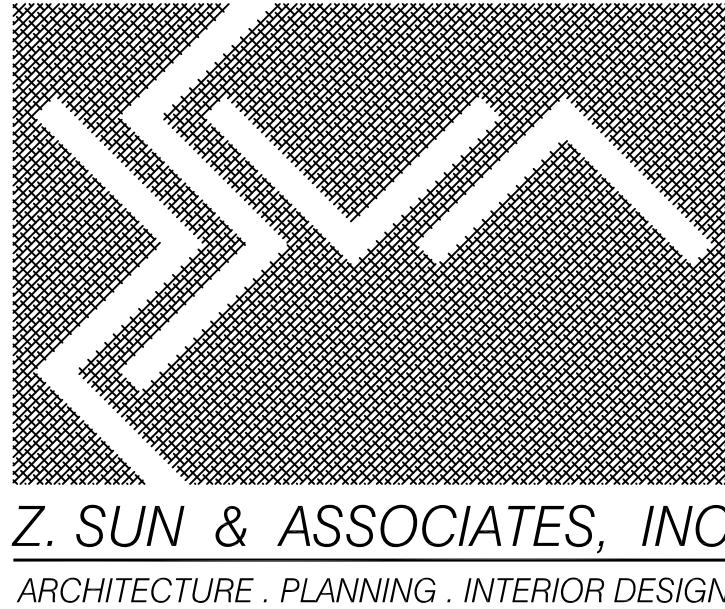
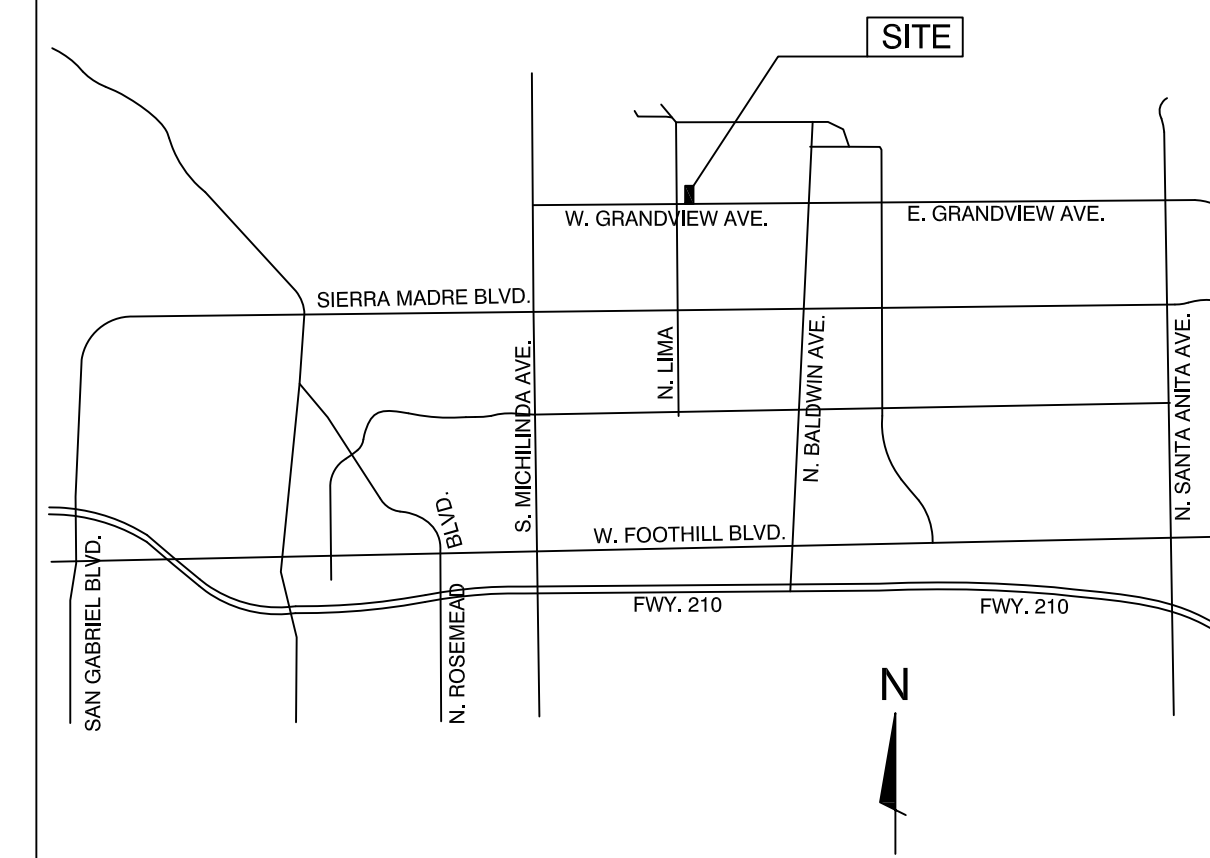


SINGLE FAMILY HOUSE

NEW CONSTRUCTION

325 W. GRANDVIEW AVE., SIERRA MADRE, CA 91024
 APN: 5762-029-008



Z. SUN & ASSOCIATES, INC.
 ARCHITECTURE . PLANNING . INTERIOR DESIGN

VINVINITY MAP N.T.S. 2

GENERAL REQUIREMENTS

- Plumbing fixtures and fixture fittings on the plans shall comply with the following flow rates:
 - Water Closets - 1.28 GPF
 - Urinals - 0.5 GPF
 - Wall-mounted urinal - 0.125 GPF
 - Single showerhead - 2.0 GPM at 80psi
 - Multiple showerheads - 2.0 GPM at 80psi for all combined showerheads
 - Lavatory faucets - 1.2 GPM at 60psi
 - Lavatory faucets in public use areas - 0.5 GPM at 60psi
 - Metering faucets - .25 gallons per cycle
 - Kitchen faucets - 1.5 GPM at 60psi. Kitchen faucets may temporarily increase the flow to maximum 2.2 GPM at 60psi, and must default to a maximum flow rate of 1.5 GPM at 60psi. (4.303.1)
- Annular spaces around pipes, electrical cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or a similar method acceptable to the enforcing agency. (4.406.1)
- Fireplaces shall be direct vent sealed combustion type. Indicate on the plans the manufacturer name and model number. (4.503.1)
- At the time of rough installation, during storage on the construction site, and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal, or other acceptable methods to reduce the amount of water, dust and debris which may enter the system. (4.504.1)
- Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. (4.505.3)
- All mechanical exhaust fans in rooms with a bathtub or shower shall comply with the following:
 - Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
 - Fans must be controlled by a readily accessible humidistat unless functioning as a component of a whole house ventilation system. Humidity control shall be capable of adjustment between a relative humidity range of 50% and 80%. (4.506.1)
- Adhesives, sealants and caulks shall meet or exceed the standards outlined in Section 4.504.2.1 and comply with the VOC limits in Tables 4.504.1 and 4.504.2 as applicable. (4.504.2.1)
- Paints and coatings shall meet or exceed the standards outlined in Section 4.504.2.2 and comply with the VOC limits in Table 4.504.3. (4.504.2.2)
- Aerosol paints and coatings shall meet or exceed the standards outlined in Section 4.504.2.3. (4.504.2.3)
- All carpet installed in the building interior shall meet all the testing and product requirements of one of the following:
 - Carpet and Rug Institute's Green Label Plus Program OR
 - California Department of Public Health Standard Method for the testing of VOC Emissions (Specification 01350) OR
 - NSF/ANSI 140 at the Gold Level OR
 - Scientific Certifications Systems Indoor Advantage Gold (4.504.3)
- All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label Program. Carpet adhesives shall not exceed a VOC limit of 50 g/L. (4.504.3.1, 4.504.3.2)
- A minimum of 80% of floor area receiving resilient flooring shall comply with one of the following:
 - Products certified as a Low-Emitting Material in the CHPS High Performance Products Database, OR
 - Products certified under UL GREENGUARD Gold (Formerly the Greenguard Children & Schools program), OR
 - RFCI FloorScore program, OR
 - Meet the California Department of Public Health Standard Method for the testing of VOC Emissions (Specification 01350) (4.504.4)
- Composite wood products (hardwood plywood, particle board, and MDF) installed on the interior or exterior of the building shall meet or exceed the standards outlined in Table 4.504.5. Verification of compliance with these sections must be provided at the time of inspection. (4.504.5)

TABLE 4.504.1/TABLE 5.504.4.1
ADHESIVE VOC LIMIT^{1,2}

Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds

ARCHITECTURAL APPLICATIONS	VOC LIMITS	SPECIALTY APPLICATIONS	VOC LIMITS
Indoor carpet adhesives	50	PVC welding	510
Carpet pad adhesives	50	CPVC welding	490
Outdoor carpet pad adhesives	150	ABS welding	325
Wood flooring adhesives	100	Plastic cement welding	250
Rubber floor adhesives	60	Adhesive primer for plastic	550
Subfloor adhesives	50	Contact adhesive	80
Ceramic tile adhesives	65	Special purpose contact adhesive	250
VCT and asphalt tile adhesives	50	Structural wood member adhesive	140
Drywall and panel adhesives	50	Top and trim adhesive	250
Cove base adhesives	50	SUBSTRATE SPECIFIC APPLICATIONS	
Multipurpose construction adhesives	70	Metal to metal	30
Structural glazing adhesives	100	Plastic foams	50
Single-ply roof membrane adhesives	250	Porous material (except wood)	50
Other adhesives	50	Wood	30
		Fiberglass	80

- If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed.
- For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168

TABLE 4.504.2/TABLE 5.504.4.2
SEALANT VOC LIMIT

Less Water and Less Exempt Compounds in Grams Per Liter

SEALANTS	VOC LIMITS	VOC LIMITS
Architectural	250	
Marine deck	760	
Nonmembrane roof	300	
Roadway	250	
Single-ply roof membrane	450	
Other	420	
SEALANT PRIMERS		
Architectural		
Nonporous	250	
Porous	775	
Modified bituminous	500	
Marine deck	760	
Other	750	

Note: For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

TABLE 4.504.3/TABLE 5.504.4.3
VOC CONTENT LIMITS FOR ARCHITECTURAL COATING^{2,3}

Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY	VOC LIMITS	COATING CATEGORY	VOC LIMITS
Flat coatings	50	Magnesium cement coatings	450
Nonflat coatings	100	Mastic texture coatings	100
Nonflat high-gloss coatings	150	Metallic pigmented coatings	500
Specialty coatings		Multi-color coatings	250
Aluminum roof coatings	400	Pretreatment wash primers	420
Basement specialty coatings	400	Primers, sealers and undercoaters	100
Bituminous roof coatings	50	Reactive penetrating sealers	350
Bituminous roof primers	350	Recycled coatings	250
Bond breakers	350	Roof coatings	50
Concrete curing compounds	350	Rust preventative coatings	250
Concrete/masonry sealers	100	Shellacs:	
Driveway sealers	50	Clear	730
Dry fog coatings	150	Opaque	550
Faux finishing coatings	350	Specialty primers, sealers and undercoaters	100
Fire resistive coatings	350	Stains	250
Floor coatings	100	Stone consolidants	450
Form-release compounds	250	Swimming pool coatings	340
Graphic arts coatings (sign paints)	500	Traffic marking coatings	100
High-temperature coatings	420	Tub and tile refinishing coatings	420
Industrial maintenance coatings	250	Waterproofing membranes	250
Low solids coatings 1	120	Wood coatings	275
		Wood preservatives	350
		Zinc-rich primer	340

- Grams of VOC per liter of coating, including water and including exempt compounds.
- The specified limits remain in effect unless revised limits are listed in subsequent columns in the table.
- Values in this table are derived from those specified by the California Air Resources Board, Architectural Coatings Suggested Control Measure, February 1, 2006. More information is available from the Air Resources Board.

TABLE 4.504.5/TABLE 5.504.4.5
FORMALDEHYDE LIMITS¹

Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.08
Particle board	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard 2	0.21

- Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E 1333.
- Thin medium density fiberboard has a maximum thickness 5/16 inch (8mm).

Planning Commission Resolution 18-05
 June 21, 2018

EXHIBIT A CONDITIONS OF APPROVAL DRP 18-01; ADRP 18-01

General Conditions:

- Comply with all applicable provisions of the Sierra Madre Municipal Code, including but not limited to those Chapters pertaining to Zoning, Building and Construction, Vehicles and Traffic, and Health and Safety, and including all such provisions which may be contained in Uniform Codes which have been incorporated by reference within the Sierra Madre Municipal Code.
- Comply with all applicable provisions of Federal, State and Los Angeles County law and regulations, including but not limited to the California Environmental Quality Act.
- Execute and deliver to the City's Department of Planning & Community Preservation an Affidavit of Acceptance of Conditions on a form to be provided by such Department prior to submitting construction plans for 1st Plan Check to the City. This approval shall not be effective for any purpose until the Applicant complies with this condition.
- To the fullest extent permitted by law, fully protect the City, its employees, agents and officials from any loss, injury, damage, claim, lawsuit, expense, attorneys' fees, litigation expenses, court costs or any other costs arising out of or in any way related to the issuance of this approval, or the activities conducted pursuant to this approval. Accordingly, to the fullest extent permitted by law, the applicant and property owner shall defend, indemnify and hold harmless City, its employees, agents and officials, from and against any liability, claims, suits, actions, arbitration proceedings, regulatory proceedings, losses, expenses or costs of any kind, whether actual, alleged or threatened, including, but not limited to, actual attorneys' fees, litigation expenses and court costs of any kind without restriction or limitation, incurred in relation to, as a consequence of, arising out of or in any way attributable to, actually, allegedly or impliedly, in whole or in part, the issuance of this approval, or the activities conducted pursuant to this approval. Applicant and property owner shall pay such obligations as they are incurred by City, its employees, agents and officials, and in the event of any claim or lawsuit, shall submit a deposit in such amount as the City reasonably determines necessary to protect the City from exposure to fees, costs or liability with respect to such claim or lawsuit.

Planning Conditions:

- The applicant and property owner shall:
- Construct the project in substantial conformance with all applications and supporting materials presented to the Planning Commission on June 21, 2018. Inaccuracies and misrepresentations will be grounds for immediate revocation of the Design Review permit.
 - Submit construction plans, for 1st Plan Check within one (1) year of the date of this approval; failure to do so will constitute an abandonment of the entitlement, and shall render this approval null and void.
 - Applicant shall comply with the requirements of the Water Efficient Landscape Ordinance.

Public Works Conditions:

- The applicant and property owner shall:
- Provide an arborist's report shall clearly delineate a path of travel for vehicular and construction access to the three buildings. The path of travel shall be respectful of the fenced areas, low branches, and root protection zones of the protected trees;
 - Complete the application for review of construction activities in proximity to protected trees;
 - Review the mitigation guide for protected trees;
 - All tree protective recommendations included in the arborist's report shall be followed throughout the construction process;
 - Prior to issuance of a building permit, applicant shall submit to Public Works a fully executed agreement with the arborist fully describing the arborist's construction monitoring services and preparation of the arborist's final report as to the impacts on the protected trees;
 - Review the procedures for demolition of a building;
 - Review the minimum requirements for construction plans, grading and drainage plans and LID requirements;
 - List of forms to be filled out and submitted for approval;
 - All buildings shall be connected to the public sewer;
 - Public Work improvement in parkway: driveway approach to be replaced with new drive approach, curb, gutter and sidewalk, separate PW permit required;
 - Construction fence shall be set off from the property line not to interfere with sidewalk pedestrian traffic during construction.

Fire Department Conditions:

- The applicant and property owner shall:
- Install fire sprinklers in the proposed structures;
 - Compliant with CBC 7A Wildland.

