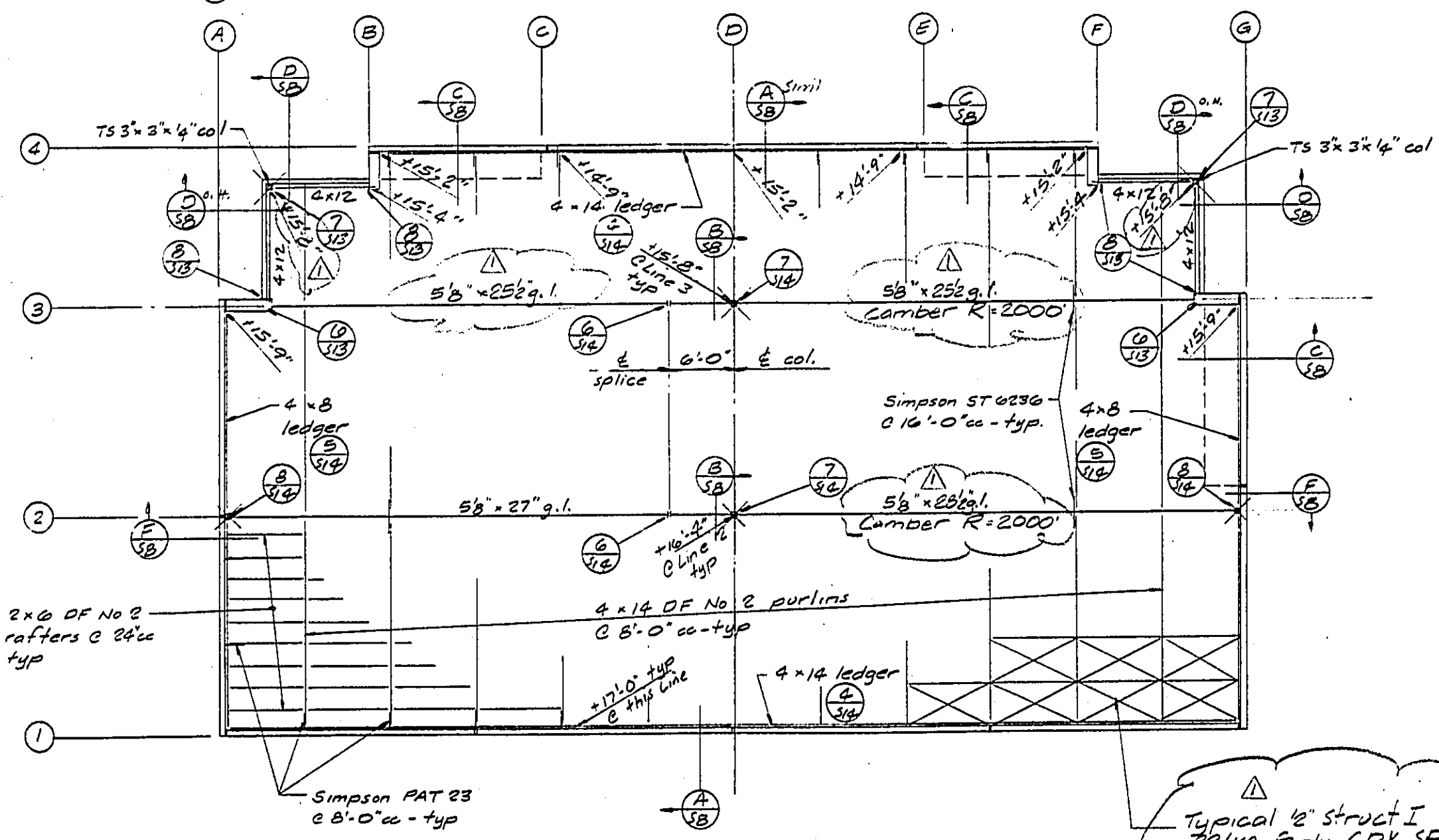
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**Foundation Plan — Bldg 4 — 6' x 110'**

Notes: 1. See Sheet S-2 for typical foundation plan notes.  
 2. See  $\frac{1}{2}$  for footing schedule.



**Roof Framing Plan — Bldg 4 — 6' x 110'**

Notes: 1. See Sheet S-3 for typical roof framing notes.

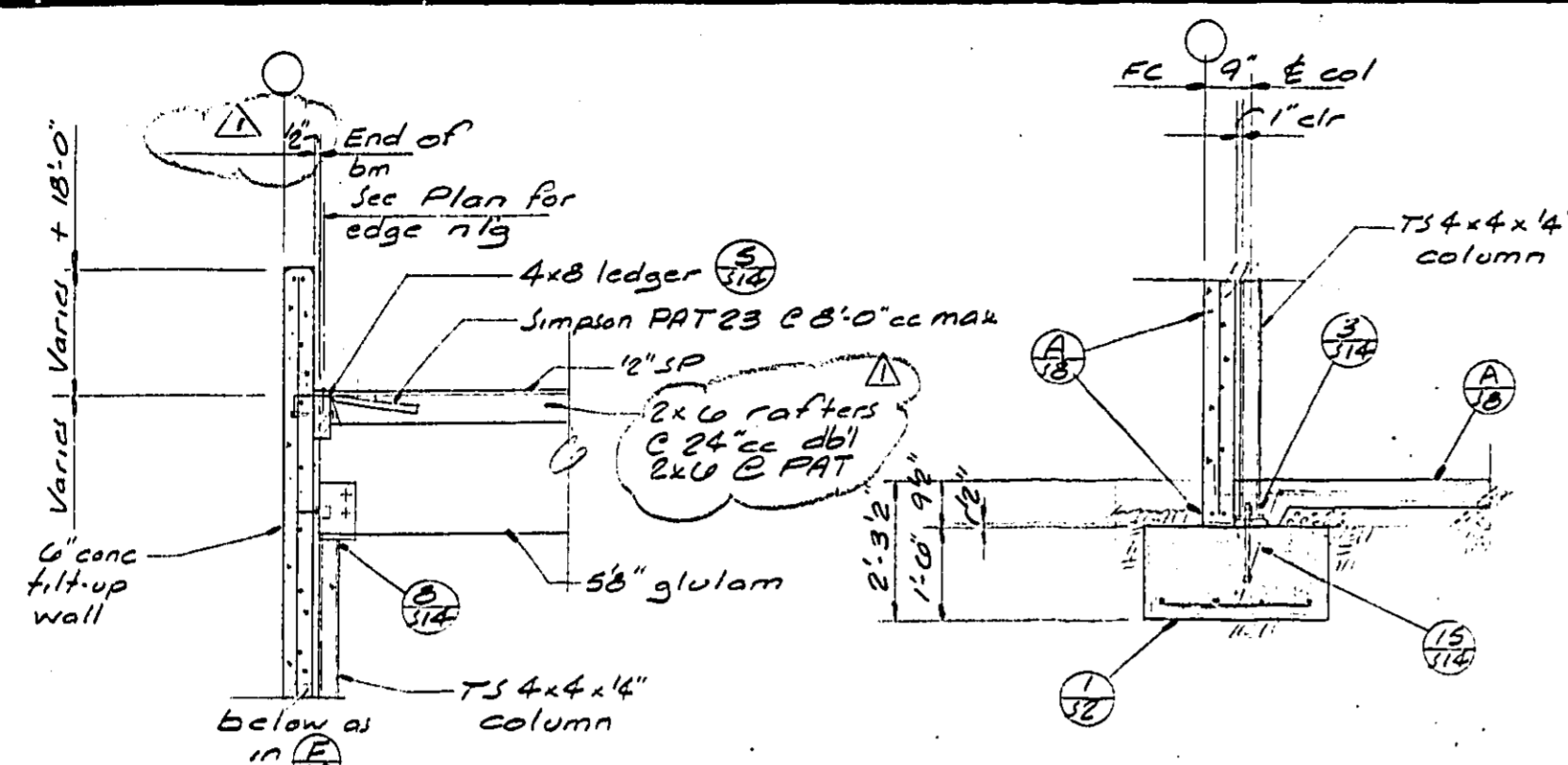
Typical 8" Struct I  
 32/10 Sply CDX SP  
 panel layout. See  
 for nailing

Plan Check  
 Date No. Description

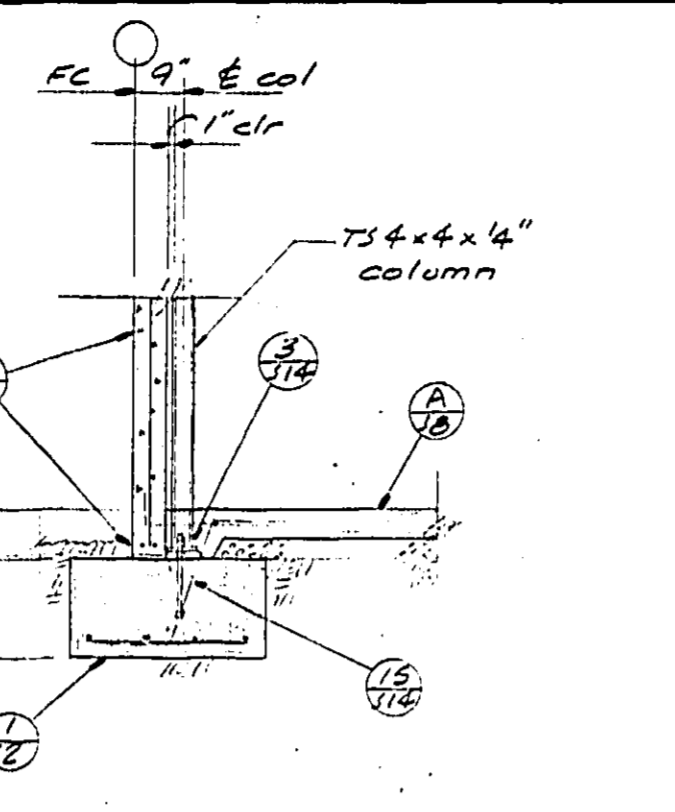
Project  
**MONIER BUSINESS CENTRE**  
 Young Industrial Park  
 Monier Circle Lot 18  
 Rancho Cordova, California

Sheet Description  
 O FOUNDATION PLAN - BLDG 4  
 O ROOF FRAMING - BLDG 4  
 Project No. 26410  
 Date 8-13-87  
 Sheet No. **S-7**

