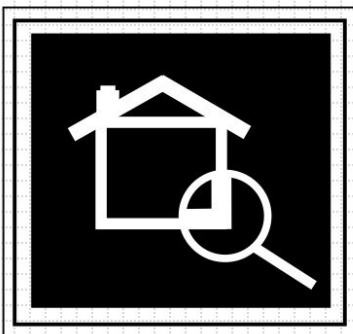




"CERTIFIED"
MANUFACTURED HOME INSPECTOR

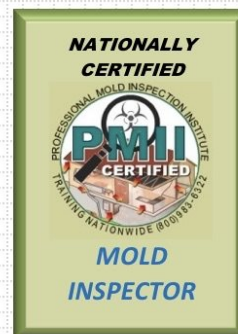


Certified Building Inspector

Professional

Inspection Services

Inspection Report



CERTIFIED FIREPLACE AND
CHIMNEY INSPECTOR



Address: 4837 Tumbleweed Way Paso Robles, CA 93446

03/25/2026

Inspector: Taylor Vreeken, CCI

P.O. Box 415 Templeton, CA 93465 | O: 805.462.1978 C: 805.441.9727

CERTIFIED BUILDING INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Summary of Findings

Please note that not all of the comments have been brought forward to this summary page. Please read the full-length report for additional details, comments, disclosures, notes and recommendations. Photos and comments included in this report may just be an example of the overall condition. If a defective component is discovered and disclosed by the inspector within any system the entire system should be evaluated as there may be additional defects within the system that may not be noted, or discovered until a more specific detailed evaluation by the appropriate licensed tradesmen is performed. This inspection is only a general overview of the systems which are included in this report per the Standards.

Client should review all paperwork provided by seller including but not limited to work receipts, termite reports and/or any other paperwork provide that would show client what defects need to be addressed and who performed previous work and what repairs or upgrades that were specifically performed.

Throughout the report, you will find special symbols at the front of certain comments which direct you in what to do with the information provided in the comment. Client must follow all recommendations. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

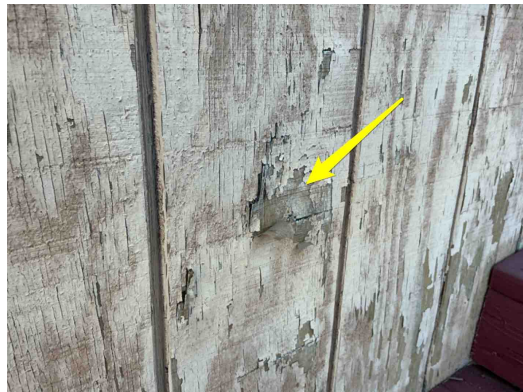
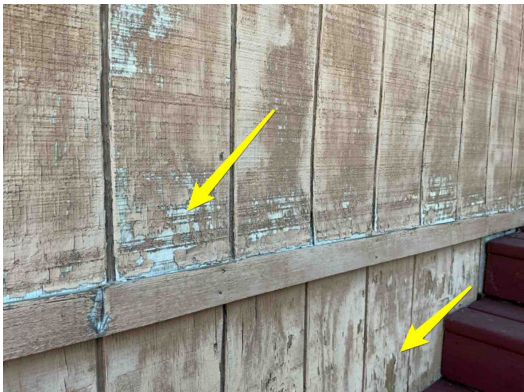
UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

SUMMARY COMMENTS:

EXTERIOR GENERAL

s-27: The exterior wood siding found heavily deteriorated and damaged at multiple locations throughout. Too many individual defects and locations to list. Recommend further evaluation in corrections/repair by a licensed contractor familiar with minimum codes and standards.



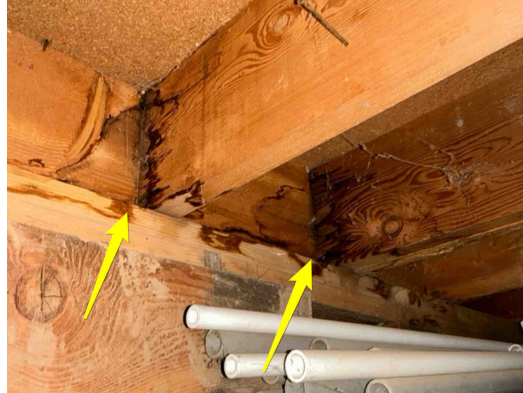


DECKS WOOD DECK COMMENTS

E&C s-41: The FRONT ENTRY DECK does not meet minimum construction standards, has moderate moisture damage, and appears to be at the end of serviceable life. Contact a qualified contractor for evaluation and repairs or replacement.



E&C s-42: Evidence of water intrusion below the front entry deck where the joists enter the crawlspace. Recommend repairs and adequate waterproofing to avoid further moisture damage.



DECKS WATERPROOF DECK COMMENTS

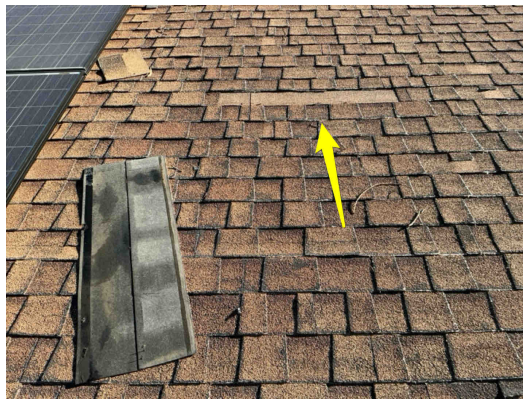
E&C SC s-43: The UPSTAIRS DECK OFF THE LIVING ROOM is improperly constructed and not a proper waterproof assembly. Too many individual defects to list. Areas of the decking found unsafe. Contact a qualified decking contractor for further evaluation and reconstruction/ repairs.





ROOF ASPHALT COMPOSITION SHINGLE COMMENTS

E&C **DS** s-72: **ROOF CONDITION:** Roof is at or past the end of its life expectancy. Recommend contacting a licensed roofing contractor for a price / proposal for replacement.

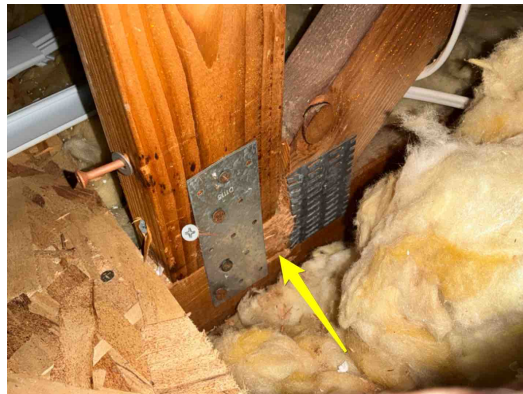


ATTIC COMMENTS

FI DS s-79: Some moderate and heavy moisture stains noted in areas throughout the attic. All water stains should be investigated by a licensed roofer. Refer to termite report for additional comments and/or recommendations.

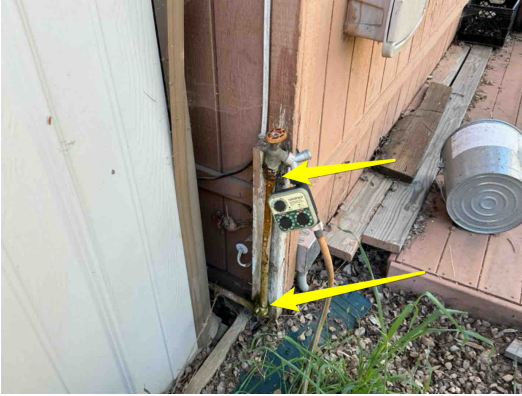


E&C SC s-80: Roughly 2/3 of the attic truss system found heavily altered and removed. This substandard alteration to attic framing is a significant structural concern and warrants further evaluation by qualified engineer.