(end of conditions)

ARCHITECT: Z. SUN & ASSOCIATES, INC.
 P.O. BOX 936 , TEMPLE CITY, CA 91780
 TEL: 626-705-2210
 e-mail: cliff.zsundi@gmail.com
 CONTACT: CLIFF SUN

ARBORIST: CLASS ONE ARBORICULTURE
 3763 RAMSDELL AVE., GLENDALE, CA 91214
 TEL: 818-495-5344
 e-mail: classonearboriculture@gmail.com
 CONTACT: JAMES KOMEN

CIVIL ENGINEER:
 CAL LAND ENGINEERING, INC.
 (Land Surveyor, geologist & Grading Engineer)
 576 E. LAMBERT RD., GREA, CA 92821
 TEL: 714-671-1050 FAX: 714-671-1090
 CONTACT: JACK LEE, CE

STRUCTURAL ENGINEER:
 CMC CONSULTANT GROUP
 18276 SENTENO ST.
 ROWLAND HEIGHTS, CA 91748
 TEL: 626-922-5550
 CONTACT: JULIAN CHU, SE

TITLE 24 ENERGY:
 PERFECT DESIGN & ENGINEERING
 2416 W. VALLEY BLVD., ALHAMBRA, CA 91803
 TEL: 626-289-8808
 CONTACT: RAYMOND ZHONG, CE

CONSULTANTS

NO.	TITLE
T-1	PROJECT INFORMATION & GENERAL NOTES
C-1	TOPOGRAPHIC & BOUNDARY SURVEY MAP
G-1	GRADING & DRAINAGE PLAN - GENERAL NOTES
G-2	GRADING & DRAINAGE PLAN
G-3	GRADING & DRAINAGE PLAN
G-4	EROSION CONTROL PLAN
A-1-1	PLOT PLAN
A-1-2	CONCEPTUAL LANDSCAPE PLAN
A-1-3	RETAINING & FENCE WALL DETAILS
A-1-4	RETAINING & FENCE WALL DETAILS
A-2-0	BASEMENT FLOOR PLAN
A-2-1	1ST FLOOR PLAN
A-2-2	2ND FLOOR PLAN
A-2-3	ROOF PLAN
A-2-4	ELECTRICAL & LIGHTING PLAN
A-3-1	BUILDING ELEVATIONS
A-3-2	BUILDING ELEVATIONS
A-3-3	BUILDING ELEVATIONS
A-4-1	BUILDING SECTIONS
A-4-2	BUILDING SECTIONS
A-4-3	BUILDING SECTIONS
A-4-4	BUILDING SECTIONS
A-5-1	INTERIOR ELEVATIONS
A-5-2	STAIRWAY DETAILS
A-6-1	WINDOW, DOOR & FINISH SCHEDULE
A-6-2	WINDOW, DOOR & FINISH SCHEDULE
A-7-1	ARCHITECTURAL DETAILS
A-7-2	ARCHITECTURAL DETAILS
A-7-3	CANOPY DETAILS
S-1	FOUNDATION PLAN
S-2	FOUNDATION & FLOOR FRAMING PLAN
S-3	FLOOR & ROOF FRAMING PLAN
S-4	ROOF FRAMING PLAN
SN-1	STRUCTURAL GENERAL NOTES
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS
SD-4	STRUCTURAL DETAILS
SSW-1	STEEL STRONG-WALL
SSW-2	STEEL STRONG-WALL
T24-1	TITLE 24 ENERGY CALCULATION - CF1R 1/2
T24-2	TITLE 24 ENERGY CALCULATION - CF1R 2/2
T24-3	TITLE 24 - RESIDENTIAL MANDATORY MEASURES

- A. PROJECT SCOPE OF WORKS**
 1. NEW CONSTRUCTION OF A 2-STORY SINGLE FAMILY HOUSE.
- B. OWNER INFORMATION**
 1. OWNER: SINACLOUD, LLC
 P.O. BOX 936
 TEMPLE CITY, CA 91780
 2. OWNER'S AGENT: CLIFF SUN/Z. SUN & ASSOCIATES, INC.
 P.O. BOX 936, TEMPLE CITY CA 91780
 (626) 705-2210
- C. PROPERTY/LOT INFORMATION**
 1. AIN NO. : 5762-029-008
 2. ADDRESS: 325 W. GRANDVIEW AVE., SIERRA MADRE, CA 91024
 3. LEGAL DESCRIP.: PARCEL 1,
 LOT 11 OF TRACT NO. 2897,
 EXCEPT THE WEST 50 FEET THEREOF.
 PARCEL 2,
 LOT 12 OF TRACT NO. 2897,
 EXCEPT THE EAST 50 FEET THEREOF.
 IN THE CITY OF SIERRA MADRE,
 COUNTY OF LOS ANGELES,
 STATE OF CALIFORNIA
 AS PER MAP RECORDED IN BOOK 30
 PAGE 9 OF MAPS, IN THE OFFICE OF
 THE COUNTY RECORDER.
 4. ZONING: R1
 5. LOT SIZE: 8,265 SF (55.1' X 150')
 6. FAR ALLOWED: 2,816 SF = 2,625 + (8,265-7,500) X 25%

- D. BUILDING INFORMATION**
 1. CONST. TYPE: TYPE V-B w/ (RESIDENTIAL) FIRE SPRINKLER
 2. OCCUPANCY: R-3 / U
 3. BLDG HEIGHT: 2 STORY / 24'-9" @ T.O. RIDGE
 (< 25'-0" HT. MAX ALLOWED)
 4. FLOOR AREA:

1st. FLOOR:	2,081.6 SF - LIVING SPACE
2nd. FLOOR:	680.0 SF - LIVING SPACE
TOTAL:	2,761.6 SF - LIVING SPACE (< 2,816 SF - ALLOWED)

- ENTRY PORCH: 40.6 SF - @ 1st. FLOOR
 BALCONY: 95.0 SF - @ 1st. FLOOR
 BASEMENT (PARTIAL): 926.0 SF - 2-CAR GARAGE/LAUNDRY

- E. LOT COVERAGE & F.A.R. INFORMATION**
 1. LOT COVERAGE: 30.3% < 40% MAX. (SEE A-2.3)
 (WITH BASEMENT: 2,506 / 8,265 * 100%)
 2. FLOOR AREA RATIO: 33.4% < 35% (MAX.)
 2,761.6 / 8,265 * 100%

- F. YARD SETBACK INFORMATION**
 1. FRONT YARD : 35'-8" (27'-0" REQ'D) 79'-0" @ 2ND. FLR.
 2. REAR YARD : 15'-1" (15'-0" REQ'D) 29'-1" @ 2ND. FLR.
 3. SIDE YARD @ EAST : 6'-0" @ 1ST. FLR. (5'-0" REQ'D)
 11'-0" @ 2ND. FLR. (10'-0" REQ'D)
 4. SIDE YARD @ WEST : 7'-1" @ 1ST. FLR. (5'-0" REQ'D)
 17'-7" @ 2ND. FLR. (10'-0" REQ'D)

- G. GOVERNING CODES:**
 2016 CALIFORNIA BUILDING CODE W/ LOCAL AMENDMENTS,
 2016 CALIFORNIA PLUMBING CODE,
 2016 CALIFORNIA MECHANICAL CODE,
 2016 CALIFORNIA ELECTRICAL CODE,
 2016 CALIFORNIA FIRE CODE,
 2016 CALIFORNIA RESIDENTIAL CODE,
 2016 CALIFORNIA GREEN BUILDING STANDARD CODE.

- H. SEPERATE PERMITS ARE REQUIRED FOR:**
 a. DEMOLITION
 b. PARKWAY IMPROVEMENT
 c. GRADING
 d. FIRE SPRINKLER SYSTEM

PROJECT

SINGLE FAMILY HOUSE

NEW CONSTRUCTION

325 W. Grandview Ave.
 Sierra Madre, CA 91024

APN: 5762-029-008

REVISION	DATE	BY
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△		
△		

SCALE: AS NOTED	DATE: 01/10/2019
DRAWN: CS	CAD NO.: 1606.A.000
CHECKED: TDS	JOB NO.: GV-201606

DRAWING TITLE

PROJECT INFO. & GENERAL NOTES

DRAWING NO.

T-1

GREEN BUILDING STANDARD CODE - GENERAL REQUIREMENTS

6

PLANNING COMMISSION RESOLUTION

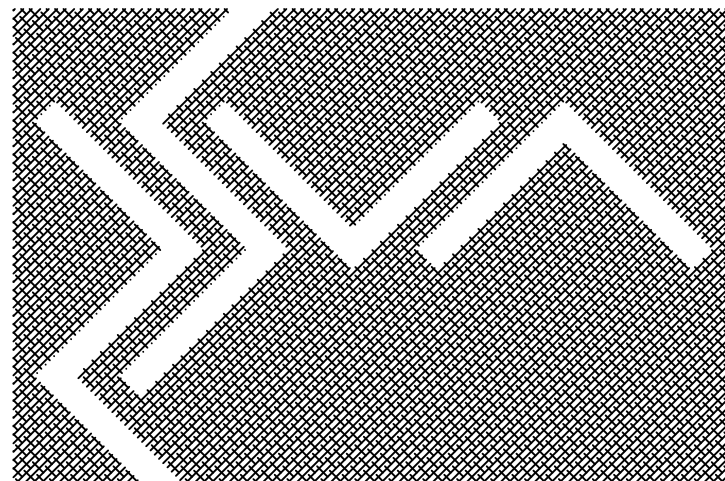
5

SHEET INDEX

3

PROJECT SUMMARY

1



Z. SUN & ASSOCIATES, INC.
ARCHITECTURE . PLANNING . INTERIOR DESIGN

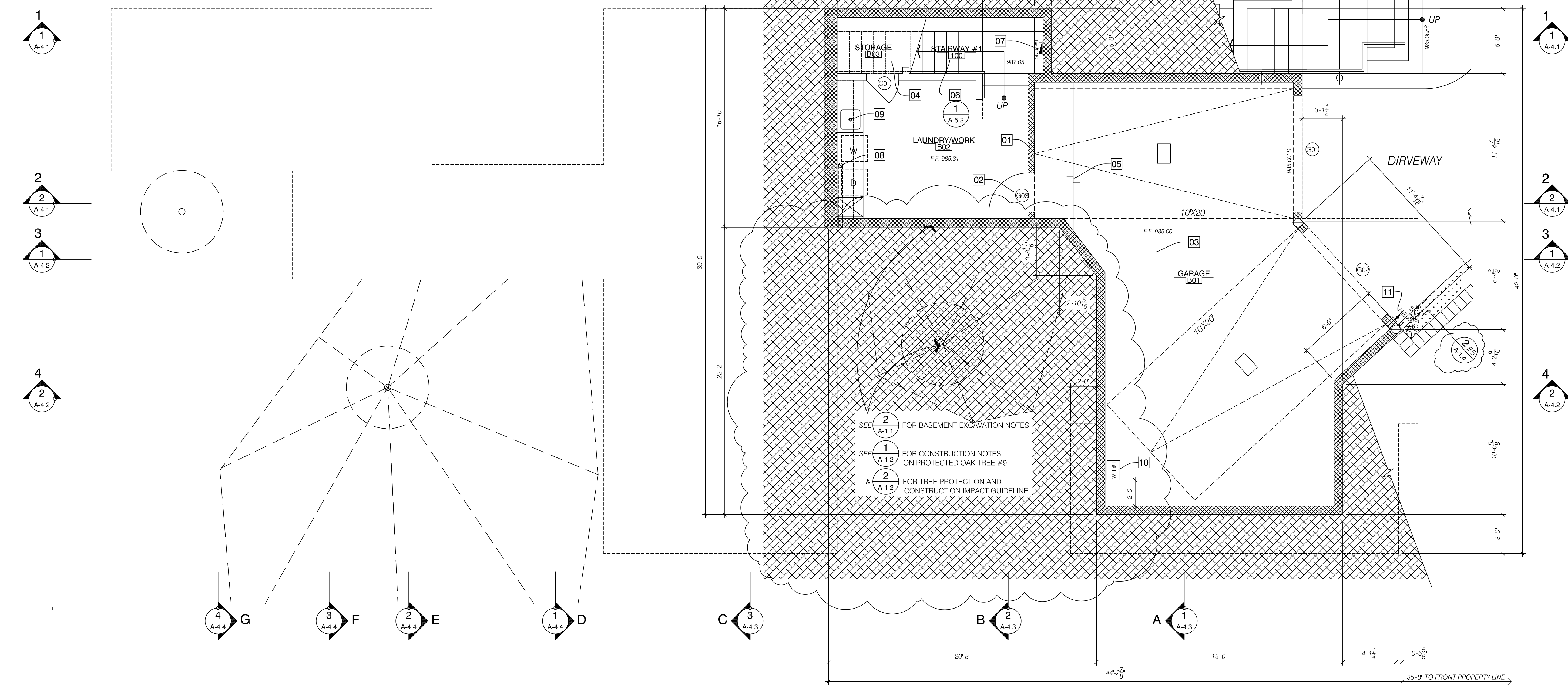
PROJECT
SINGLE FAMILY HOUSE
NEW CONSTRUCTION
325 W. Grandview Ave.
Sierra Madre, CA 91024
APN: 5762-029-008

REVISION	DATE	BY

SCALE: AS NOTED DATE: 01/10/2019
DRAWN: CS CAD NO.: 1606.A.200
CHECKED: TDS JOB NO.: GV-201606

DRAWING TITLE
BASEMENT FLOOR PLAN

DRAWING NO.
A-2.0



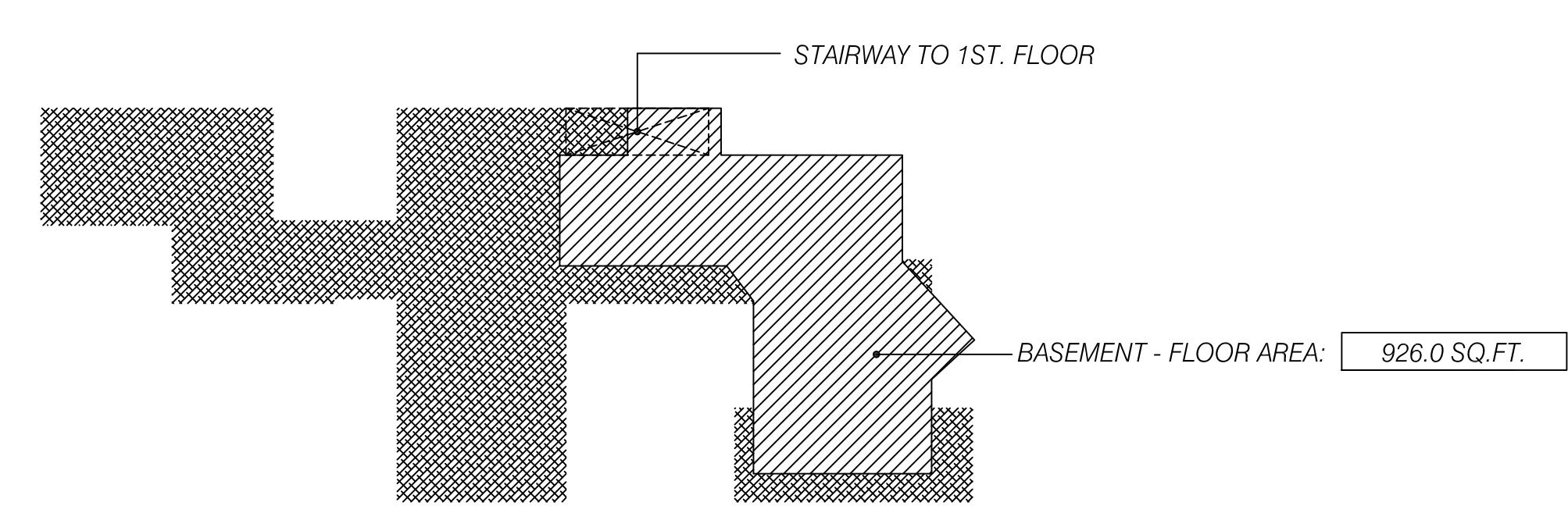
SEE 2 FOR BASEMENT EXCAVATION NOTES
SEE 1 FOR CONSTRUCTION NOTES ON PROTECTED OAK TREE #9.
& 2 FOR TREE PROTECTION AND CONSTRUCTION IMPACT GUIDELINE

KEYNOTES

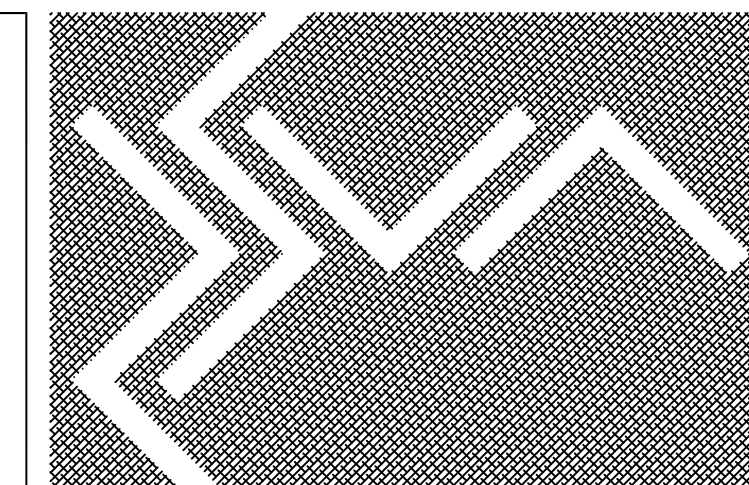
- 01 GARAGE SEPARATION : 5/8" TYPE "X" GYPSUM BOARD APPLIED AT GARAGE SIDE
- 02 FIRE RATED DOOR : SEE DOOR SCHEDULE #2/A-6.1
- 03 FIRE RATED FLOOR/CEILING ASSEMBLY : 5/8" TYPE "X" GYPSUM BOARD APPLIED TO BOTTOM OF FLOOR/CEILING JOIST, SEE #6/A-7.1
- 04 UNDER-STAIR ENCLOSED USABLE SPACE : 5/8" TYPE "X" GYPSUM BOARD APPLIED TO ALL SIDE OF WALL & CEILING
- 05 CONCRETE STEPS : SEE STRUCTURE DWG.
- 06 STAIRWAY NO.1 : SEE 4/A-5.1 & 1/A-5.2
- 07 ELECTRICAL SUB-PANEL : #1 - GARAGE, LAUNDRY/WORK, KITCHEN & MASTER SUITE. #2 - LIVING, DINING, BEDROOM AND BATH
- 08 CLOTH DRYER EXHAUST VENT : VENT TO OUTSIDE AIR DIRECTLY W/ EXHAUST DUCT & BACK-DRAFT DAMPER. THE DUCT TO BE 4"Ø AND MAX. OF 14 FEET IN LENGTH AND MAX. OF 2 ELBOWS, DUCT LENGTH SHALL REDUCE 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO.
- 09 LAUNDRY SINK : -
- 10 TANKLESS WATER HEATER : TAGAKI T-H3 UEF:0.95. INSTALLATION PER MANUF. RECOMMENDATION. UNIT #1 - MASTER BATH, LAUNDRY & KITCHEN #2. - POWDER RM., GUEST BATH #1 & BATH #2 AT 2ND. FLOOR.
- 11 HOSE BIBB : -