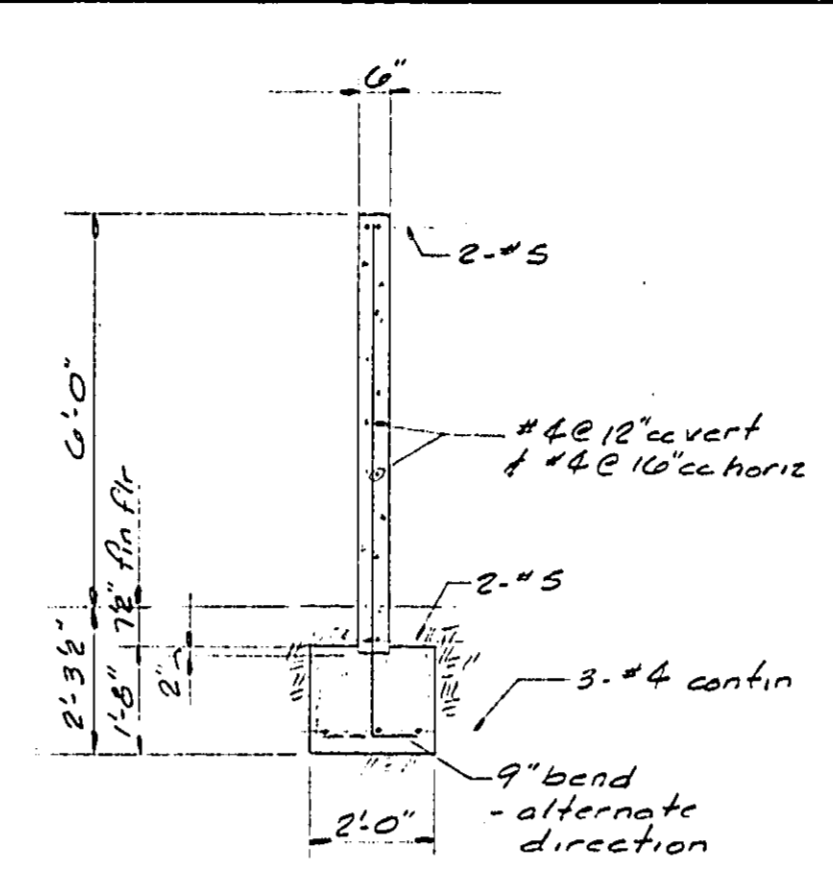
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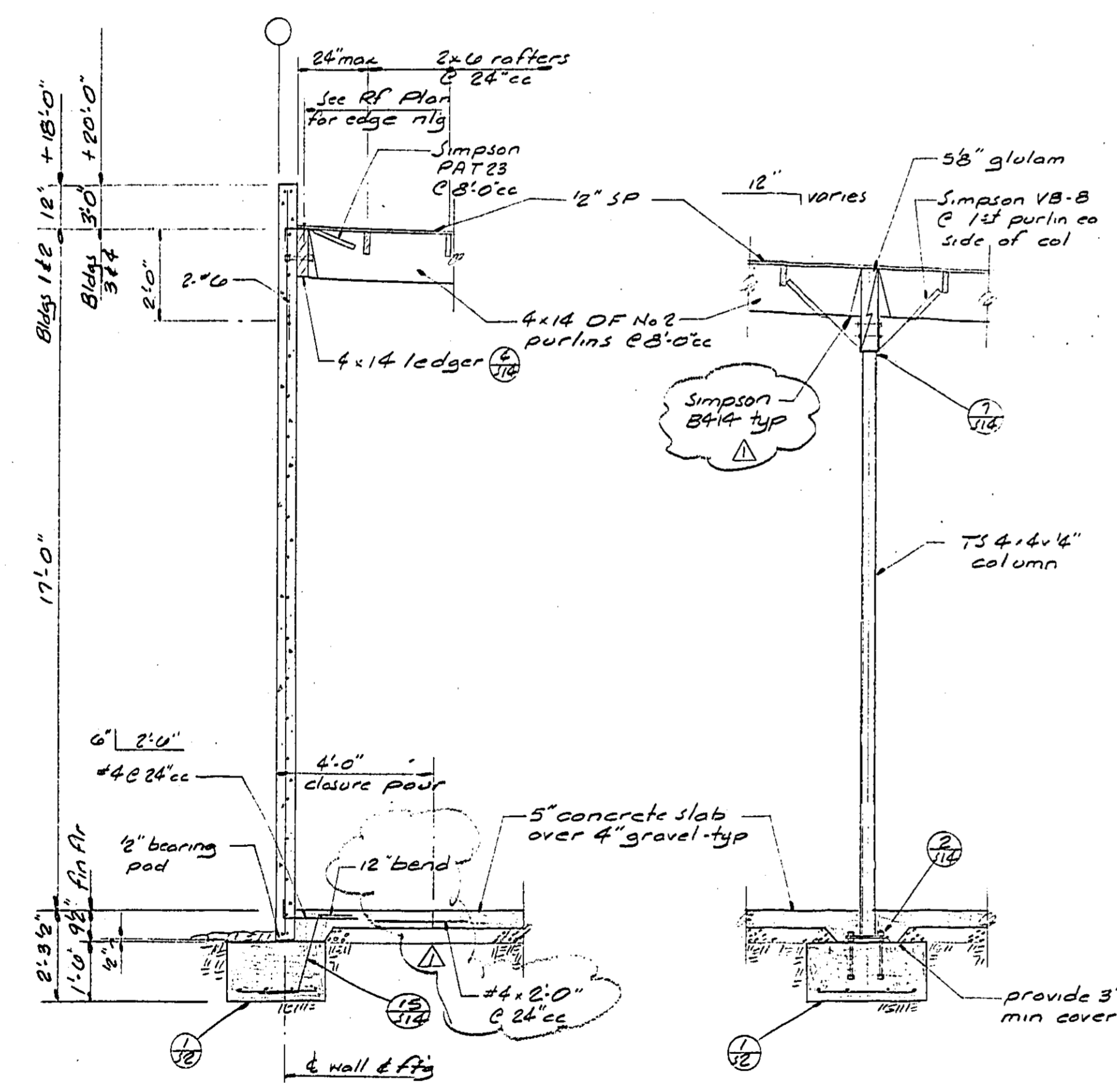
Section E-18 - 1/2" = 1'-0"  
 13, 15, 16, 17



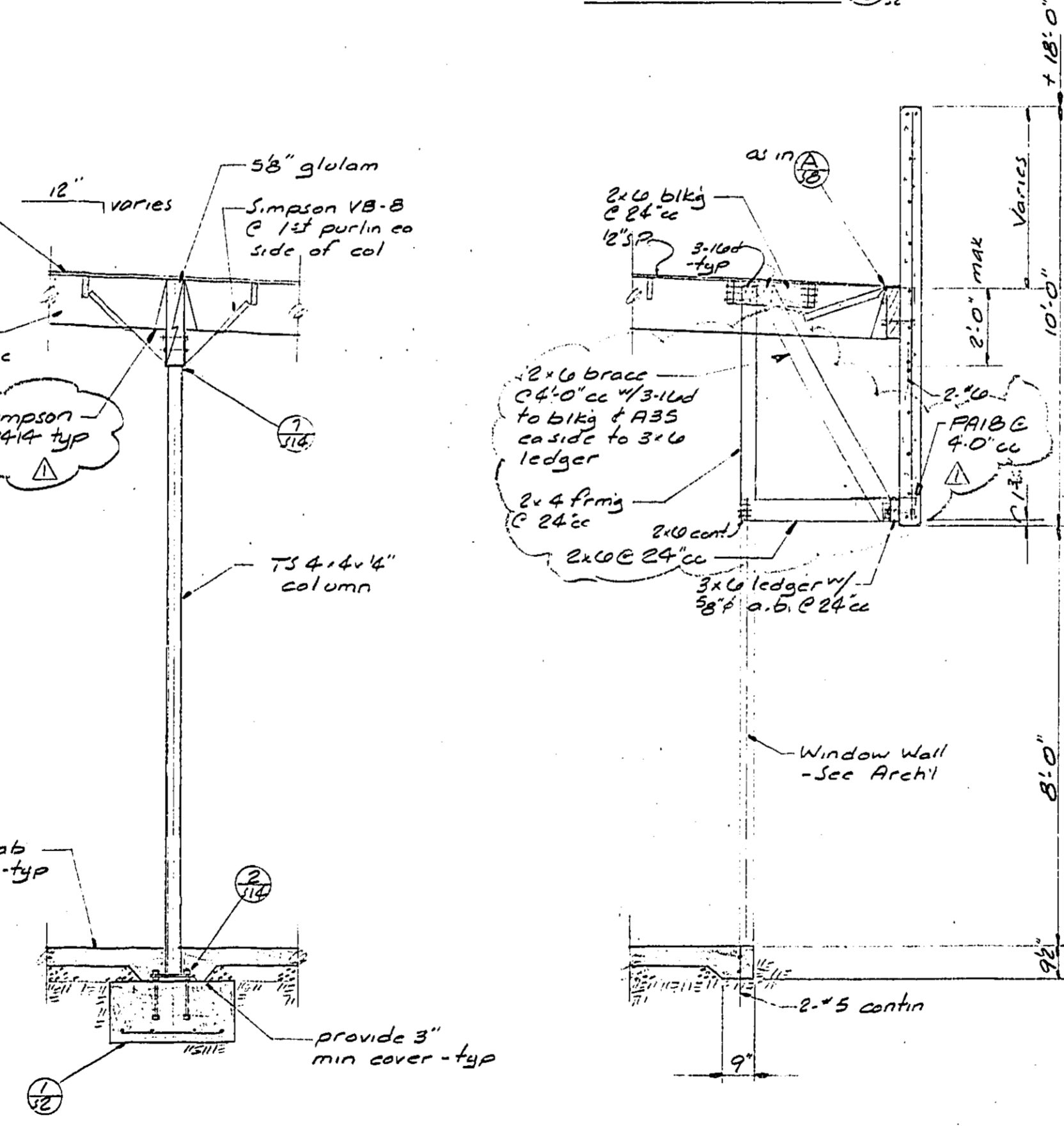
Section F-18 - 1/2" = 1'-0"  
 12, 14, 16, 17



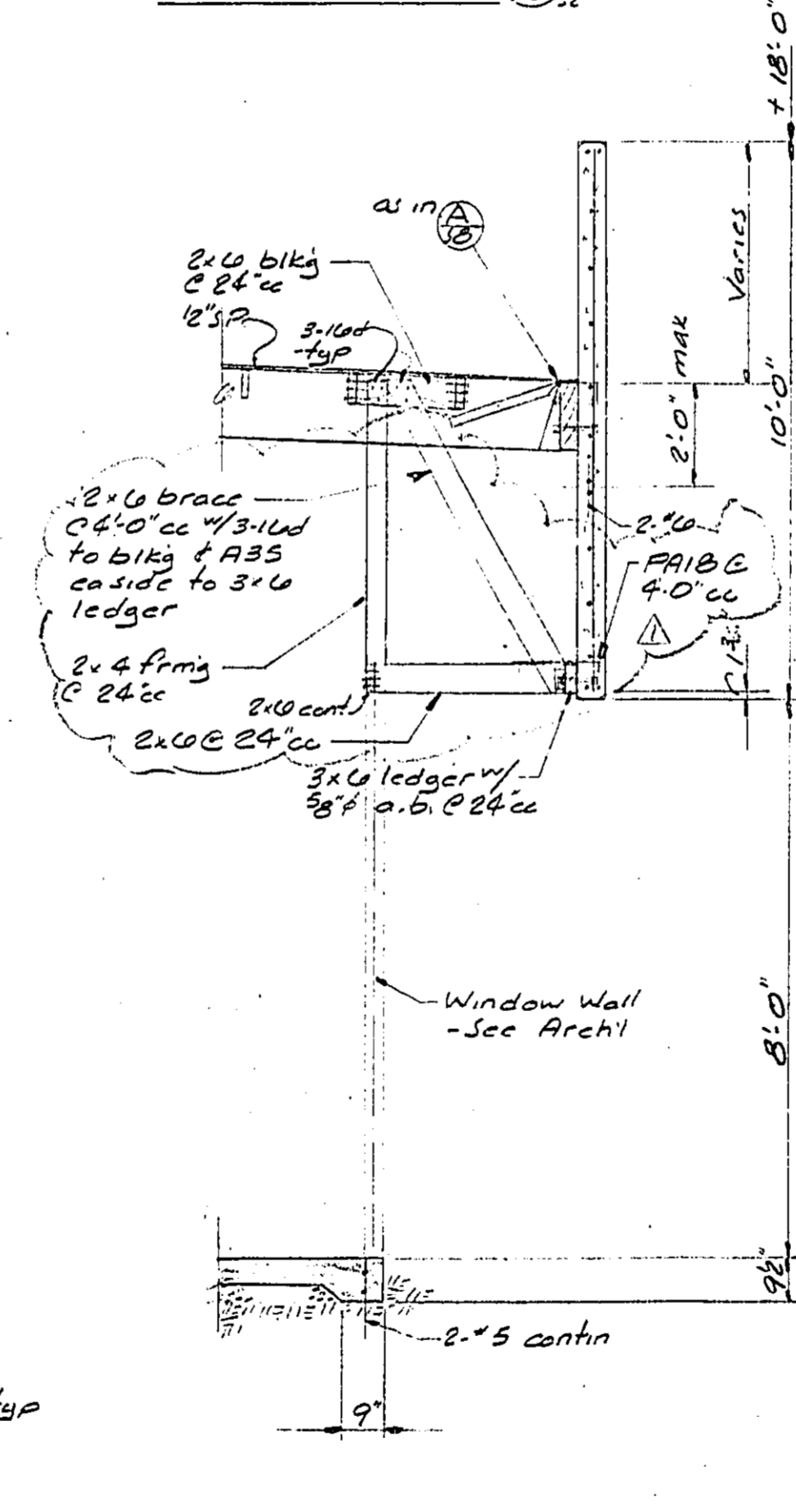
Section G-18 - 1/2" = 1'-0"