PLUMBING WATER SUPPLY PIPING

E&C s-90: Active water leak found at NORTHWEST ADDED HOSE BIB SUPPLY LINE. Recommend further evaluation and repairs by qualified plumbing professional.



KITCHEN DISHWASHER

FI s-112: Dishwasher found non-operational.

LAUNDRY DRYER VENTING

SC s-127: An improper use of a non-fire rated / flexible laundry dryer vent pipe through the crawlspace. Replacement recommended for fire safety. Contact a qualified, HVAC contractor. The maximum length of a flexible laundry dryer flex connector is 6 feet.

Reference- California Mechanical Code (CMC) Section 504.4

- Dryer exhaust ducts are required to discharge directly to the exterior of the building and shall not terminate into a crawlspace, attic, chimney, vent connector, gas vent, or other concealed space.
- Exhaust ducts shall be constructed of rigid metallic material.
- Ducts shall not be assembled with screws or fasteners that penetrate into the duct interior, as these can catch lint and reduce airflow efficiency.
- The exterior termination is required to include a backdraft damper and must not contain a screen, which can accumulate lint and restrict airflow.
- Where duct sections are joined, the male end must be installed in the direction of airflow.



BATHROOMS TOILETS

E&C s-131: Toilet loose at floor: HALLWAY BATHROOM and PRIMARY BEDROOM BATHROOM



INTERIOR WINDOWS

SC s-151: Cracked or broken window glass found: BEDROOM-2



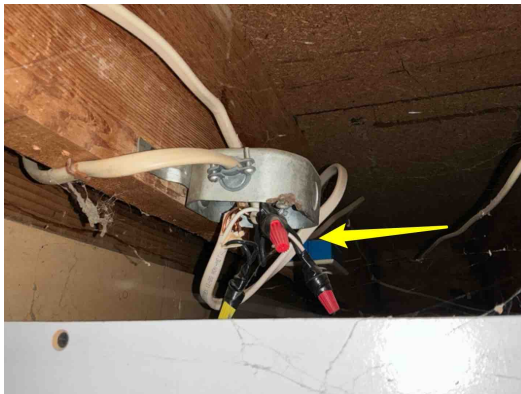
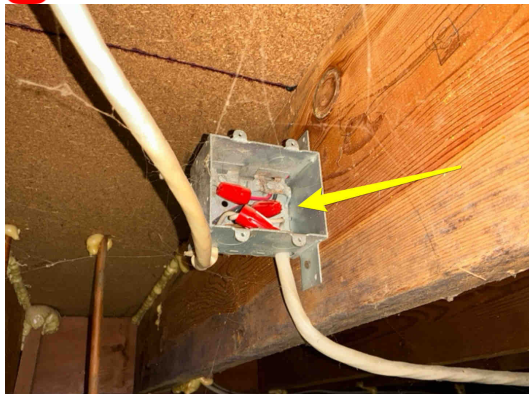
HEATING CONDITION

E&C **SU** s-169: This type of heating and cooling system has an anticipated 20+/- year life span and is currently 48 years old. **The heating and cooling did not operate today and may warrant full replacement.** Contact a licensed HVAC professional for evaluation and repair/replacement.



ELECTRICAL OUTLETS/SWITCHES

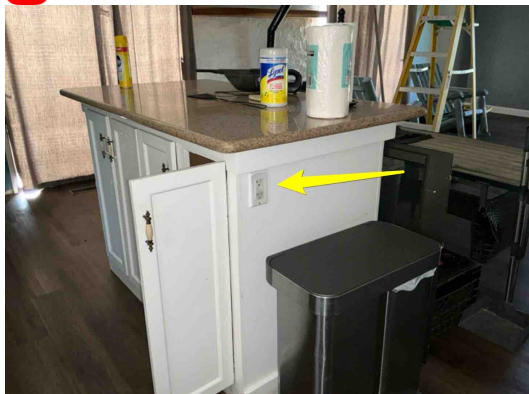
SC s-182: Missing electrical cover plate: MULTIPLE IN THE CRAWLSPACE



SC s-183: Miswired electrical outlet (open neutral). Have electrician check all outlets and correct as needed: KITCHEN



E&C s-186: The kitchen island GFCI found non-operational/ abandoned.



ELECTRICAL GFCIS/ AFCIS

E&C s-192: The KITCHEN LEFT SIDE GFCI outlet found to be improperly wired in series with the KITCHEN RIGHT SIDE GFCI outlet (improper line / load reversal). When the GFCI trips off it improperly trips off a second GFCI in a different location and will not reset unless the other outlet when found is reset first. This is considered an improper installation.



DETECTORS

SC s-195: Carbon Monoxide detector missing at the required location: BEDROOM HALLWAY

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys**. Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

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UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

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General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. Example: A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector dreamed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

- 1: Approx. Temperature: 77°F
- 2: Dry Today

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES

- 3: East

INSPECTION DATE
Wednesday, March 25, 2026

START TIME
8:30 am

FINISH TIME ON-SITE
10:30 am

INSPECTOR
5: Taylor Vreeken, CCI, CMI

PROPERTY TYPE

6: Single Family

INSPECTION TYPE

7: **Pre-Sale Listing Inspection** : This inspection is performed for the seller of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing Systems, Heating and Cooling**, and the **Fireplaces and Chimneys**. Cosmetic conditions are not reported on as part of a home inspection. This report, which can be given to a perspective buyer, is informational only and may not include recent repairs completed after the inspection was performed, nor conditions which may have surfaced since this inspection was completed. A prospective buyer relying on this report and the original contract, provided by the seller, is required to contact Professional Inspection Services for a report review and to sign a new contract. **Any Buyer who receives this report is required for a fee to sign a new contract and pay for an on-site report review to prevent any misinterpretation of the report findings. Any failure of this requirement releases Professional Inspection Services and its inspectors from any and all liability from the buyer without exception.**

YEAR/ OCCUPANCY STATUS

8: Approx. Year Built: 1979

9: Partially furnished.

ADDITIONS

DS 10: Disclosure: Be aware that some upgrades or additions which may have required building permits were found or suspected. *Client should check with the local building departments for applicable permits.*

THE FOLLOWING ITEMS ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

DS 11: *Items listed below are outside the scope of this inspection per standards and are not inspected. Client is advised to have these areas or components reviewed by an appropriate tradesmen or professional.*

12: Notice: Building constructed prior to 1979 may contain asbestos and/or lead-based paint. Determining if drywall, flooring, attic insulation, acoustic ceilings or any other component in the house contains asbestos or if the exterior and interior paint contains lead is beyond the scope of this inspection. If concerned have tested.

13: Disclosure: Common Areas and areas of the Association's Responsibility are not part of this inspection and outside the scope. Client is advised to acquire relevant documentation regarding responsibilities, current conditions, and maintenance schedules for HOA responsibilities.

14: Sheds

DS 15: Detached Deck(s)

Grounds

DRIVEWAY TYPE

16: Concrete Driveway

DRIVEWAY COMMENTS

FI **UPG** **17:** Some moderate and heavy cracks found in areas of the driveway.



FI **SU** **18:** Areas of the driveway, patio(s), and walkway(s) appear raised, settled or uneven with potential trip hazards.