SYMBOL LEGEND

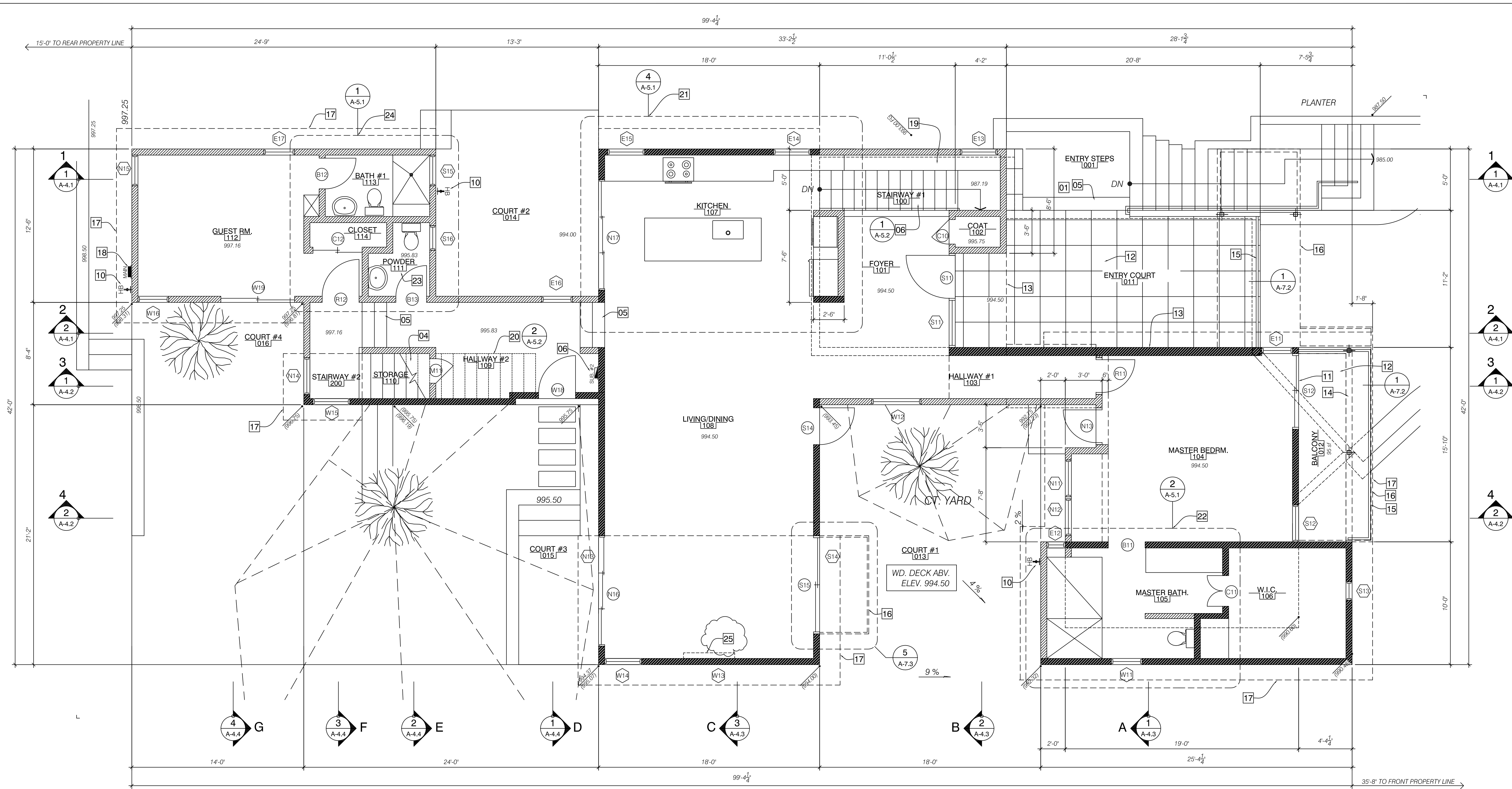
- CMU BUILDING WALL
- FIRE WALL (SEE KEYNOTE "A")
- EXTERIOR WALL BELOW
- EDGE OF ROOF ABOVE



BASEMENT FLOOR PLAN 1/4" = 1'-0" 1



Z. SUN & ASSOCIATES, INC.
ARCHITECTURE . PLANNING . INTERIOR DESIGN



PROJECT
SINGLE FAMILY HOUSE
NEW CONSTRUCTION
325 W. Grandview Ave.
Sierra Madre, CA 91024
APN: 5762-029-008

REVISION	DATE	BY

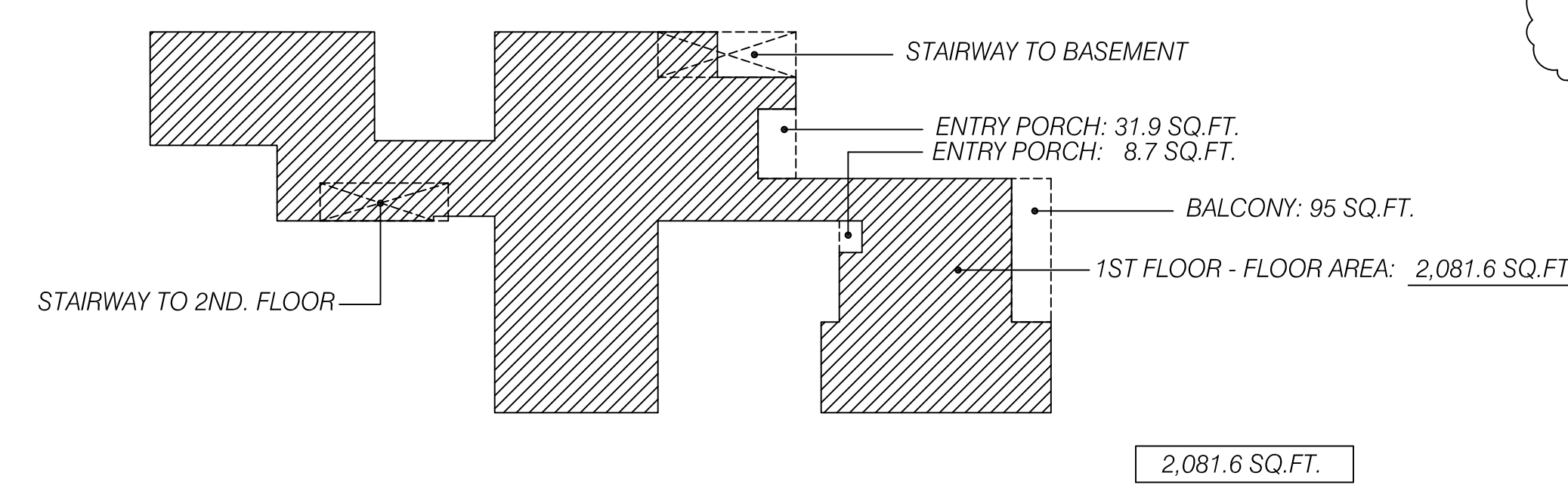
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DRAWN: CS CAD NO.: 1606.A.200
CHECKED: TDS JOB NO.: GV-201606

DRAWING TITLE
FIRST FLOOR PLAN
DRAWING NO.
A-2.1

- KEYNOTES**
- 12 WATERPROOF DECKING : -
 - 13 LEVEL CHANGE : LEVEL 2" DROP, SEE STRUCTURAL DWG.
 - 14 STRUCTURAL BEAM/WALL ABOVE : SEE STRUCTURAL DWG.
 - 15 GUARDRAILS : SEE SHEET A-7.2 FOR DETAILS
 - 16 METAL TRELLIS : SEE SHEET A-7.1 & STRUCT. DWG.
 - 17 ROOF EAVE ABOVE : DETAIL SEE A-7.1
 - 18 ELECTRICAL SERVICE MAIN PANEL : 200V NEW SERVICE PANEL & LOCATION SUBJECT TO SO. CAL. EDISON'S APPROVAL
 - 19 FULL HT. WOOD SHELVES : -
 - 20 STAIRWAY NO.2 : SEE 2/A-5.2

- 21 KITCHEN : SEE #4/ A-5.1
- 22 MASTER BATHRM. : SEE #2 & #6/ A-5.1
- 23 POWDER RM. : SEE #1 & #5 / A-5.1
- 24 GUEST BATH (BATH #1) : SEE #1 & #8 / A-5.1
- 25 ELECTRICAL FIREPLACE : TOUCHSTONE 80004" SIDELINE ELECTRIC FIREPLACE BY TOUCHSTONE HOME PRODUCTS, INC. 50.4" W X 5.5" D X 21.5"H, 120V/1,500W, OR EQ.