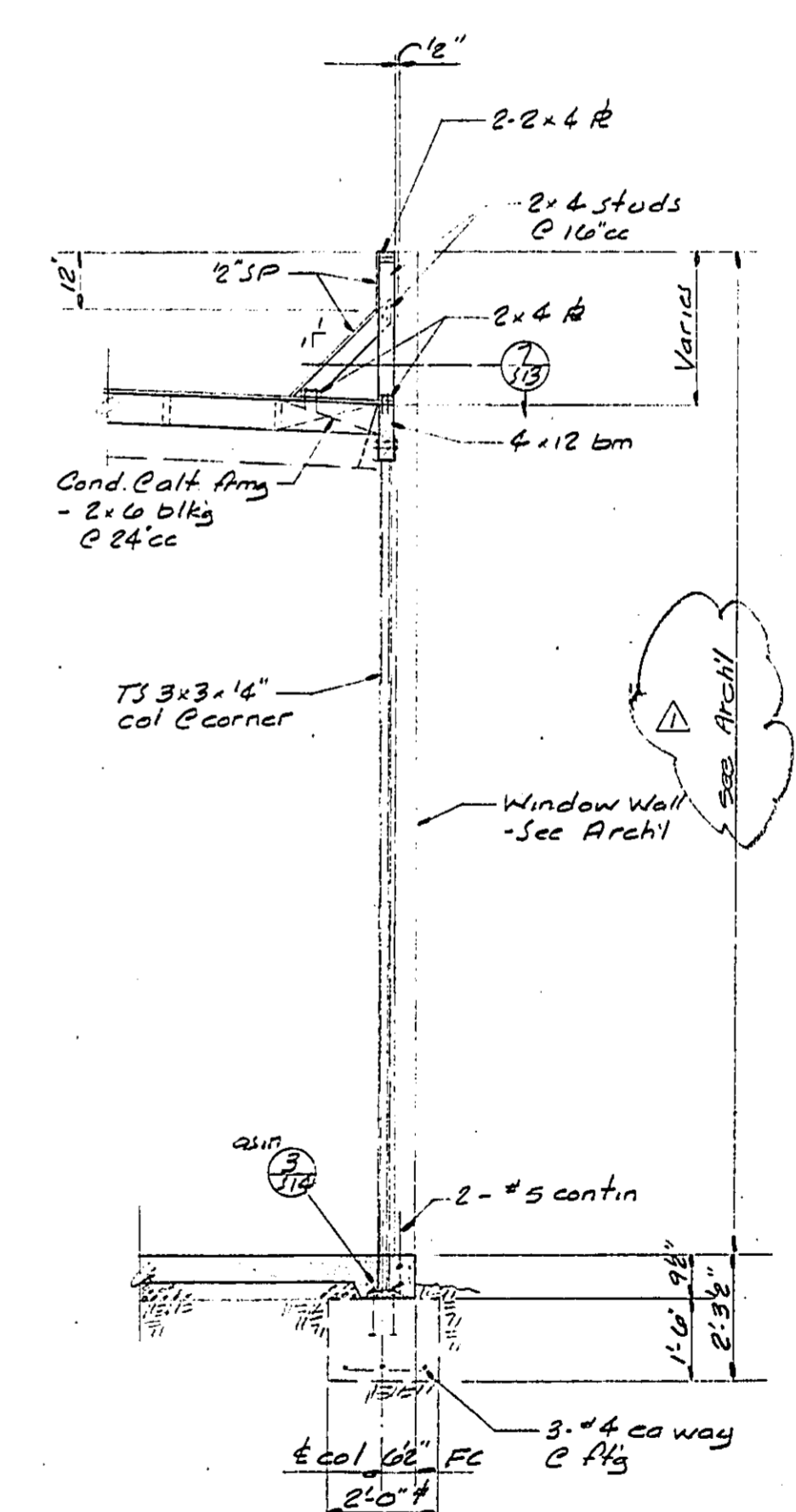
Section A-18 - 1/2" = 1'-0"



Section B-18 - 1/2" = 1'-0"



Section C-18 - 1/2" = 1'-0"



Section D-18 - 1/2" = 1'-0"

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 Exp. 6/30/88  
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 STATE OF CALIFORNIA

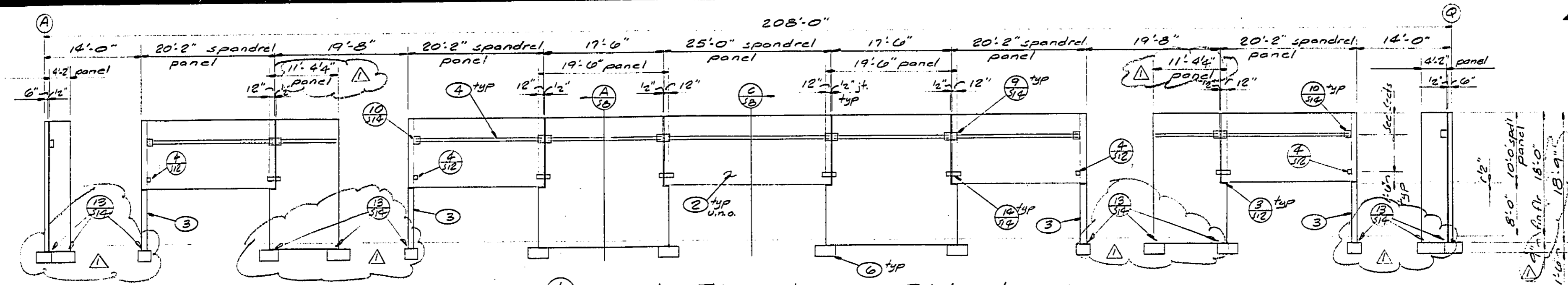
3/18/87 Plan Check  
 Date No. Description

Project  
**MONIER BUSINESS CENTRE**  
 Young Industrial Park  
 Monier Circle Lot 18  
 Rancho Cordova, California

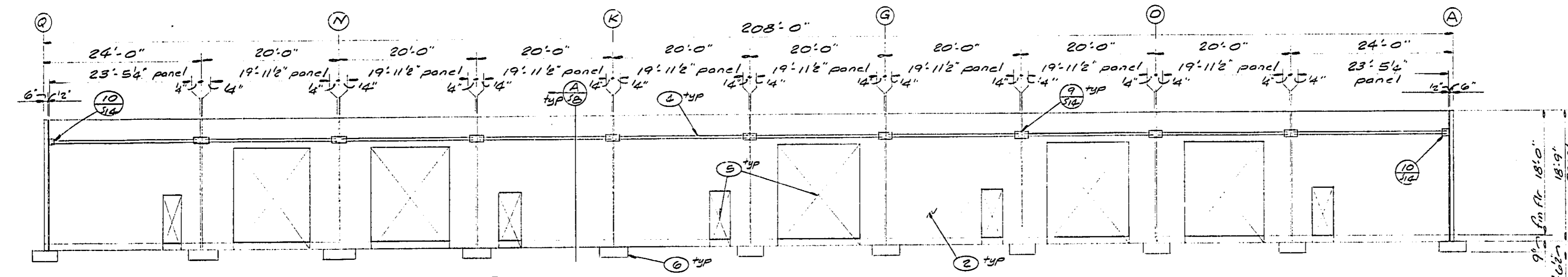
Sheet Description  
 0 SECTIONS

Project No. 80410  
 Sheet No. **S-8**  
 Date 6/13/87

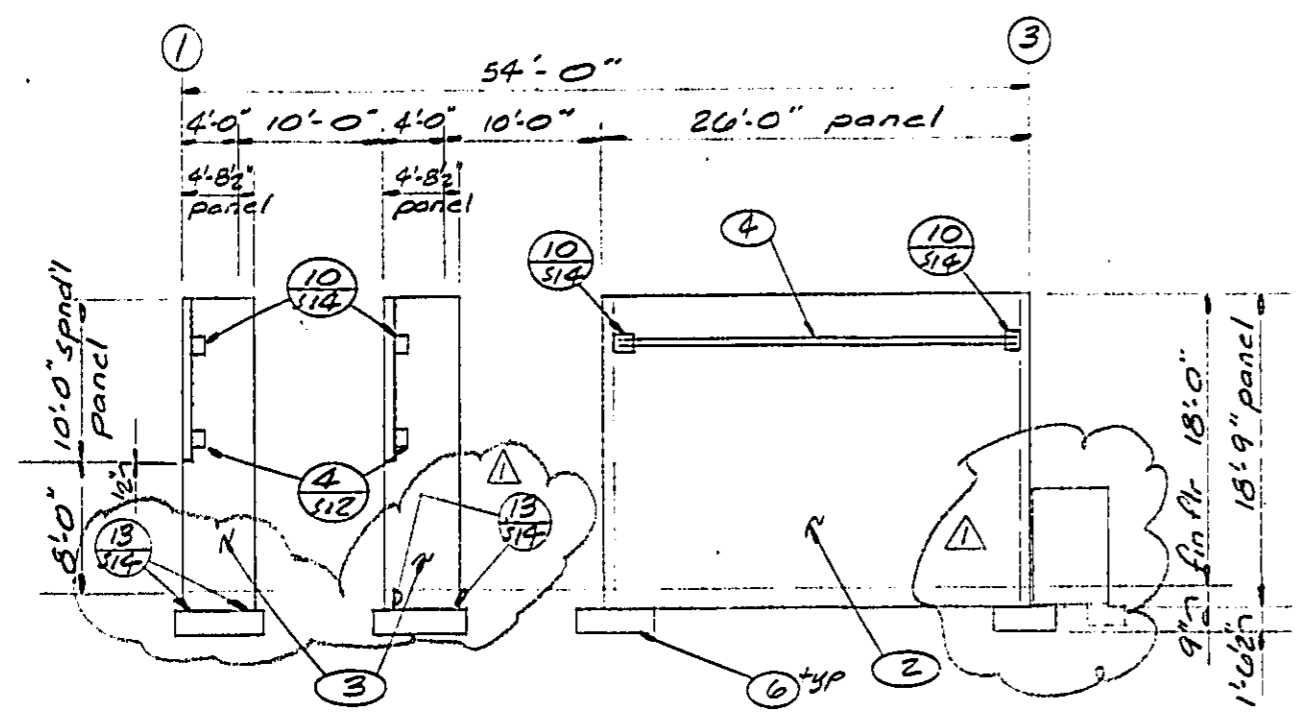
Edward P. English C-10399  
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1/19 South Elevation—Bldg 1—8"=1'-0"



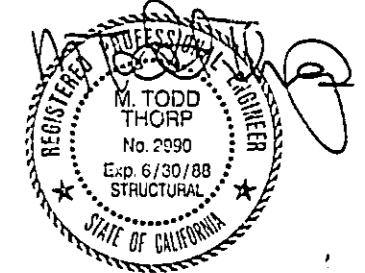
2/19 North Elevation—Bldg 1—8"=1'-0"



3/19 East Elevation—Bldg 1—8"=1'-0"  
 (West Elevation opposite hand)

Drawn By	
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Consultants	

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5/12/87	Plan Check
Date	No. Description

Project  
**MONIER BUSINESS CENTRE**  
 Young Industrial Park  
 Monier Circle Lot 18  
 Rancho Cordova, California

Sheet Description  
 0 PANEL ELEVATIONS-BLDG 1

Project No. 80410 Sheet No. S-9  
 Date 6-16-87

- NOTES
- See Sheet S-12 for typical panel reinforcing elevations. Provide additional reinforcing as shown on this sheet.
  - 6" concrete panel with exposed aggregate finish.
  - 12" concrete panel with exposed aggregate finish.
  - 2 - #6 chord bars.
  - Verify opening location and dimensions with architectural.
  - See Sheet S-1 for footing size and reinforcing.