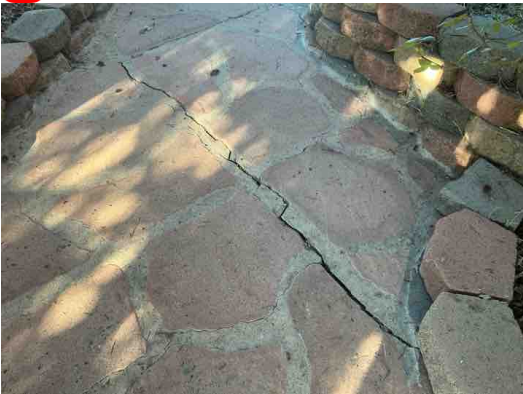
SIDEWALK / WALKWAY TYPE

19: Concrete Walkways

20: Brick Paver Walkways

SIDEWALK / WALKWAY COMMENTS

E&C **21:** Some moderate and heavy cracks found at areas of the concrete walkways.



PATIO / PORCH COVERS

E&C SU 22: Areas of the wood framed FRONT PORCH COVER do not meet minimum construction or engineering standards. Certain issues can negatively affect the overall integrity of the structure. Further evaluation with upgrades or repairs by a licensed contractor familiar with minimum construction and engineering standards is recommended.



Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

23: Wood Framed

EXTERIOR WALL COVERINGS

24: Wood Siding

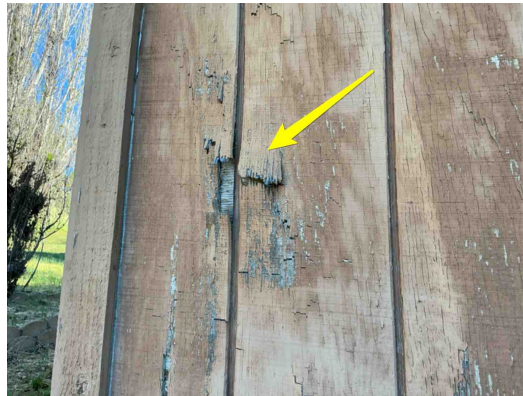
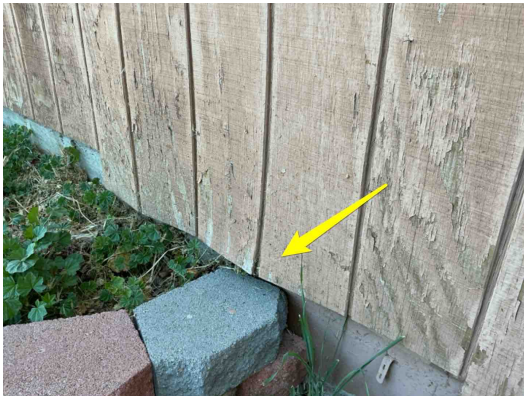
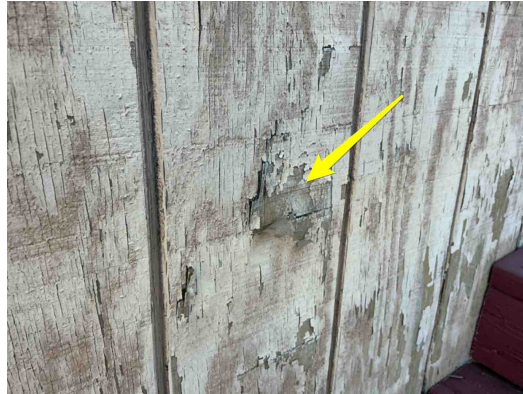
EXTERIOR WALL COMMENTS

DS 25: Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

MR 26: Areas of the exterior are not fully visible and not inspectable due to overgrown foliage and occupant's belongings. Conditions are behind the blockage are unknown. Client is advised to have the obstructions moved to have the areas reinspected.

EXTERIOR GENERAL

27: The exterior wood siding found heavily deteriorated and damaged at multiple locations throughout. Too many individual defects and locations to list. Recommend further evaluation in corrections/repair by a licensed contractor familiar with minimum codes and standards.



SEALING EXTERIOR

MR 28: Recommend sealing around the exterior light fixtures making sure they are sealed tight to the wall to help prevent water and/or critter intrusion per installation requirements.



MR 29: Recommend sealing holes in exterior walls to prevent water intrusion around areas such as unused open holes in the exterior siding and trim, exterior light fixtures, around exterior electrical boxes and covers, and where utility pipes and/or wires pass through the exterior walls. Have a qualified painter or licensed professional evaluate the entire exterior and seal where needed.

EXTERIOR TRIM

30: TRIM TYPE: Wood

31: Appears serviceable. *Refer to the Termite Report for additional comments and recommendations.*

SPRINKLERS

32: Disclosure: Sprinkler systems are outside the scope of this inspection and not tested or inspected. Comments made below are informational only and at the discretion of the inspector. The comments below do not in any way constitute a full inspection of the sprinklers or landscape watering systems. If concerned have system evaluated by landscape professional.

MR 33: Recommend freeze protection at exposed sprinkler valves and/or pipes.



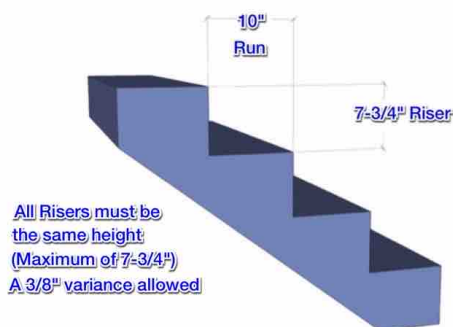
SU 34: Disclosure: Non-UV rated white plastic PVC pipe used above ground for sprinkler system subject to physical and sun deterioration. Upgrades recommended.

Exterior Stairs

E&C 35: The exterior stairway OFF THE FRONT DECK does not meet minimum construction and safety standards, potential fall hazard.

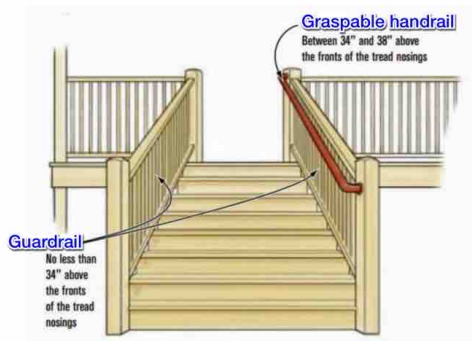
MR 36: Earth-to-wood contact at the exterior wood framed stairway OFF THE FRONT DECK. Refer to a termite report for additional comments and recommendations.

SC 37: Uneven step tread rise, step heights are not all the same, at the exterior stairway off the FRONT ENTRY DECK. Potential trip or fall hazard.



EXTERIOR STAIRWAY RAILINGS

SC 38: Missing the proper / required graspable handrail at the exterior stairway OFF THE FRONT DECK.