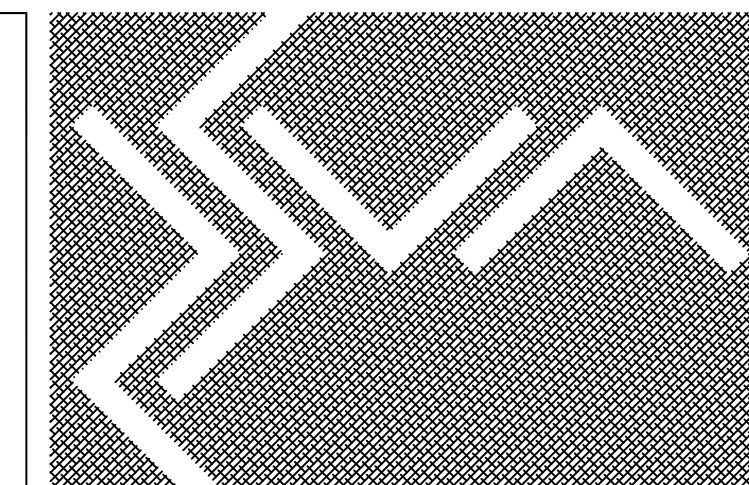
NOTE: SEE SHEET A-5.1 & A-5.2 FOR INTERIOR DETAILS & DIMENSIONS



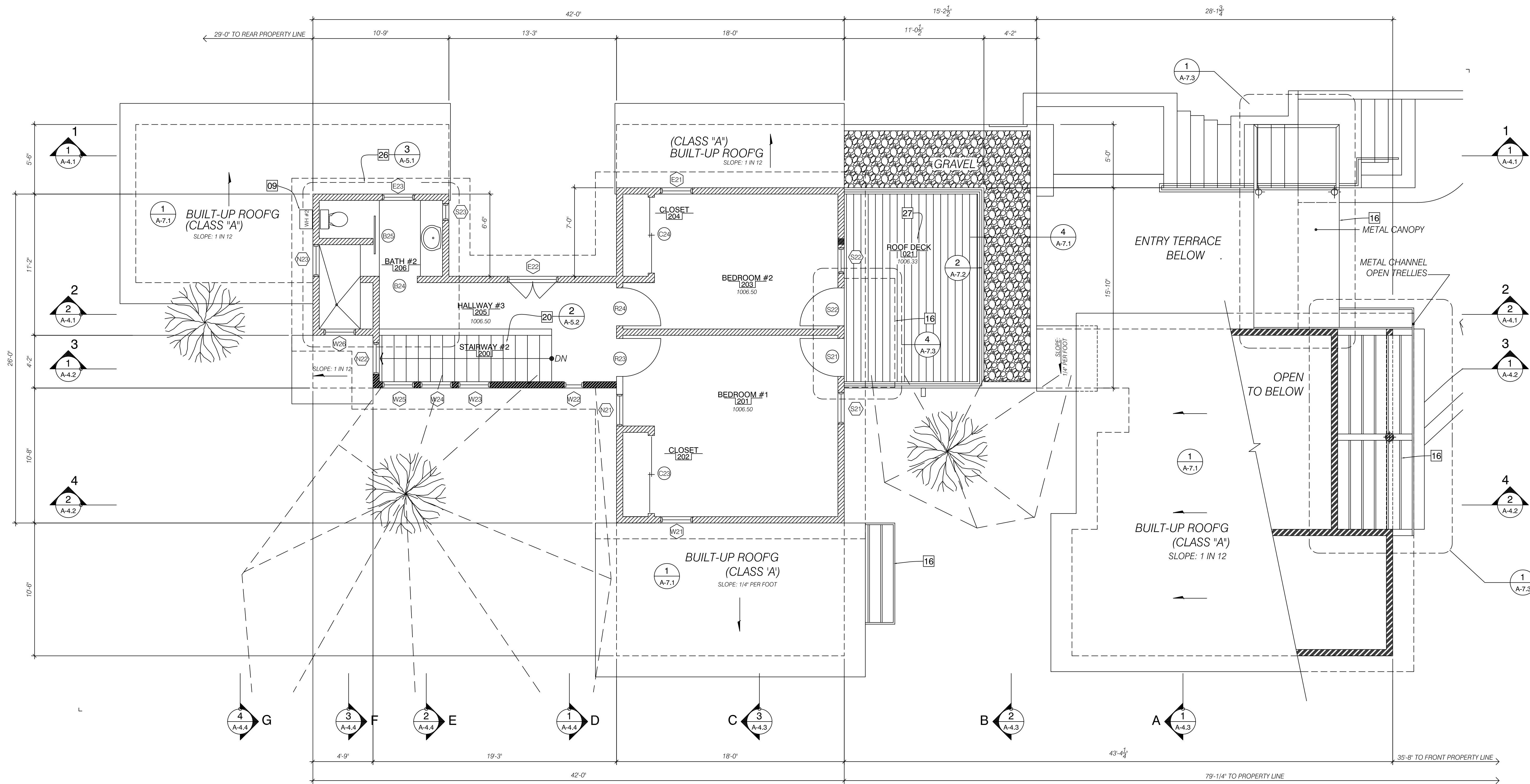
SYMBOL LEGEND

- 2 X 6 WD STUD WALL W/ R-21
- 2 X 4 WD STUD WALL W/ R-15
- EXTERIOR WALL BELOW
- EDGE OF ROOF ABOVE

FIRST FLOOR PLAN 1/4" = 1'-0" 1



Z. SUN & ASSOCIATES, INC.
ARCHITECTURE . PLANNING . INTERIOR DESIGN



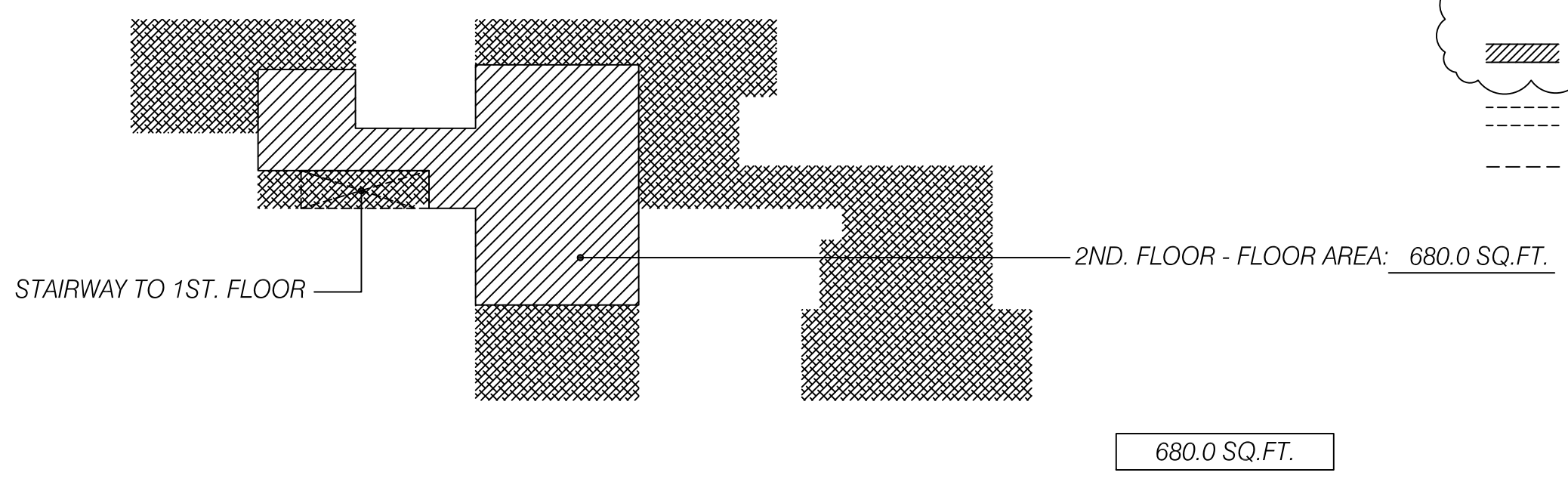
KEYNOTES

26 BATH #2 : SEE #3 & #7 / A-5.1

27 ROOF DECK : SEE 4/A-7.1
FOR 1 X COMPOSITE DECK MATERIAL
TO COMPLY WITH CBC CH. 7A FOR
FIRE ZONE "WFHFSZ" REQUIREMENTS

SYMBOL LEGEND

	2 X 6 WD STUD WALL W. R-21
	2 X 4 WD STUD WALL W/ R-15
	EXTERIOR WALL BELOW
	EDGE OF ROOF ABOVE



PROJECT
SINGLE FAMILY HOUSE
NEW CONSTRUCTION

325 W. Grandview Ave.
Sierra Madre, CA 91024

APN: 5762-029-008

REVISION	DATE	BY

SCALE : AS NOTED DATE : 01/10/2019

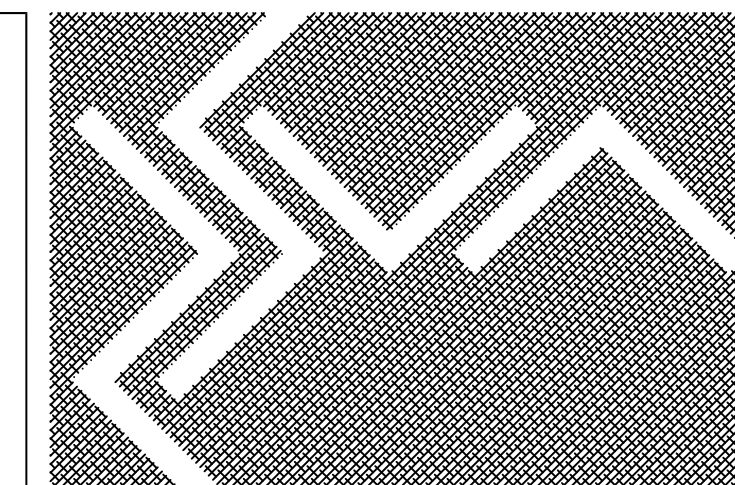
DRAWN : CS CAD NO. : 1606.A.200

CHECKED : TDS JOB NO. : GV-201606

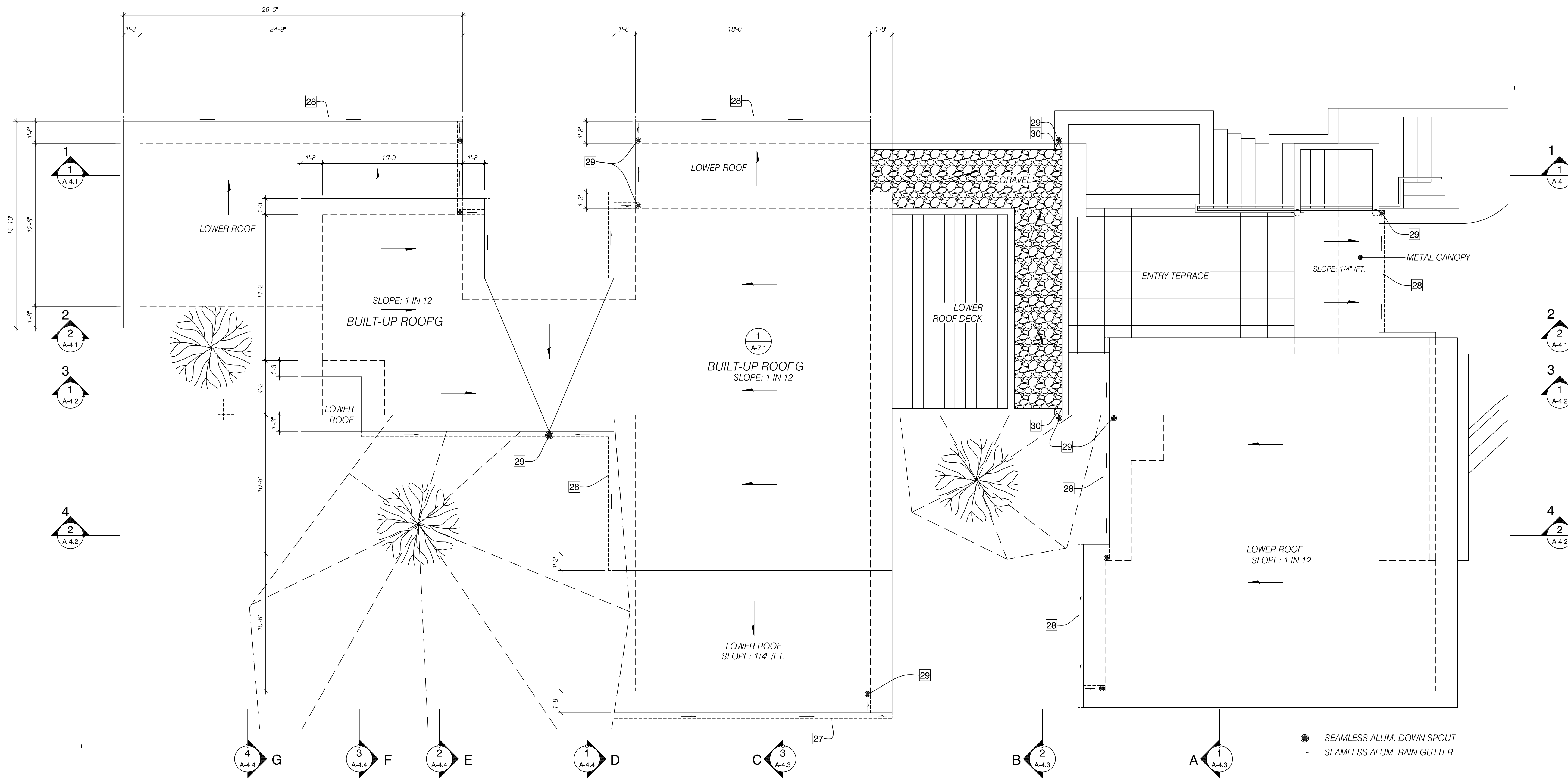
DRAWING TITLE
SECOND FLOOR PLAN

DRAWING NO.
A-2.2

SECOND FLOOR PLAN 1/4" = 1'-0" 1



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● SEAMLESS ALUM. DOWN SPOUT
--- SEAMLESS ALUM. RAIN GUTTER

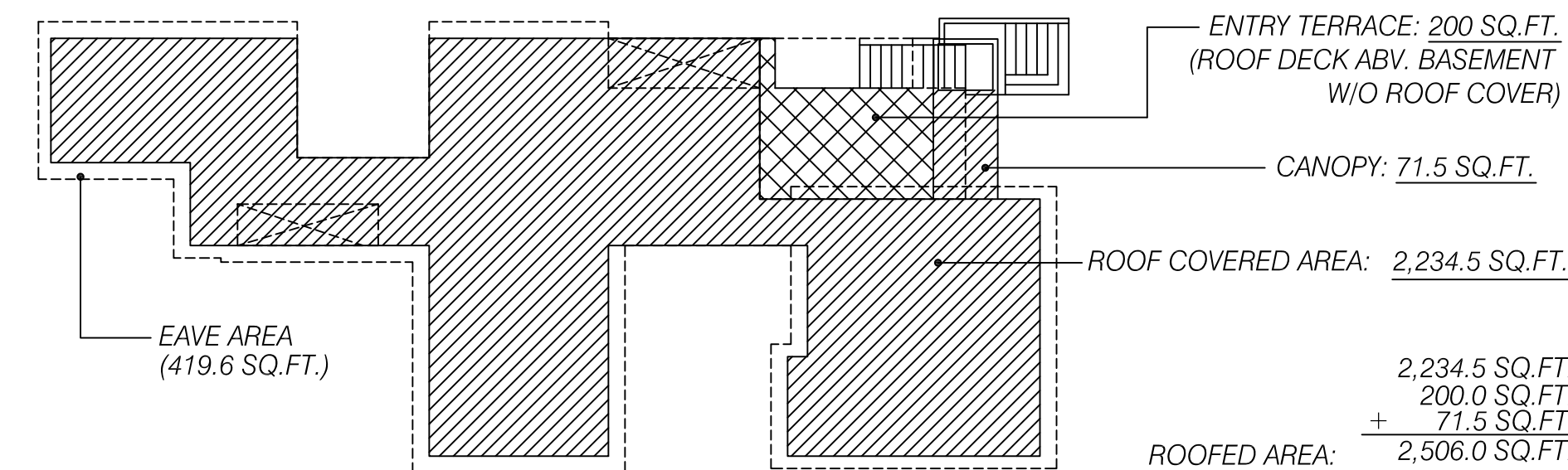
KEYNOTES

- 28 ROOF RAIN GUTTER : ALUMINUM SEAMLESS ROOF RAIN GUTTER
- 29 DOWN SPOUT : ALUMINUM SEAMLESS DOWN SPOUT
- 30 OVERFLOW SCUPPER : GALVNIIZED METAL SCUPPER

NOTE:
A MINIMUM CLASS "A" ROOFING TO BE INSTALLED -
ROOFS WITH SLOPES < 2:12 SHALL HAVE AN SRI VALUE OF AT LEAST 0.75 OR
BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.65 AND A THERMAL EMITTANCE OF AT LEAST 0.75.
ROOF WITH SLOPES > 2:12 SHALL HAVE AN SRI VALUE AT LEAST 16 OR
BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.2 AND A THERMAL EMITTANCE OF AT LEAST 0.75. (4.106.5)

BUILT-UP ROOF:
JOHNS MANVILLE - BUILT-UP ROOFING "30NC CR"
SHEATHING PAPER: (1) LAYER
BASE SHEET: GLASSBASE PLUS - (1) PLY
INTER SHEET: GLASPLY IV - (1) PLY
CAP SHEET: GLASKAP CR - (1) PLY (SPEC. SEE 2/ A-1.3)

REFERENCE: CRC PRODUCT ID: 0662-0007a
SOLAR REFLECTANCE INDEX (SRI): 95
AGED SOLAR REFLECTANCE: 0.77
AGED THERMAL EMITTANCE: 0.83
FIRE RESISTANCE: CLASS "B" (W/ 0 INSULATION - UL 790)



ROOF PLAN



1/4" = 1'-0" 1

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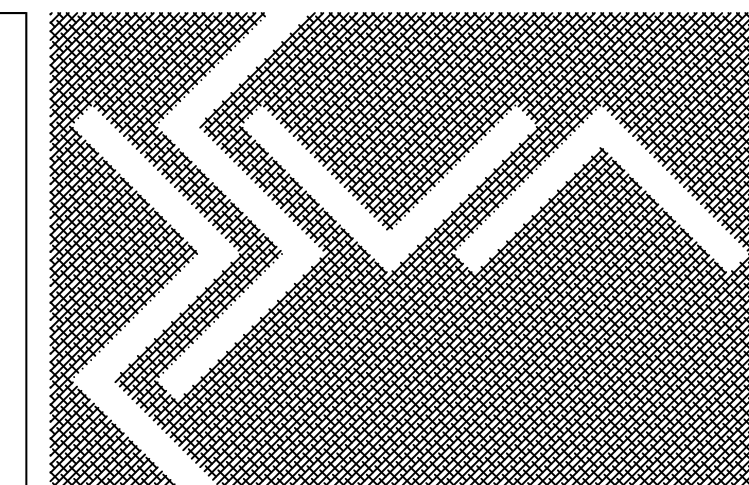
APN: 5762-029-008

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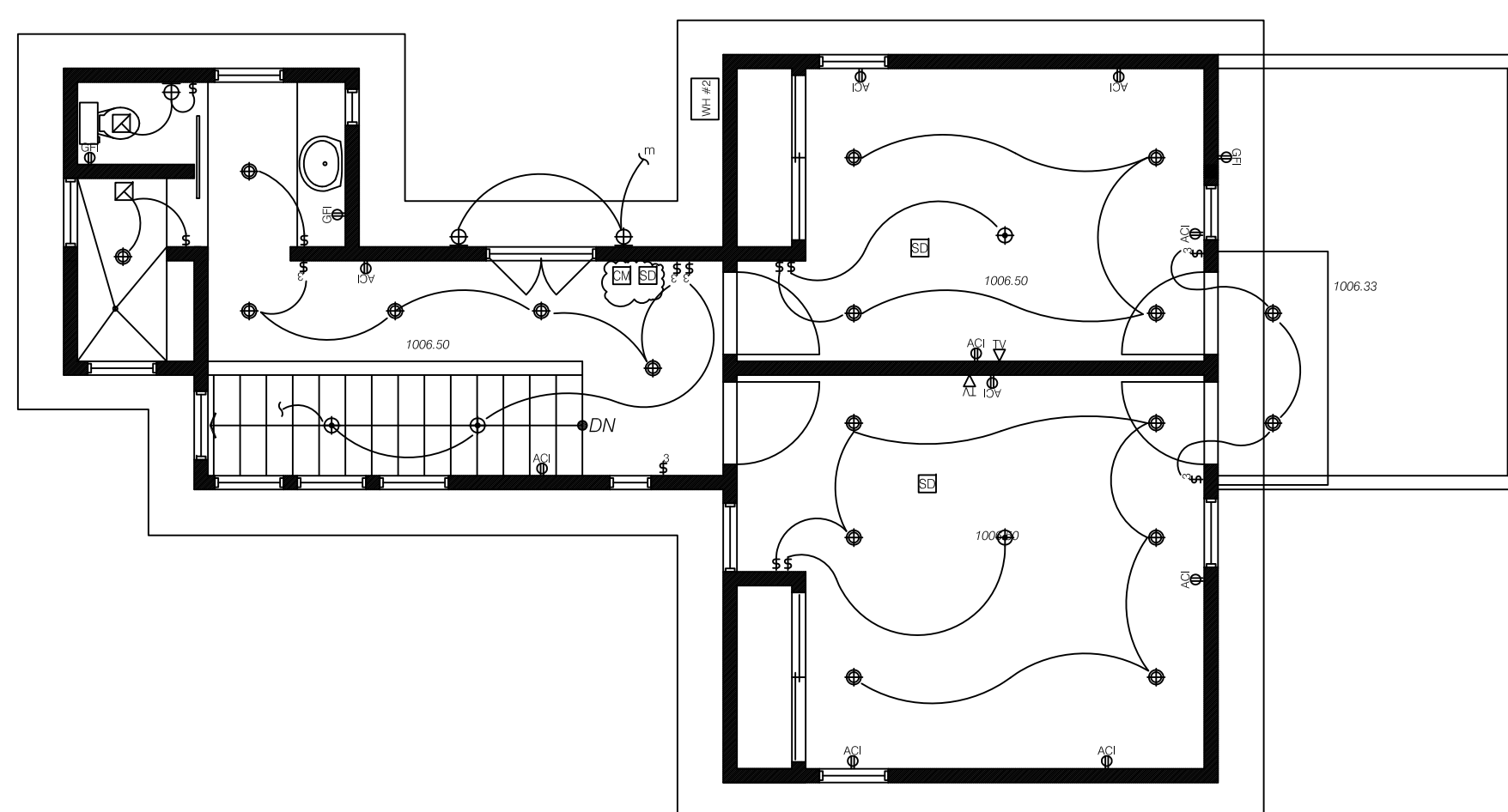
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DRAWN: CS	CAD NO.: 1606.A.200
CHECKED: TDS	JOB NO.: GV-201606

DRAWING TITLE
ROOF PLAN

DRAWING NO.
A-2.3



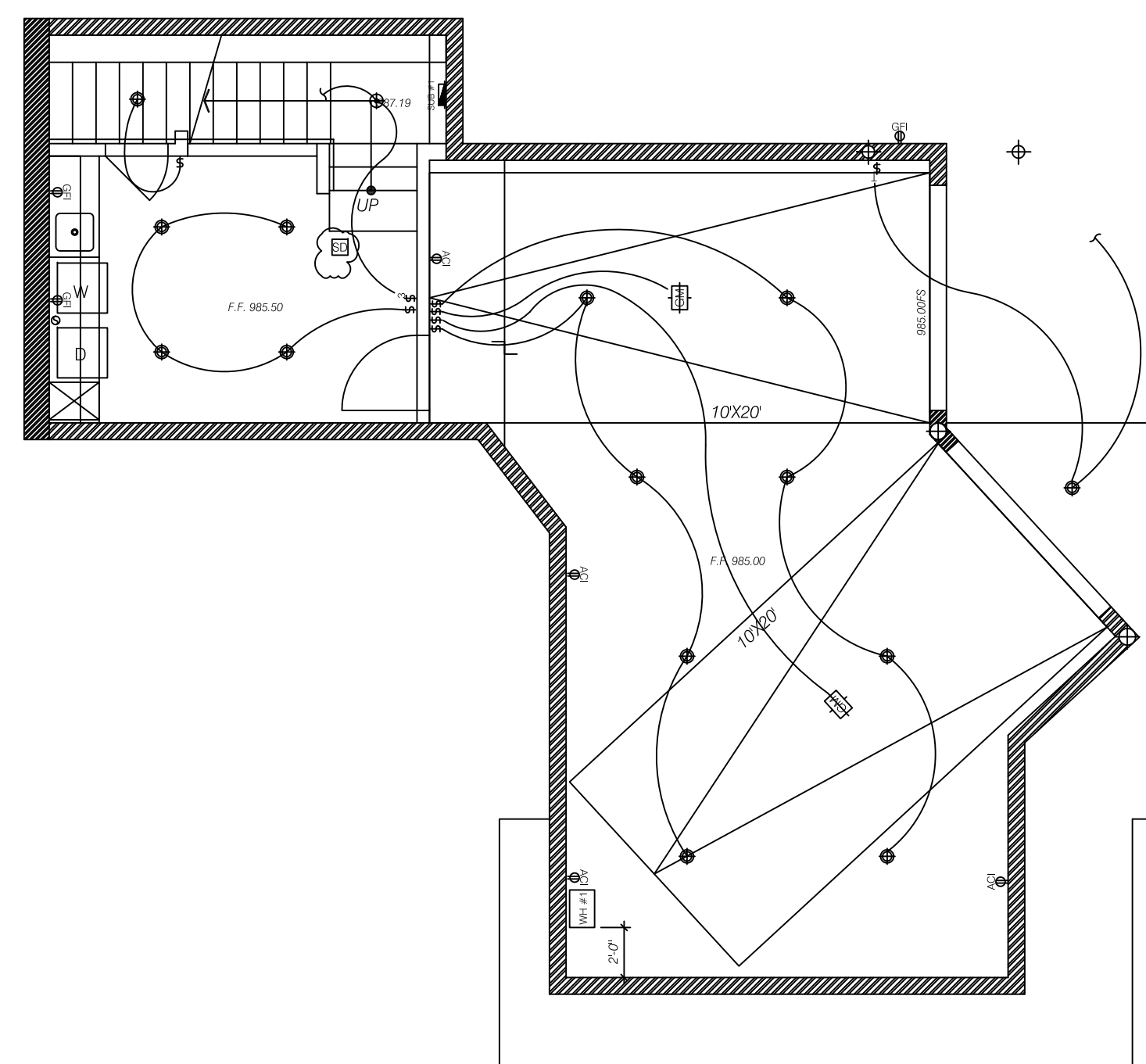
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1ST. FLOOR ELECTRICAL & LIGHING PLAN

3/8" = 1'-0"

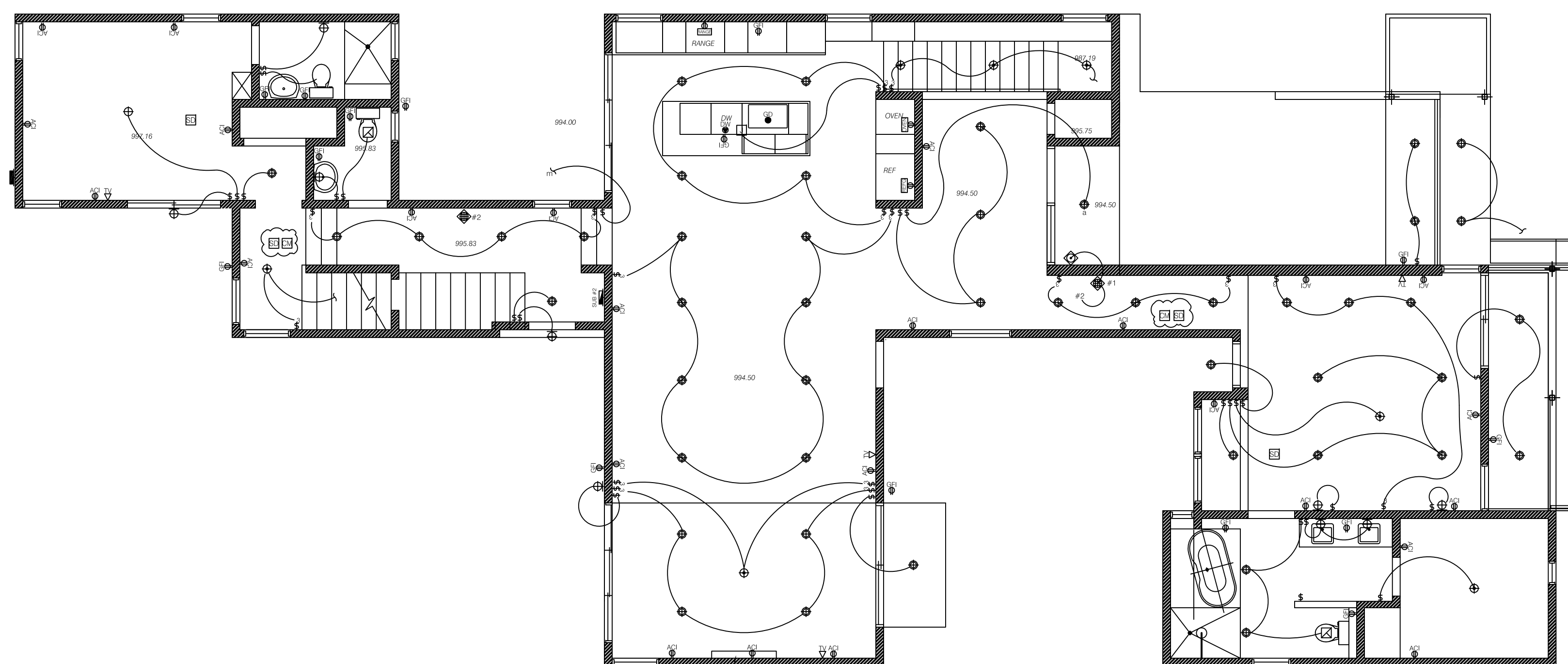
3



1ST. FLOOR ELECTRICAL & LIGHING PLAN

3/8" = 1'-0"