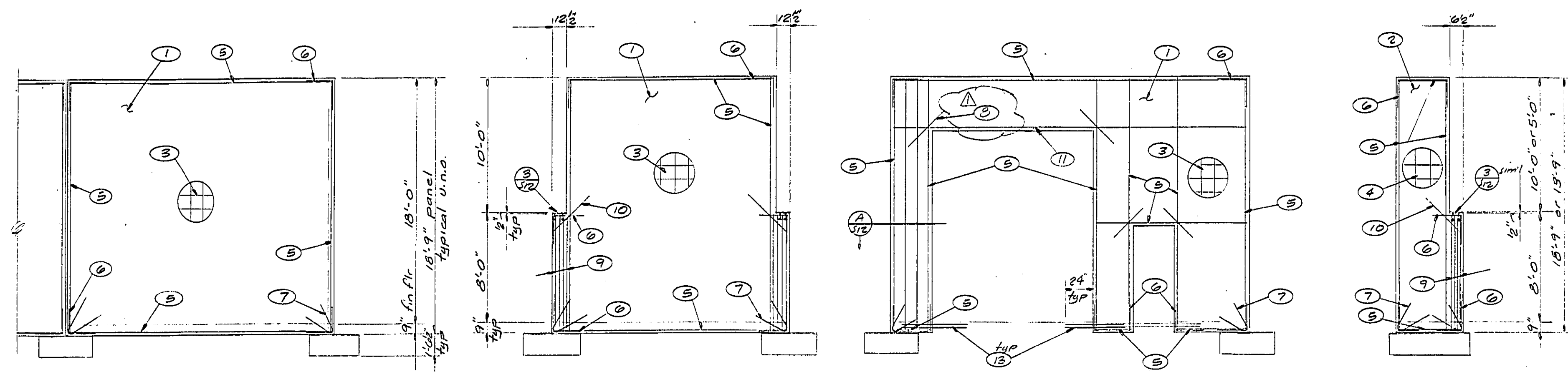
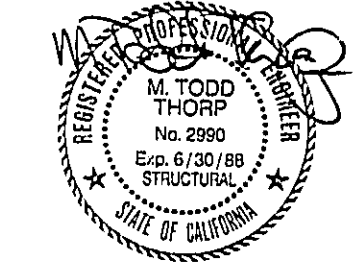


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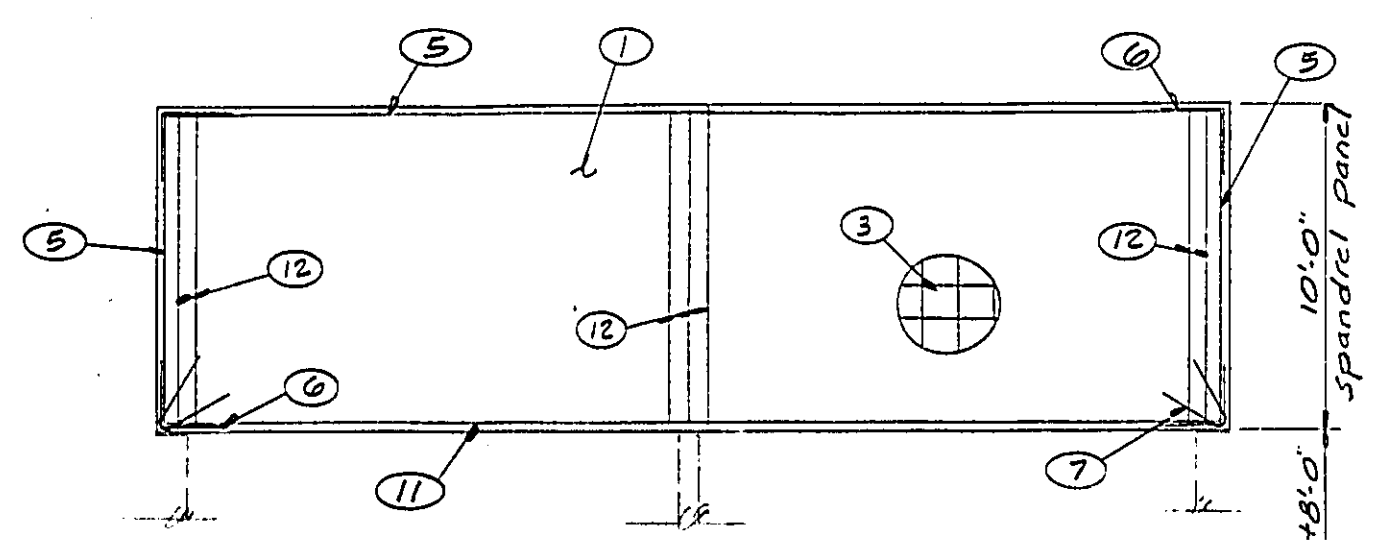
ARCHITECTS  
2830 G Street, Suite 200  
Sacramento, California 95816  
(916)443-5129

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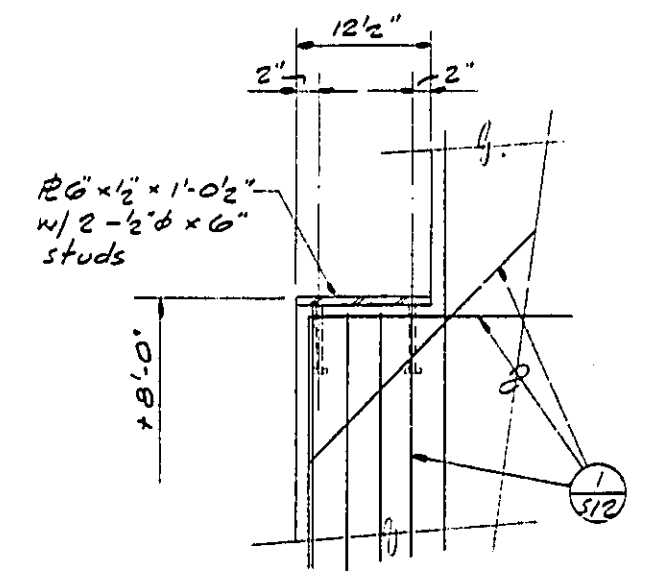
Consultants  
BUEHLER & BUEHLER ASSOCIATES  
STRUCTURAL ENGINEERS, INC.  
7300 Robson Blvd., Suite 203  
Sacramento, Ca. 95828  
(916) 381-8181



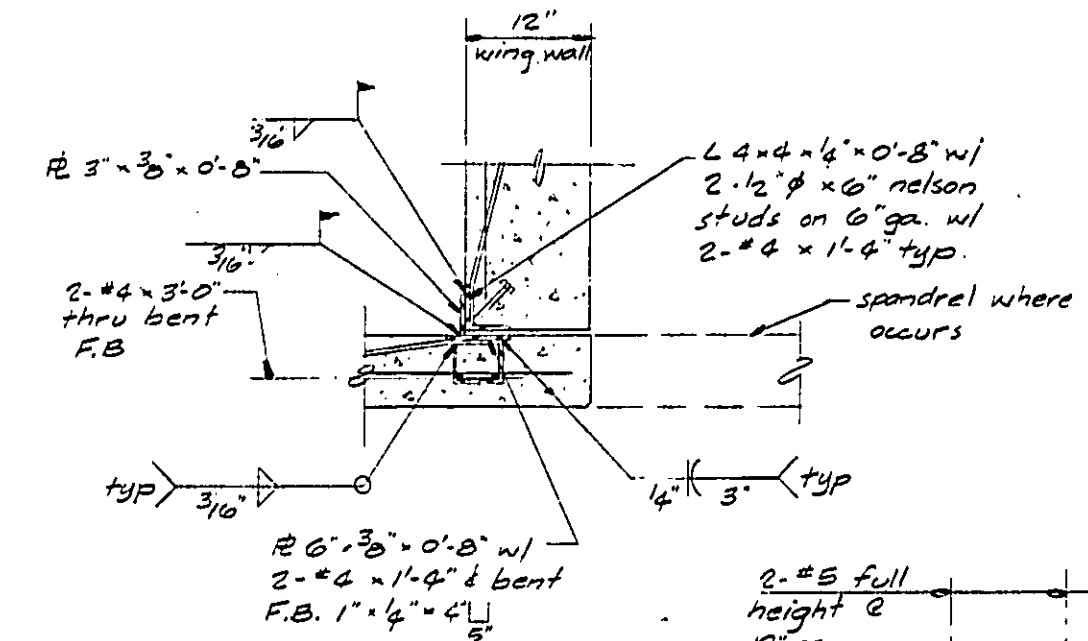
1 Typical Panel Reinforcing Elevations — 4" = 1'-0"  
59, 510, 511



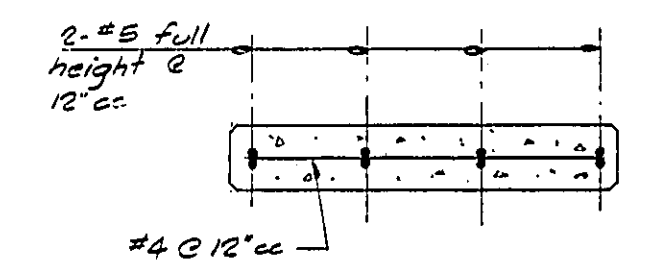
2 Typical Spandrel Reinforcing — 8" = 1'-0"  
59, 510, 511



Detail 3 — 1" = 1'-0"



Detail 4 — 1" = 1'-0"



Section A — 1" = 1'-0"

- NOTES
- 4" concrete panel with exposed aggregate finish.
  - 12" concrete panel with exposed aggregate finish.
  - #6 at 12" cc each way - center vertical bar in wall.
  - #6 at 12" cc each way each face - 1" clear each face.
  - 2 - #5 edge of panel rebar - typical.
  - #5 corner bar with 24" leg each way - typical.
  - #5 hairpin with 60" legs with 60° angle between. Typical at bearing corners.
  - #4 x 4'-0" diagonal at opening corner - typical.
  - 2 - #5 at 3" cc. (B total)
  - 2 - #4 x 3'-0" diagonal.
  - 2 - #6.
  - 2 - #5 at 6" cc.
  - 2 - #5 x 4'-0" dowels.