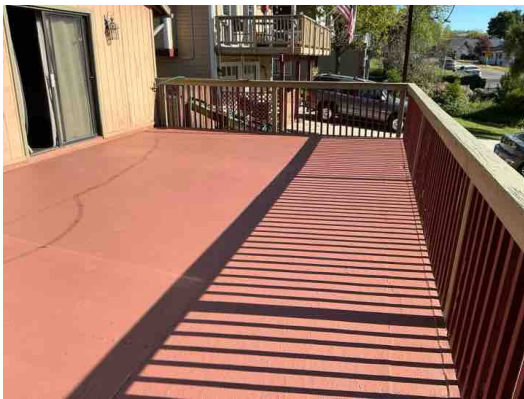


Decks

LOCATION & TYPE

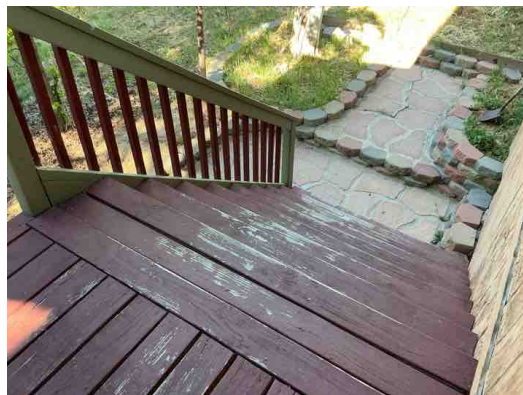
39: DECK LOCATION: UPSTAIRS DECK OFF THE LIVING ROOM

DECK TYPE: Wood Framed - Wood Planks



40: DECK LOCATION: FRONT ENTRY DECK AND STAIRS

DECK TYPE: Wood Framed - Wood Planks

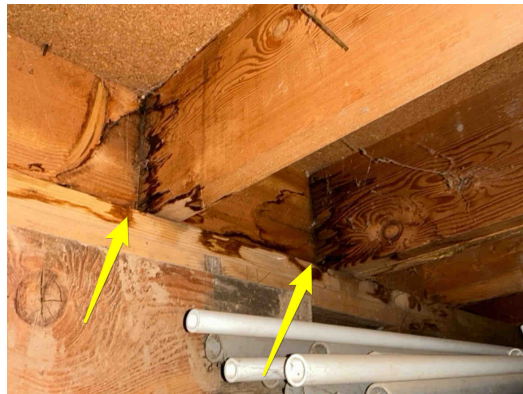


WOOD DECK COMMENTS

E&C 41: The FRONT ENTRY DECK does not meet minimum construction standards, has moderate moisture damage, and appears to be at the end of serviceable life. Contact a qualified contractor for evaluation and repairs or replacement.



E&C 42: Evidence of water intrusion below the front entry deck where the joists enter the crawlspace. Recommend repairs and adequate waterproofing to avoid further moisture damage.



WATERPROOF DECK COMMENTS

E&C SC 43: The UPSTAIRS DECK OFF THE LIVING ROOM is improperly constructed and not a proper waterproof assembly. Too many individual defects to list. Areas of the decking found unsafe. Contact a qualified decking contractor for further evaluation and reconstruction/ repairs.



Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

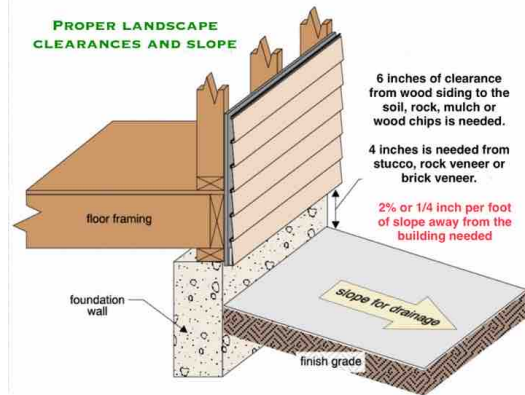
SITE SLOPE

44: Areas of Moderate Slope

COMMENTS

MR 45: Plants and/or Trees touch the buildings exterior. Proper landscape maintenance needed.

MR 46: Soil level found high along areas of the perimeter of the foundation and exterior siding (recommend 6 inches from the bottom of the exterior siding to dirt, rock, mulch or wood chips).



MR 47: Earth-to-wood contact noted at areas of the exterior siding or trim. Proper landscape grading warranted.



Retaining Walls

Inspection of retaining walls is only visual per CREIA standards. Engineering of retaining walls is not performed and is outside the scope of this inspection.

48: Type: Masonry

FI 49: Moderate, Major cracks with some displacement visible in the retaining walls.



Foundation

Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

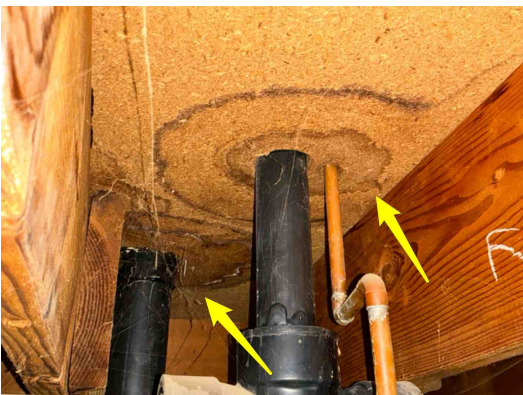
FOUNDATION TYPE

DS 50: Raised Foundation with Crawlspace

Disclosure: Be aware that some crawlspaces may contain toxins from current or past animal or critter intrusion, molds, fungus or other issues arising from past moisture or water intrusion which may negatively affect the overall air quality within the crawlspace and living spaces. Determining the air quality inside the home and crawlspace is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces.

DS 51: **Disclosure:** Some typical and common cracks noted at visible areas of the perimeter foundation. Client is advised to measure and monitor cracks to determine if future movement occurs.

FI 52: Some water stains noted on the underside of the wood framing in areas of the crawlspace under some exterior doors, bathrooms and/or kitchen. Refer to the Termite report for additional comments and recommendations as to the exact location, extent, and if repairs are needed.





53: CRAWLSPACE VENTILATION: Appears adequate.

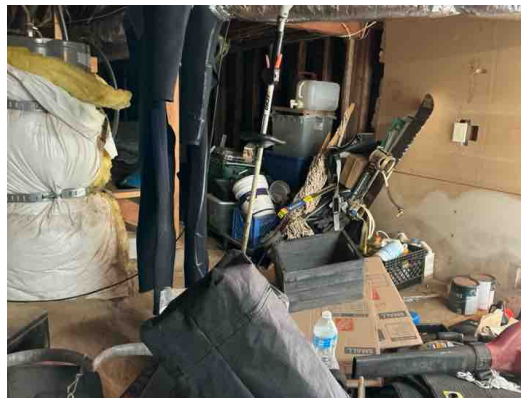
Determining the precise quantity of crawlspace ventilation openings is not calculated and is outside the scope of this inspection. The determination of adequate ventilation is by visually inspecting the overall condition throughout the visible and accessible areas of the crawlspace. This would include inspecting the metal components within the crawlspace for excessive rusting or if there is an unusual moisture condition, such as high humidity, mold, an inordinate amount of fungus growth on the wood framing not from a water leak, or other issues related to an excessive moisture condition caused by the inadequate amount of ventilation in the crawlspace.

54: ANCHOR BOLTS: Some Foundation anchor bolts noted in areas of the crawlspace. *Anchor bolts not fully visible.*

UPG 55: Installed in areas of the foundation system are: Wood Posts on Pad

DS 56: Foundation and stem walls are poured concrete. *Common cracks visible in the concrete foundation. Foundation perimeter is not fully visible.*

57: Disclosure: Areas of the crawlspace are not fully visible, not fully accessible and not inspected due to occupant's belongings HVAC unit, ducting, plumbing, and area is too small for physical access.



58: Disclosure: No engineering of the foundation and / or any structural component in the crawlspace or basement is performed. *If concerned have tested.*

FI DS 59: Disclosure: Some visible efflorescence found on areas of the below grade foundation walls. This is indicative of moisture intrusion and/ or lack of waterproofing.

INSULATION

60: Disclosure: No insulation installed in the crawlspace (Recommended as an energy upgrade).