2



1ST. FLOOR ELECTRICAL & LIGHING PLAN

3/8" = 1'-0"

1

ELECTRIC SYMBOL SCHEDULE

EM	Electric Main Panel	EM	Carbon Monoxide Detector
ESP	Electric Sub Panel	ESD	Ceiling Mount Smoke Detector (Hard Wired w/ Battery Back-up)
		DB	Doorbell Push Button
S	Single Pole Switch	CI	Chime /or Intercom
3W	Three Way Switch	UD	Under-sink Garbage Disposer
4W	Four Way Switch	CSPL	Ceiling Suspended Pendant Light (Certified High Efficacy Luminaire)
SPS	Single Pole Switch w/ Occupant Sensor	CEML	Ceiling Mount Exposed Down Light (Certified High Efficacy Luminaire)
3WS	Three Way Switch w/ Occupant Sensor	CRDL	Ceiling Mount Recessed Down Light (Certified High Efficacy Luminaire)
STS	Single Pole Switch w/ Timer	WML	Wall Mount Light (Certified High Efficacy Luminaire)
240	240-Volt Receptacle Outlet	WFL	Wall Mount Fluorescent Light (Certified High Efficacy Luminaire)
DRO	Duplex Receptacle Outlet	WMLM	Wall Mount Light w/ Certified Motion Sensor & Integral Photo Control
DROGFI	Duplex Receptacle Outlet w/ Ground Fault Circuit Interrupter	WMBVL	Wall Mount Bathroom Vanity Light (Certified High Efficacy Luminaire)
WRDROGFI	Weather Protected Receptacle Outlet w/ Ground Fault Circuit Interrupter	EFD	Exhaust Fan w/ Back-draft Damper (Provide 5X Air Changes per Hour)
DROAFCI	Duplex Receptacle Outlet w/ Arc Fault Circuit Interrupter	TVO	TV / Broadband Cable Outlet
ASRO	Appliance Specific Receptacle Outlet	TEL	Telephone Outlet
FDR	Floor Duplex Receptacle Outlet	CMFL	Ceiling Mount Fluorescent Light (Certified High Efficacy Luminaire)
KSGD	Kitchen Sink Garbage Disposer Receptacle Outlet	30X30	30" X 30" attic space Access Panel w/ separate High Efficacy Luminaire and Switch mounted nearby.
DWS	Dishwasher Receptacle Outlet	GDM	Garage Door Opener Motor Unit w/ Certified High Efficacy Luminaire
KHF	Kitchen Hood Fan Receptacle Outlet		
CWS	Clothes Washer Receptacle Outlet		
CDS	Clothes Dryer Fan Receptacle Outlet		
J	Junction Box		

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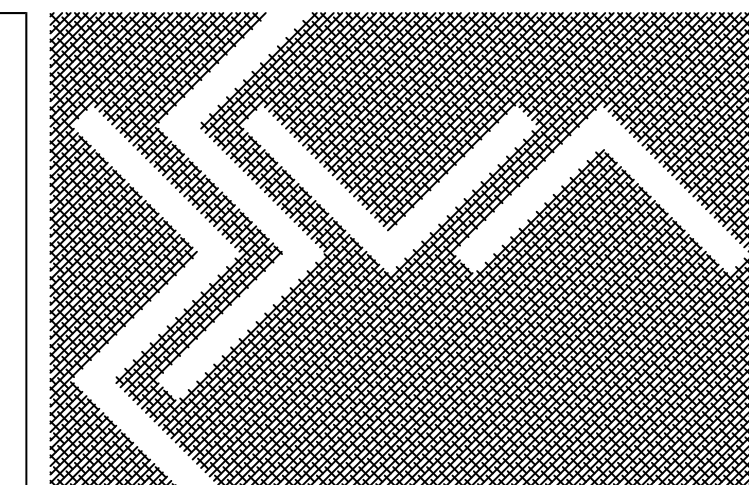
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SCALE : AS NOTED DATE : 12/27/2018
DRAWN : CS CAD NO. : 1606.A.200
CHECKED : TDS JOB NO. : GV-201606

DRAWING TITLE
REFLECTED CEILING & ELECT. PLAN

DRAWING NO.

A-2.4

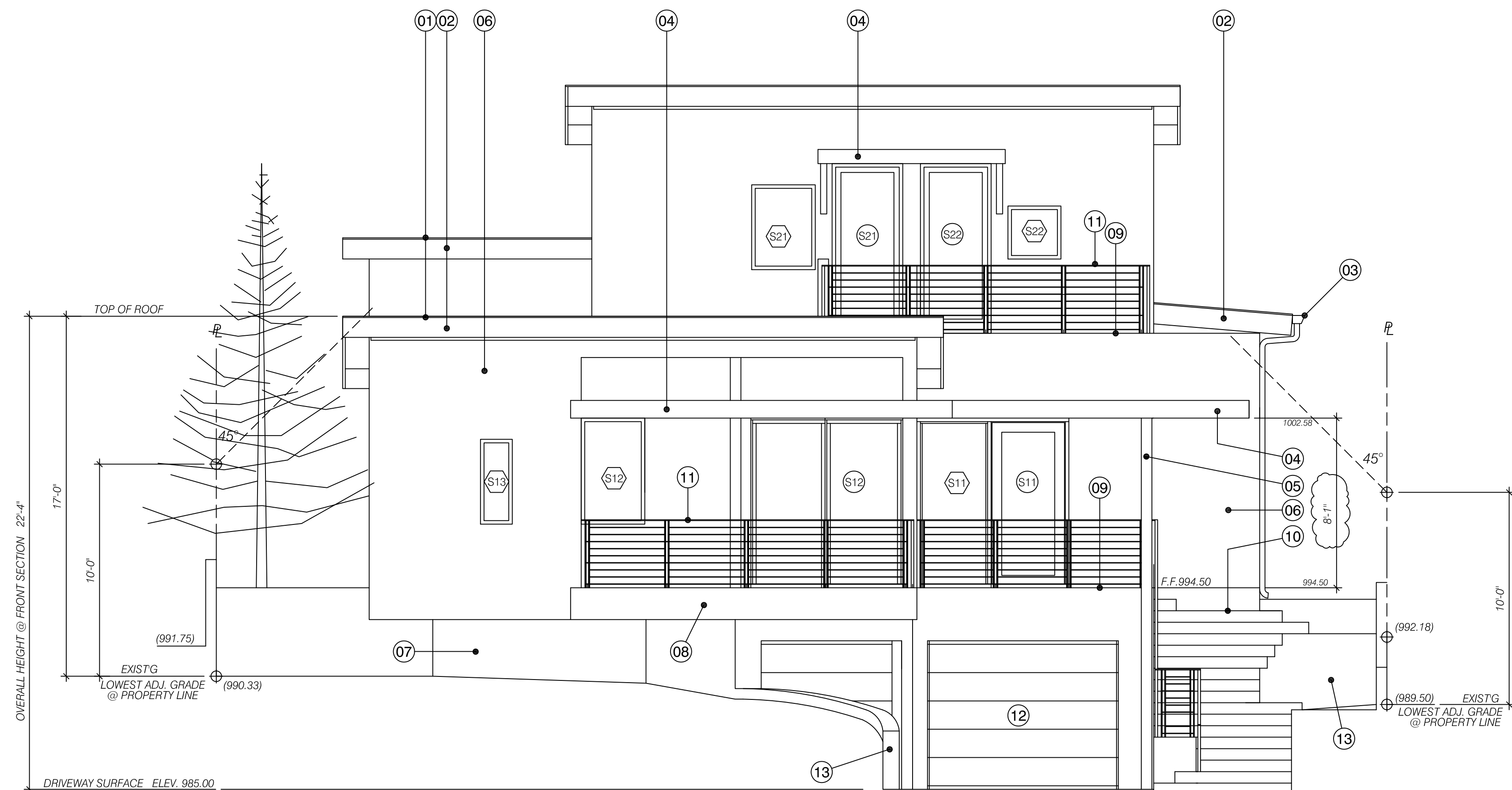


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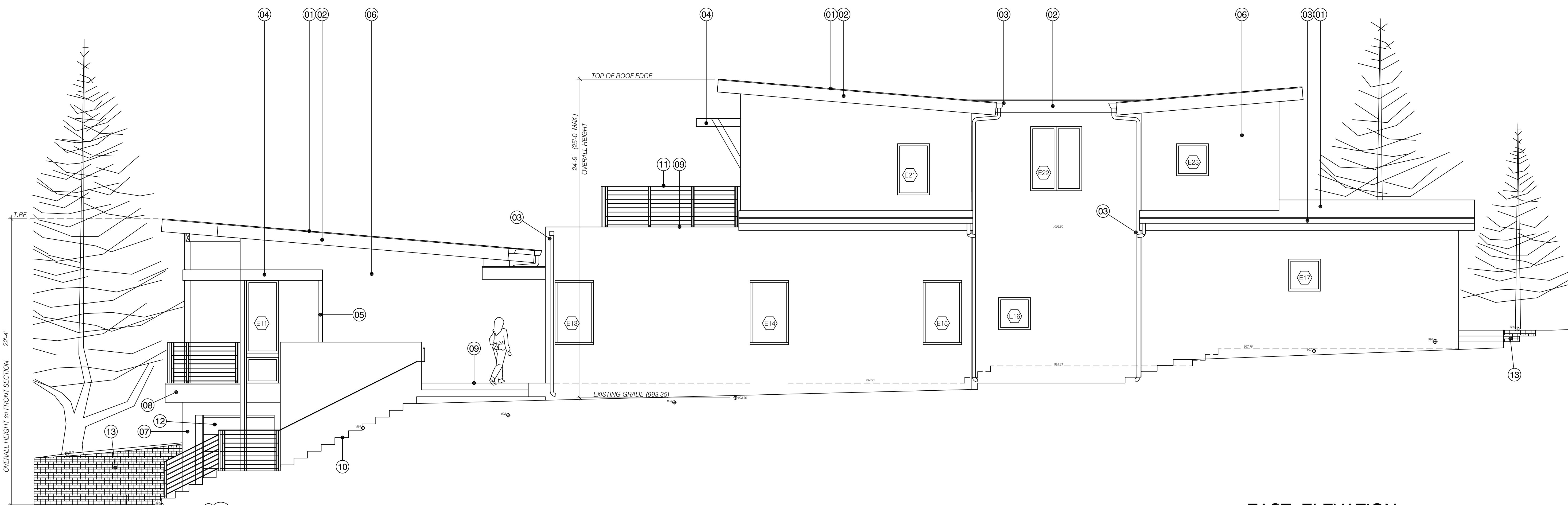
KEYNOTES

THESE KEYNOTES ARE SPECIFIC TO SHEET A-3.1, A-3.2 @ A-3.3

- 01 BUILT-UP ROOFING, DETAILS SEE A-2.4 ROOF PLAN
- 02 WOOD FASCIA/RAKE :
- 03 SEAMLESS ALUMINUM RAIN GUTTER & SPOUT :
- 04 METAL SUNSHADE CANOPY :
- 05 METAL TUBE POST :
- 06 WOOD FRAMED WALL W/ STUCCO FINISH :
- 07 CONC. BLOCK WALL W/ STUCCO FINISH :
- 08 BALCONY :
- 09 ROOF DECK :
- 10 CONC. STAIRWAY/STEPS :
- 11 METAL RAILING :
- 12 GARAGE DOOR :
- 13 RETAINING WALL : DTLS. SEE 6
A-1.4



1 SOUTH ELEVATION
(FRONT ELEVATION) SCALE : 1/4" = 1'-0"



2 EAST ELEVATION
(RIGHT ELEVATION) SCALE : 1/4" = 1'-0"

PROJECT
SINGLE FAMILY HOUSE
NEW CONSTRUCTION

325 W. Grandview Ave.
Sierra Madre, CA 91024

APN: 5762-029-008

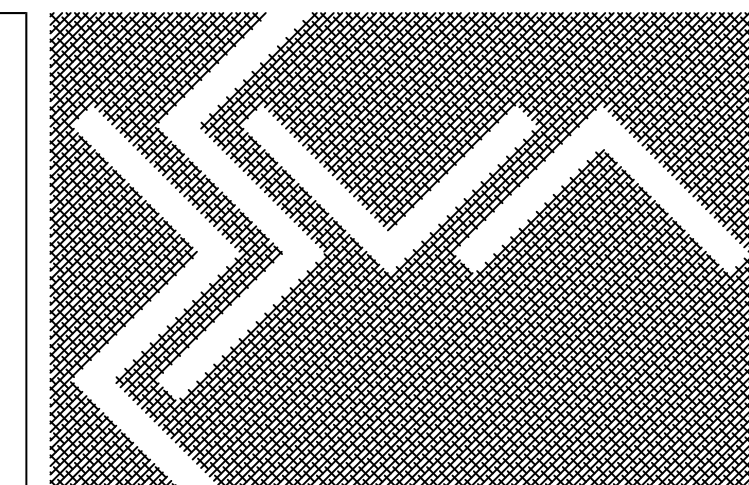
REVISION	DATE	BY

SCALE : AS NOTED DATE : 01/10/2019
DRAWN : CS CAD NO. : 1606.A.300
CHECKED : TDS JOB NO. : GV-201606

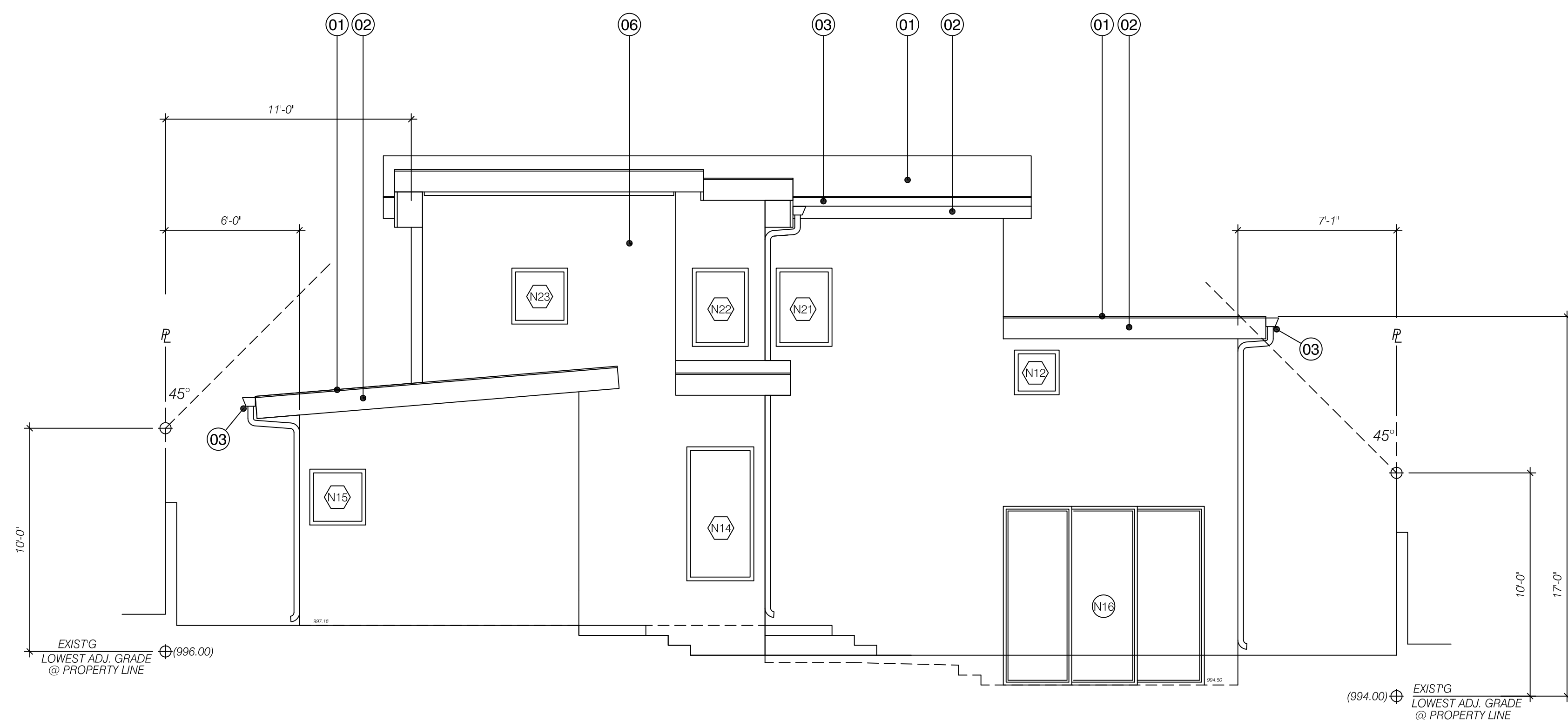
DRAWING TITLE
BUILDING ELEVATIONS

DRAWING NO.
A-3.1

SEE SHEET A-1.1 & 2 #5, #4 & #3 FOR RETAINING WALL
A-1.4



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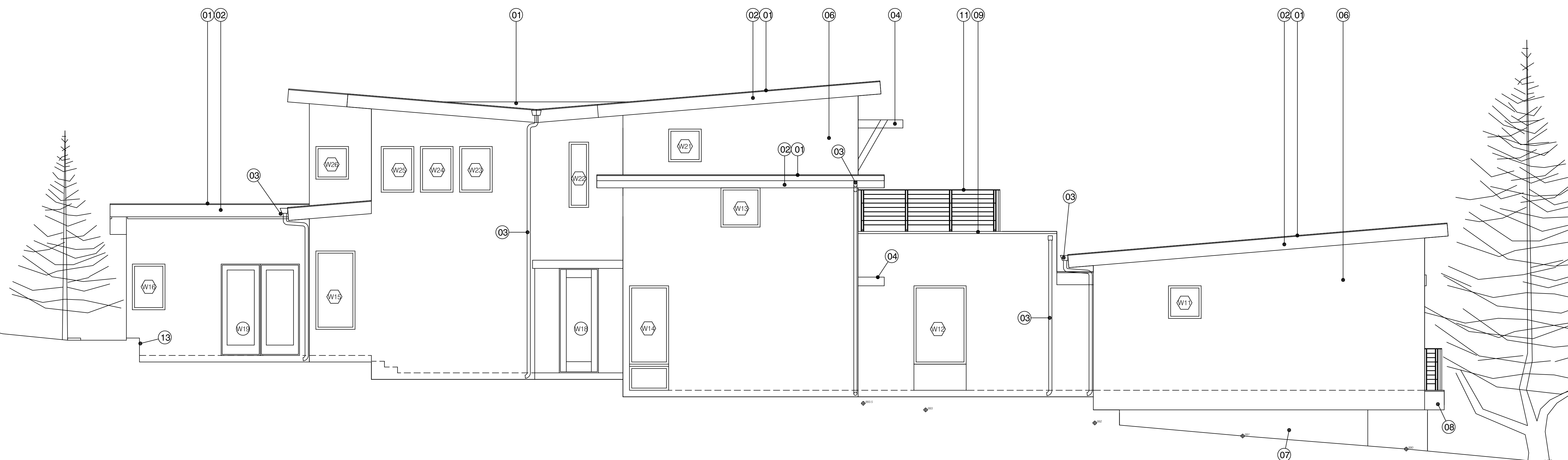