Plan Check  
Date No. Description

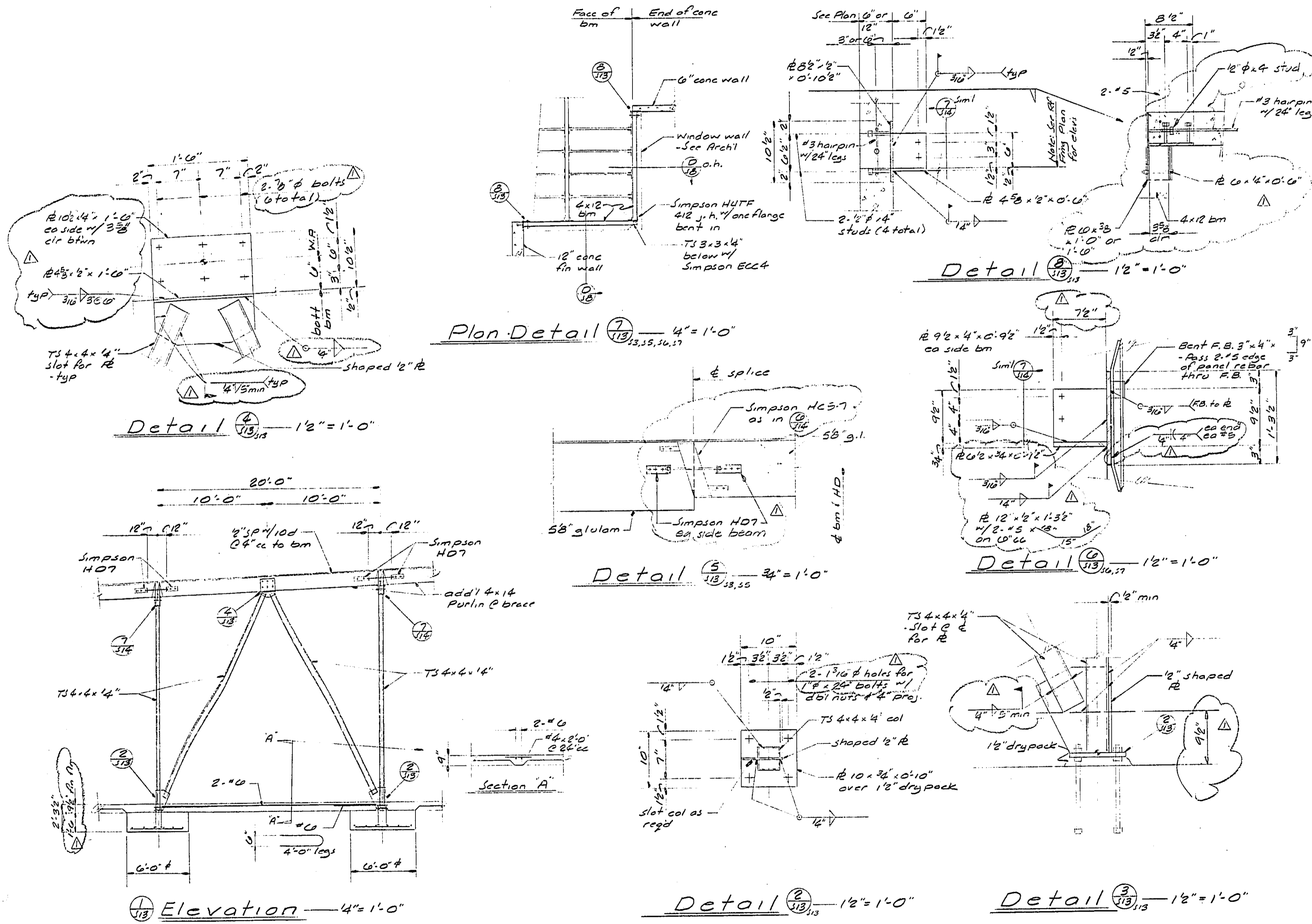
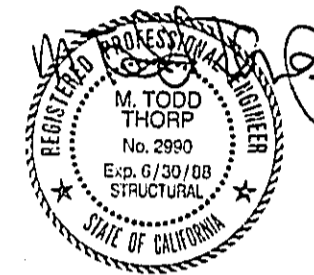
Project  
**MONIER BUSINESS CENTRE**  
Young Industrial Park  
Monier Circle Lot 18  
Rancho Cordova, California

Sheet Description  
DETAILS

Project No. 8-410  
Date 6-18-87  
Sheet No. S-12

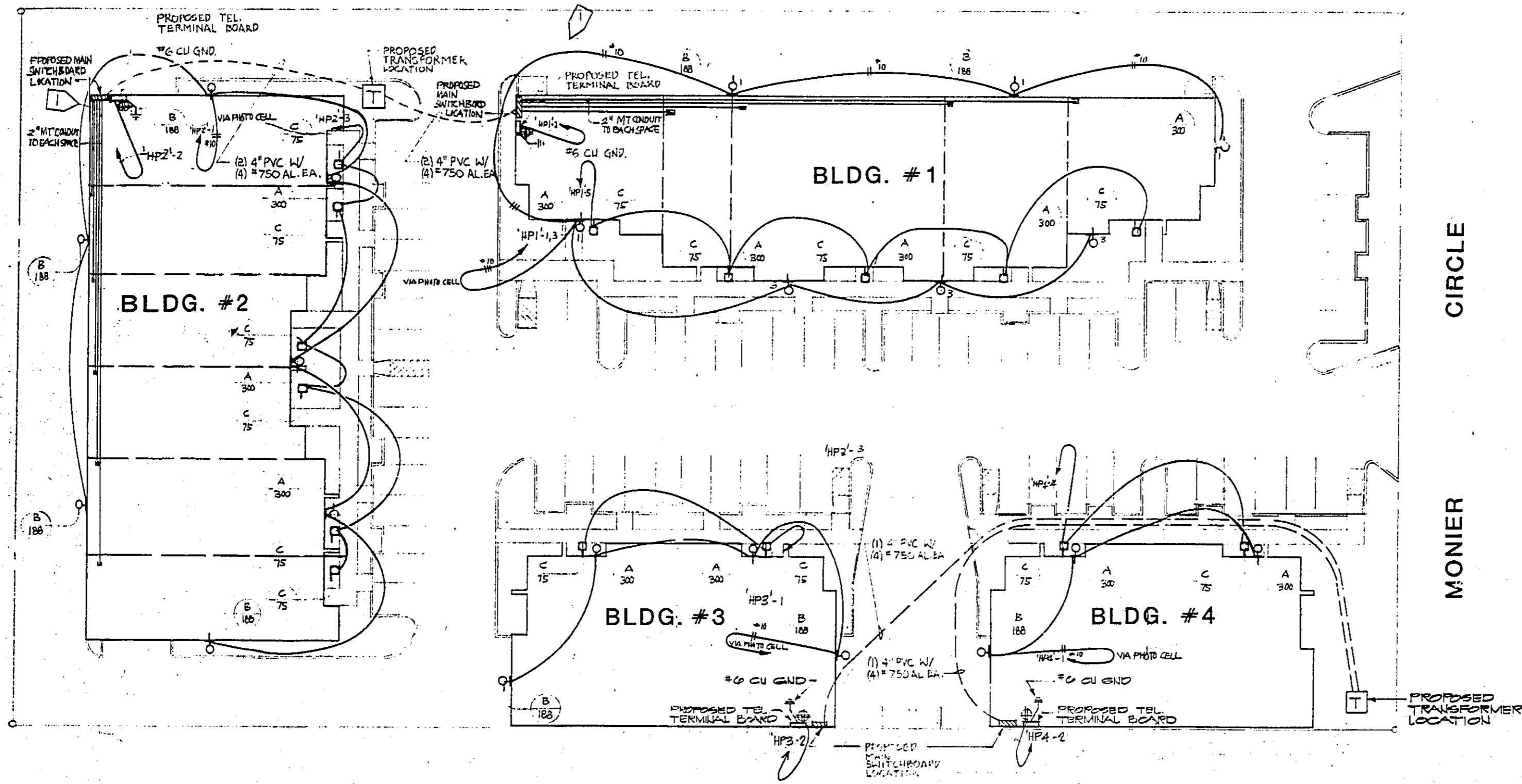
Drawn By	
Checked	
Consultants	

BUEHLER & BUEHLER ASSOCIATES  
STRUCTURAL ENGINEERS, INC.  
7000 Polkman Blvd., Suite 603  
Sacramento, Ca. 95826  
(916) 381-8181



3/15/11	Plan Check	Date	No.	Description
Project				
<b>MONIER BUSINESS CENTRE</b>				
Young Industrial Park Monier Circle Lot 18 Rancho Cordova, California				
Sheet Description				
0 DETAILS				
Project No.	Sheet No.	Date		
20410	S-13	6/13/07		





**SITE PLAN**  
SCALE: 1" = 20'-0"



NUMBERED NOTE:  
1 SMUD POWER ROOMS  
BLDG. 1 & 2

NOTE  
VERIFY AN ARCHITECTURAL SHEETS FOR  
EXACT LOCATION OF FIXTURES.  
ENGR INDICATES BLDG 3 & 4 ARE DESIGNED  
FOR ONE TENANT.