RAISED FOUNDATION NOTES

SU 61: Evidence of past rodents or other critters living in the crawlspace and/or other areas (visible droppings). Contact a qualified pest control professional for additional comments and recommendations. Determining if condition is old or active is outside the scope of this inspection.

FI DS 62: Some structural wood framing alterations found in areas of the crawlspace. Ask seller for details, time-lines and any additional information regarding changes.

MR 63: Cellulose and/or debris noted in areas of the crawlspace. Recommend removal.

E&C FI 64: Heavily damaged/ deteriorated watershed paper visible from inside the crawlspace.



E&C 65: Evidence of moisture intrusion into the crawlspace from around the concrete exterior walls due to insufficient grading at the exterior. Contact a qualified contractor for corrections.



VENTILATION

E&C 66: Unscreened opening(s) into crawlspace areas needing to be filled or screened to help prevent critter intrusion.



MOISTURE IN THE CRAWLSPACE

FI DS 67: Disclosure: Evidence of past and/or seasonal water in the crawlspace. This does not appear to have caused any significant physical damage to the wood framing at this time. Monitor as future issue may arise.

Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

ROOF STYLE

68: Gable



69: Roof was walked

70: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

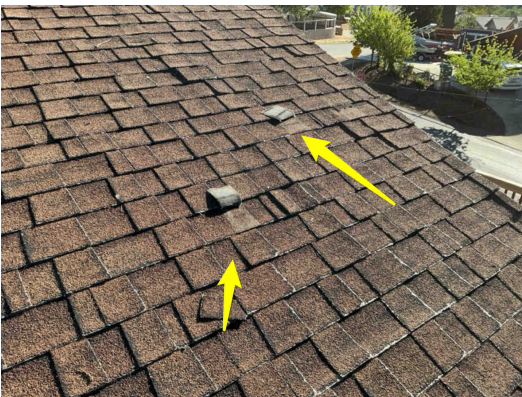
71: Asphalt Shingle

Average life expectancy of this roof material: 25-30 years

There is Approx. 25-30 +/- years of visible wear

ASPHALT COMPOSITION SHINGLE COMMENTS

E&C DS 72: ROOF CONDITION: Roof is at or past the end of its life expectancy. Recommend contacting a licensed roofing contractor for a price / proposal for replacement.



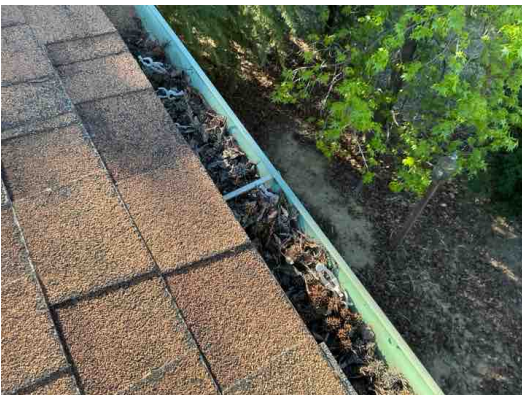
Gutters

RAIN GUTTERS

73: Type: Full rain gutter installation.

RAIN GUTTER COMMENTS

MR 74: Recommend some typical rain gutter maintenance. This should at minimum consist of cleaning, sealing, and re-fascinating of loose gutters and downspouts.



MR DS 75: Underground Roof Rain Gutter Drains are Installed: Some of the roof rain gutter downspouts enter into an underground piped drainage system. *The conditions of the underground pipe and there terminations are not visible, not inspected - nor tested during this inspection. Additional inspecting, cleaning and testing the underground piping is recommended to determine proper flow and termination. Service underground drains regularly.*

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Repot for additional comments and recommendations.

ATTIC ACCESS LOCATION

76: ATTIC ACCESS LOCATION: BEDROOM-1

77: Attic Photographs





TYPE OF INSULATION FOUND IN THE ATTIC

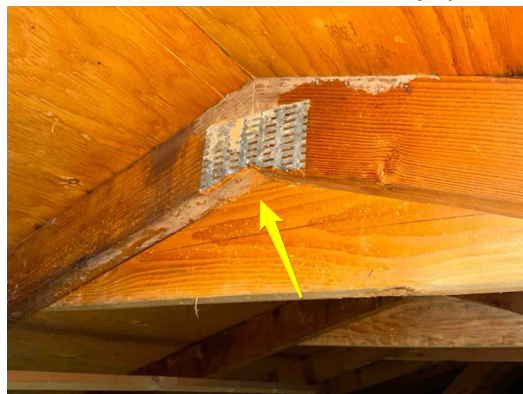
78: Fiberglass Batts: Approx. Depth 6 +/- Inches

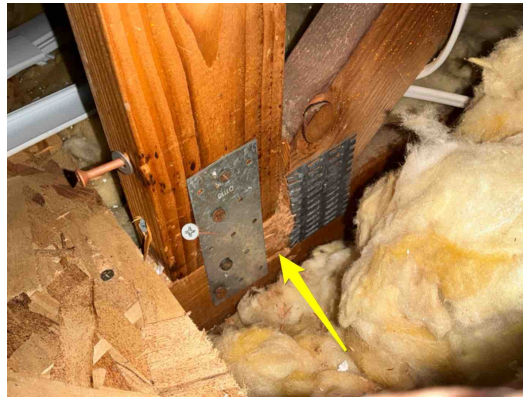
ATTIC COMMENTS

FI DS 79: Some moderate and heavy moisture stains noted in areas throughout the attic. All water stains should be investigated by a licensed roofer. Refer to termite report for additional comments and/or recommendations.



E&C SC 80: Roughly 2/3 of the attic truss system found heavily altered and removed. This substandard alteration to attic framing is a significant structural concern and warrants further evaluation by qualified engineer.





Plumbing

This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

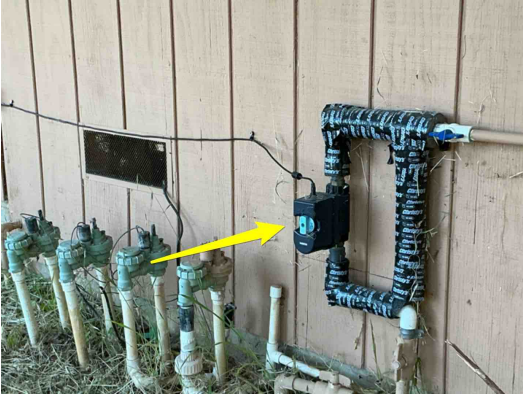
81: Main water supply shut-off location: Exterior - Southeast Corner. *Main water shut-off valve not tested.*



82: WATER PRESSURE - Is Within Standards: At Approx. 62 +/- PSI. *Optimal water pressure is between 40 and 80 PSI.*



DS 83: An automatic leak detection device installed on the main water supply: YES



TYPE OF WATER PIPING

84: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time):

85: Copper

WATER SUPPLY PIPING

86: The visible areas of the water supply piping appears to be within useful life. *Pipes are not fully visible.*

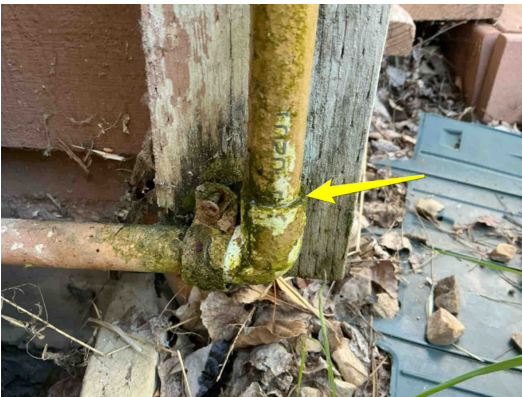
87: The condition of the Plumbing Pipe inside walls, under insulation in the attic, underground, under the slab, and in all inaccessible areas which are not readily visible are not evaluated or inspected. Conditions cannot be judged. Water pipe leak detection or pressure testing is not performed.