KEYNOTES

THESE KEYNOTES ARE SPECIFIC TO SHEET A-3.1, A-3.2 & A-3.3

- 01 BUILT-UP ROOFING.
DETAILS SEE A-2.4 ROOF PLAN
- 02 WOOD RAFTER/RAKE :
- 03 SEAMLESS ALUMINUM
RAIN GUTTER & SPOUT :
- 04 METAL SUNSHADE CANOPY :
- 05 METAL TUBE POST :
- 06 WOOD FRAMED WALL
W/ STUCCO FINISH :
- 07 CONC. BLOCK WALL
W/ STUCCO FINISH :
- 08 BALCONY :
- 09 ROOF DECK :
- 10 CONC. STAIRWAY/STEPS :
- 11 METAL RAILING :
- 12 GARAGE DOOR :
- 13 GARDEN WALL :

1 NORTH ELEVATION
(REAR ELEVATION) SCALE : 1/4" = 1'-0"



2 WEST ELEVATION
(LEFT ELEVATION) SCALE : 1/4" = 1'-0"

PROJECT
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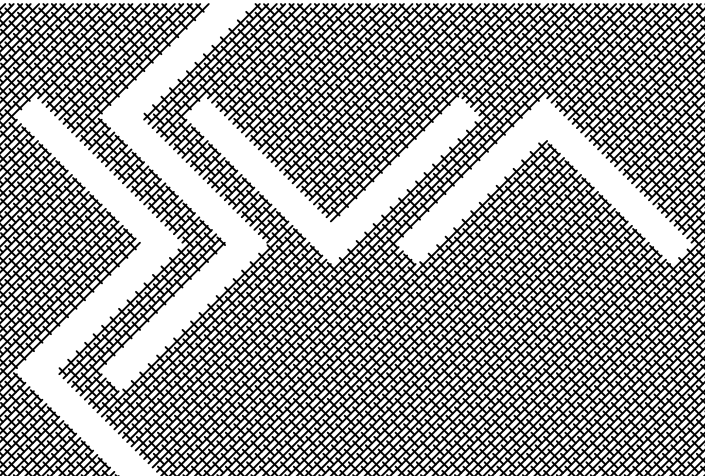
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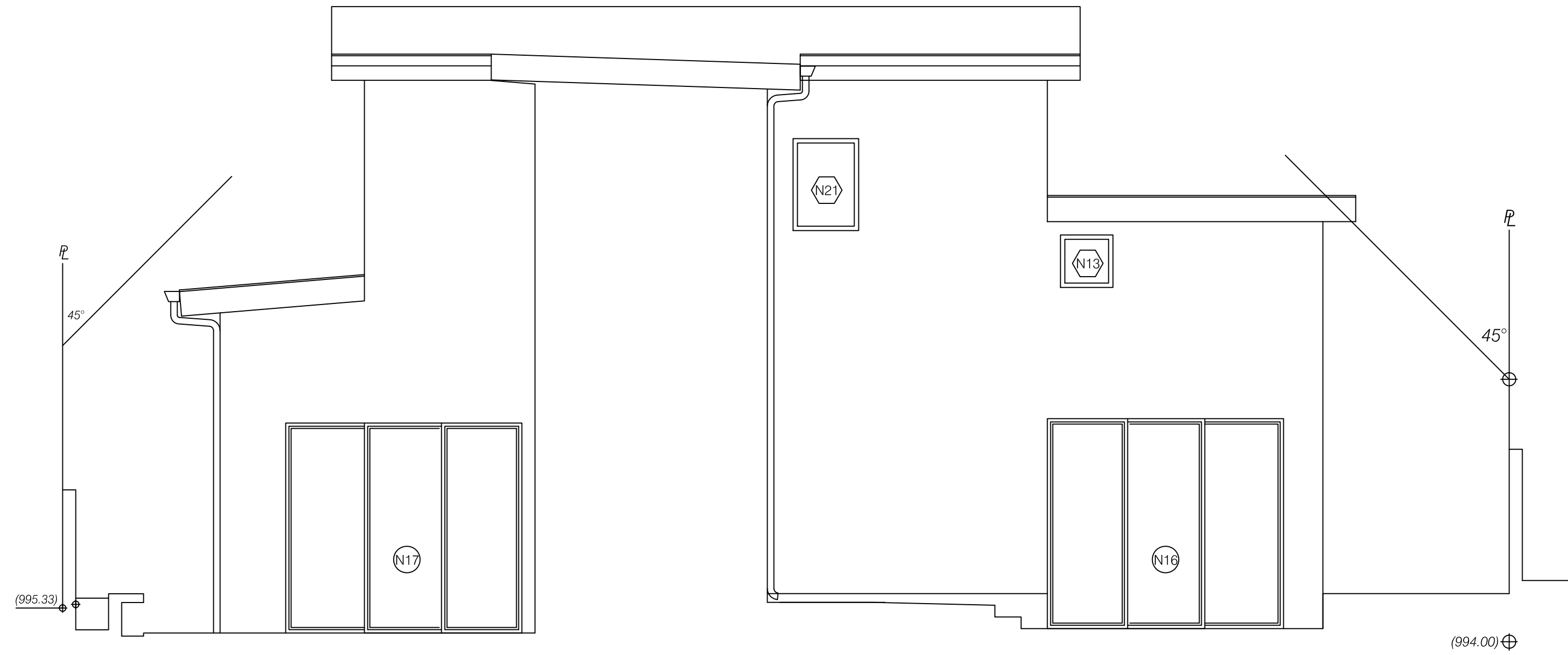
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DRAWN : CS CAD NO. : 1606.A.300
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DRAWING TITLE
BUILDING ELEVATIONS

DRAWING NO.
A-3.2



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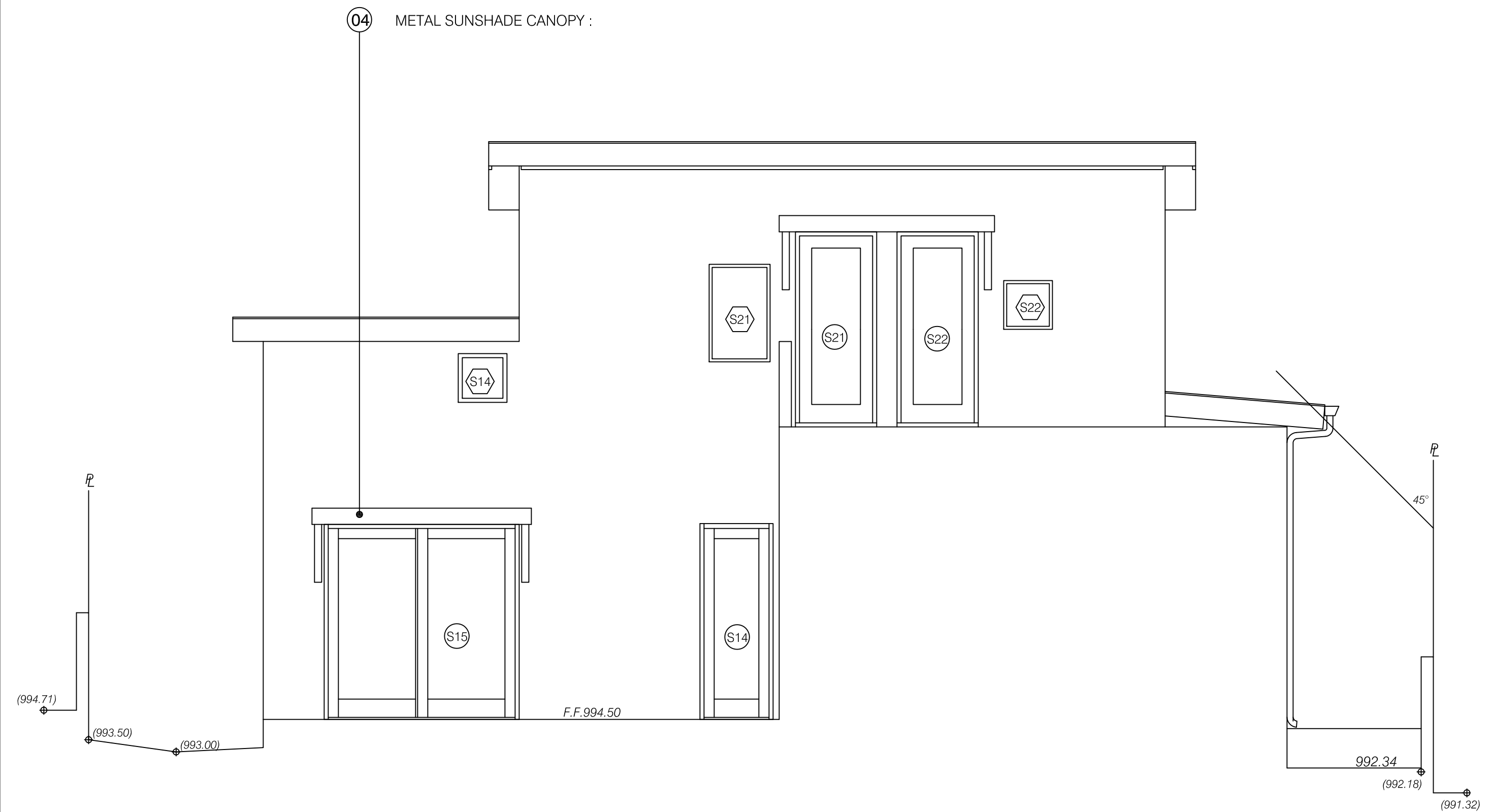
4 NORTH ELEVATION @ COURT YARD-2
SCALE : 1/4" = 1'-0"



2 SOUTH ELEVATION @ COURT YARD-2
SCALE : 1/4" = 1'-0"



3 NORTH ELEVATION @ COURT YARD-1
SCALE : 1/4" = 1'-0"



1 SOUTH ELEVATION @ COURT YARD-1
SCALE : 1/4" = 1'-0"

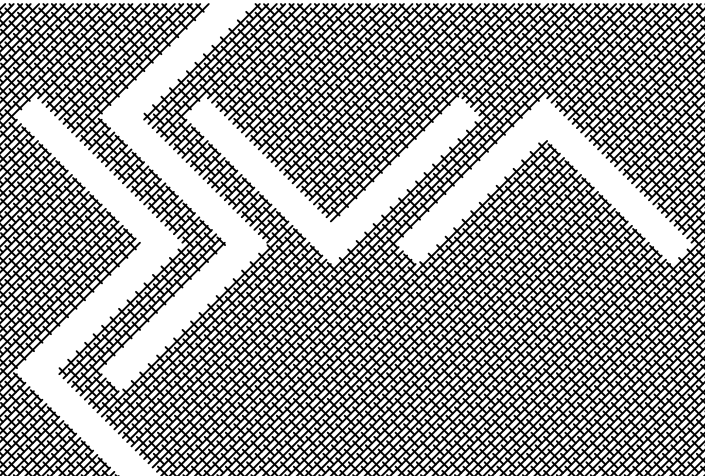
PROJECT
SINGLE FAMILY HOUSE
NEW CONSTRUCTION
325 W. Grandview Ave.
Sierra Madre, CA 91024
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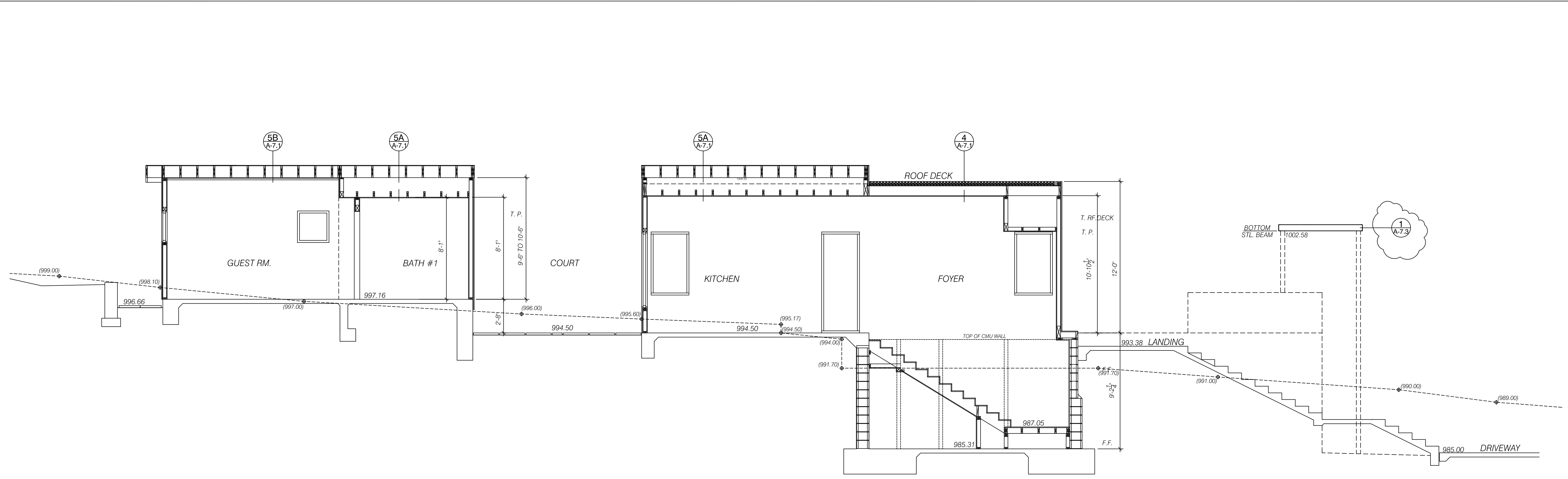
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DRAWING TITLE
BUILDING ELEVATIONS