REVISIONS	BY
Δ ISSUE 87	JBY

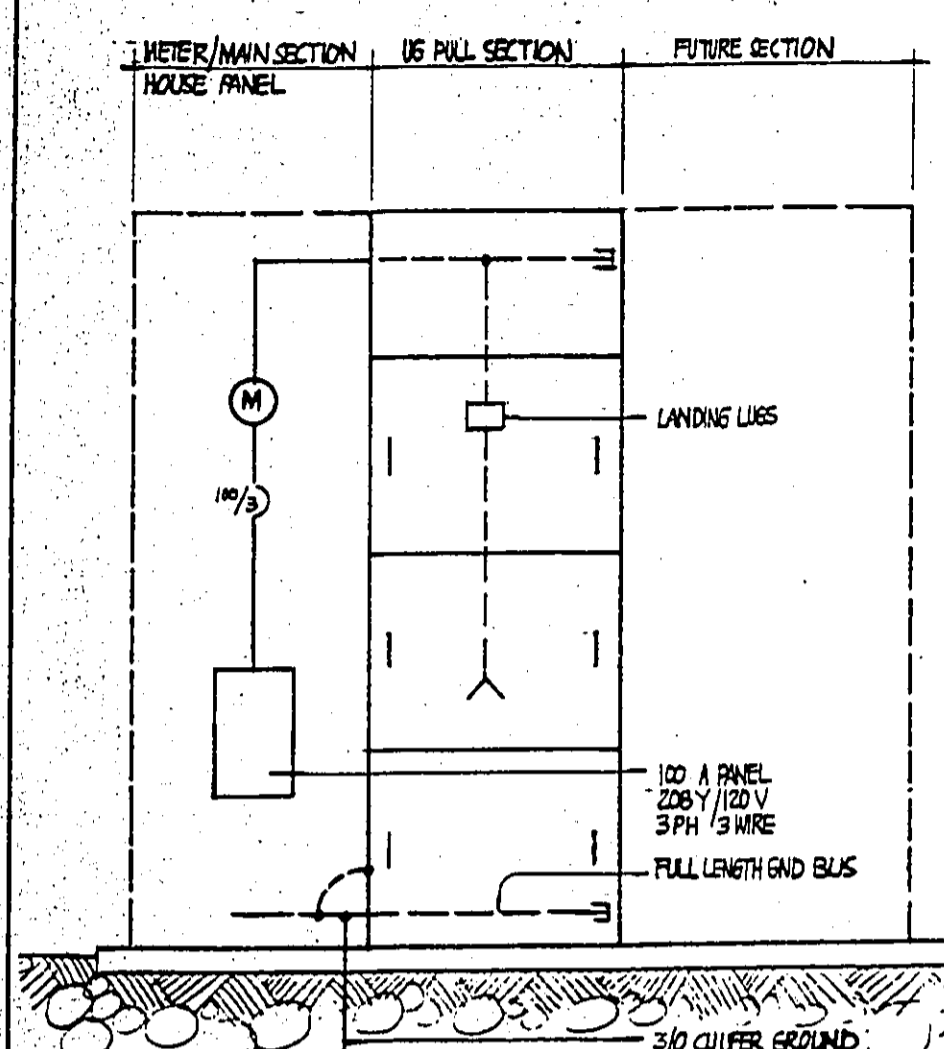


- Electrical
- Plumbing
- Fire Protection
- Underground

5101 Florin-Perkins  
Rd. Sacramento, Ca.  
95826  
(916) 381-8080  
Ca. License:  
408562

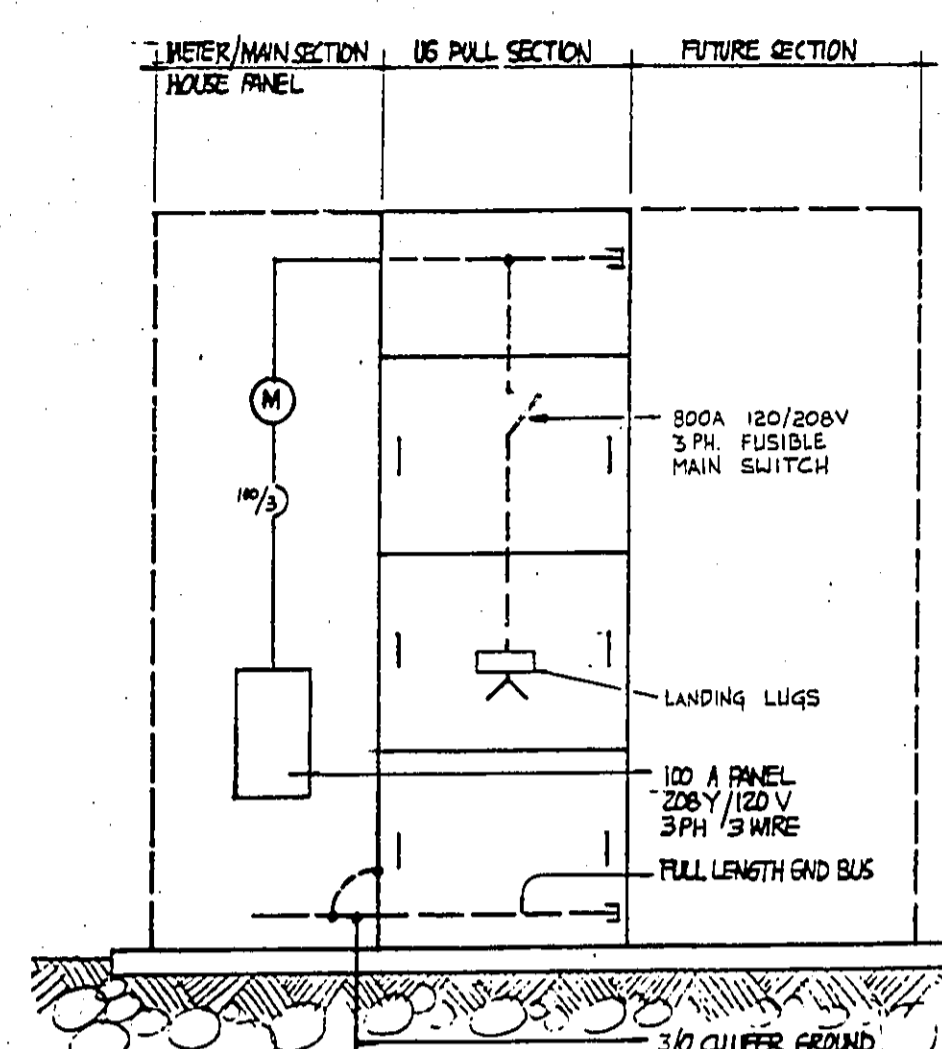
Date	6-5-87
Scale	AS NOTED
Drawn	DCM / JBY
Job	1021
Sheet	<b>E-1.0</b>
	of 2 Sheets

**800 AMP SERVICE 208Y/120V 3 PH 4 W**



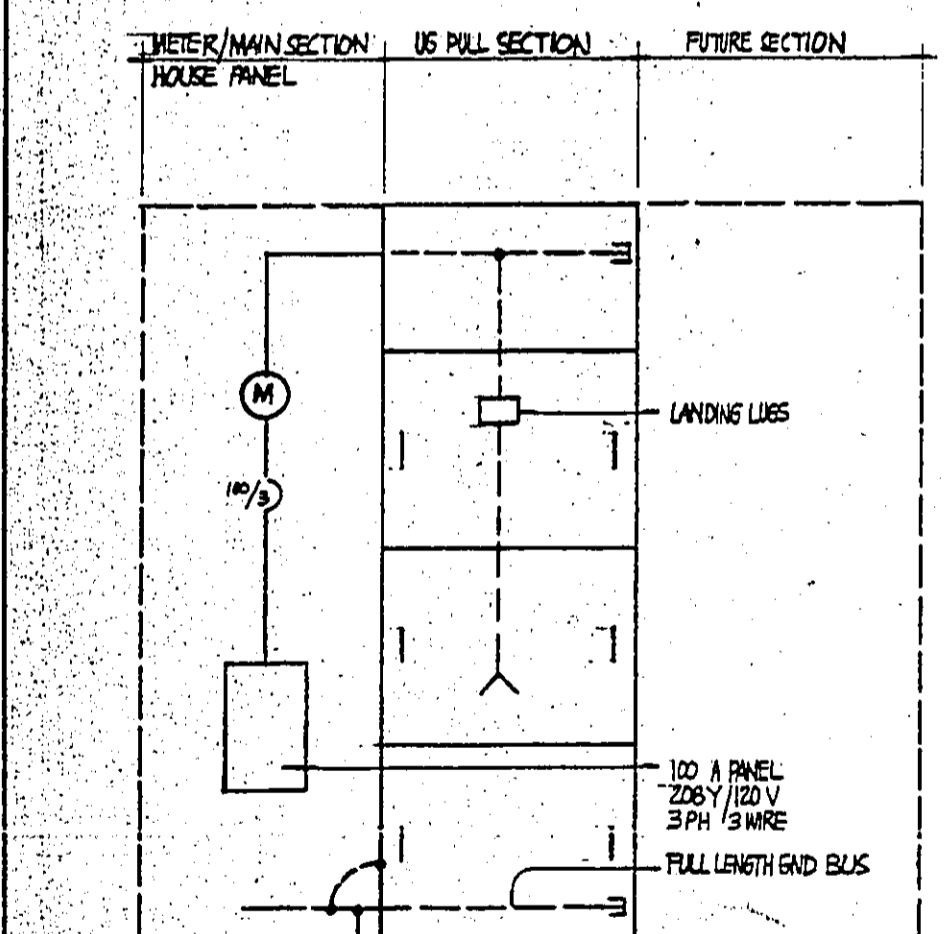
**ONE LINE DIAGRAM (BLDG. 1)**  
NO SCALE

**800 AMP SERVICE 208Y/120V 3 PH 4 W**



**ONE LINE DIAGRAM (BLDG. 2)**  
NO SCALE

**800 AMP SERVICE 208Y/120V 3 PH 4 W**



**ONE LINE DIAGRAM (TYP. OF BLDGS. 3&4)**  
NO SCALE

**PANEL HP 1**  
AIC: 10,000  
TYPE: NEMA 1  
MOUNTING: SURFACE  
BUS: 100A  
NO. OF POLES: 20  
SPECIAL:  $\Delta$

LOAD	KVA	CB	CB	KVA	LOAD
LIGHTS	1.0	20	0.5	2	TELEPHONE RECEPT.
LIGHTS	3.0	4		4	
LIGHTS	3.0	4		4	
	7			8	
	9			10	
	11			12	
	13			14	
	15			16	
	17			18	
	19			20	

**PANEL HP 2**  
AIC: 10,000  
TYPE: NEMA 1  
MOUNTING: SURFACE  
BUS: 100A  
NO. OF POLES: 20  
SPECIAL:  $\Delta$

LOAD	KVA	CB	CB	KVA	LOAD
LIGHTS	1.7	20	0.5	2	TELEPHONE RECEPT.
LIGHTS	3.0	4		4	
	5			6	
	7			8	
	9			10	
	11			12	
	13			14	
	15			16	
	17			18	
	19			20	

**PANEL HP 3**  
AIC: 10,000  
TYPE: NEMA 1  
MOUNTING: SURFACE  
BUS: 100A  
NO. OF POLES: 20  
SPECIAL:  $\Delta$

LOAD	KVA	CB	CB	KVA	LOAD
LIGHTS	1.0	20	0.5	2	TELEPHONE RECEPT.
LIGHTS	3.0	4		4	
	5			6	
	7			8	
	9			10	
	11			12	
	13			14	
	15			16	
	17			18	
	19			20	

**PANEL HP 4**  
AIC: 10,000  
TYPE: NEMA 1  
MOUNTING: SURFACE  
BUS: 100A  
NO. OF POLES: 20  
SPECIAL:  $\Delta$

LOAD	KVA	CB	CB	KVA	LOAD
LIGHTS	1.0	20	0.5	2	TELEPHONE RECEPT.
LIGHTS	3.0	4		4	
	5			6	
	7			8	
	9			10	
	11			12	
	13			14	
	15			16	
	17			18	
	19			20	

**LOAD CALCULATIONS**

BLDG. #1	9,728 SQ FT
LIGHTING:	9,728 SQ FT @ 3.5 VA/SQ FT = 34,048 VA
RECEPTACLES:	9,728 SQ FT @ 2.0 VA/SQ FT = 19,456 VA
MECHANICAL:	9,728 SQ FT @ 10.0 VA/SQ FT = 97,280 VA
MISC. EQUIPMENT:	9,728 SQ FT @ 1.0 VA/SQ FT = 9,728 VA
COMPUTER:	5,000 VA
IRRIGATION CONTROLLER:	600 VA
MICROWAVE:	1,500 VA
REFRIGERATOR:	1,000 VA
COFFEE MACHINE:	2,000 VA
	<b>170,612 VA</b>
	170,612 VA divided by 208V x $\sqrt{3}$ = <b>474 AMPS</b>
BLDG. #2	11,278 SQ FT
LIGHTING:	11,278 SQ FT @ 3.5 VA/SQ FT = 39,473 VA
RECEPTACLES:	11,278 SQ FT @ 2.0 VA/SQ FT = 22,556 VA
MECHANICAL:	11,278 SQ FT @ 10.0 VA/SQ FT = 112,780 VA
MISC. EQUIPMENT:	11,278 SQ FT @ 1.0 VA/SQ FT = 11,278 VA
COMPUTER:	5,000 VA
IRRIGATION CONTROLLER:	600 VA
MICROWAVE:	1,500 VA
REFRIGERATOR:	1,000 VA
COFFEE MACHINE:	2,000 VA
	<b>197,187 VA</b>
	197,187 VA divided by 208V x $\sqrt{3}$ = <b>541 AMPS</b>
BLDG. #3	5,184 SQ FT
LIGHTING:	5,184 SQ FT @ 3.5 VA/SQ FT = 18,144 VA
RECEPTACLES:	5,184 SQ FT @ 2.0 VA/SQ FT = 10,368 VA
MECHANICAL:	5,184 SQ FT @ 10.0 VA/SQ FT = 51,840 VA
MISC. EQUIPMENT:	5,184 SQ FT @ 1.0 VA/SQ FT = 5,184 VA
COMPUTER:	5,000 VA
IRRIGATION CONTROLLER:	600 VA
MICROWAVE:	1,500 VA
REFRIGERATOR:	1,000 VA
COFFEE MACHINE:	2,000 VA
	<b>95,636 VA</b>
	95,636 VA divided by 208V x $\sqrt{3}$ = <b>266 AMPS</b>
BLDG. #4	5,184 SQ FT
LIGHTING:	5,184 SQ FT @ 3.5 VA/SQ FT = 18,144 VA
RECEPTACLES:	5,184 SQ FT @ 2.0 VA/SQ FT = 10,368 VA
MECHANICAL:	5,184 SQ FT @ 10.0 VA/SQ FT = 51,840 VA
MISC. EQUIPMENT:	5,184 SQ FT @ 1.0 VA/SQ FT = 5,184 VA
COMPUTER:	5,000 VA
IRRIGATION CONTROLLER:	600 VA
MICROWAVE:	1,500 VA
REFRIGERATOR:	1,000 VA
COFFEE MACHINE:	2,000 VA
	<b>95,636 VA</b>
	95,636 VA divided by 208V x $\sqrt{3}$ = <b>266 AMPS</b>

**ELECTRICAL SYMBOLS**

- MAIN SWITCHBOARD 'MSB'
- TELEPHONE TERMINAL BOARD 'TTB'
- DOUBLE DUPLEX RECEPTACLE NEMA 5-15R, + 2" UNLESS NOTED
- JUNCTION BOX, SIZE AND TYPE AS REQUIRED
- INCANDESCENT / H.I.D. LIGHT FIXTURE - WALL MOUNTED
- FIXTURE TAG, LETTER INDICATES TYPE, NUMBER INDICATES INPUT WATTAGE
- TRANSFORMER, SIZE AS NOTED
- CONDUIT RUN CONCEALED BELOW FLOOR OR FINISH GRADE
- CONDUIT RUN CONCEALED IN CEILING OR WALL
- HOME RUN TO RESPECTIVE PANEL OR TERMINAL CABINET
- EMPTY CONDUIT W/ PULL STRING
- WEATHERPROOF
- INCANDESCENT / H.I.D. LIGHT FIXTURE - RECESSED

- GENERAL NOTES**
- REFER TO MECHANICAL DRAWINGS FOR EXACT HVAC EQUIPMENT LOCATIONS.
  - FUSE ALL HVAC EQUIPMENT PER UNIT NAMEPLATE SPECIFICATIONS. VERIFY FUSE SIZE IN FIELD.
  - INTERPRETATIONS OF THESE DRAWINGS AND SPECIFICATIONS TO BE BY MARK III ENGINEERING CONTRACTORS.
  - THESE DRAWINGS ARE DIAGNOSTIC AND THEREFORE DO NOT SHOW EXACT ROUTING OF CONDUITS. DEVIATIONS FROM THESE DRAWINGS ARE PERMITTED BY EMPLOYEES OF MARK III ENGINEERING CONTRACTORS AS LONG AS THESE DEVIATIONS COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ALL APPLICABLE STATE, CITY AND LOCAL CODES.