UPG DS 88: Disclosure: The White Plastic PVC pipe used above ground for faucet, sprinkler or supply piping is fragile, not UV rated, and can break easily. Upgrades are recommended to help prevent future damage or water leakage.

MR UPG 89: Exposed exterior water supply pipes subject to freezing are not insulated, not insulated well or have damaged or deteriorated insulation installed. Upgrades are recommended.



E&C 90: Active water leak found at NORTHWEST ADDED HOSE BIB SUPPLY LINE. Recommend further evaluation and repairs by qualified plumbing professional.



WASTE PIPING TYPE

91: Type(s) of waste water drain piping that could be seen at the time of the inspection (other piping materials may be present or used underground which are not visible at this time):

92: ABS and PVC

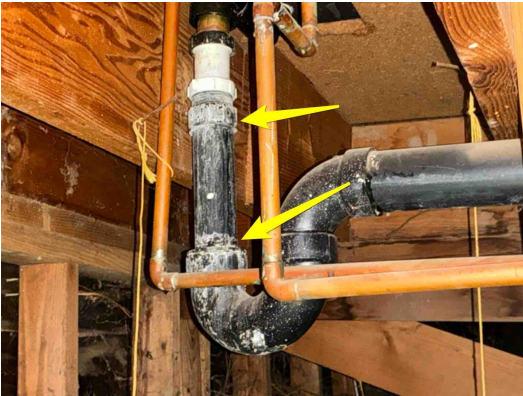
WASTE/SEWER PIPE CONDITION

93: **The visible areas of the waste piping used for this building are within its useful life expectancy.**

However, waste pipes are not fully visible. Pipe conditions inside walls, inaccessible areas, under the insulation and under the ground or slab cannot be judged or determined. Water testing not performed.

Note: Buildings should have the underground waste and sewer lines scoped by a plumber to determine condition as part of the inspection process.

FI 94: Corrosion with evidence of past leaking noted on areas of the waste piping and fittings in areas of the crawlspace. Recommend further review of the waste piping throughout the crawlspace with cleanup and correction by qualified plumbing professional to help prevent additional future leakage.



Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

WATER HEATER INFORMATION

95: Water Heater Location: CRAWLSPACE

Date: 2019

Size: 40 Gallons

Fuel Type: Electric



WATER HEATER CONDITION

96: Water Heater Operated when tested.

STRAPPING

SC 97: Water heater thermal blanket improperly covers the ID & safety placards and improperly installed under the seismic strapping, Water heater is improperly strapped.

TPR PIPING

SC 98: The Water heater TPR (temperature pressure relief) pipe improperly terminates. Must terminate downward at the exterior at 6 to 24 inches from the ground.



WATER HEATER GENERAL COMMENTS

UPG 99: Missing the insulation on areas of the Hot and Cold water supply piping at the water heater.

Energy Code (Title 24, Part 6)

California's energy standards require insulation on the first 5 feet of cold and ALL the hot water piping from the water heater, to reduce heat loss and sweating (condensation).

FI 100: Evidence of past leaking with corrosion at the HOT and COLD water supply piping at the water heater. Contact a qualified plumber to evaluate and correct.



E&C 101: Improper installation of a 40-Amp 240 Volt breaker for the electric water heater that requires a 30-Amp 240-Volt max circuit.

SHUTOFF

102: Cold Water heater shutoff valve installed. *Valve not tested.*

E&C 103: Evidence of past leaking with corrosion at the COLD water supply shut-off valve at the water heater. Recommend replacement.



DRIP PAN

SU 104: Recommend a drip pan be installed under the WATER HEATER to help prevent damage if a leak were to occur.

EXPANSION TANK

DS 105: Recommend installing the required water heater thermal expansion tank per minimum codes and standards.

[CPC 608.3] [CMC 1005.0]

Kitchen

LOCATION



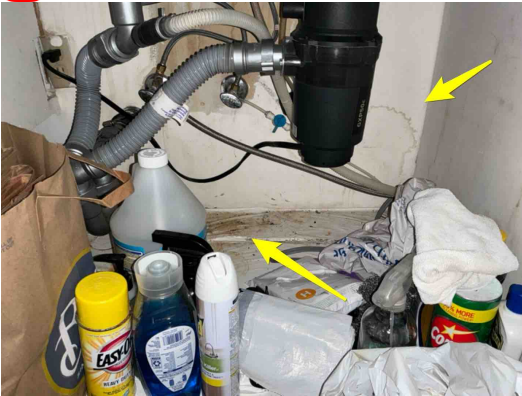
SINK

107: The kitchen sink appears serviceable with typical wear for its age.

108: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

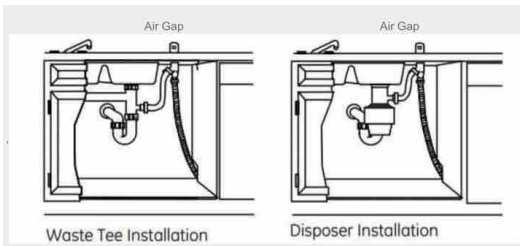
DS 109: Disclosure: Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.

FI 110: Some dry moisture stains and damage in the cabinetry below the kitchen sink.



DISHWASHER

SU 111: Improper installation of the dishwasher drain hose. Missing the Air Gap Device at the dishwasher drain per minimum codes and standards (California does not allow for high-loop methods or direct waste connections). {CPC 801.2}



FI 112: Dishwasher found non-operational.

CABINETS & COUNTERS

113: Appear serviceable.

DS 114: Disclosure: The areas behind the kitchen cabinetry, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 115: Disclosure: Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.

DS 116: Kitchen counters & cabinets have moderate and heavy wear and deterioration.



DISPOSAL

117: Operated when tested.

COOKTOP HOOD

118: Kitchen cooktop hood, exhaust fan and light operated when tested.

COOKTOP

119: Cooktop is Electric and operated when tested.

OVEN

120: The *ELECTRIC OVEN* operated when tested.

Disclosure: *The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.*

Laundry

LAUNDRY LOCATION:

121: LAUNDRY



LAUNDRY TYPE

DS 122: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

123: 240-volt outlet provided for laundry dryer.

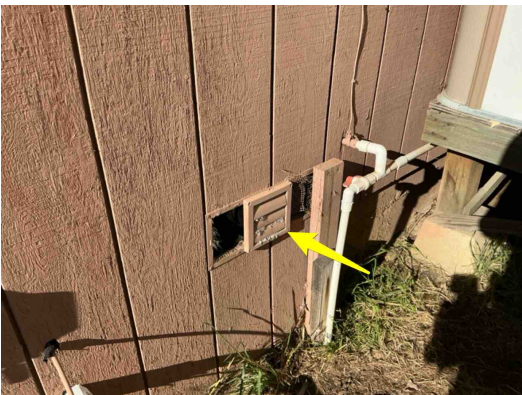
124: Laundry dryer vent provided.

However, vent system is not fully visible or tested. It is recommended that the laundry dryer vent system, vent pipe and cap be cleaned regularly to avoid excessive lint buildup, which is a potential fire hazard.

125: Laundry room exhaust fan operated when tested.

DRYER VENTING

MR 126: Recommend cleaning and servicing the laundry dryer vent system, pipe and cap, for safety as part of typical ongoing maintenance.