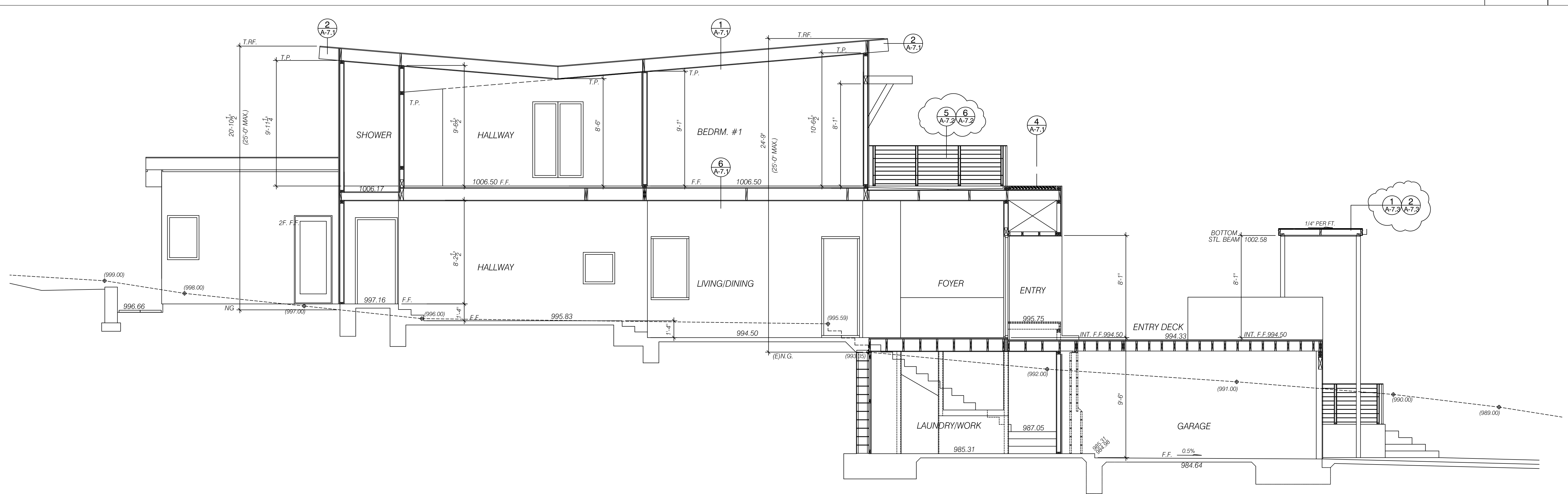
DRAWING NO.
A-3.3



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SECTION 1-1 1/4"=1'-0" 1



SECTION 2-2 1/4"=1'-0" 2

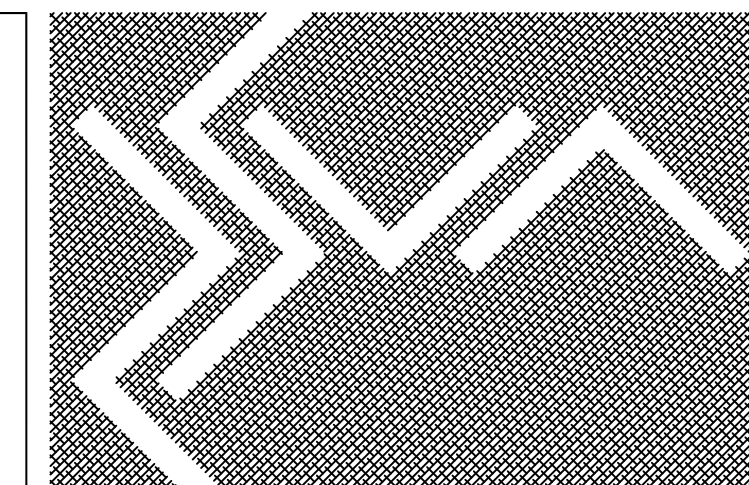
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SINGLE FAMILY HOUSE
NEW CONSTRUCTION
325 W. Grandview Ave.
Sierra Madre, CA 91024
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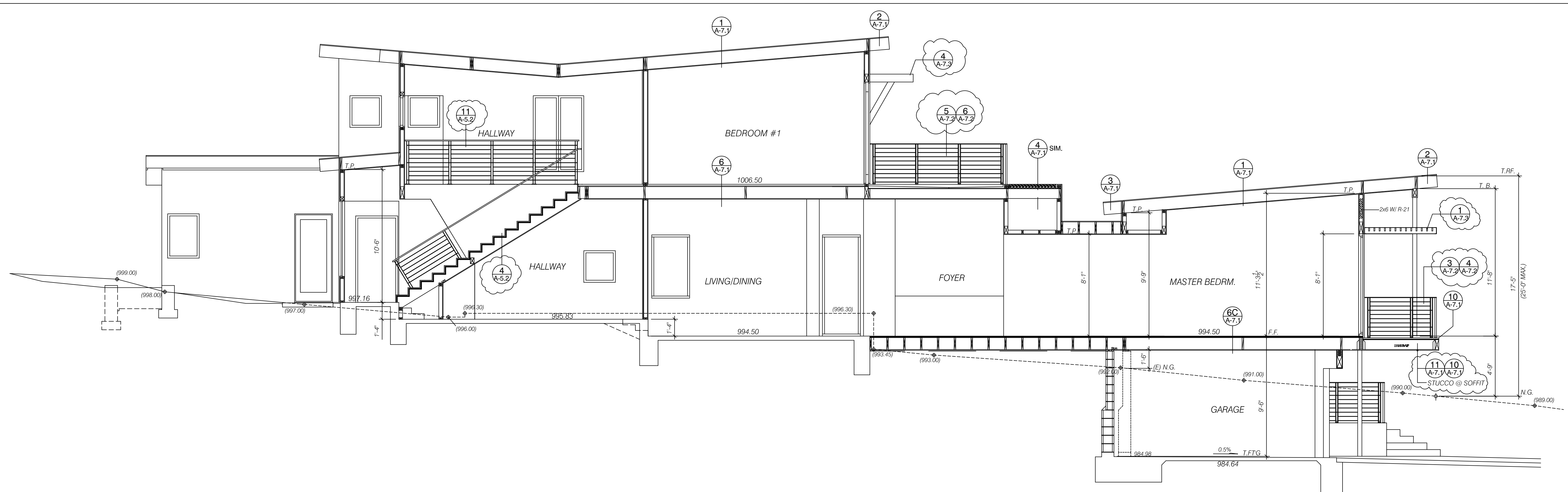
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DRAWING TITLE
BUILDING SECTIONS

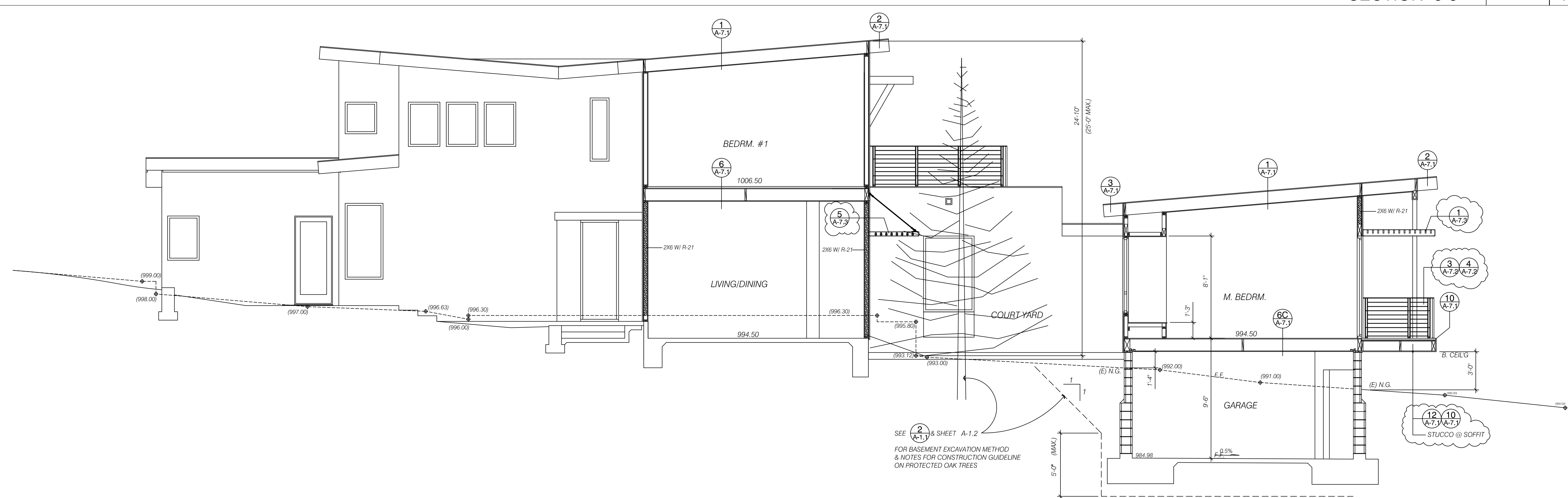
DRAWING NO.
A-4.1



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ARCHITECTURE . PLANNING . INTERIOR DESIGN



SECTION 3-3 1/4"=1'-0" 1



SECTION 4-4 1/4"=1'-0" 2

PROJECT
SINGLE FAMILY HOUSE
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Sierra Madre, CA 91024

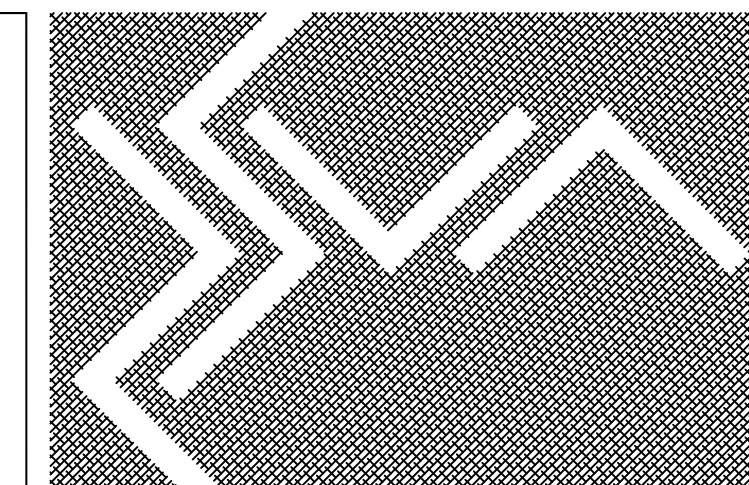
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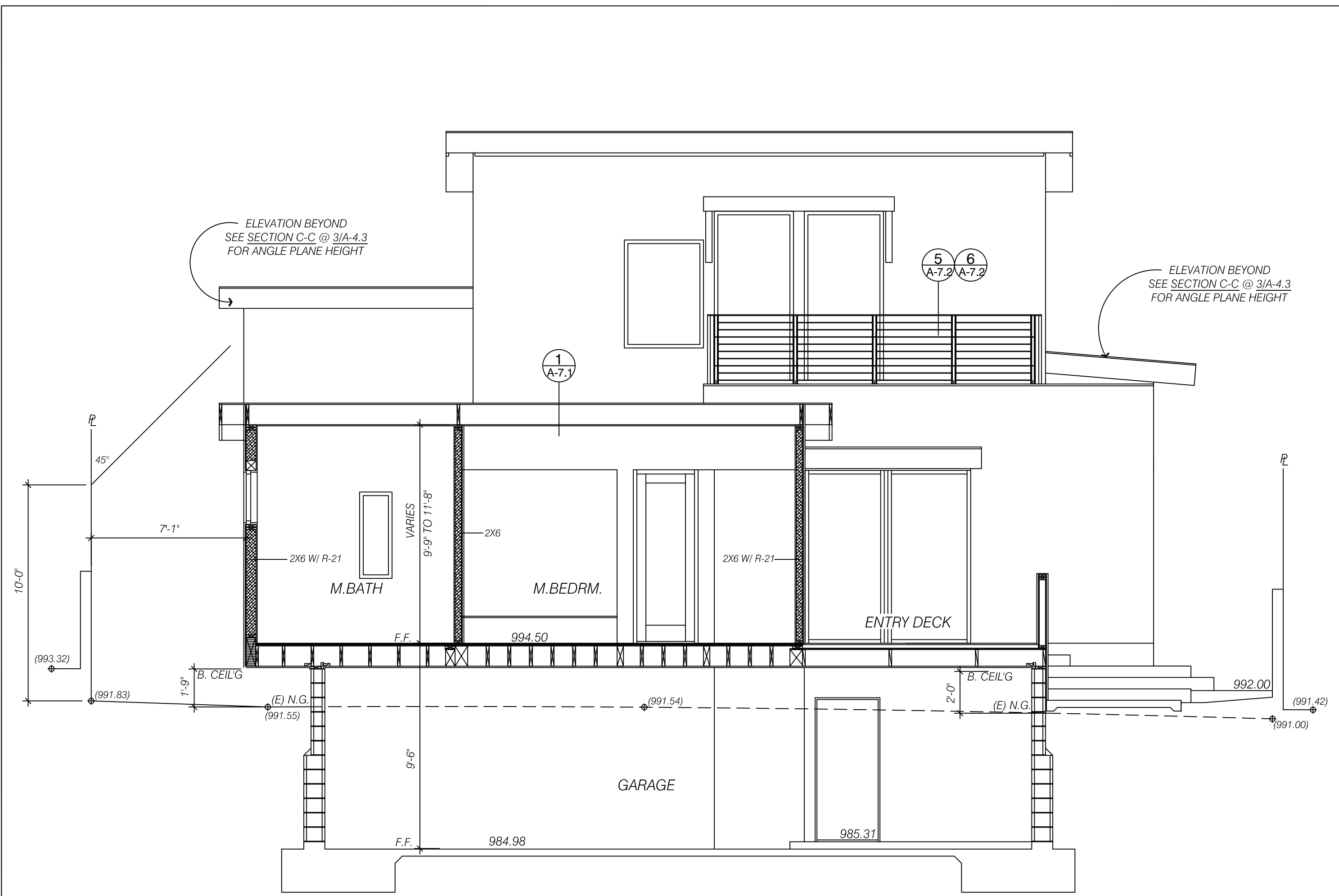
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DRAWING TITLE
BUILDING SECTIONS

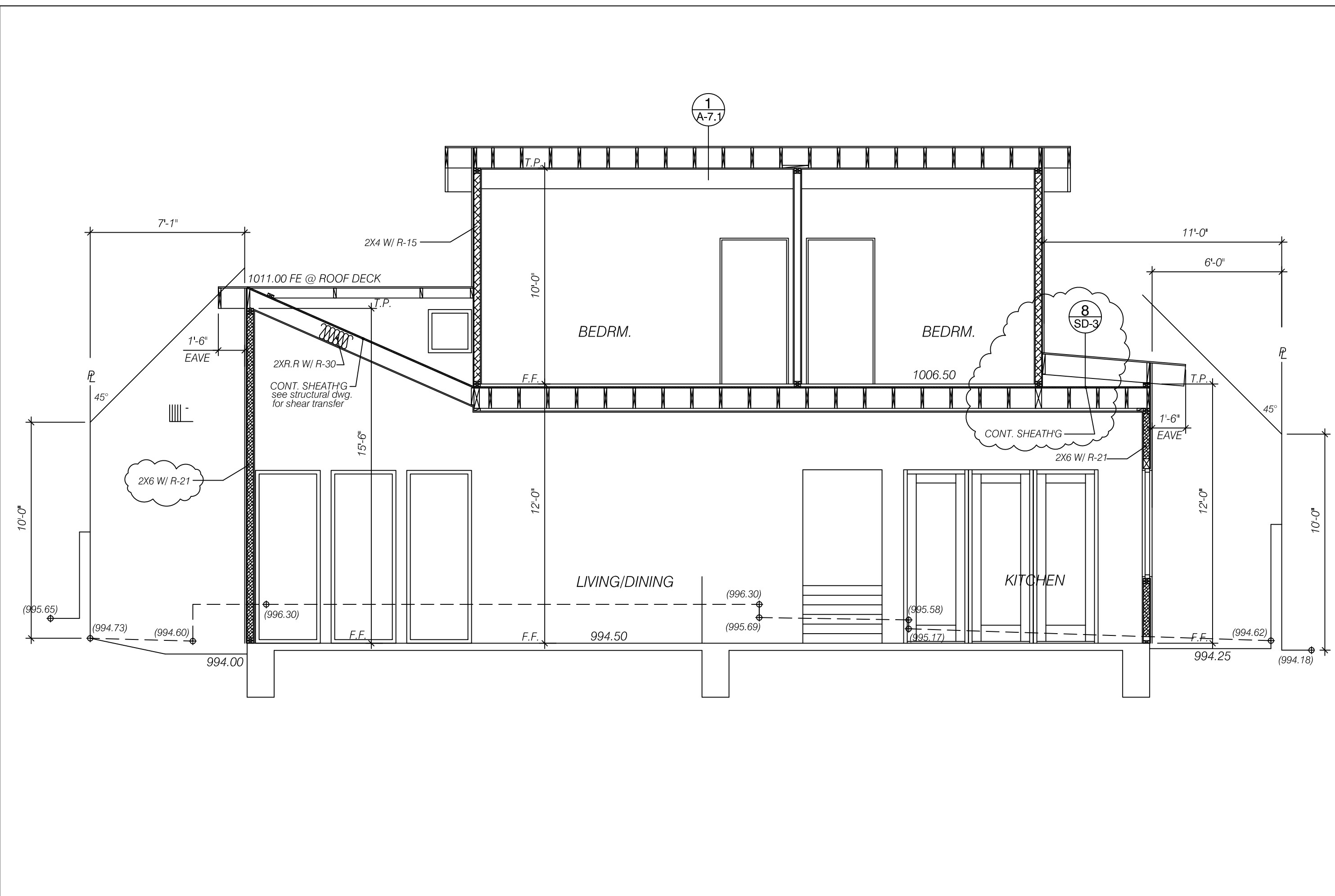
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A-4.2



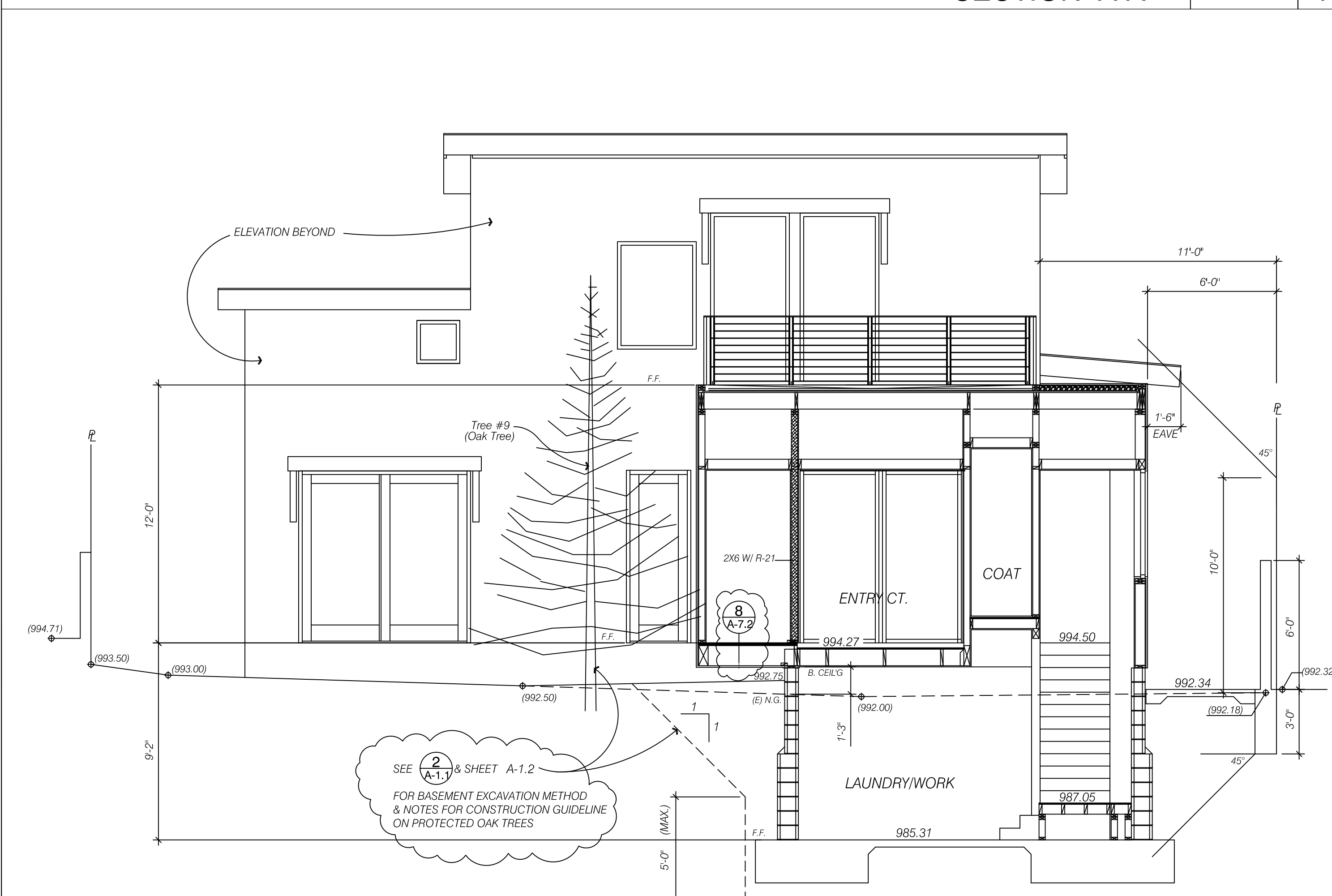
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SECTION A-A 1/4"=1'-0" 1