**FIXTURE SCHEDULE**

TYPE	MAKE & MODEL	WATTAGE	VOLTS	MOUNTING	REMARKS
A	HITEK TWH250S OR EQUAL	250 WPS	120	SURFACE WALL	
B	HITEK TWH50S OR EQUAL	150 WPS	120	SURFACE WALL	
C	HALO H77 W/AID TRIM OR EQUAL	75 W A19	120	RECESSED CEILING	

REVISIONS	BY
$\Delta$ 15 JUNE 87	JSY



- Electrical
- Plumbing
- Fire Protection
- Underground

5101 Florin-Parkins Rd. Sacramento, Ca. 95826  
(916) 381-8080  
Co. License: 408562

Date 6-8-87  
Scale NONE  
Drawn D.C.M.

CHECKED: *JSY*  
ELECTRICAL  
ESTIMATOR: *PEH*  
PLUMBING

Job # 1021  
Sheet  
**E-1.1**  
of  
Sheets

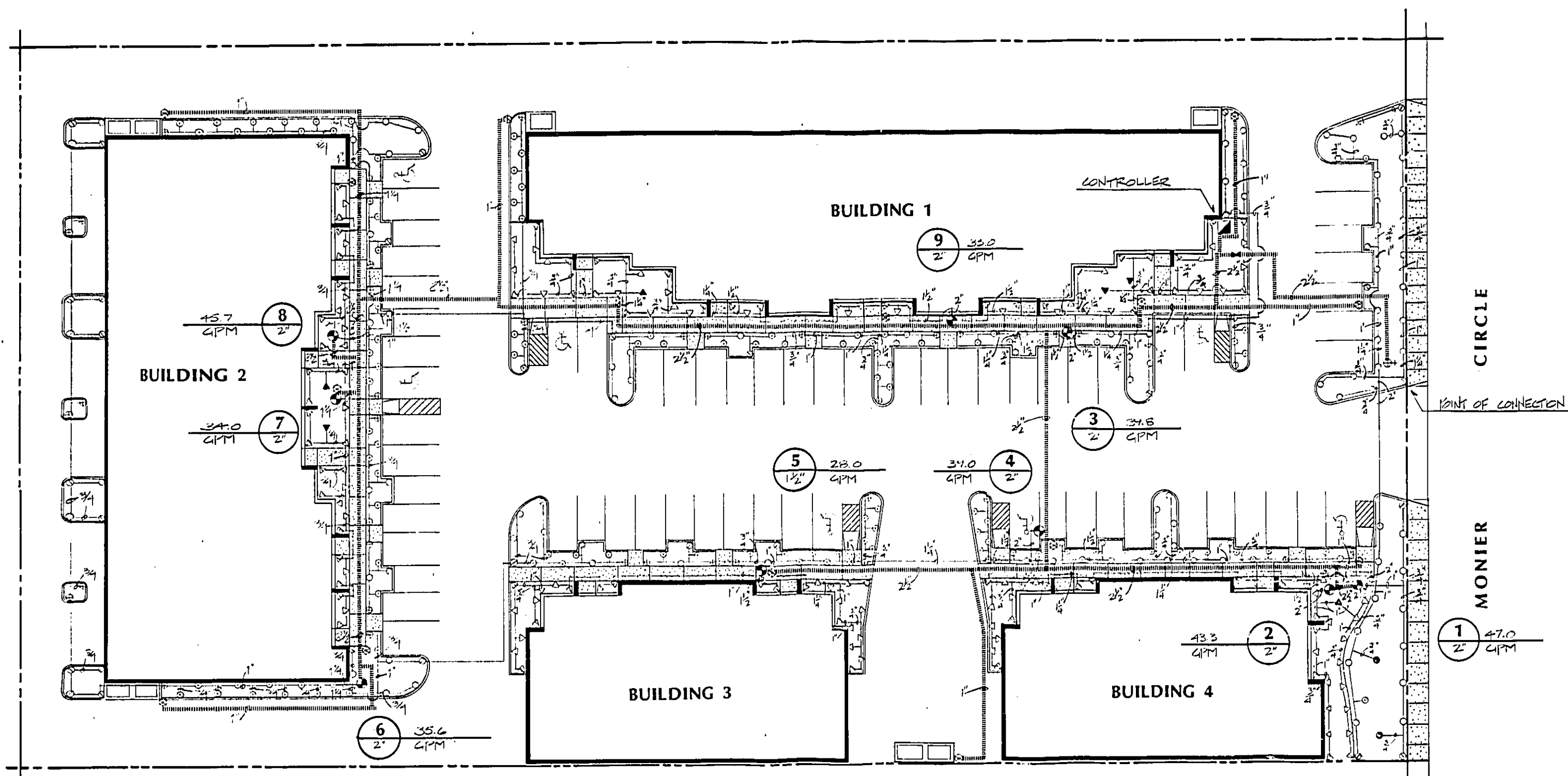
MONIER - 21 DRG



Edward P. English C-10399  
**ARCHITECTS**  
 2830 G Street suite 200  
 Sacramento, California 95816  
 (916) 443-5129

Drawn By  
 DW/BG/JZ  
 Checked  
 RDH

Consultants  
 J. H. ... 1069  
**THE HILA GROUP**  
 LANDSCAPE ARCHITECTS, PLANNERS - SACRAMENTO  
 100 MARKET STREET, SUITE 100, SACRAMENTO, CA 95804



**CONSTRUCTION NOTES**

- 1) PROVIDE MINIMUM 2 PERCENT SLOPE IN ALL PLANTED AREAS TO OUTLET.
- 2) LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING ALL PLANTED AREAS. EXCESS MATERIAL SUCH AS BASE ROCK, DEBRIS, ASPHALT PAVING, ETC. SHALL BE REMOVED TO SUBGRADE. RIP SUBGRADE, BACKFILL WITH SOIL. SOIL BACKFILL SHALL BE CLEAN EARTHEN FILL, VOID OF HEAVY AND STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER 1 INCH IN SIZE. THE TOP 15 INCHES OF BACKFILL SHALL BE TOPSOIL EQUAL TO THAT SPECIFIED IN THE SPECIFICATIONS. SITE STRIPPINGS MAY BE UTILIZED FOR THIS PLANTER BACKFILL AND TOPSOIL BACKFILL IF APPROVED BY THE LANDSCAPE ARCHITECT. SITE STRIPPINGS SHALL BE DEFINED AS THE TOP 6 INCHES OF SOIL FROM THE SITE, WHICH HAS BEEN REMOVED OF ALL VEGETATION MATTER PRIOR TO STRIPPINGS. THIS SHALL BE STRIPPED PRIOR TO ANY SITE GRADING AND STOCKPILED FOR FUTURE LANDSCAPE WORK. ALL PLANTED AREAS SHALL BE RAISED 6 INCHES ABOVE THE ADJACENT HIGHEST TOP OF CURB ELEVATION. AMEND THE SOIL AS PER PLAN AND SPECIFICATIONS. THE LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE AND ITS POTENTIAL SITE AVAILABILITY OF STRIPPINGS PRIOR TO SUBMITTING A PRICE QUOTATION ON THIS PROJECT. IF THE CONTRACTOR SIGNS A CONTRACT TO PROVIDE LANDSCAPE SERVICES ON THIS PROJECT, IT INDICATES THAT THE FOLLOWING HAS BEEN DETERMINED IN PRICE QUOTED:
  - 1) LOCATION FOR STOCKPILING SITE STRIPPINGS.
  - 2) SOURCE OF SOIL FOR BACKFILL.
  - 3) CHECKED WITH LANDSCAPE ARCHITECT FOR APPROVAL OF SITE STRIPPINGS.
  - 4) COORDINATED WITH THE GENERAL CONTRACTOR OF WORK AS TO WHO WILL BE RESPONSIBLE FOR PLACING TOPSOIL. IF NOT THE LANDSCAPE CONTRACTOR, SO STATE IN CONTRACT WHERE SOIL WILL BE OBTAINED FROM AND PLACED.
  - 5) STATE IN CONTRACT THE SOURCE OF SOIL BACKFILL AND THAT IT IS PART OF THE CONTRACT OR THAT IT HAS BEEN AGREED BETWEEN THE GENERAL CONTRACTOR AND THE LANDSCAPE CONTRACTOR THAT ANOTHER WILL SUPPLY THE SOIL EQUAL TO THESE PLANS.
- 3) DO NOT ACCEPT CONTRACT ON THIS PROJECT UNTIL THE PARTY RESPONSIBLE FOR THE ROUGH GRADING, INCLUDING PLACING OF BACKFILL FOR THIS SITE AND BERMS, IS DETERMINED BETWEEN THE GENERAL CONTRACTOR AND THE SUBCONTRACTOR.
- 4) INSPECTIONS ARE LISTED IN THE SPECIFICATIONS. CALL (916) 447-7400.
- 5) FOR ADDITIONAL INFORMATION, SPECIFICATIONS AND DETAILS, SEE SHEET L3, L4, L5.
- 6) **1** INDICATES DETAIL NUMBER.  
**L5** INDICATES SHEET NUMBER.

**IRRIGATION NOTES**

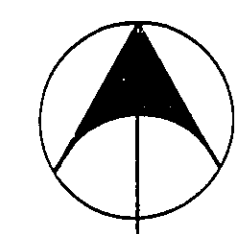
1. THIS SYSTEM IS DESIGNED TO OPERATE ON AN EXISTING STATIC PRESSURE OF 40 PSI WITH THE EQUIPMENT AND SIZES STATED.
2. THIS DRAWING IS PARTIALLY DIAGRAMATIC AND DOES NOT SHOW ALL OFFSETS AND FITTINGS REQUIRED FOR A COMPLETE SYSTEM.
3. ADJUST SPRAY COVERAGE OF HEADS TO PROVIDE PROPER COVERAGE AND TO PREVENT OYERSPRAY ON WALLS AND WALKS.
4. VERIFY SITE CONDITIONS AS SHOWN ON THESE PLANS PRIOR TO SUBMITTING A PRICE QUOTATION BID OR COMMENCING CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
5. LOCATE PIPING IN PLANTED AREAS WHENEVER POSSIBLE.
6. LOCATE ALL REMOTE CONTROL VALVES AND P.Y.B. IN NEAREST SHRUB PLANTED AREA WHENEVER POSSIBLE.
7. PLACE VALVES IN VALVE BOXES AS PER DETAIL 5 SHEET L5.
8. SCREEN BACKFLOW PREVENTER FROM VIEW WITH PLANTING.
9. SCREEN TIMER FROM VIEW WITH PLANTING.
10. LANDSCAPE CONTRACTOR TO CONNECT AUTOMATIC CONTROL VALVE WIRING TO CONTROLLER AND COORDINATE ELECTRICAL POWER CONNECTION OF CONTROLLER TO POWER SOURCE WITH ELECTRICAL CONTRACTOR.
11. LANDSCAPE CONTRACTOR TO PROVIDE EXTRA CONTROL WIRE FOR REMOTE CONTROL VALVES ACROSS PAVED PARKING LOTS.
12. INSTALL COPPER TRACE WIRE FROM POINT OF CONNECTION TO BACKFLOW PREVENTER.
13. COORDINATE W/GENERAL CONTRACTOR SLEEVING & STUBBING OF PARKING LOT PRIOR TO PAVING OPERATIONS.
14. ALL PRESSURE LINES UNDER PAVING, INCLUDING WALKS AND DRIVEWAYS, SHALL BE SLEEVED AS PER SPECIFICATIONS. SLEEVE PIPE SHALL BE TWICE THE LINE SIZE INDICATED ON PLANS.
15. CONFORM TO ALL LOCAL CODES.
16. SEE SHEET L3,L4, L5 FOR INFORMATION, DETAILS, AND SPECIFICATIONS.
17. CONTROLLER (AND PEDSTAL, IF SPECIFIED, OR ANY EXPOSED CONDUIT) SHALL BE PAINTED TO MATCH BUILDING.
18. **1** INDICATES REMOTE CONTROL VALVE/STATION NUMBER  
**L5** INDICATES REMOTE CONTROL VALVE/SIZE