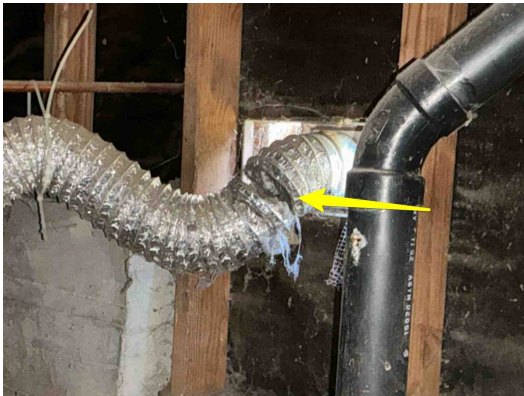
SC 127: An improper use of a non-fire rated / flexible laundry dryer vent pipe through the crawlspace. Replacement recommended for fire safety. Contact a qualified, HVAC contractor. The maximum length of a flexible laundry dryer flex connector is 6 feet.

Reference- California Mechanical Code (CMC) Section 504.4

- Dryer exhaust ducts are required to discharge directly to the exterior of the building and shall not terminate into a crawlspace, attic, chimney, vent connector, gas vent, or other concealed space.
- Exhaust ducts shall be constructed of rigid metallic material.
- Ducts shall not be assembled with screws or fasteners that penetrate into the duct interior, as these can catch lint and reduce airflow efficiency.
- The exterior termination is required to include a backdraft damper and must not contain a screen, which can accumulate lint and restrict airflow.
- Where duct sections are joined, the male end must be installed in the direction of airflow.



E&C 128: The laundry dryer vent pipe found damaged, leaking and/or disconnected in the crawlspace. Correction needed for safety.



Bathrooms

BATHROOM LOCATIONS

129: PRIMARY BEDROOM BATHROOM



130: HALL BATHROOM



TOILETS

E&C 131: Toilet loose at floor: HALLWAY BATHROOM and PRIMARY BEDROOM BATHROOM



SINKS

132: Bathroom sink faucet and drain operated when tested.

Disclosure: The operation and condition of the sink drain stoppers are outside the scope of this inspection and are not tested. Any and all comments made regarding sink drain stoppers are informational only and may only be specific to a single sink.

FI 133: Some dry moisture stains noted in the cabinetry below the sink in the: HALLWAY BATHROOM and PRIMARY BEDROOM BATHROOM

MR 134: The bathroom sink drain stopper missing: HALLWAY BATHROOM

VENTILATION

135: Appears adequate.

BATHTUBS

136: Operated when tested.

MR 137: The original tub drain stopper is non-operational: HALLWAY BATHROOM and PRIMARY BEDROOM BATHROOM

SHOWERS

MR 138: The grout and/ or caulking in the HALLWAY BATHROOM and PRIMARY BEDROOM BATHROOM showers is in need of cleaning, maintenance or replacement recommended



FI 139: Moisture stains & damage to walls, baseboards and/or floor outside shower: HALLWAY BATHROOM and PRIMARY BEDROOM BATHROOM



Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/ or window-door coverings are not able to be fully inspected.

FRONT ENTRY DOOR

140: Operated when tested.

141: Weather stripping appears serviceable.

142: Door hardware operated when tested.

EXTERIOR DOORS

143: Operated when tested

144: Latching hardware operated and appears serviceable.

SLIDING GLASS DOOR

MR 145: Disclosure: Missing a screen at the LIVING ROOM exterior sliding glass door.

INTERIOR DOORS

146: Operated when tested.

MR 147: Interior door does not latch. Recommend adjustment of the strike plate: PRIMARY BEDROOM CLOSET

DS 148: Some interior bedroom closet doors are missing or not installed: BEDROOM-1 and BEDROOM-2

WINDOWS

MR 149: WINDOWS: A sampling of the accessible windows operated when tested.

Note: Windows with blinds or shades or other coverings are not tested. All windows should be serviced by a qualified window specialist to ensure windows operate smoothly and properly and to ensure water tightness. Have all deteriorated weatherstripping replaced. Window blinds, shades, drapes or other window coverings are not inspected and are outside the scope of this inspection. Client should provide their own due diligence and evaluate all window coverings.

MR 150: Some windows found a little difficult to operate. Maintenance or upgrades are recommended.

SC 151: Cracked or broken window glass found: BEDROOM-2



MR 152: Disclosure: Missing and/or damaged screens found at some windows.



FLOORING

153: TYPE: Vinyl planks

154: CONDITION: Flooring appears to be in good condition with typical wear for its age.

155: *Disclosure: Furnishings, rugs and occupants' belongings are examples item that prevent the full inspection of the flooring. Conditions in areas not visible are unknown. Do a careful check prior to closing.*

DS 156: Some minor and moderate deterioration and/or damage noted at areas of the interior flooring.

FI 157: Some unusual sloping noted at areas of the interior floor. This may be indicative of some unusual settling of the soil or foundation. Client should have a qualified engineer to evaluate the entire foundation system until satisfied as to the cause, the current condition, potential future issues and determine if repairs or upgrades are needed.

FI DS 158: *Disclosure: Some floor squeaks and pops noted in areas of the house.*



CEILING TYPE

159: Drywall

WALL TYPE

160: Drywall

WALLS AND CEILINGS

161: The general overall physical condition of the interior walls and ceilings appear to be good with some typical and common cracks.

Note: Determining the indoor air quality is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces to determine if it is within your own personal acceptable levels.

DS 162: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor the cracks as future or additional movement may occur. Contact a qualified drywall professional for additional information and recommendations on how to repair.

163: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

164: Disclosure: *Furnishings, window coverings (such as drapes shades and shutters) and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

FI DS 165: Evidence of past ceiling and wall repairs found throughout. Client should investigate further to satisfy themselves as to the cause and current conditions.

E&C 166: Several cracks noted throughout interior drywall indicative of minor structural movement.



INTERIOR CABINETRY

E&C 167: Disclosure: Areas of the interior wood cabinetry are serviceable with signs of moderate and heavy wear and deterioration.

Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified HVAC professional. Be aware that additional defects may be discovered during a more comprehensive evaluation by an appropriate professional.

GENERAL INFO

168: Electric Heating Type & Location: Electric Heat Pump / CRAWLSPACE



CONDITION

E&C **SU** **169:** This type of heating and cooling system has an anticipated 20+/- year life span and is currently 48 years old. **The heating and cooling did not operate today and may warrant full replacement.** Contact a licensed HVAC professional for evaluation and repair/replacement.



Cooling

LOCATION

170: Location: NORTH SIDE- Exterior

Condenser Size: 3 Tons

Minimum Current Ampacity: 30

Maximum Current Ampacity: 45

Current Ampacity: 40 Amps (per the breaker in the electrical panel)

Date: 1978

Refrigerant Type: R-22. The phasing out of R-22 began in 2010, when manufacturers were no longer able to produce new equipment designed with it. In 2020 and the ban expanded to only allow the use of recycled or previously stockpiled Freon to service existing air conditioners.



TYPE OF COOLING SYSTEM

171: Split System

172: Electrical Disconnect Provided at or near the Equipment per standards.

COMMENTS

DS 173: Disclosure: PG&E Has installed an energy management system on your air conditioner. An energy management system allows PG&E to turn off your air conditioner if other areas of the state are experiencing electrical shortages. If you wish to have the management equipment removed contact PG&E. This is not a requirement of the system and is not needed for proper or safe operation of the air-conditioning system. The original homeowner it was paid \$50 by PG&E to have this installed.