SECTION C-C 1/4"=1'-0" 3



SECTION B-B 1/4"=1'-0" 2

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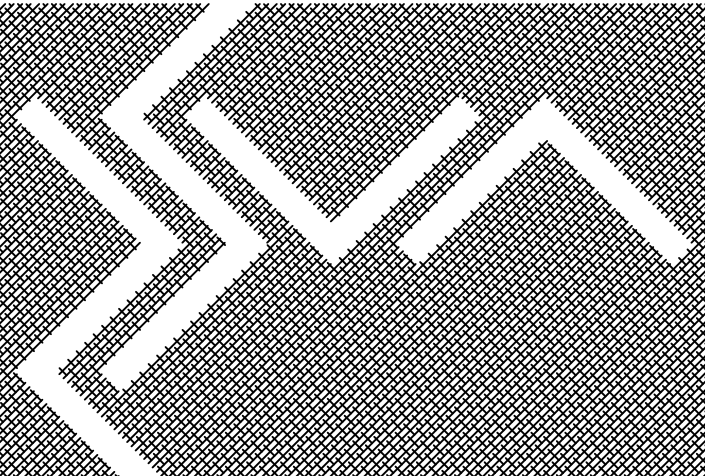
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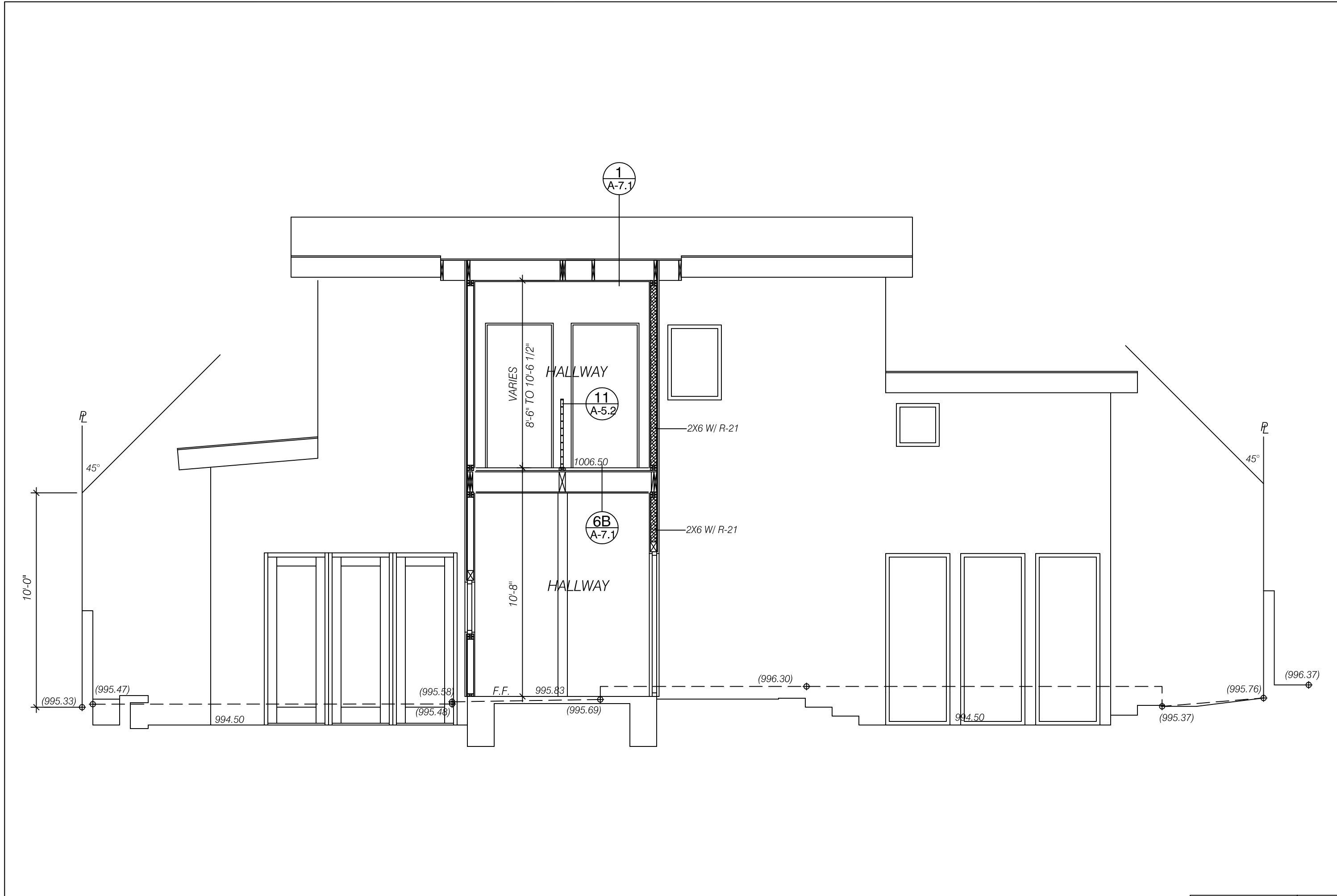
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DRAWING TITLE
BUILDING SECTIONS

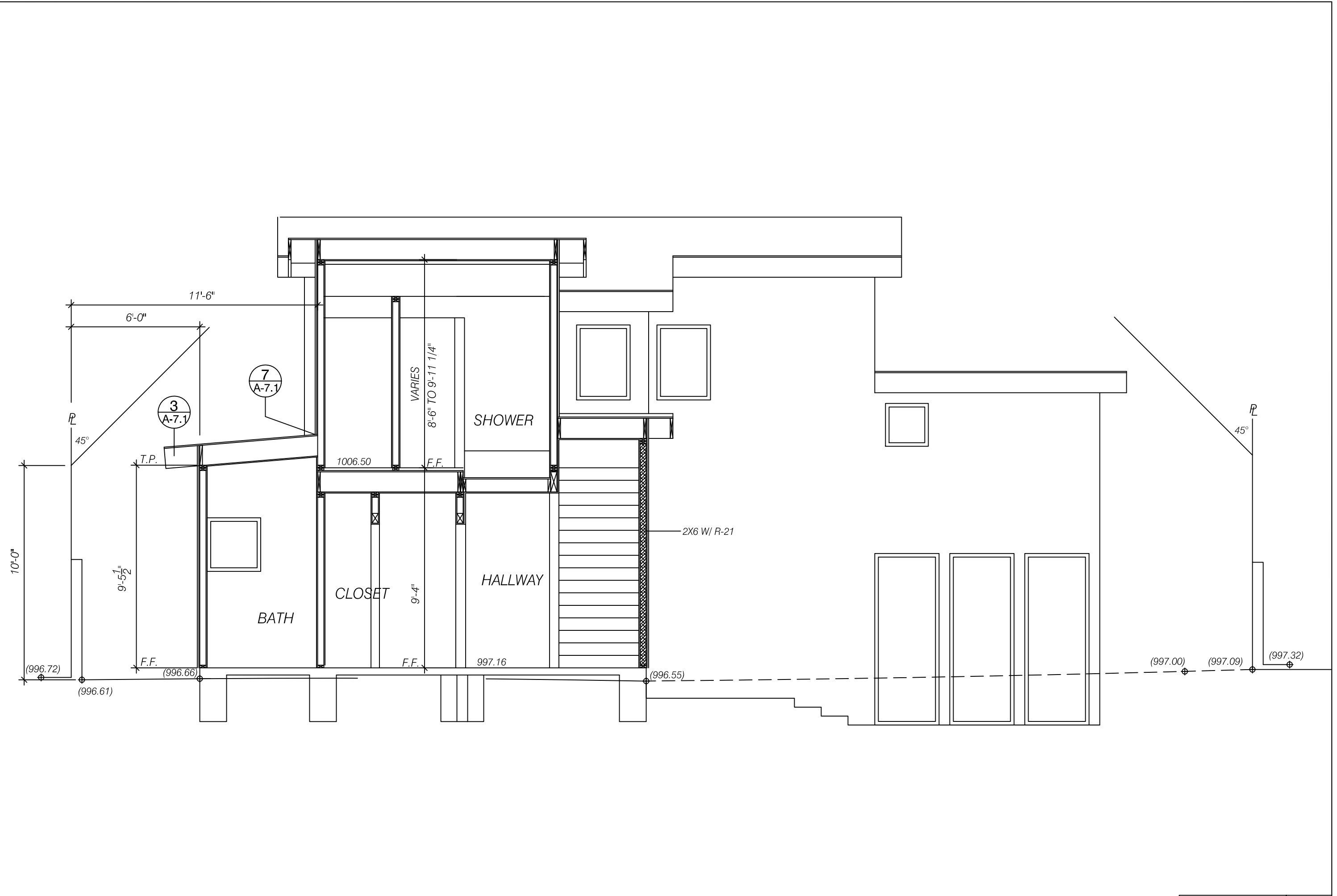
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A-4.3



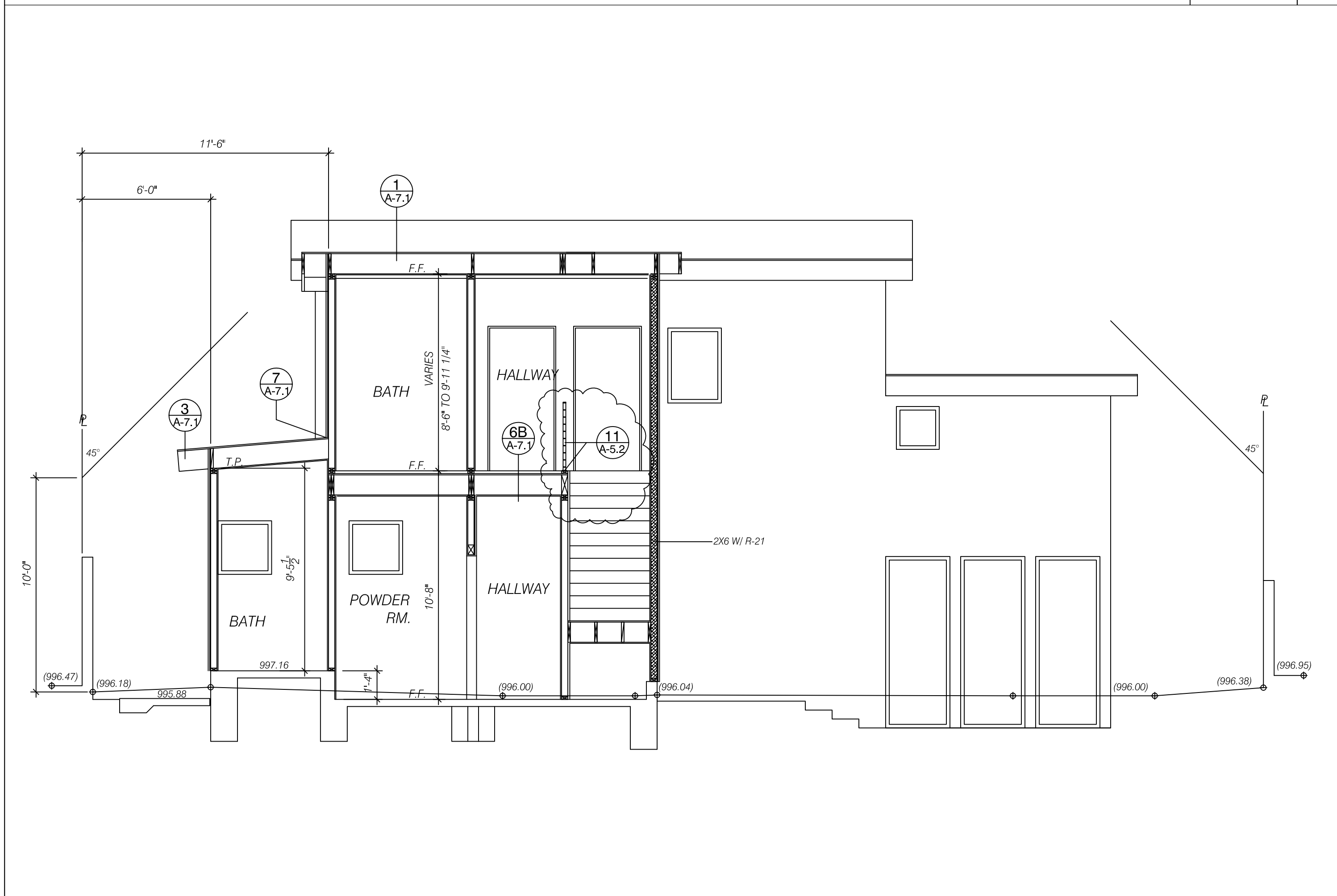
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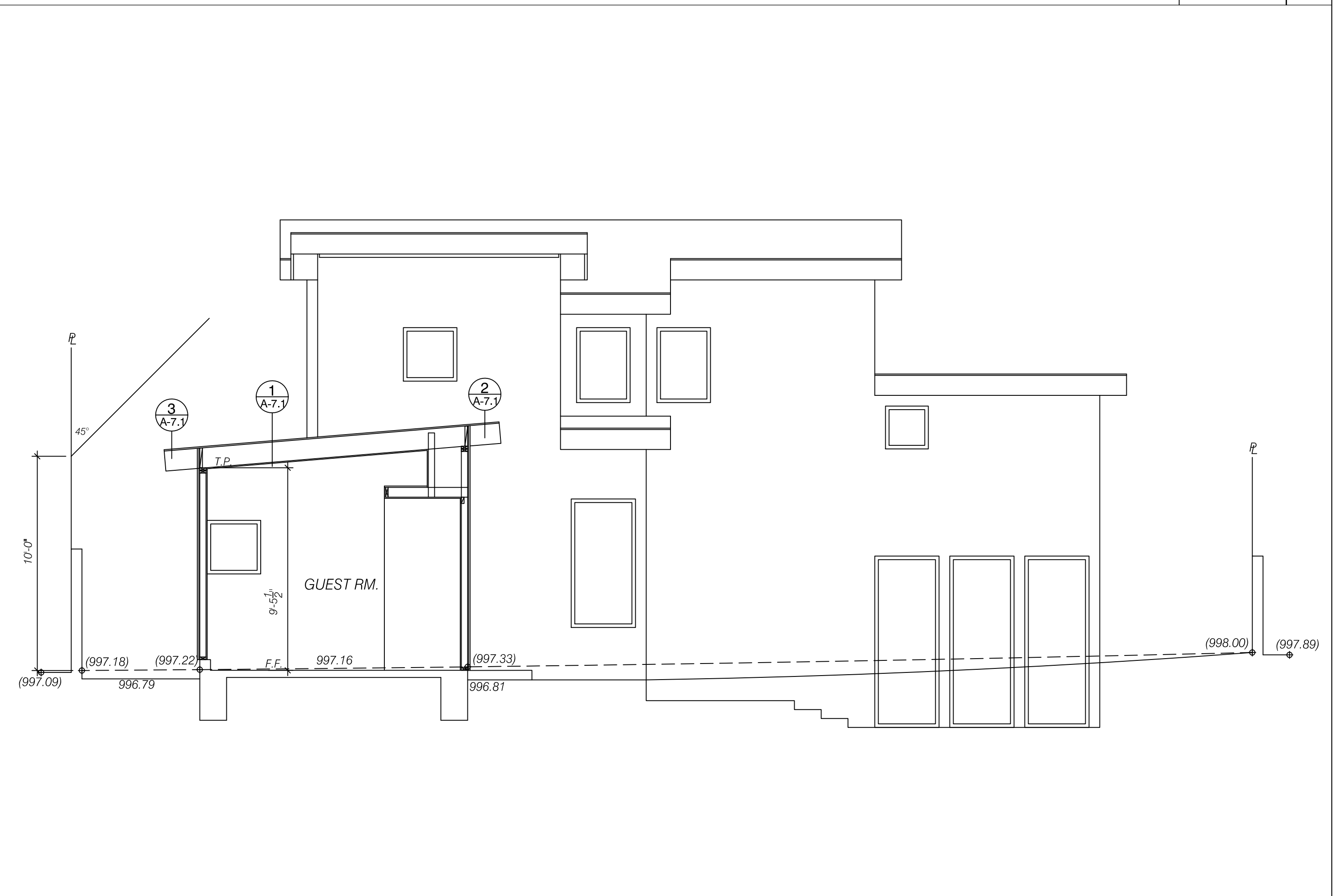
SECTION D-D 1/4"=1'-0" 1



SECTION F-F 1/4"=1'-0" 3



SECTION E-E 1/4"=1'-0" 2



SECTION G-G 1/4"=1'-0" 4

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DRAWING TITLE
BUILDING SECTIONS

DRAWING NO.
A-4.4