**IRRIGATION SCHEDULE**

KEY	MANUF.	MODEL NO./DESCRIPTION	PSI	GPM
○	RAIN BIRD	1804- 10H 4 IN. POP-UP LOW ANGLE SPRAY	20	0.65
○	RAIN BIRD	1804- 10Q 4 IN. POP-UP LOW ANGLE SPRAY	20	0.33
○	RAIN BIRD	1804- 1SSST 4 IN. POP-UP SIDE STRIP	20	1.00
○	RAIN BIRD	1804- 12F 4 IN. POP-UP	20	2.10
○	RAIN BIRD	1804- 12H 4 IN. POP-UP	20	1.05
○	RAIN BIRD	1804- 12Q 4 IN. POP-UP	20	0.53
▲	RAIN BIRD	1806- 16F 6 IN. POP-UP	20	2.66
▲	RAIN BIRD	1806- 16H 6 IN. POP-UP	20	1.33
▲	RAIN BIRD	1806- 16Q 6 IN. POP-UP	20	0.67
⊕	RAIN BIRD	44 RC QUICK COUPLER, 1 IN. SIZE, TWO PIECE BODY, YELLOW RUBBER COVER.		
⊕	WEATHERMATIC	11000 SERIES REMOTE CONTROL VALVE, SIZE AS NOTED.		
⊕	MIBCO	GATE VALVE, BRASS OR BRONZE, LINE SIZE.		
⊕	FEBCO	765 PRESSURE BACKFLOW PREVENTER, 2 IN. SIZE.		
⊕	IRRI-TROL	MC-12, 12 STATION CONTROLLER, OUTSIDE WALL MOUNT.		
—		CLASS 315 PVC PIPE PRESSURE LINE, SIZE AS NOTED.		
—		CLASS 200 PVC NON-PRESSURE LINE, SIZE AS NOTED.		
+		POINT OF CONNECTION, 2" TEE OFF OF SERVICE LINE, VERIFY LOCATION IN FIELD.		

**IRRIGATION PLAN**

SCALE: 1"=20'-0"



Date	No.	Description
Project		
<b>LOT 18</b>		
<b>MONIER CIRCLE</b>		
Sheet Description		
<b>IRRIGATION PLAN</b>		
Project No.	Sheet No.	
75087J		<b>L-2</b>
Date		
6/11/87		

104 JOURNALING

A. Planting. Perform actual planting only when weather and soil conditions are suitable in accordance with specified practices.

B. Scheduling. Install trees, shrubs, and groundcover plant material before lawn areas are installed and after irrigation system is installed.

105 SAMPLES AND TESTS

A. Landscape Architect reserves the right to test and analyze samples of materials for conformity to specifications at any time. The Contractor shall furnish samples upon request by Landscape Architect. The tested materials shall be immediately returned from the site at Contractor's expense. Cost of testing of materials not meeting specifications shall be paid by Contractor.

106 GUARANTEE AND REPLACEMENT

A. Guarantee. All plant material and other materials installed under the Contract shall be guaranteed against any and all poor, inadequate or inferior materials and workmanship for a period of one year. Any plant found to be dead or not in a satisfactory condition due to faulty materials, workmanship, or improper maintenance as determined by the Landscape Architect shall be replaced by the contractor at his expense.

B. Replacement. Any materials found to be dead, missing or not in a satisfactory condition during the guarantee period shall be replaced by the contractor at his expense. The contractor shall be responsible for the cost of replacement materials and installation. The contractor shall be responsible for the cost of replacement materials and installation. The contractor shall be responsible for the cost of replacement materials and installation.

107 MAINTENANCE

A. The entire irrigation system shall be under fully automatic operation prior to any planting.

B. Provide maintenance as per Section 02-499 - LANDSCAPE MAINTENANCE.

108 CLEANUP

A. Cleanup shall be made on each portion of work progression. Refuse and excess dirt shall be removed from site. All waste and debris shall be placed in receptacles as required by local, state and federal regulations. The contractor shall be responsible for the cost of cleanup.

109 FINAL OBSERVATION PRIOR TO ACCEPTANCE

A. The Contractor shall provide each system in its entirety for the Landscape Architect at time of final observation. Any items deemed not acceptable shall be reworked to the complete satisfaction of the Landscape Architect.

B. The Contractor shall show evidence to the Landscape Architect that the work has been completed in accordance with the Contract Documents and equipment as required before final observation can occur.

110 OBSERVATION SCHEDULE

A. Contractor shall be responsible for notifying the Landscape Architect in advance for the following observations according to the time indicated:

1. Pre-plant Conference - 7 days

2. Pressure line and lateral installation and testing - 48 hours

3. Coverage test - 48 hours

4. Final observation - 48 hours

B. No observation shall commence without as-built drawings. In the event the Contractor calls for an observation without as-built drawings, without completing previously noted corrections or without presenting the drawings for observation, the contractor shall be responsible for the observation (due to contractor's cost) for the inconvenience. No further inspections will be scheduled until this charge has been paid.

111 LANDSCAPE INSTALLATION

1. Soil preparation

2. Planting

3. Seeding

4. Staking

5. Cleanup

6. Related work specified in other Sections

112 SECTION 02-210 - SITE LANDSCAPE GRADING

1. SECTION 02-241 - IRRIGATION SYSTEM

1. SECTION 02-499 - LANDSCAPE MAINTENANCE

102 QUALITY ASSURANCE

A. Source Quality Control

1. Submit documentation to Landscape Architect at least sixty (60) days prior to start of planting that all plant material has been ordered. Arrange procedures for inspection of plant material with Landscape Architect at time of submission.

2. Plants shall be subject to inspection and approval of Landscape Architect upon delivery for conformity to specifications. Such approval shall not impair the right of inspection and rejection during progress of the work.

103 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Delivery

1. Deliver fertilizer to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trademark, and conformances to State Law.

2. Deliver plants with legible identification labels

a. Label trees, evergreens, bundles of containers of like shrubs, or groundcover plants.

b. State correct plant name and size indicated on plant list.

c. Use durable waterproof labels with water-resistant ink which will remain legible for at least 90 days.

3. Protect plant material during delivery to prevent damage to root ball or desiccation of leaves.

4. The contractor shall notify the Landscape Architect forty-eight (48) hours in advance of delivery of all plant materials for inspection.

B. Storage

1. Store plant material in shade and protect from weather.

2. Maintain and protect plant material.

C. Handling

1. Do not drop plant material.

2. Do not pick up container plant material by stems or trunks.

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2. Planting

3. Seeding

4. Staking

5. Cleanup

6. Related work specified in other Sections

112 SECTION 02-210 - SITE LANDSCAPE GRADING

1. SECTION 02-241 - IRRIGATION SYSTEM

1. SECTION 02-499 - LANDSCAPE MAINTENANCE

102 QUALITY ASSURANCE

A. Source Quality Control

1. Submit documentation to Landscape Architect at least sixty (60) days prior to start of planting that all plant material has been ordered. Arrange procedures for inspection of plant material with Landscape Architect at time of submission.

2. Plants shall be subject to inspection and approval of Landscape Architect upon delivery for conformity to specifications. Such approval shall not impair the right of inspection and rejection during progress of the work.

103 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Delivery

1. Deliver fertilizer to site in original unopened containers bearing manufacturer's guaranteed chemical analysis, name, trademark, and conformances to State Law.

2. Deliver plants with legible identification labels

a. Label trees, evergreens, bundles of containers of like shrubs, or groundcover plants.

b. State correct plant name and size indicated on plant list.

c. Use durable waterproof labels with water-resistant ink which will remain legible for at least 90 days.

3. Protect plant material during delivery to prevent damage to root ball or desiccation of leaves.

4. The contractor shall notify the Landscape Architect forty-eight (48) hours in advance of delivery of all plant materials for inspection.

B. Storage

1. Store plant material in shade and protect from weather.

2. Maintain and protect plant material.

C. Handling

1. Do not drop plant material.

2. Do not pick up container plant material by stems or trunks.

104 JOURNALING

A. Planting. Perform actual planting only when weather and soil conditions are suitable in accordance with specified practices.

B. Scheduling. Install trees, shrubs, and groundcover plant material before lawn areas are installed and after irrigation system is installed.

105 SAMPLES AND TESTS

A. Landscape Architect reserves the right to test and analyze samples of materials for conformity to specifications at any time. The Contractor shall furnish samples upon request by Landscape Architect. The tested materials shall be immediately returned from the site at Contractor's expense. Cost of testing of materials not meeting specifications shall be paid by Contractor.

106 GUARANTEE AND REPLACEMENT

A. Guarantee. All plant material and other materials installed under the Contract shall be guaranteed against any and all poor, inadequate or inferior materials and workmanship for a period of one year. Any plant found to be dead or not in a satisfactory condition due to faulty materials, workmanship, or improper maintenance as determined by the Landscape Architect shall be replaced by the contractor at his expense.

B. Replacement. Any materials found to be dead, missing or not in a satisfactory condition during the guarantee period shall be replaced by the contractor at his expense. The contractor shall be responsible for the cost of replacement materials and installation. The contractor shall be responsible for the cost of replacement materials and installation. The contractor shall be responsible for the cost of replacement materials and installation.

107 MAINTENANCE

A. The entire irrigation system shall be under fully automatic operation prior to any planting.

B. Provide maintenance as per Section 02-499 - LANDSCAPE MAINTENANCE.

108 CLEANUP

A. Cleanup shall be made on each portion of work progression. Refuse and excess dirt shall be removed from site. All waste and debris shall be placed in receptacles as required by local, state and federal regulations. The contractor shall be responsible for the cost of cleanup.

109 FINAL OBSERVATION PRIOR TO ACCEPTANCE

A. The Contractor shall provide each system in its entirety for the Landscape Architect at time of final observation. Any items deemed not acceptable shall be reworked to the complete satisfaction of the Landscape Architect.

B. The Contractor shall show evidence to the Landscape Architect that the work has been completed in accordance with the Contract Documents and equipment as required before final observation can occur.

110 OBSERVATION SCHEDULE

A. Contractor shall be responsible for notifying the Landscape Architect in advance for the following observations according to the time indicated:

1. Pre-plant Conference - 7 days

2. Pressure line and lateral installation and testing - 48 hours

3. Coverage test - 48 hours

4. Final observation - 48 hours

B. No observation shall commence without as-built drawings. In the event the Contractor calls for an observation without as-built drawings, without completing previously noted corrections or without presenting the drawings for observation, the contractor shall be responsible for the observation (due to contractor's cost) for the inconvenience. No further inspections will be scheduled until this charge has been paid.

111 LANDSCAPE INSTALLATION

1. Soil preparation

2. Planting

3. Seeding

4. Staking

5. Cleanup

6. Related work specified in other Sections

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