CONDENSATE

DS 174: Disclosure: The visible areas of the air conditioner's condensate piping appear serviceable and in good condition. *However, the condensate drip piping is not fully visible as they pass-through confined spaces, under attic insulation, inside walls, etc. The condensate drip system is not tested.*

Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL-1

175: Electrical Service Type: **Underground** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **Exterior - Northeast Corner**

Main Electrical Panel Ampacity: **200**

Panel Voltage: **240 volt**

Branch Wire Type: Copper

Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.

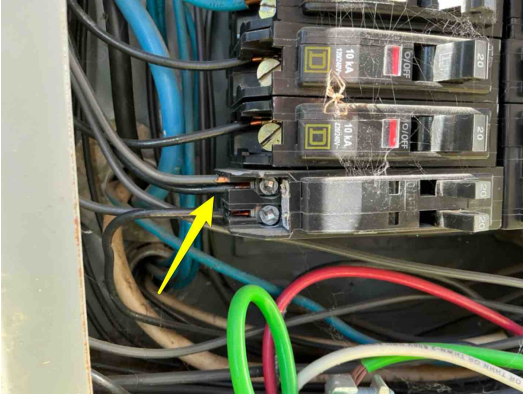


176: PANEL BONDING: The visible portions of the panel bond, earth grounding, inside the MAIN ELECTRICAL PANEL is present and properly connected to the metal panel.
All grounding and bonding of the electrical panels and the wiring systems is not tested and is not fully visible. Only the visible areas of the ground clamp and its connections are inspected but not tested per standards.

PANEL COMMENTS

SU **177:** Breaker panel is not fully or properly labeled per standards: MAIN ELECTRICAL PANEL.

E&C **178:** Improper installation of two wires on single-wire rated circuit breaker in the MAIN ELECTRICAL PANEL.



WIRING/CONDUIT

179: A sampling of the switches, light fixtures and outlets operated when tested.

Disclosure: *Occupant's belongings and furniture are not moved for testing of outlets and switched. Receptacles which are in use or are blocked by child tamper barriers are not tested. If house is occupied or any restricted conditions exist, additional testing is recommended. Additional inspection fees may apply.*

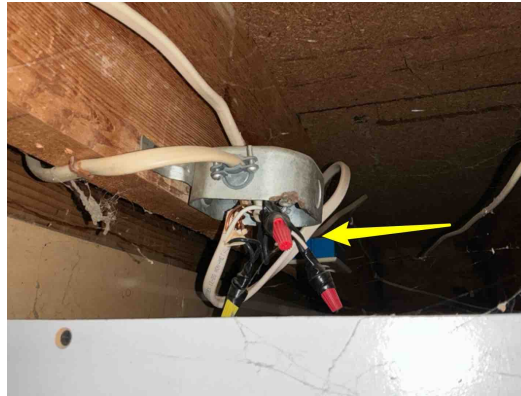
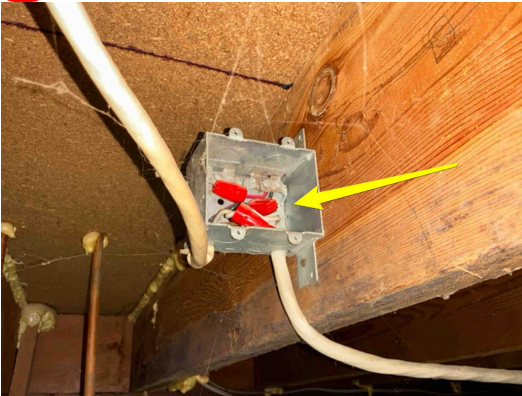
DS **180:** *Disclosure: Furnishings, appliances and occupants' belongings prevent testing of every outlet and switch. Have all outlets and switches tested once home is vacant.*

OUTLETS/SWITCHES

181: A sampling of the switches, light fixtures and outlets operated when tested.

Disclosure: *Occupant's belongings and furniture are not moved for testing of outlets and switched. Receptacles which are in use or are blocked by child tamper barriers are not tested. If house is occupied or any restricted conditions exist, additional testing is recommended. Additional inspection fees may apply.*

SC 182: Missing electrical cover plate: MULTIPLE IN THE CRAWLSPACE



SC 183: Miswired electrical outlet (open neutral). Have electrician check all outlets and correct as needed:
KITCHEN



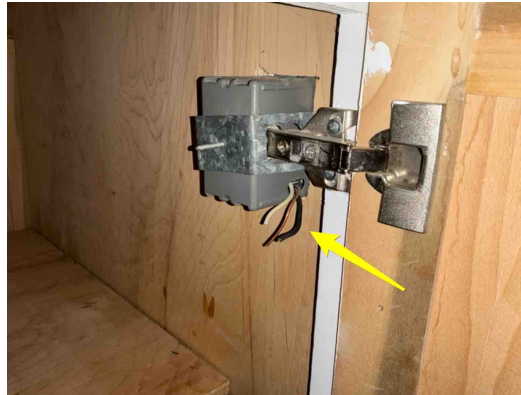
SC 184: Exterior electrical outlet found with a damaged exterior rated cover at the BELOW THE UPSTAIRS DECK.



185: Multiple electrical cover plates found loose and improperly installed. Simple corrections recommended.



E&C 186: The kitchen island GFCI found non-operational/ abandoned.



LIGHTING

FI DS 187: Some electrical switches do not operate anything visible, (purpose unknown).

FI 188: Some lights found to be non-operational (check bulbs if still found non-operational contact a qualified electrician to evaluate and repair or replace defective fixtures and/or switches).

E&C 189: The light fixture pull chain found damaged/ non-operational: BEDROOM-1



CEILING FANS

DS 190: Ceiling fan and light found non-operational from a wall switch. Fan appears to be on a remote which was not located. Ask seller for remote and to demonstrate proper operation: LIVING ROOM



GFCIS/ AFCIS

191: Disclosure: Recommend adding GFCI and AFCI circuit or outlet protection at all currently required locations, as an upgrade.

E&C 192: The KITCHEN LEFT SIDE GFCI outlet found to be improperly wired in series with the KITCHEN RIGHT SIDE GFCI outlet (improper line / load reversal). When the GFCI trips off it improperly trips off a second GFCI in a different location and will not reset unless the other outlet when found is reset first. This is considered an improper installation.



DOOR BELL

E&C 193: The doorbell did not operate.

Detectors

194: SMOKE DETECTORS ARE INSTALLED IN THE REQUIRED LOCATIONS.

Disclosure: This is not a warranty as to the effectiveness of the detectors, only that the detectors are installed in the appropriate locations per California law. Owner is responsible for testing detectors monthly and replace detectors over 10 years old.

SC 195: Carbon Monoxide detector missing at the required location: BEDROOM HALLWAY

Fireplace

FIREPLACE LOCATION

196: **LIVING ROOM**



FIREPLACE TYPE

197: Fireplace Type: **Prefabricated**

198: Fuel Type: **Wood Pellet**

199: Chimney Type: **Metal Chimney Pipe**

200: This inspection of the fireplace and its components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a defects it is recommended to have the entire system and its components reevaluated by a certified fireplace repair professional / chimney sweep. Be aware that additional defects may be discovered during a more comprehensive evaluation.

FIREPLACE CONDITION

201: **FIREPLACE CONDITION**: The LIVING ROOM WOOD PELLET fireplace operated when tested.

METAL CHIMNEY

202: The LIVING ROOM fireplace chimney.



E&C **MR** **203:** Missing the proper storm collar at the top of the fireplace chimney pipe around the chase collar to help prevent water intrusion down the metal chimney pipe and into the wood chase.

